

City of Newburyport Zoning Board of Appeals
Application for a SPECIAL PERMIT

Petitioner: Hillside Living LLC

Mailing Address: c/o Lisa Mead, Blatman, Bobrowski, Mead & Talermin, LLC 30 Green St, Nbp

Phone: 978 463 7700 Email: Lisa@bbmatlaw.com

Property Address: End of Cottage Court Extension

Map and Lot(s): portion of 35-120 Book and Page(s): B30377 P467

Zoning District: R3 Years owned land: 4

Owner(s) Name: Hall and Moskow Corp

Mailing Address (if different): 75 Water St., Newburyport MA 01950

The applicant is requesting a Special Permit under section(s):

- | | |
|---|--|
| <input checked="" type="checkbox"/> Special Permit for Use (V.D) – Use # <u>106</u> | <input type="checkbox"/> Personal Wireless Communication Services (XX) |
| <input type="checkbox"/> Spacing (VI.D) | <input type="checkbox"/> Wind Energy Conversion Facilities (XXVI) |
| <input type="checkbox"/> In-Law Apartment (XIIA) | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Bonus Provisions for Multifamily Developments (XVI) | |

Description of request:

Construct a ten room lodging house.

Any advice, opinion, or information given by any board member or any other official or employee of the City of Newburyport shall not be binding on the Zoning Board of Appeals. It shall be the responsibility of the petitioner to furnish all supporting documentation with this application. The dated copy of this application received by the City Clerk or Planning Office does not absolve the petitioner from this responsibility. The petitioner shall be responsible for all expenses for the filing, publication, and legal notification. Failure to comply with the application requirements, as cited herein and in the Zoning Board Rules and Regulations may result in a dismissal by the ZBA of this application as incomplete.

Petitioner and Landowner signature(s):

Signature

Print or type above name(s) here

DAVID D. HALL

City of Newburyport Zoning Board of Appeals

Application for a VARIANCE

Petitioner: Hillside Living LLC

Mailing Address: c/o Lisa Mead, Blatman, Bobrowski, Mead & Talerman, LLC, 30 Green St., Nbpt

Phone: 978 463 7700

Email: Lisa@bbmatlaw.com

Property Address: End of Cottage Court Extension

Assessor's Map and Lot(s): portion of Map 35-120

Zoning District: R3

Book and Page(s): Book 30377 Page 467

Years owned land: 4

Owner(s) Name: Hall and Moskow Corp

Mailing Address (if different): 75 Water St., Newburyport MA

The petitioner is requesting a Variance from section(s):

☐ Use Regulations (V)

☐ Parking (VII)

☐ PIOD (XXI)

☐ FAR

☐ 2 ½ stories

☐ Footprint expansion

☒ Dimensional Controls (VI)

☒ Lot Area

☐ Open Space

☐ Lot Coverage

☐ Height

☐ Frontage

☒ Front Yard

☒ Side Yard

☐ Rear Yard

☐ Lot Width

☐ Other: _____

Request:

Construct lodging house with insufficient lot area, side and front setback.

	Existing	Proposed
Ground Floor Square Feet	0	1080
Number of Floors	0	2
Total Square Feet	0	3,240
Use	0	106

City of Newburyport Zoning Board of Appeals

Application for a VARIANCE

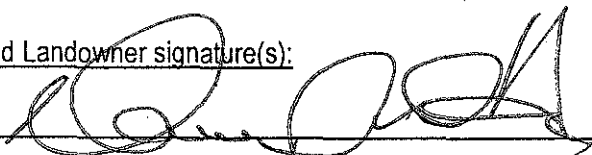
	Existing Dimensional Controls	Proposed Dimensional Controls	Required Dimensional Controls
Lot Area	a portion of 15,246	8,515	20,000
Frontage	a portion of 275	185.44	120
Height	0	25	35
Lot Coverage (%)	0	15.40	40
Open Space (%)	100	84.60	40
Front Setback	0	7.5	20
Side A Setback	0	20	41
Side B Setback	0	20	7
Rear Setback	0	20	11
Parking Spaces	0	10	10
FAR*	NA	NA	NA

*FAR is only applicable in the Plum Island Overlay District (PIOD).

Any advice, opinion, or information given by any board member or any other official or employee of the City of Newburyport shall not be binding on the Zoning Board of Appeals. Every application for a Variance shall be made on this form, which is the official form of the ZBA. It shall be the responsibility of the petitioner to furnish all supporting documentation with this application. The dated copy of this application received by the City Clerk or Planning Office does not absolve the petitioner from this responsibility. The petitioner shall be responsible for all expenses for the filing, publishing, and legal notification. Failure to comply with the application requirements, as cited herein and in the Zoning Board Rules and Regulations may result in a dismissal of this application as incomplete.

Petitioner and Landowner signature(s):

Signature



BLATMAN, BOBROWSKI, MEAD & TALERMAN, LLC
ATTORNEYS AT LAW

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FAX 978.371.2296

Mills Office
730 MAIN STREET, SUITE 2B
MILLIS, MA 02054
PHONE 508.376.8400
FAX 508.376.8440

November 19, 2015

Ed Ramsdell
Chair
Zoning Board of Appeals
City of Newburyport
60 Pleasant Street
Newburyport MA 01950

RE: Cottage Court Extension / Route One
Southern Portion of Map 35 Parcel 120 (south) (the "Property")
Denial Request

Dear Chairman Ramsdell and Members of the Board;

Reference is made to the above captioned matter. In that connection, this firm represents Hillside Living LLC., (the "Applicant") who along with the YWCA of Newburyport are developing the Property which is located in the R-3 zoning district.

I Overview

The parties are proposing to develop the Property as a Lodging House to service individuals being served by the YWCA. The Property consists of 8,515 square feet and includes 185.44 feet of frontage on Route One and the private way. The Applicant proposed to locate the structure, given the topography of the Property, so that there is a front yard setback of 7.5 feet, side yard setbacks of 40 and 7 feet and a rear yard setback of 11 feet. There is proposed to be ten room consisting of private bedrooms with common living, bathroom and kitchen facilities.

Section VI of the Newburyport Zoning Ordinance ("NZO") requires 20,000 square feet of area for a lodging house in the R-3 District. Additionally, the NZO requires 120 feet of frontage, with a 20 foot setback for front side and rear. Section V-D(1) use 106 is allowed in the R-3 district by special permit. Please note, in accordance with Section VII-A(2) of the NZO the parking required for the Lodging House will be provided on adjacent property within 300 feet of the Property and the required 10 parking spaces will be provided.

The Property is actually a portion of Map 35 Parcel 120¹. The entirety of the parcel is actually split in half by a private way – upon which no structure can be built. The northern portion of the property is being used for private parking. Given the private way separating this portion of the parcel from the rest of the parcel, the Applicant is proposing to construct a residential structure which will be owned and operated by the non-profit YWCA.

Following the work of this Board, the Applicant will be filing for Major Site Plan Review with the Planning Board.

II Variances from Lot Area, Frontage, Front and Side Yard Setback Requirements

Pursuant to Section X-H(6) of the Zoning Ordinance, “[t]he [Z]oning [B]oard of [A]ppeals shall have the power. . . to grant. . . a variance. . . from the terms of this [Z]oning [O]rdinance. . .” Here, the grant of a variance by the Board is consistent with the standards of G.L. c. 40A, § 10 and said Section X-H(6). As required by the “Application for a Dimensional Variance,” those standards are addressed as follows:

A. State the particular use proposed for the land or structure.

The proposal involves construction of a lodging house which is permitted with a Special Permit in the R3 district.

B. Explain the conditions and circumstances related to soil conditions, shape or topography of the land that are unique to the Applicant’s lot, structure or building and do not apply to the neighboring lands, structures or buildings in the same district.

The Property’s topography has a dramatic rise to the southern and eastern lot lines. Over the span of 75 feet the lot rises from elevation 42 at the corner near Route One and the private way to 68 feet at the rear of the lot. Similarly as the lot rises from the property line adjacent to Route One where it is elevation 50 it rises to elevation 75 over the span of 75 feet. Such a situation causes the structure to be located at the front of the parcel. Further, the parcel suffers from a private way running through the middle of it, thereby leaving this portion of the parcel with insufficient lot area and insufficient frontage. Indeed if the parcel did not have the private way running through the middle of it the lot area would exceed 21,000 square feet. Finally, a portion of the parcel was taken by Mass Highway in order to construct Route One in or around 1934. What was left is the parcel you see today. Again, but for the private way the parcel would consist of over 21,000 square feet. Neither of these conditions are caused by the Applicant.

None of the foregoing attributes of the Property “affects generally the zoning district in which [it] is located.” See G.L. c. 40A, § 10; see also Section X-H(6)(A) of the Zoning

¹ The Assessor’s Map represents this parcel as one continuous parcel. However, since September 7, 1892 there was a twenty four foot private way leading from the end of the public way known as Cottage Court through this lot what is now Route One. I have attached the 1934 Mass Highway Route One takings plan which depicts the way as described.

Ordinance as none of the lots in the area are divided by a private way and none of the lots are surrounded on two sides by a dramatic topography and on one side by a state highway.

- C. Facts that make up the substantial hardship, financial or otherwise, which result from literal enforcement of the applicable zoning restrictions.

According to the Zoning Ordinance, a hardship may be found to exist “[w]here by reason of exceptional narrowness, shallowness or unusual shape of a specific site. . . or by reason of. . . other extraordinary and exceptional physical situations or condition of such site of property, the literal enforcement of the requirements of this [Zoning Ordinance] pertaining to yards or other space relationships. . . would result in exceptional practical difficulties or exceptional and undue hardship upon the owner of such property.” See Zoning Ordinance, § X-H(6)(D)(1).

Here, the unique topography, the existence of the private way and the taking by Mass Highway restricts where the structure can be located. Given the location of the site and the fact that it is essentially a loan corner parcel there really is no other reasonable use of the site. The topography and existence of the private way are unique to this parcel and a literal enforcement of the NZO would result in exceptional practical difficulties and undue hardship on the owner.

To avoid the practical difficulties of developing the Property, variances are needed from the Zoning Ordinance’s dimensional requirements as above-described.

- D. Facts relied upon to support a finding that the unique conditions and circumstances are not the result of actions of the applicant taken subsequent to the adoption of [the Zoning Ordinance].

Neither the topography of the site, the private way or the taking by Mass Highway are of the Applicant’s own making or choosing.

- E. Facts relied upon to support a finding that relief, if approved, will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the district.

This Property is unique as there are no other similarly situated lots in the area. Indeed, the unique features of this lot including the topography, adjacent cemetery, the taking and the private way does not exist on any nearby property. No other nearby single parcel is split by a private way or surrounded by a cemetery on two sides and a highway on one side. The use of the property for a lodging house is consistent with the R3 district and consistent with the housing being proposed on adjacent parcels.

- F. Facts relied upon to support a finding that relief sought will be desirable and without substantial detriment to the public good.

The proposal to locate a lodging house on this parcel will be consistent with the R3

district and the proposed use on adjacent property. The area is walkable to the YWCA as well as the commuter rail and nearby retail stores. Additionally, sufficient parking will be provided on the other portion of the parcel on the opposite side of the private way. The architectural style is in keeping with the general aesthetics of the area and given how the structure is built into the topography will not be seen from the neighborhoods to the east but will provide a pleasant streetscape for those traveling on Route One. The proposed structure will have no negative effect on the public health or safety and relief can be granted without detriment to the public good.

III Special Permit for Lodging House

A lodging house use is allowed in accordance with section V-D of the Ordinance with a Special Permit from the Board. In accordance with Section X-H(7) of the NZO, I note the following, required “general conditions” for the issuance of a special permit for the proposed use together with an explanation of the Applicant’s compliance with each such requirement:

1. The use requested is listed in the table of use regulations or elsewhere in the ordinances [as] requiring a special permit in the district for which application is made or is similar in character to permitted uses in a particular district but is not specifically mentioned.

As noted above, the Property is located in an R3 zoning district where a lodging house use is allowed by special permit.

2. The requested use is essential and/or desirable to the public convenience or welfare.

The use as lodging house is allowed by special permit in the R3 district and therefore, by its very nature, has been determined by the City to be desirable. The R3 district is the most densely zoned district in the city. There are few, if any, remaining lodging houses in the City. The Newburyport Housing Needs Assessment which was conducted in 2014 for the Newburyport Affordable Housing Trust in preparation of their affordable housing production plan identified the following Housing Priority Needs:

- Rental housing for individuals
- Rental housing for families
- Preservation and improvement of existing housing stock
- Affordable homeownership for families
- Housing for at risk and special needs populations.

The wait list for the Newburyport Housing Authority currently includes 140 non-elder individuals and 170 Newburyport households on the section 8 wait list.

There is no doubt that the housing provided through a lodging house will help, no matter how small, the first priority of the Affordable Housing Trust needs assessment.

The proposed use will be operated by the YWCA which has a long and successful history of providing emergency, temporary and permanent housing to individuals in need. The proposed lodging house is desirable as it provides for an alternative form of housing for citizens seeking to stabilize their living situations.

3. The requested use will not create undue traffic congestion, or unduly impair pedestrian safety.

The creation of a lodging house will not create undue traffic congestion or unduly impair pedestrian safety. The proposed lodging house is adjacent to Route One and parking for the use is provided in the private parking lot across the private way. There are ten spaces located for this use in the parking lot. There will be access to and from Route One on the private way to the parking area thereby limiting some of the traffic which would otherwise use Pond Street to access the Property. The Applicant will be providing a Traffic Report to support this criteria.

4. The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the city will be unduly subjected to hazards affecting health, safety or the general welfare.

The proposed lodging house will have limited impact on the water and sewer system with an estimated usage of 1,100 gpd. However, that is based on a single family home use and in the instance of a lodging house, the bathroom facilities are shared and therefore have less use. All storm water runoff and treatment will meet the required storm water regulations. As a result, the public systems will not be overloaded and nothing about the lodging house will pose a hazard to the public health or safety.

5. Any special regulations for the use, set forth in the special permit table are fulfilled.

There are no special regulations for a lodging house use in the NZO.

6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

As has been previously stated, the location of the lodging house is tucked away in the corner of the cemetery bounded on one side by Route One. It is removed from the adjoining district by distance and topography. It will be operated by the YWCA which has a long and successful history in the City of Newburyport of providing quality alternative housing opportunities. There is nothing which is proposed on the Property which will impair the integrity of the district or adjoining districts. Again, to the contrary of being detrimental to the health or welfare of the district, the diverse housing will be beneficial to the health and welfare of the community.

7. The requested use will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood.

There will not be an excess of lodging houses in the neighborhood. Indeed there are no other lodging houses. While there is proposed a multifamily micro community on adjacent property it is not the same use. There will not be an excess of a lodging house use as the limitation on ten rooms is reasonable. Again, given its location there will be no detrimental impact on the neighborhood which is separated by the newly proposed development on adjacent property.

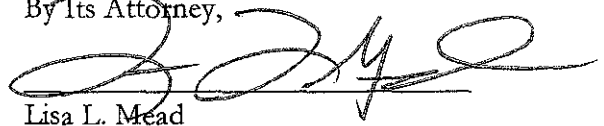
8. The proposed use is in harmony with the purpose and intent of this ordinance.

Once again, the lodging house use is allowed by special permit in the R3 District. Given the location of the Property and the uses surrounding it, its location in reference to the surrounding neighborhood and the proposed uses on adjacent properties, makes it in harmony with the purpose and intent of the ordinance as it is consistent with the surrounding uses in this area of the district. As noted previously the access to retail, commuter rail and the YWCA the proposed use is in harmony with the intent of the ordinance.

9. The proposed use shall not be conducted in a manner so as to emit any dangerous, noxious, injurious or otherwise objectionable fire, explosion, radioactive or other hazard, noise or vibration, smoke, dust, odor or other form of environmental pollution.

The construction and thereafter use of the lodging house will not itself create hazardous materials and transmissions. Proposed construction will be completed in a manner that is not dangerous, noxious or injurious, and it will not emit, noise, vibration, smoke, dust or odor or other form of environmental pollution

Respectfully submitted,
Hillside LLC.,
By Its Attorney,



Lisa L. Mead

cc: Client

OFFICE OF THE BUILDING COMMISSIONER/ZONING CODE ENFORCEMENT OFFICER

ZONING DENIAL

City APR#: 100

Name: HAN AND MOSCOW CORP.

Address: CONTRACT. EXT. MAP 35 Parcel 120 Zoning District: R-111

Request: CONSTRUCT (10) UNIT LODGING HOUSE w/ SETBACK VARIANCES,
SPECIAL PERMIT FOR USE, MAJOR SITE PLAN REVIEW

☒ ZONING BOARD

Dimensional Variance

☒ Dimensional Controls (VI)

☒ Lot Area ☐ Open Space ☒ Front Yard
☒ Lot Frontage ☐ Height ☒ Side Yard
☐ Lot Coverage ☐ Lot Width ☐ Rear Yard

☐ PIOD (XXI)

☐ FAR
☐ 2 1/2 stories

☐ Parking (VII)

Use Variance

☐ Not permitted use (V)

Sign Variance

☐ Sign Location/Replacement (VIII-D)

Special Permit

☒ Special Permit for Use (V.D) Use #: 1010
☐ Spacing (VI.D)
☐ In-Law Apartment (XIIA)
☐ Bonus for Multifamily Developments (XVI)
☐ Personal Wireless Communication Services (XX)
☐ Demolition Control Overlay District (XXVIII)
☐ Wind Energy Conversion Facilities (XXVI)

Special Permit for Non-Conformities

☐ Extension or Alteration (IX.B.2)
☐ Parking ☐ Rear Yard
☐ Upward Extension ☐ Lot Coverage
☐ Open Space ☐ Side Yard
☐ Height ☐ Lot Frontage
☐ Lot Area ☐ Front Yard
☐ Over 500 s.f. increase (IX.B.3.c)
☐ Plum Island Overlay District (XXI-G-3)
☐ FAR
☐ Footprint Expansion
☐ Height Increase

☒ PLANNING BOARD

Special Permit

☐ One residential structure per lot (VI.C)
☐ Floodplain (XIII)
☐ Open Space Residential Development (XIV)
☐ Water Resource Protection District (XIX)
☐ Federal Street Overlay District (XXII)

☐ Courts and Lanes (XXIII)
☐ Waterfront West Overlay District (XXIV)
☐ Towle Complex Redev. Overlay District (XXV)
☐ Downtown Overlay District (XXVII)

Site Plan Review (XV)

☒ Major ☐ Minor

☐ HISTORICAL COMMISSION

☐ Demo. Delay ☐ Advisory Review

☐ CONSERVATION COMMISSION

☐ CITY COUNCIL

☐ GACM (X.H.9)

11/18/15
Date

Patricia Blagovest
Building Commissioner/Zoning Code Enf. Officer

BLATMAN, BOBROWSKI, MEAD & TALERMAN, LLC

ATTORNEYS AT LAW

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FAX 508.376.8440

November 5, 2015

Gary Calderwood
Building Inspector
City of Newburyport
60 Pleasant Street
Newburyport MA 01950

RE: Cottage Court Extension / Route One
Southern Portion of Map 35 Parcel 120 (south) (the "Property")
Denial Request

Dear Gary;

Reference is made to the above captioned matter. In that connection, this firm represents Hall and Moskow Corp., (the "Applicant") who along with the YWCA of Newburyport are developing the Property which is located in the R-3 zoning district. The parties are proposing to develop the Property as a Lodging House to service individuals being served by the YWCA. The Property consists of 8,515 square feet and includes 105.44 feet of frontage on Route One. The Applicant proposed to locate the structure, given the topography of the Property, so that there is a front yard setback of 7.5 feet, side yard setbacks of 40 and 7 feet and a rear yard setback of 11 feet. There is proposed to be ten units consisting of private bedrooms with common living, bathroom and kitchen facilities.

Section VI of the Newburyport Zoning Ordinance ("NZO") requires 20,000 square feet of area for a lodging house in the R-3 District. Additionally, the NZO requires 120 feet of frontage, with a 20 foot setback for front side and rear. Section V-D(1) use 106 is allowed in the R-3 district by special permit. Please note, in accordance with Section VII-A(2) of the NZO the parking required for the Lodging House will be provided on adjacent property within 300 feet of the Property and the required 10 parking spaces will be provided.

In order to proceed with the proposed development the Applicant requires the following relief:

RECEIVED

NOV 06 2015

CITY OF NEWBURYPORT
BUILDING DEPARTMENT

- Section X-H(6) - Variance for lot area, frontage, side and front setbacks.
- Section X-H(7) Special Permit for use.
- Major Site Plan Review under Section XV-C(a)

Please let me know if you have any questions.

~~Very truly yours,~~

A handwritten signature in black ink, appearing to read 'Lisa L. Mead', written over the crossed-out text.

Lisa L. Mead

cc: Client

18 COTTAGE CT**Location** 18 COTTAGE CT**Assessment** \$6,300**Mblu** 35/ 120/ //**PID** 2064**Owner** HALL & MOSKOW CORP**Building Count** 1**Current Value**

Assessment			
Valuation Year	Improvements	Land	Total
2015	\$0	\$6,300	\$6,300

Owner of Record

Owner HALL & MOSKOW CORP
Co-Owner
Address 75 WATER ST STE 503
 NEWBURYPORT, MA 01950

Sale Price \$0
Certificate
Book & Page 30377/0467
Sale Date 04/29/2011
Instrument 1F

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
HALL & MOSKOW CORP			30377/0467	1F	04/29/2011
HALL & MOSKOW CORP	\$355,000		29959/0455	1V	11/12/2010
HART MICHAEL J & LORNA HILLER TRS			28209/0182	1F	12/22/2008
HILLER BRUCE W	\$0		5147/ 193		

Building Information**Building 1 : Section 1****Year Built:****Living Area:** 0

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Stories:	
Occupancy	
Exterior Wall 1	
Exterior Wall 2	
Roof Structure:	
Roof Cover	

Building Photo

(<http://images.vgsi.com/photos/NewburyportMAPhotos//default>)

Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	

Building Layout☒ Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land**Land Use**

Use Code 1320
Description RES ACLNUD
Zone R3

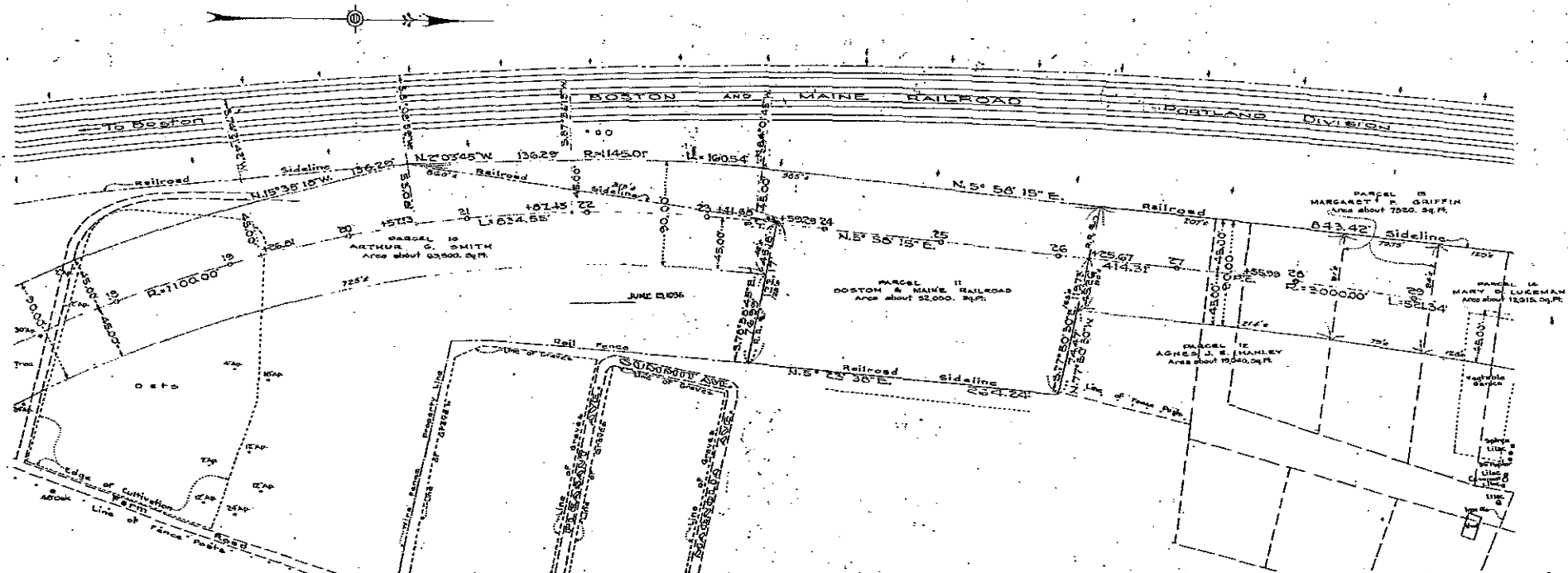
Land Line Valuation

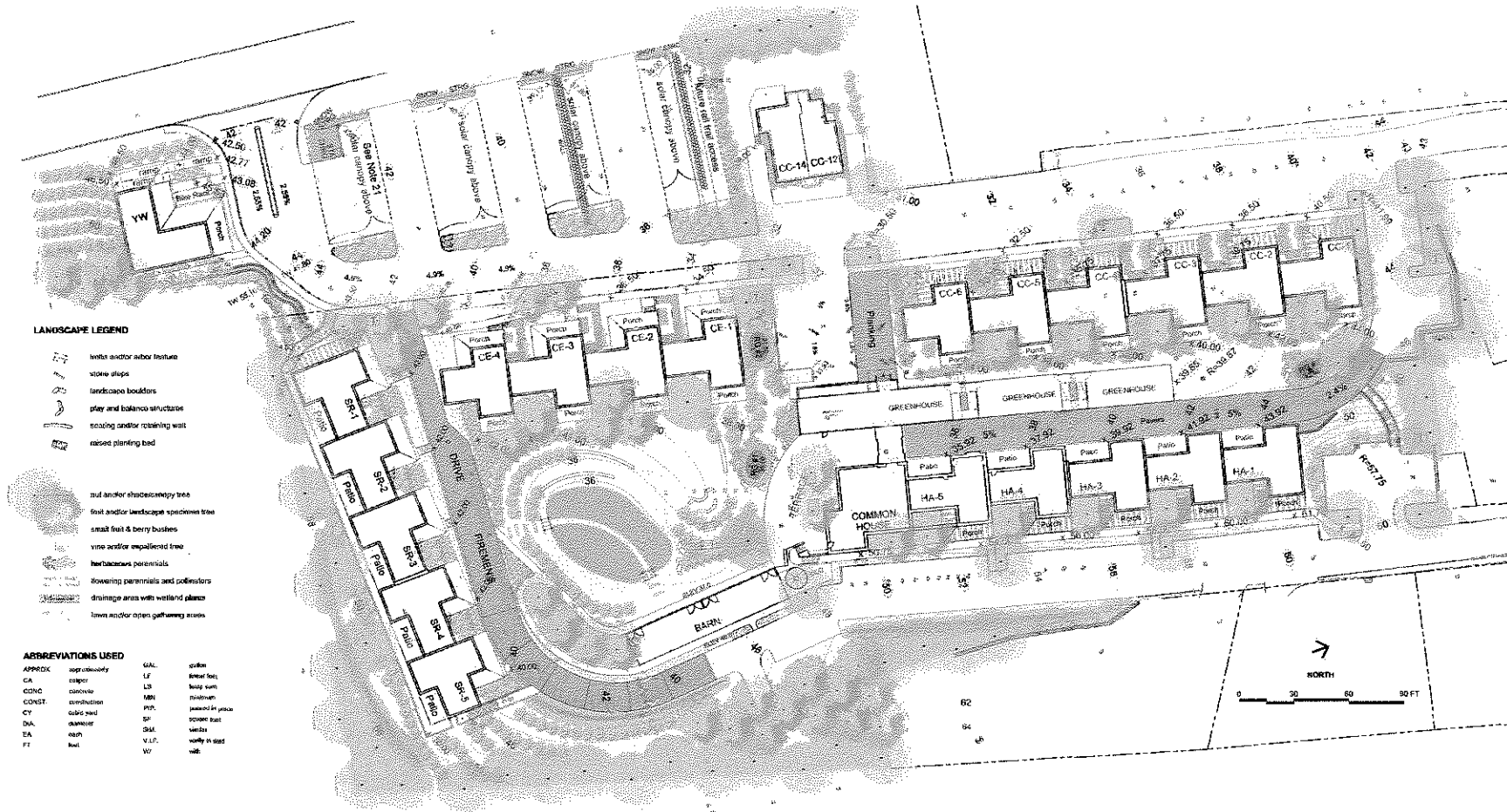
Size (Acres) 0.35
Depth 0
Assessed Value \$6,300

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

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ILLUSTRATIVE LANDSCAPE PLAN (provided by WSD)

HILLSIDE - CENTER FOR SUSTAINABLE LIVING

NEWBURYPORT, MA

OWNER	DEVELOPER	ARCHITECT	CIVIL ENGINEER	LANDSCAPE & PERMACULTURE	SOLAR ENGINEER	TRAFFIC ENGINEER	ATTORNEY OF RECORD
Hillside Living LLC 2 Federal Street Newburyport, MA 01950 978.465.7047	Hall & Moskow 75 Water Street Newburyport, MA 01950 978.465.7047	Moskow Linn Architects 88 Broad Street Boston, MA 02110 617.292.2000	Westcott Site Services 60 Prospect Street Boston, MA 02453 781.647.0062	Whole Systems Design 66 Dean's Mountain Road Moretown, VT 05660 802.496.3128	Solar Market 25 Limerick Road Arundel, ME 04046 207.985.0088	MDM Transportation Consultants 28 Lord Road Marlborough, MA 01752 508.303.0370	Lisa L. Mead Blatman, Bobrowski, Mead & Talerman 30 Green Street Newburyport MA 01950

GENERAL NOTES

1. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES. INCLUDING BUT NOT LIMITED TO, THE MASSACHUSETTS STATE BUILDING CODE (8th ADDITION), MASSACHUSETTS FUEL, GAS AND PLUMBING CODES, MASSACHUSETTS ELECTRICAL CODE, OSHA REGULATIONS, ORDINANCES OF THE CITY OF NEWBURYPORT, AND THE REQUIREMENTS OF THE NEWBURYPORT FIRE DEPARTMENT.
2. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL DIMENSIONS. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL CONDITIONS AFFECTING THE WORK. ANY CONDITIONS FOUND THAT ALTER OR OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
3. THE CONTRACTOR SHALL COORDINATE THE WORK SHOWN ON THESE DRAWINGS WITH WORK OF ALL TRADES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) AND BRING ANY CONFLICT TO THE ATTENTION OF THE ARCHITECT.

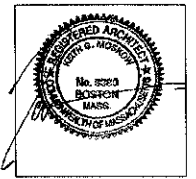
DRAWING LIST

- A0.0 COVER SHEET & GENERAL NOTES
- C-0 EXISTING TOPOGRAPHIC PLAN
- C-1 EROSION CONTROL PLAN
- C-2 LAYOUT PLAN
- C-3 PROPOSED GRADING PLAN
- C-4 PROPOSED DRAIN PLAN
- C-5 PROPOSED SEWER, WATER, & ELEC PLAN
- A1.1 YWCA FLOOR PLANS
- A1.2 YWCA ELEVATIONS

11.16.2015	PERMIT SET
------------	------------

SCALE: NTS	DATE: 11.16.2015	DRAWN BY: DF
------------	------------------	--------------

MOSKOW LINN ARCHITECTS, INC.
88 BROAD STREET, BOSTON, MA 02110
Tel. 617.292.2000 Fax. 617.426.4701
WWW.MOSKOWLINN.COM



Hillside - Center for Sustainable Living
NEWBURYPORT, MA
COVER SHEET - YWCA

A0.0

THIS PLAN IS THE RESULT OF A LIMITED TOPOGRAPHIC SURVEY (AREA WITHIN THE LIMIT LINE AS DEPICTED HEREON) AND A COMPILATION OF A PREVIOUS FIELD SURVEY BY OTHERS (SEE PLAN REFERENCE #1).

2. THIS PLAN IS PREPARED FOR OUR CLIENT USE ONLY FOR THE SPECIFIC PURPOSE OF OBTAINING PERMITS AND LOCAL APPROVALS, AND IS NOT TO BE USED OR RELIED UPON AS A CONSTRUCTION DOCUMENT OR ANY OTHER USE BY OTHERS WITHOUT THE WRITTEN CONSENT OF DGT.

3. THE VERTICAL DATUM IS NAD 88 AS DERIVED FROM PLAN REFERENCE #1 AND CONFIRMED BY GPS OBSERVATIONS

4. THE UTILITIES DEPICTED HEREON ARE DERIVED FROM PLAN REFERENCE #1 AND HAVE NOT BEEN CONFIRMED BY DGT

1 ESSEX COUNTY REGISTRY OF DEEDS
DEED BOOK 28209 PAGE 182

- I HEREBY CERTIFY THAT:

THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE _____

4 HILLSIDE STREET
ASSESSOR'S MAP 35 LOT 110

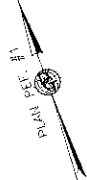
NEWBURYPORT, MASSACHUSETTS
ESSEX COUNTY

PREPARED BY:

A DIVISION OF DIGITAL GEOGRAPHIC TECHNOLOGIES, INC.

18 CENTER STREET
TEL: 938-453-9993

RT, MA
www.dqisurvey.com



0 20 40 80

SCALE IN FEET

1" = 40'

DATE	DESCRIPTION	AMOUNT
10/1/20
10/2/20
10/3/20
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BRICK	CAPE	COD	HRM	FENCE	CONCRETE	CORNER	CATCH	BASIN	DRILL	MANHOLE	EDGE	PAVEMENT	FOUND	GAS	GATE	HAND	R/H/F	LIGHT	PYR	SLOPED	GRANITE	CURB	SEWER	MAHOLE	UNDERGROUND	OVERHEAD	WIRES	WATER	GRANITE	CUSHION	DEED	BOOK	PAGE	ASST	THE	XXXXXXXX	PG15
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DEED BOOK / PAGE AS RECORDED IN
THE XXXXXXXX REGISTRY OF DEEDS

DECIDUOUS TREE

CONIFER
SHRUB

WATER LINE

GAS LINE
ELECTRIC LINE

3M17 83M75

WET DRY : 100%
DRAIN LINE

FEMA FLOOD Z

MENT DOCT

MELISSA

NOTES

STANDARD 8 - CONSTRUCTION PERIOD CONTROLS
STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

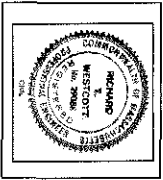
- Spill management and emergency procedures:
- If a hazardous material spill occurs, or other environmental hazard, the Fire Department shall be called.
 - The responsibility for the cleanup will be upon the entity that caused the hazard. That entity shall immediately engage a qualified Environmental Cleanup Company to remove the hazard.
- Principles:
- The total area of exposed earth shall be kept to the practical minimum.
 - No earth shall be left exposed when heavy rain is expected. All disturbed areas shall be stabilized with temporary jute mats or equal. If the permanent surface will not be exposed within 72 hours.
- Schedule of Activities:
1. The General Contractor shall be contacted when shown. There is intended to minimize the loading of dirt off the site and to ensure that the site is stabilized and the erosion control measures are maintained throughout the major construction, and be removed only when the major site construction is completed.
2. Silt fences shall be placed, and used as a protected Staging Area.
3. The silt fences shall be placed, as shown at a minimum, with additional fences placed as needed.
4. Construction shall be placed and located as shown on Sheet C-1. It shall be surfaced with water course gravel.
5. The Sediment Trap shall be constructed where shown.
6. The Construction Office and Staging Area will be set up.
7. The materials of the construction activities can then commence.
- The General Contractor shall conduct the following routine inspections:
- Any dewatering that is necessary shall be directed into perforated barrels lined with filter fabric, or other effective soil filters.
 - After every major rain event, and at least weekly:
 - o Integrity of the erosion control fence, making repairs and adjustments as necessary.
 - o Probe the property line, and remove any trash and debris that has traveled off the site.
 - o Check a month. Measure sediment depth in the sediment traps. Sediment shall be removed when it has reached 12" deep.
 - The General Contractor shall maintain the SWPPP Checklist, contained in the Project Manual, on file.
 - The General Contractor shall maintain the SWPPP Checklist, contained in the Project Manual, on file.
 - At the substantial complete stage:
 - o All materials and debris shall be removed to ensure they are clear of debris.
 - o Silt fences and other temporary controls shall be removed from the site.



Date	Issue

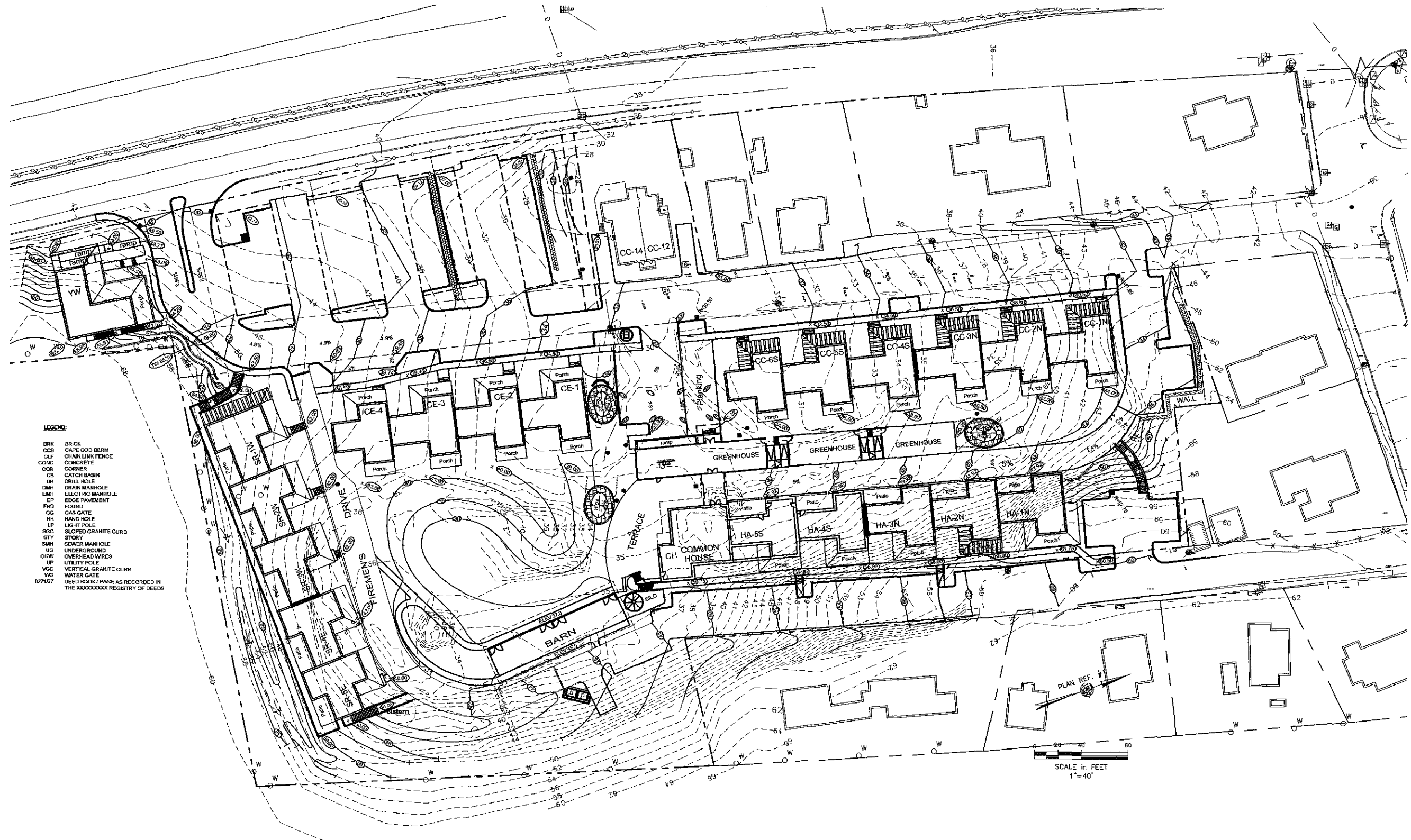
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DATE:	11-16-15
DRAWN BY:	RTW

MOSKOW LINN ARCHITECTS, INC.
88 BROAD STREET, BOSTON, MA 02110
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Hillside Center for Sustainable Living
NEWBURYPORT MA 01950
Erosion Control Plan

C-1



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 NEWBURYPORT MA 01950
Proposed Grading Plan

SCALE:	1" = 30'
DATE:	11-16-15
DRAWN BY:	RTW
Date	
Issue	

PROPOSED WORK LEGEND:

- WATER OR GAS GATE
- DRAIN
- CLEANOUT TO GRADE
- TRANSFORMER ON CONCRETE PAD
- BOLLARD - SEE ELEC PLANS
- DMH
- DRAIN MANHOLE
- FIRE HYDRANT & GATE VALVE

NOTES:

- SEE SHEET C-0 FOR ADDITIONAL NOTES.
- THIS SITE IS NOT IN A FEMA FLOODPLAIN.
- ELEVATIONS ARE REFERENCED TO NAVD 1988 AS DETERMINED BY MTS GNSS NETWORK.
- UTILITY LOCATIONS ARE TAKEN FROM DIG SAFE MARKINGS AND SURFACE OBSERVATIONS. CONTRACTOR SHOULD CONTACT DIG SAFE AND SPECIFIC UTILITY COMPANIES BEFORE BEGINNING EXCAVATIONS.
- ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD INFORMATION, AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS WILL VARY, AND MUST BE DETERMINED IN THE FIELD BY THE CONTRACTOR. IT IS POSSIBLE THAT THERE ARE EXISTING UNDERGROUND UTILITIES AND STRUCTURES THAT ARE NOT SHOWN.
- BEFORE EXCAVATIONS, ALL UTILITIES MUST BE NOTIFIED (SEE MGL CHAPT. 82, SEC. 40B, CONTRACTOR TO NOTIFY "DIG SAFE" AT 1-888-344-7233 BEFORE BEGINNING WORK).
- SPOT GRADES ARE TO BE BLENDED IN A UNIFORM MANNER TO THE ADJACENT SPOT GRADE OR CONTOUR.
- ALL DISTURBED AREAS ARE TO BE STABILIZED BY THE CONSTRUCTION OF HARD SURFACES, OR PLANTINGS.
- EACH PLAN IS PART OF A SET OF DRAWINGS AND SPECIFICATIONS, AND IS NOT TO BE USED AS A SOLE SOURCE OF INFORMATION.
- THIS DRAWING IS NOT INTENDED FOR CONSTRUCTION UNTIL ISSUED FOR CONSTRUCTION BY WESTCOTT SITE SERVICES.
- WESTCOTT SITE SERVICES IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION, NOR FOR THE SAFETY OF THE CONTRACTOR'S WORKERS AND THE PUBLIC, NOR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- NO PART OF THIS DRAWING MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM WITHOUT THE CONSENT OF WESTCOTT SITE SERVICES. EXCEPT THAT ANY REGULATORY AUTHORITY MAY REPRODUCE AND DISTRIBUTE COPIES AS REQUIRED IN THEIR OFFICIAL FUNCTION.
- ANY MODIFICATIONS TO THIS DRAWING WITHOUT THE APPROVAL OF WESTCOTT SITE SERVICES SHALL RENDER IT VOID AND UNUSABLE.
- AT ALL LOCATIONS WHERE NEW PAVEMENT WILL MEET EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE CUT BACK TO A CLEAN, UNBROKEN LINE. THE NEW EDGE SHALL BE PAINTED WITH BITUMEN, AND A SMOOTH MATCH SHALL BE MADE.
- UNLESS WHERE NOTED OTHERWISE, THE SITE SHALL BE GRADED TO ELIMINATE POCKETS OF STANDING WATER. ALL AREAS SHALL BE GRADED TO DRAIN.
- THE CONTRACTOR SHALL PROVIDE PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION AS NEEEDED.
- ALL DIMENSION LINES ARE PARALLEL OR PERPENDICULAR TO THE STRUCTURES THEY IDENTIFY.
- ACCESSIBLE RAMPS SHALL MEET THE REQUIREMENTS OF BOTH THE MASSACHUSETTS STATE CODE AND THE FEDERAL ADA GUIDELINES.
- THE CONTRACTOR SHALL ENGAGE A LAND SURVEYOR OR CIVIL ENGINEER REGISTERED IN THE COMMONWEALTH OF MASSACHUSETTS TO CONTROL THE SETTING OF CONSTRUCTION CONTROL STAKES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK WITH ADDED DETAIL FOR UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, AND CONNECTIONS. SUCH INFORMATION SHALL INCLUDE APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR OTHER METHOD OF ESTABLISHING THE AS-BUILT LOCATION.

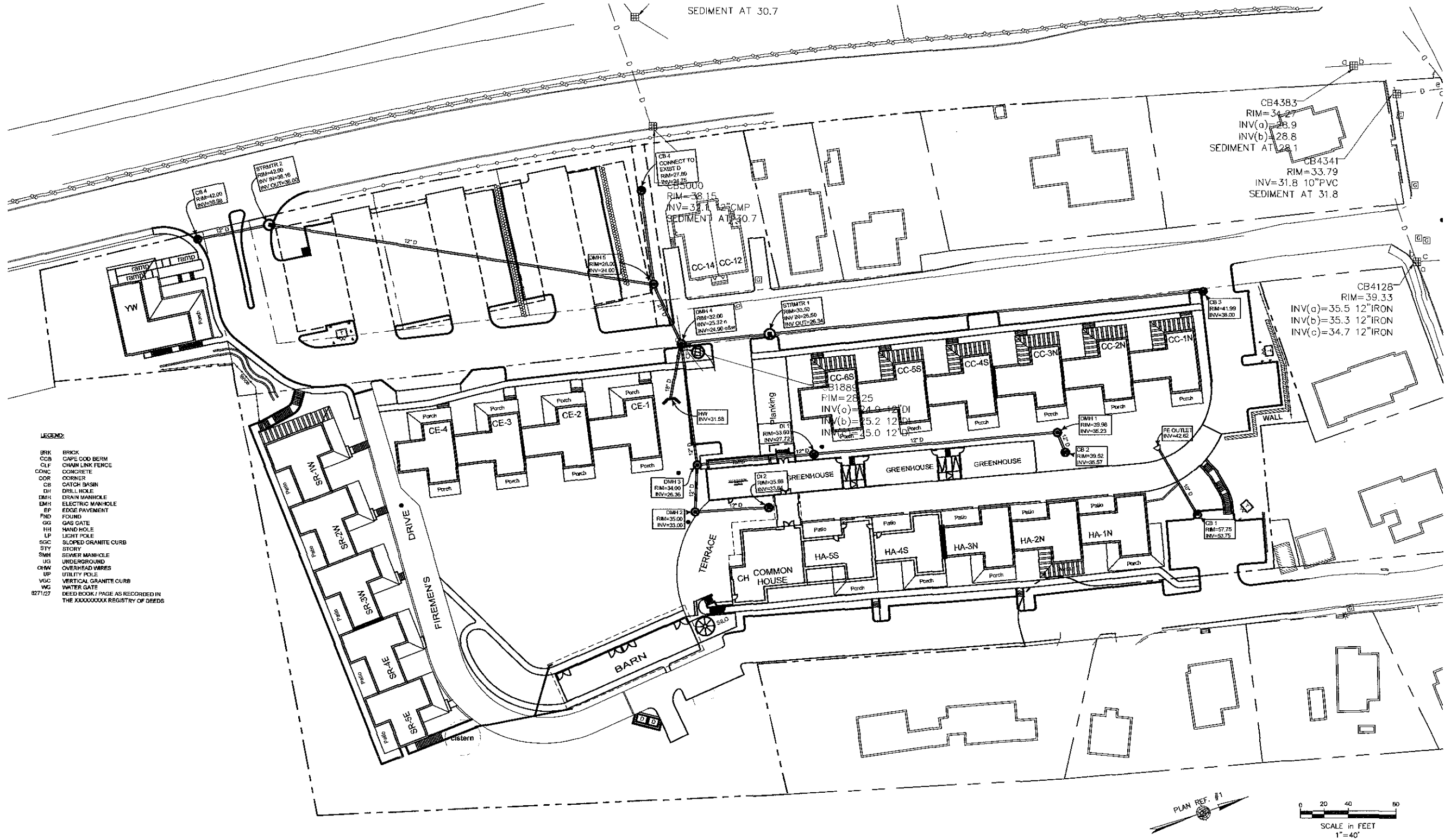
Issue	Date

SCALE: 1" = 30'	DATE: 11-16-15	DRAWN BY: RTW
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NEWBURYPORT MA 01950
Proposed Drain Plan

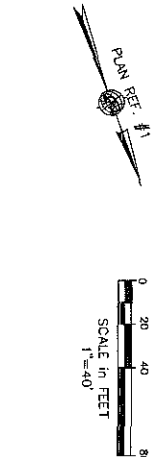
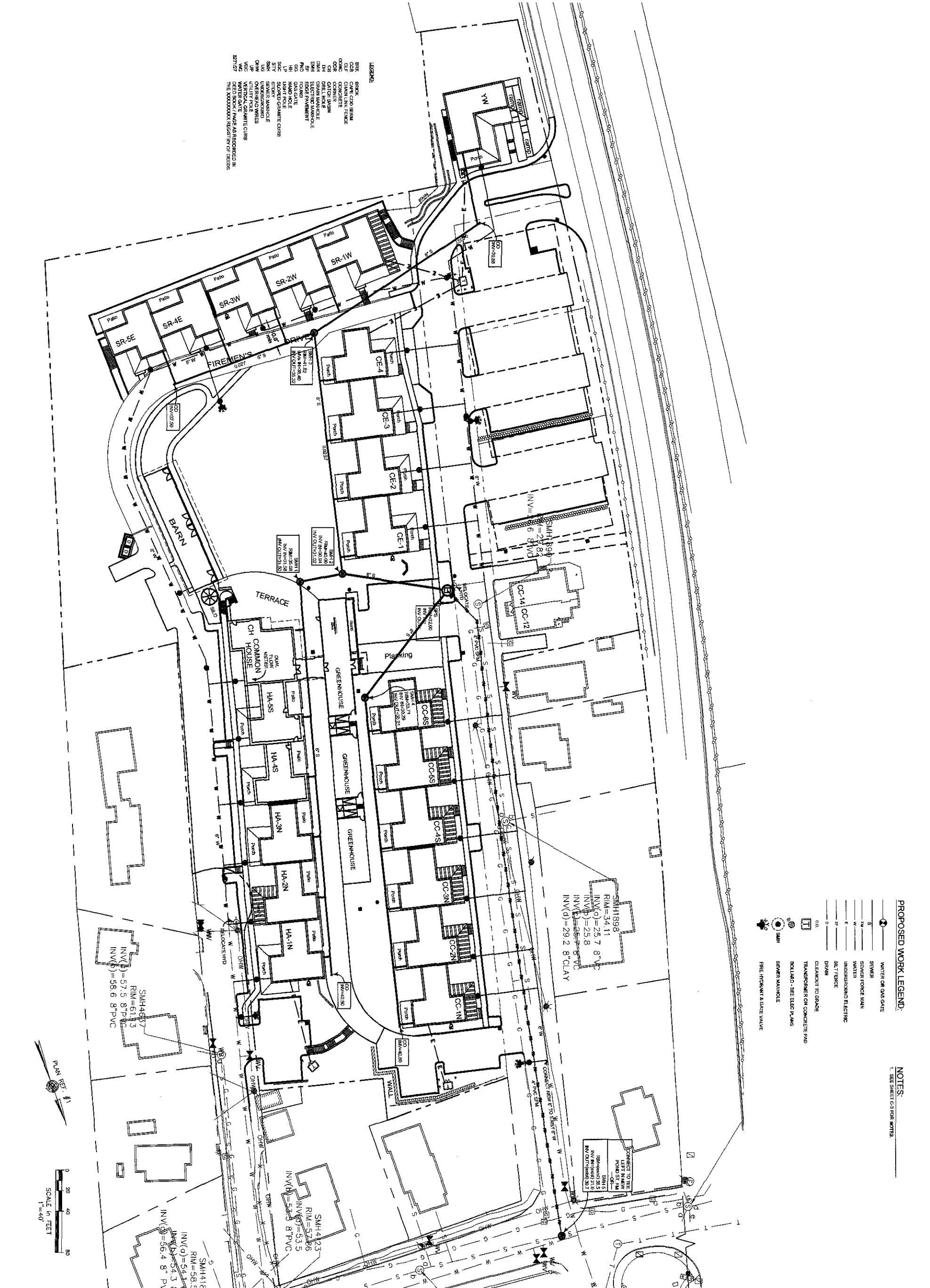


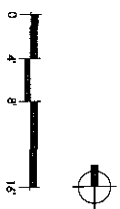
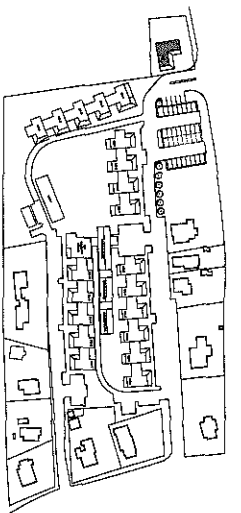
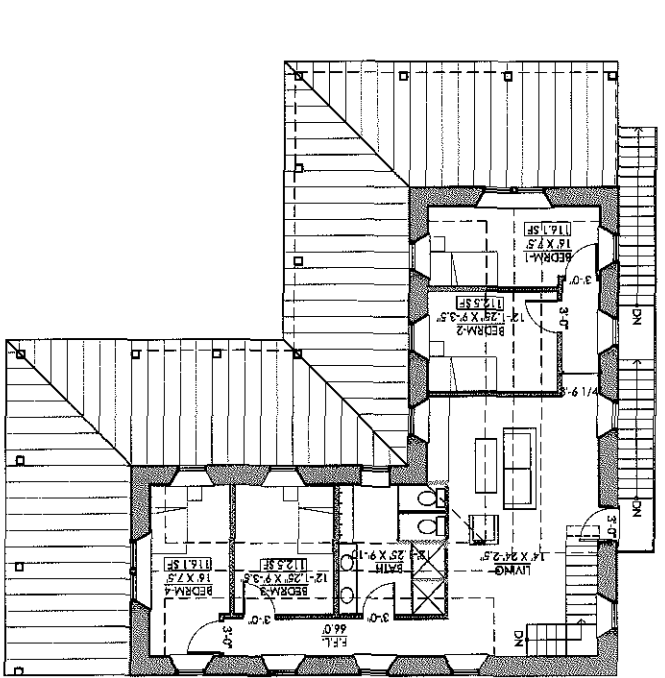
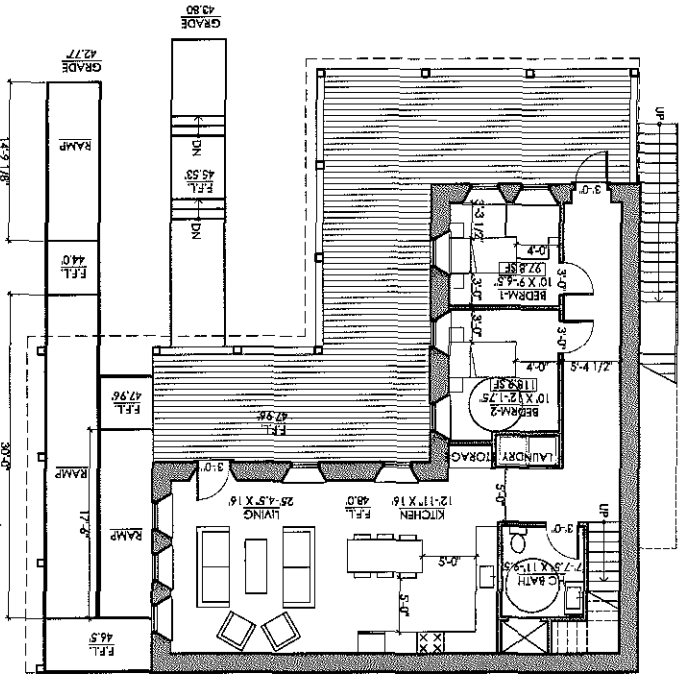
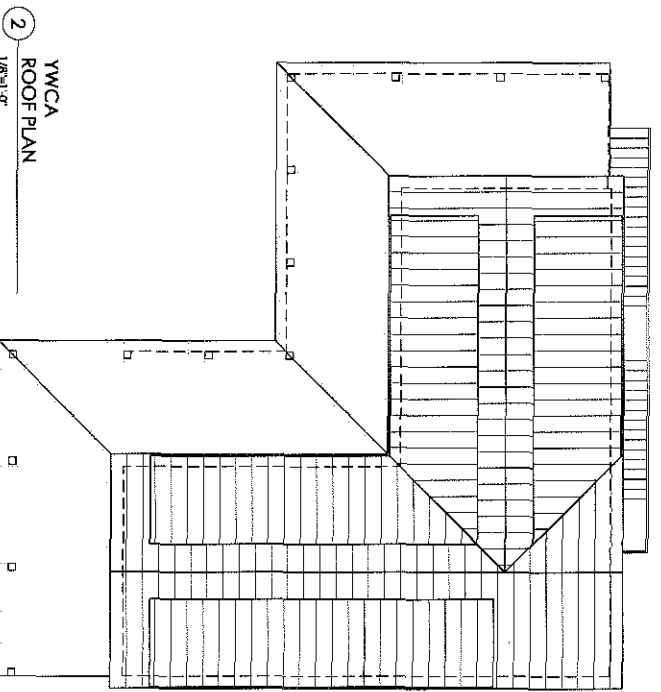
- LEGEND:
- BRK BRICK
 - CB CATCH BASIN
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - COR CORNER
 - CS CATCH BASIN
 - DH DRILL HOLE
 - DMH DRAIN MANHOLE
 - DMH ELECTRIC MANHOLE
 - EP EDGE PAVEMENT
 - FND FOUND
 - GG GAS GATE
 - HH HAND HOLE
 - LP LIGHT POLE
 - SGC SLOPED GRANITE CURB
 - STY STORY
 - SMH SEWER MANHOLE
 - UG UNDERGROUND
 - OWH OVERHEAD WIRES
 - UP UTILITY POLE
 - VGC VERTICAL GRANITE CURB
 - WG WATER GATE
 - DEED BOOK / PAGE AS RECORDED IN THE XXXXXXXXX REGISTRY OF DEEDS 027/27





Date	Issue





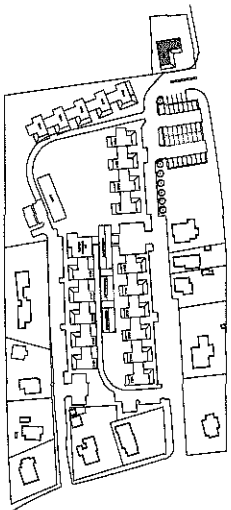
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NEWBURYPORT, MA
YWCA UNITS

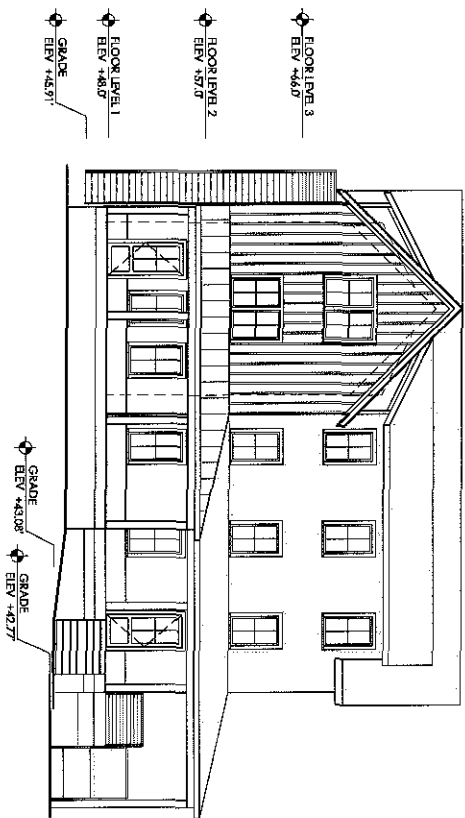


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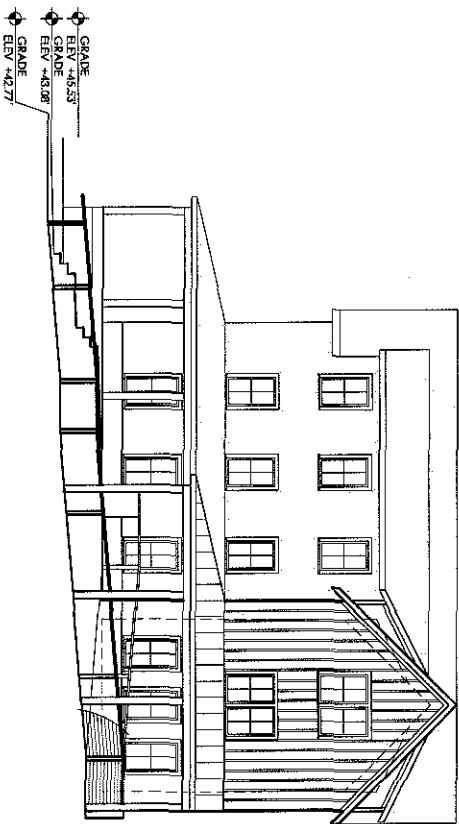
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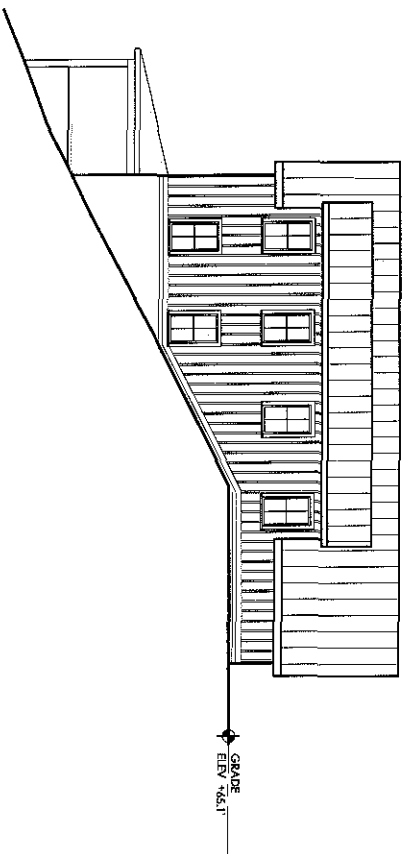
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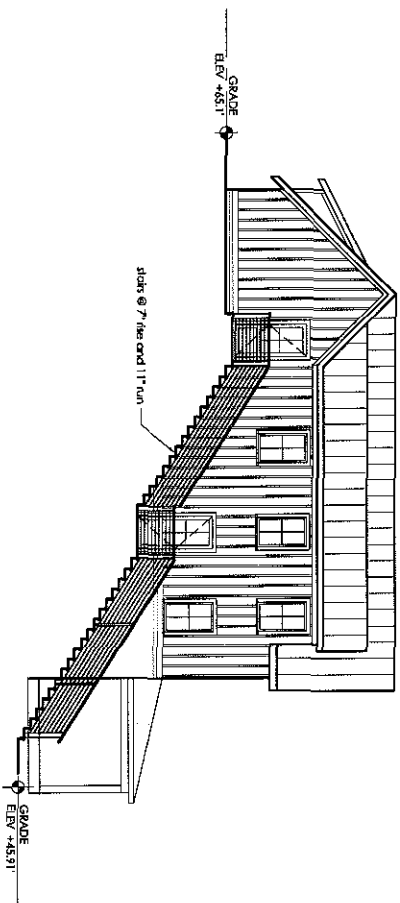
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YWCA
NORTH ELEVATION



2
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YWCA
WEST ELEVATION



3
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SOUTH ELEVATION



4
1/8"=1'-0"
YWCA
EAST ELEVATION



A1.2

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NEWBURYPORT, MA

YWCA - DRAFT



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11.16.2015	PERMIT SET