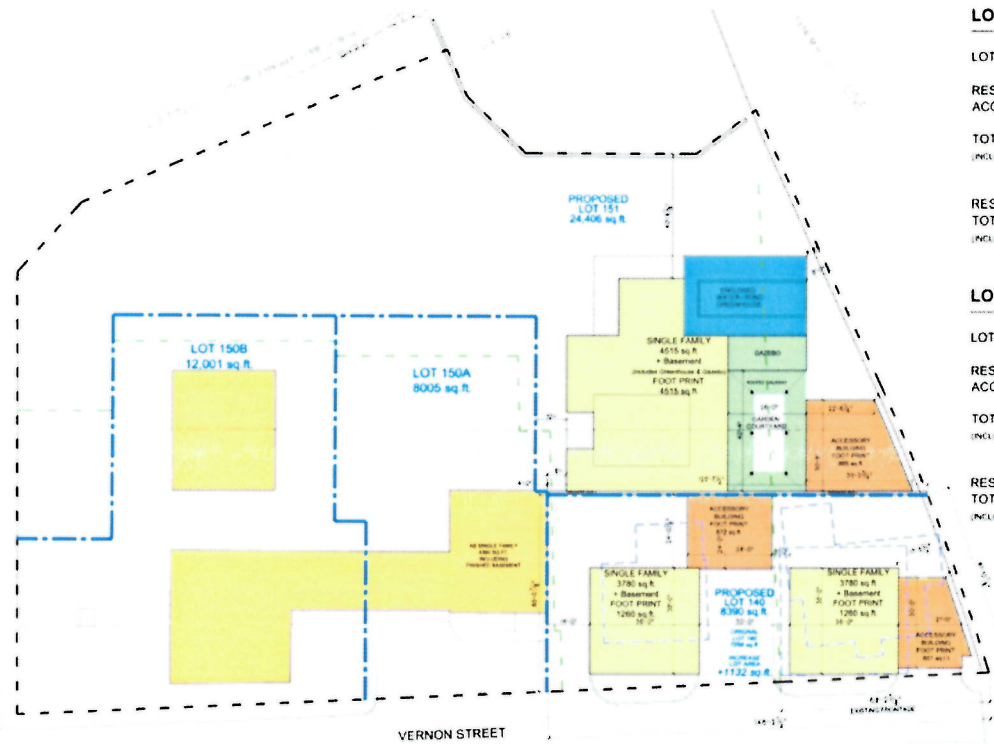


# Approved VI-C Special Permits

January 13, 2020

<u>Address</u>	<u>Meeting Date</u>	<u>Public Benefit</u>
3-5 Vernon Street	09/15/04	not required by ordinance
73 Federal Street and 2 Foster Court	10/10/04	not required by ordinance
346 High Street	10/20/04	not required by ordinance
11 Walnut Street	10/20/04	not required by ordinance
144 State Street	02/16/05	not required by ordinance
52 Olive Street	02/16/05	not required by ordinance
104 State Street	04/06/05	not required by ordinance
19-21 Ashland Street	09/21/05	not required by ordinance
13 Bromfield Street	11/02/05	not required by ordinance
8 Ocean Avenue	03/01/06	not required by ordinance
43-45 Green Street	01/03/07	not required by ordinance
87 High Street	05/02/07	not required by ordinance
16 Woodland Street	07/18/07	not required by ordinance
36 North Atkinson Street	12/05/07	Preservation Restriction
9 Orange Street	01/20/10	Preservation Restriction
386 Merrimac Street	02/03/10	\$15K donation to AHT, sidewalks
251 Merrimac Street	06/15/11	\$15K donation to AHT, Preservation Restriction
Russell Terrace Extension	07/06/11	2 units of affordable housing
1-3 Parker Street	03/07/12	\$13K donation to AHT
53 Spofford Street	08/01/12	\$36,750 donation to AHT
2 Mechanics Court	02/06/13	1 affordable unit
8 Oakland Street	04/01/15	Preservation Restriction, sidewalks, street trees
4 Hillside Ave. and 15, 16, 17, 18, and 19 Cottage Court	03/02/16	Affordable housing
190 High Street	09/07/16	Preservation Restriction
496 Merrimac Street	12/14/16	Preservation Restriction
2 Parker Street and 151-155 State Street	09/20/17	3 units of affordable housing, partial rail trail construction

**ZONING DISTRICT**  
RESIDENCE III (R3)



**LOT 140**

LOT AREA	8390 sq ft
RESIDENCES FOOT PRINT AREA (TOTAL)	2520 sq ft
ACCESSORY BUILDINGS FOOT PRINT AREA	1273 sq ft
TOTAL FOOT PRINT AREA (INCLUDING RESIDENCES & ACCESSORY STRUCTURES)	3793 sq ft
RESIDENCES LOT COVERAGE	30.0 %
TOTAL LOT COVERAGE (INCLUDING RESIDENCES & ACCESSORY STRUCTURES)	45.2 %

**LOT 151**

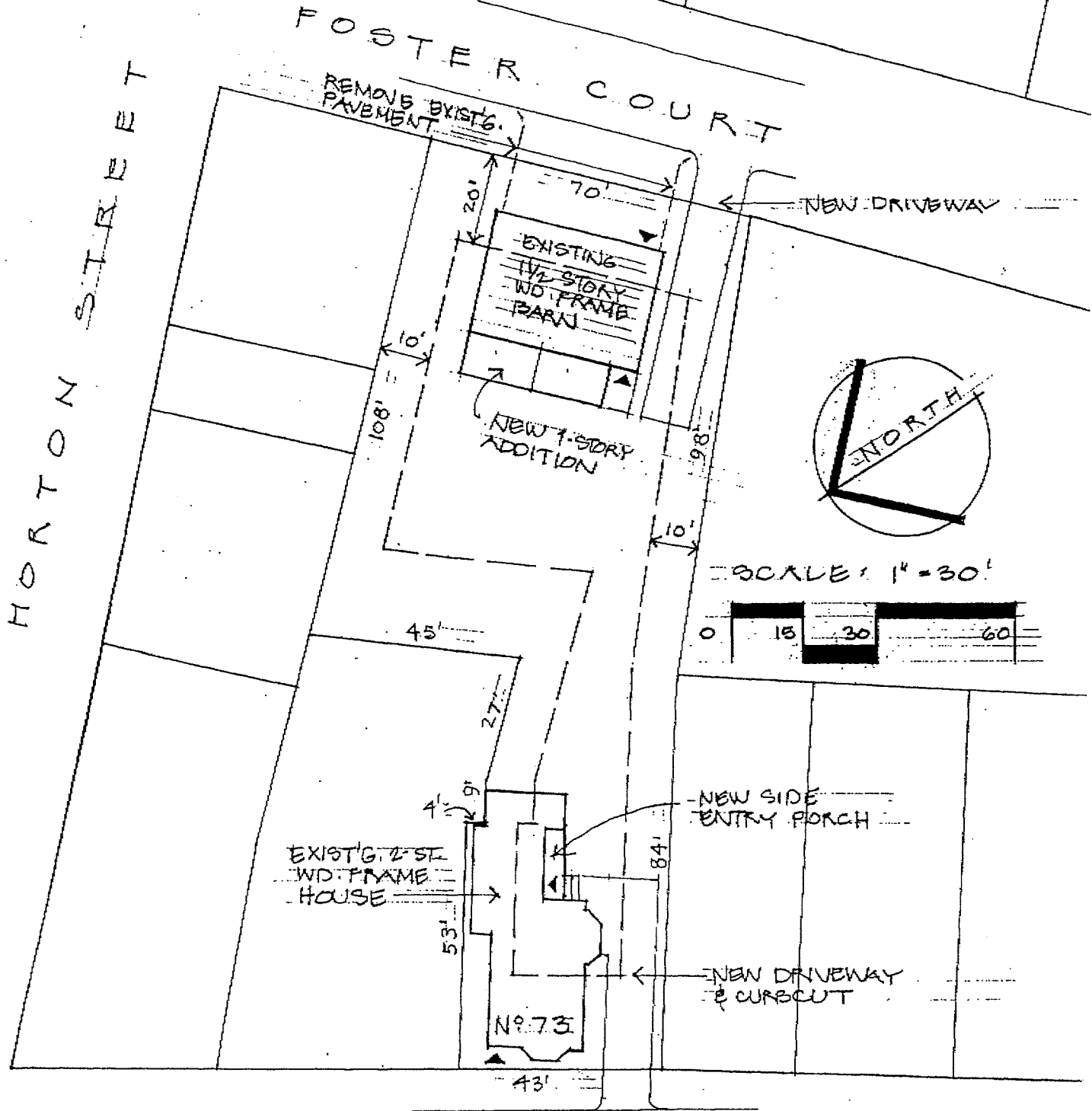
LOT AREA	24406 sq ft
RESIDENCES FOOT PRINT AREA (TOTAL)	4515 sq ft
ACCESSORY BUILDINGS FOOT PRINT AREA	885 sq ft
TOTAL FOOT PRINT AREA (INCLUDING RESIDENCES & ACCESSORY STRUCTURES)	5400 sq ft
RESIDENCES LOT COVERAGE	18.5 %
TOTAL LOT COVERAGE (INCLUDING RESIDENCES & ACCESSORY STRUCTURES)	22.1 %



Scale: 1/32" = 1'-0"

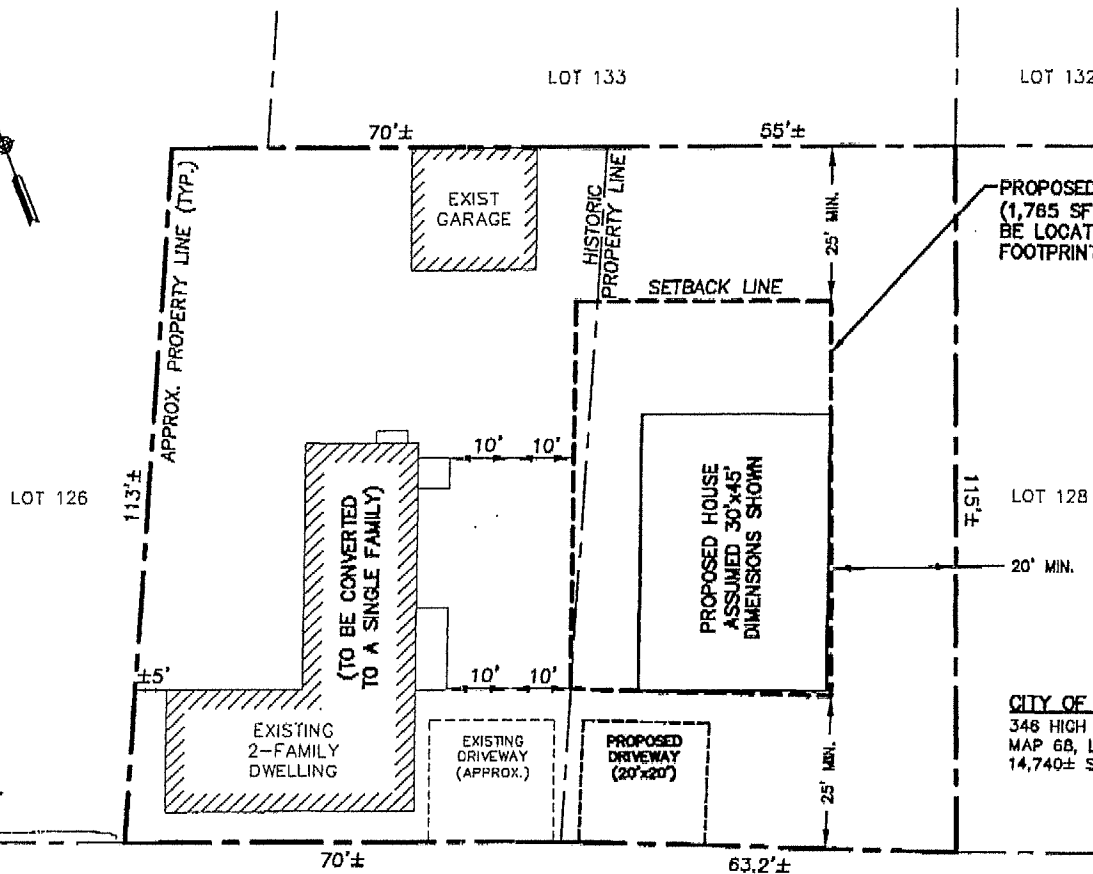
**PROPOSED PROPERTY DIVISION**  
September 10, 2004 V-22A

WILLIAM MARCH ARCHITECT  
29 GREEN STREET SUITE 3  
NEWBURYPORT, MA 01950 978.462.8868



FEDERAL STREET

PROPOSED DEVELOPMENT OF 73 FEDERAL ST, NBPT,  
FOR JAMES MELLETT  
14 JULY 2004



PROPOSED SINGLE FAMILY RESIDENCE (1,765 SF MAX. BUILDING AREA) TO BE LOCATED WITHIN SETBACK FOOTPRINT SHOWN

**CITY OF NEWBURYPORT ASSESSOR'S INFORMATION:**  
 346 HIGH STREET  
 MAP 6B, LOT 127  
 14,740± S.F., 0.338 AC



2/10/04

**HIGH STREET**  
 (TO ASHLAND STREET)---

**ZONING TABLE: RESIDENTIAL II (TWO-FAMILY)**

	REQUIRED	EXISTING	PROPOSED (1.)
MINIMUM LOT AREA	15,000 sf	14,740± sf.	14,740± sf. (2.)
MINIMUM LOT FRONTAGE	120'	133.2'	133.2'
BUILDING LOT COVERAGE	25%	13.0%	25.0%
MAXIMUM BUILDING HEIGHT	35'	<35'	<35'
MINIMUM OPEN SPACE	1,000 sf	12,720 sf	10,955 sf
FRONT YARD SET BACK	25'	10'±	25'
REAR YARD SETBACK	25'	48'±	25'
EXT. SIDE YARD SETBACK	20'	5'±	20'
INT. SIDE YARD SETBACK	10'	N/A	10'

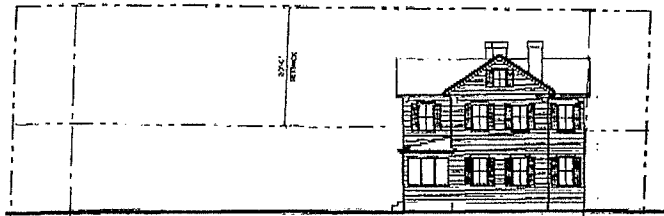
(1.) PROPOSED DIMENSIONS ARE BASED ON THE PROPOSED HOUSE WITH MAXIMUM BUILDING AREA OF 1,765 SF.

(2.) SUBJECT LOT IS EXISTING NONCONFORMING WITH THE CITY OF NEWBURYPORT ZONING ORDINANCES AS AMENDED THROUGH JULY 9, 2001.

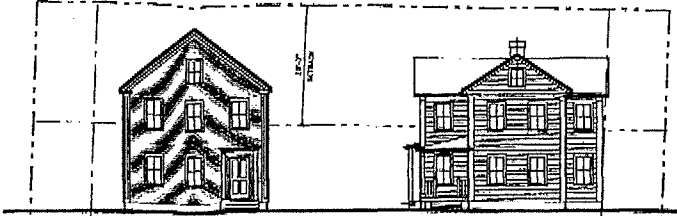
- NOTES:**
1. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE APPROXIMATE IN NATURE AND BASED ON THE TOWN OF NEWBURYPORT ASSESSOR'S MAPS AND A MORTGAGE INSPECTION PLAN DATED JANUARY 30, 2002 PREPARED FOR VIP MORTGAGE CORP. BY BAY STATE SURVEYING ASSOCIATES, INC OF BEVERLY MA.
  2. THE APPLICANT IS SEEKING CONSENT OF THE PLANNING BOARD UNDER SECTION VI-C OF THE NEWBURYPORT ZONING BY-LAW TO ALLOW TWO STRUCTURES FOR DWELLING PURPOSES ON ONE LOT.

REV. NO.	REV. DESCRIPTION	DATE	DSN BY	CH'D BY	APP'D BY

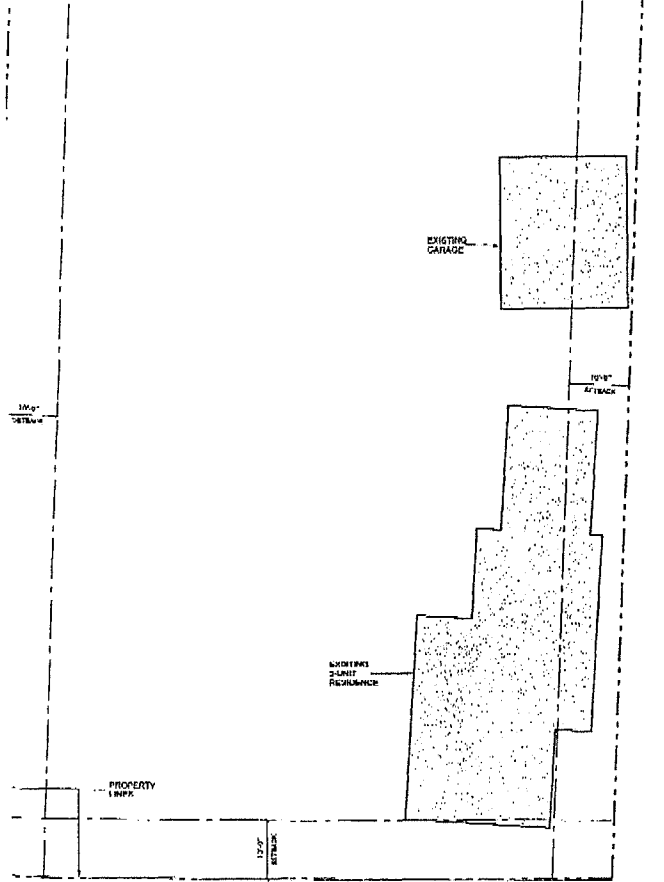
 <b>OAK</b> ENGINEERS	Brown's Wharf Newburyport, MA 01950 (978) 465-9877	<b>FIGURE 1</b>
	PREPARED FOR: THOMAS FREMONT-SMITH 346 HIGH STREET NEWBURYPORT, MA	SITE: FREEMONT-SMITH RESIDENCE 346 HIGH STREET NEWBURYPORT, MA



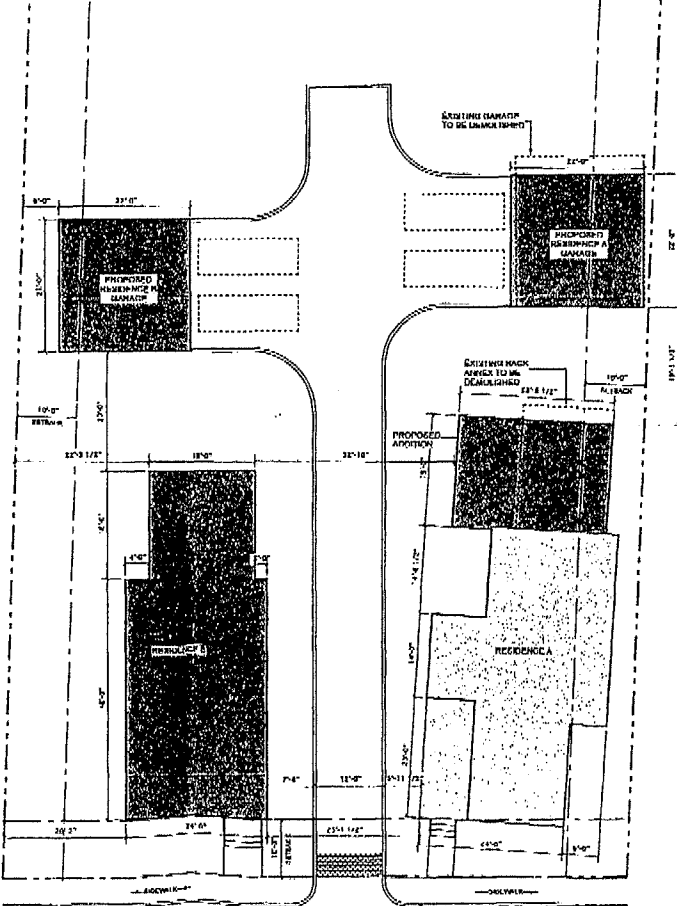
EXISTING STREET ELEVATION SCALE: 1" = 10'-0"



PROPOSED STREET ELEVATION SCALE: 1" = 10'-0"



EXISTING SITE PLAN SCALE: 1" = 10'-0"



PROPOSED SITE PLAN SCALE: 1" = 10'-0"

# Residences at 11 Walnut Street

**Owners:**  
Mullins/Therrell  
1 Malcolm Street  
Newburyport, MA 01950

**Project Zoning:**

Zoning: R3  
Front Setback: 10'  
Side Setback: 10'  
Rear Setback: 20'  
Allowable Lot Coverage: 30%  
Lot Area: .48 Acres (20,037.6 Sq Ft)  
Proposed Lot Coverage (Residence A+B, Garage): 3,962 Sq. Ft. (19.7%)

**Drawing List**

Sheet #	Sheet Title	Included
A00	Site Plan/Street Elevations/Cover Sheet	■
EX1	Parking Floor Plans	■
EX2	Existing Elevations	■
A01	Residence A - Proposed Floor Plans	■
A02	Residence A - Proposed Exterior Elevations	■
A03	Garage - Proposed Plans + Elevations	■
A04	Residence B - Proposed Floor Plans	■
A05	Residence B - Proposed Exterior Elevations	■

SCHMATIC DESIGN  
4 October 2015

Graf Design Associates, Inc.  
2 Berry Street, Newburyport, MA 01950  
Tel: 978.499.7447 Fax: 978.499.4462

Residences at 11 Walnut Street

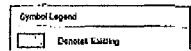
Site Plan/Cover Sheet

Newburyport, MA 01950

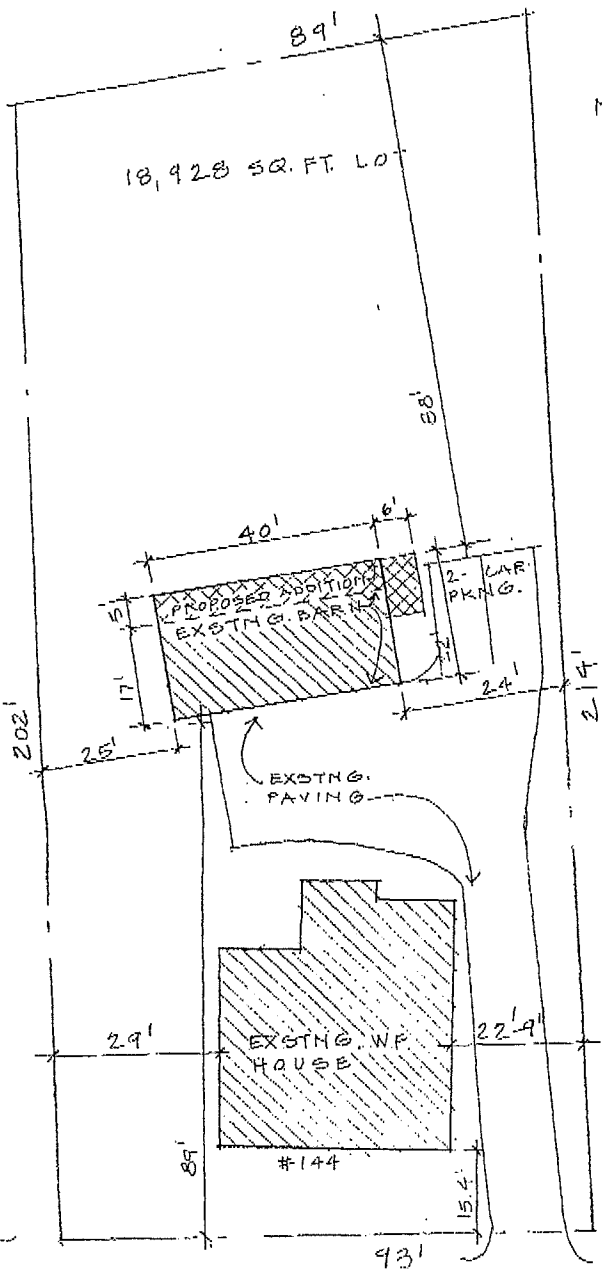
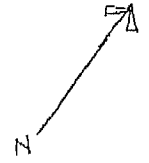
Rev: 1 October 2015

Scale: 1" = 10'-0"

Project No: 2015-1



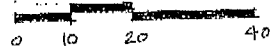
3/16/05 (LG)



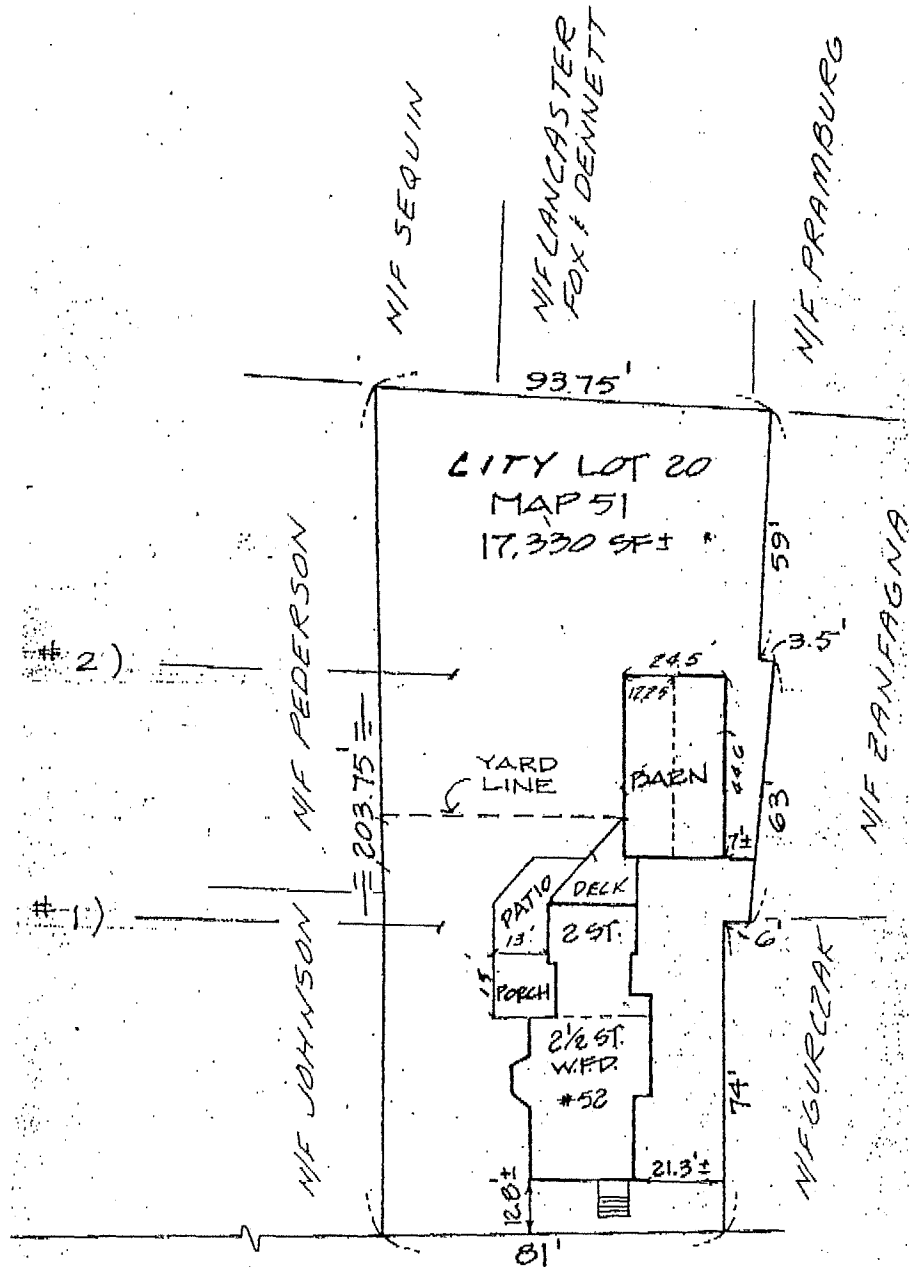
R-3 ZONING DISTRICT  
 EXSTNG. LOT COVERAGE 12%  
 NEW LOT COVERAGE 13%

SITE PLAN

1" = 20'-0"



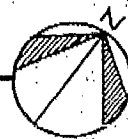
144 STATE STREET



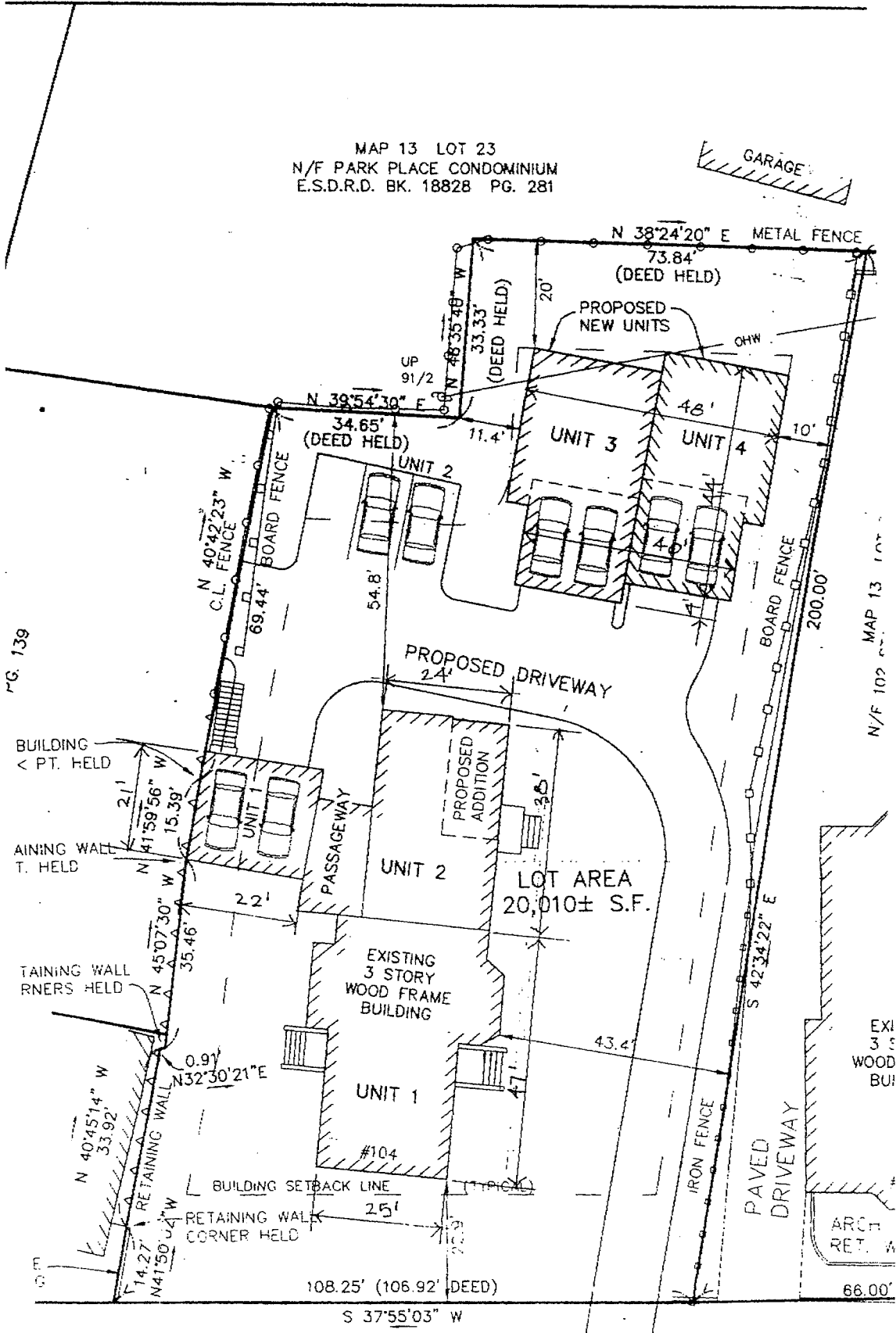
52 OLIVE STREET

SITE PLAN

SCALE: 1" = 40'



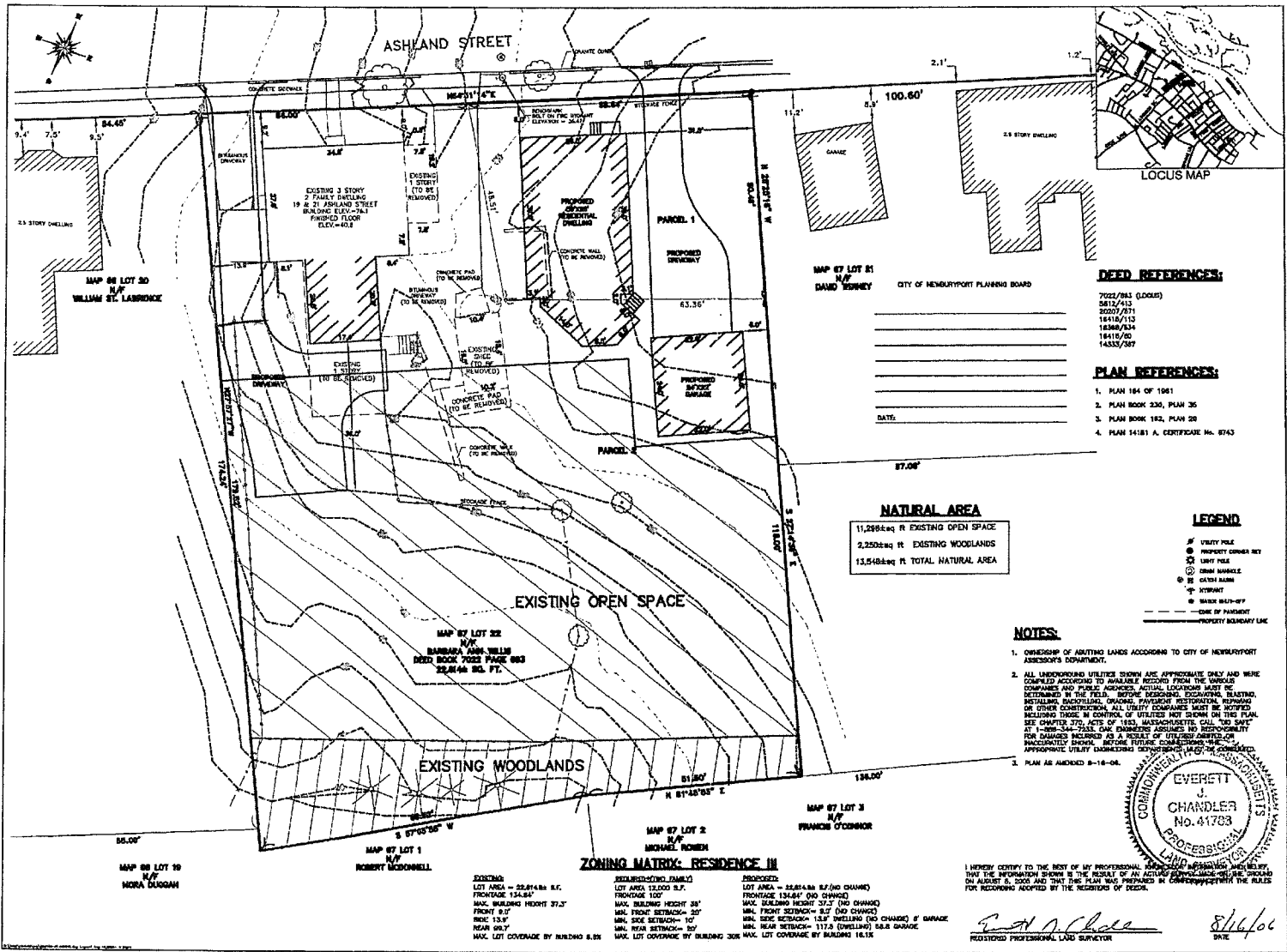
MAP 13 LOT 23  
 N/F PARK PLACE CONDOMINIUM  
 E.S.D.R.D. BK. 18828 PG. 281



PG. 139

N/F 102 MAP 13





FOR REGISTRY USE

19-21  
ASHLAND STREET  
NEWBURYPORT,  
MASSACHUSETTS

Prepared by:  
DOLores PERSON  
18 FEDERAL STREET  
NEWBURYPORT,  
MASSACHUSETTS

**DEED REFERENCES:**  
702/283 (LOGS)  
5812/413  
20207/571  
16418/113  
16348/134  
18416/100  
14333/387

**PLAN REFERENCES:**  
1. PLAN 184 OF 1981  
2. PLAN BOOK 230, PLAN 35  
3. PLAN BOOK 182, PLAN 20  
4. PLAN 14181 A, CERTIFICATE No. 8743

**NATURAL AREA**  
11,288sq ft EXISTING OPEN SPACE  
2,250sq ft EXISTING WOODLANDS  
13,548sq ft TOTAL NATURAL AREA

**LEGEND**  
# UTILITY POLE  
● PROPERTY CORNER SET  
○ UTILITY POLE  
□ DRIVE MANHOLE  
⊙ CATCH BASIN  
⊕ HYDRANT  
⊖ WATER MAIN/HT  
--- CURB OR PARAPET  
- - - PROPERTY BOUNDARY LINE

**NOTES:**  
1. OWNERSHIP OF ADJUTING LANDS ACCORDING TO CITY OF NEWBURYPORT ASSESSOR'S DEPARTMENT.  
2. ALL LANDSCAPING UTILITIES SHOWN ARE APPROXIMATE ONLY AND WERE COMPILED ACCORDING TO AVAILABLE RECORDS FROM THE VARIOUS COMPANIES AND PUBLIC AGENCIES. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE BEGINNING EXCAVATION, INSTALLING, RECONFIGURING, GRADING, PAVEMENT RESTORATION, REPAIRS OR OTHER CONSTRUCTION, ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 270C, ACTS OF 1983, MASSACHUSETTS, CHL 700 DATED AT 1-28-2004-7243. OAK ENGINEERS ASSUMES NO RESPONSIBILITY FOR DAMAGED RECORDS AS A RESULT OF UTILITIES OWNERS OR MANUFACTURERS' NEGLIGENCE. BEFORE FUTURE CONSTRUCTION, THE APPROPRIATE UTILITY OWNERS SHOULD BE CONTACTED.

**COMMISSION OF PROFESSIONAL ENGINEERS AND SURVEYORS**  
EVERETT  
CHANDLER  
No. 44703  
PROFESSIONAL

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE INFORMATION SHOWN IN THE BODY OF AN ACTUAL SURVEYING PROGRAM ON AUGUST 6, 2008 AND THAT THIS PLAN WAS PREPARED BY COMPLYING WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTRARS OF DEEDS.

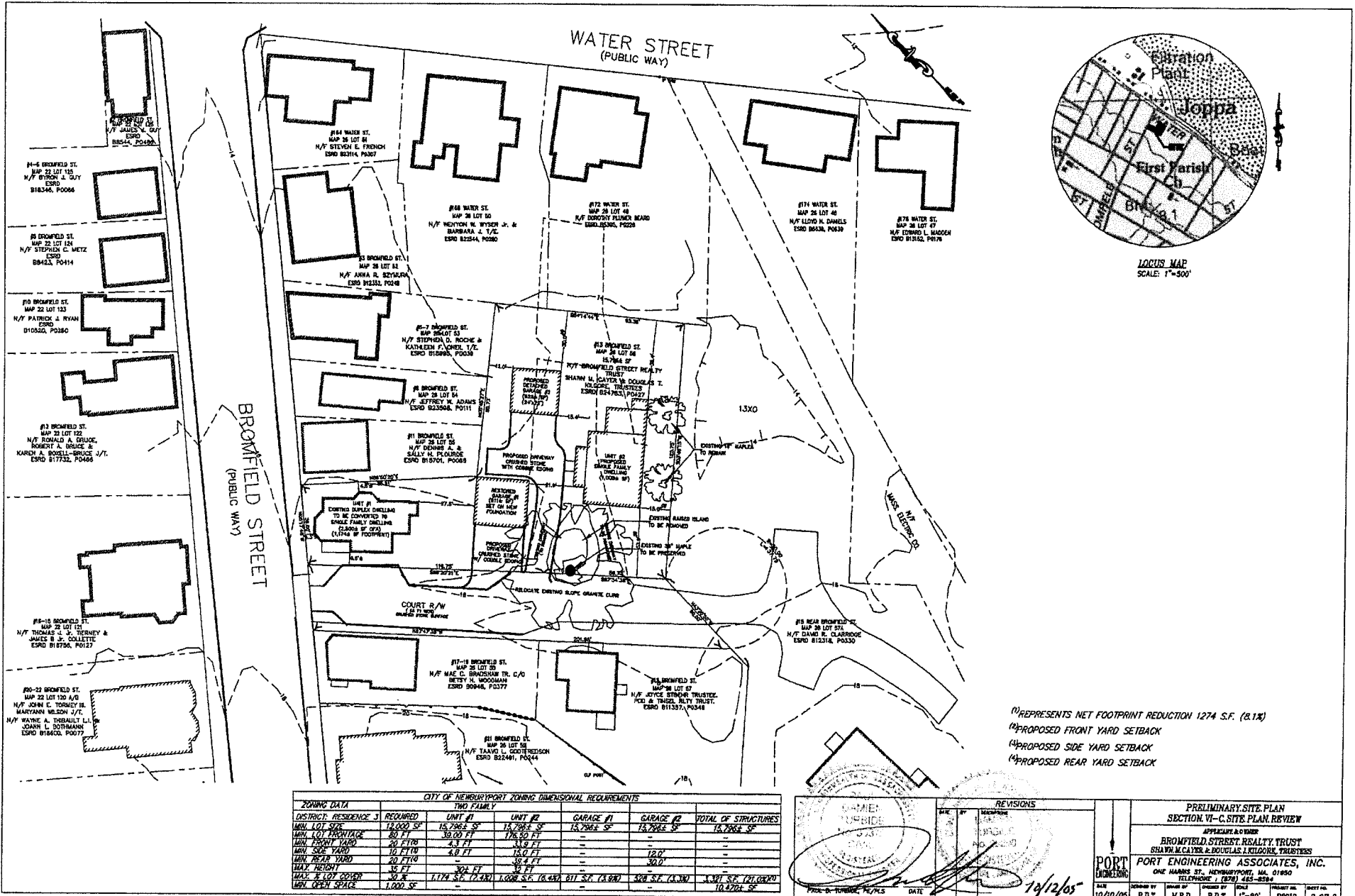
*Ed. J. Chase*  
REGISTERED PROFESSIONAL LAND SURVEYOR

DATE: 8/6/08

**CERTIFIED PLOT PLAN**

1	INDEX NO-BUILDING-CUT AREA	8-18-08
Prepared by:	Reviewed by:	Date:
Drawn by:	Checked by:	
Scale:	Scale:	
Sheet:	Sheet:	
084108		AUGUST 15, 2008

S1



- (1) REPRESENTS NET FOOTPRINT REDUCTION 1274 S.F. (8.1%)
- (2) PROPOSED FRONT YARD SETBACK
- (3) PROPOSED SIDE YARD SETBACK
- (4) PROPOSED REAR YARD SETBACK

**CITY OF NEWBURYPORT ZONING DIMENSIONAL REQUIREMENTS**

**THO FAMILY**

ZONING DATA	REQUIRED	UNIT #1	UNIT #2	GARAGE #1	GARAGE #2	TOTAL OF STRUCTURES
MIN. LOT AREA	12,000 SF	15,796.5 SF	15,796.5 SF	15,796.5 SF	15,796.5 SF	15,796.5 SF
MIN. LOT FRONTAGE	40 FT	38.00 FT	17.50 FT	-	-	-
MIN. FRONT YARD	20 FT/10	-	-	-	-	-
MIN. SIDE YARD	10 FT/10	4.8 FT	18.0 FT	-	12.0	-
MIN. REAR YARD	20 FT/10	-	-	-	-	-
MAX. HEIGHT	35 FT	30.4 FT	34.4 FT	-	30.0	-
MAX. # LOT COVER	30%	1,174 S.F. (7.2%)	1,008 S.F. (6.4%)	171 S.F. (1.1%)	328 S.F. (2.1%)	3,081 S.F. (20.0%)
MIN. OPEN SPACE	1,000 SF	-	-	-	-	10,420.5 SF

**SEAL**

PORT ENGINEERING ASSOCIATES, INC.

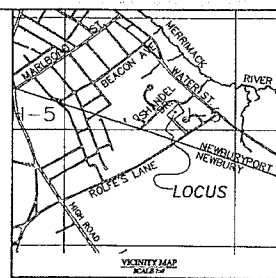
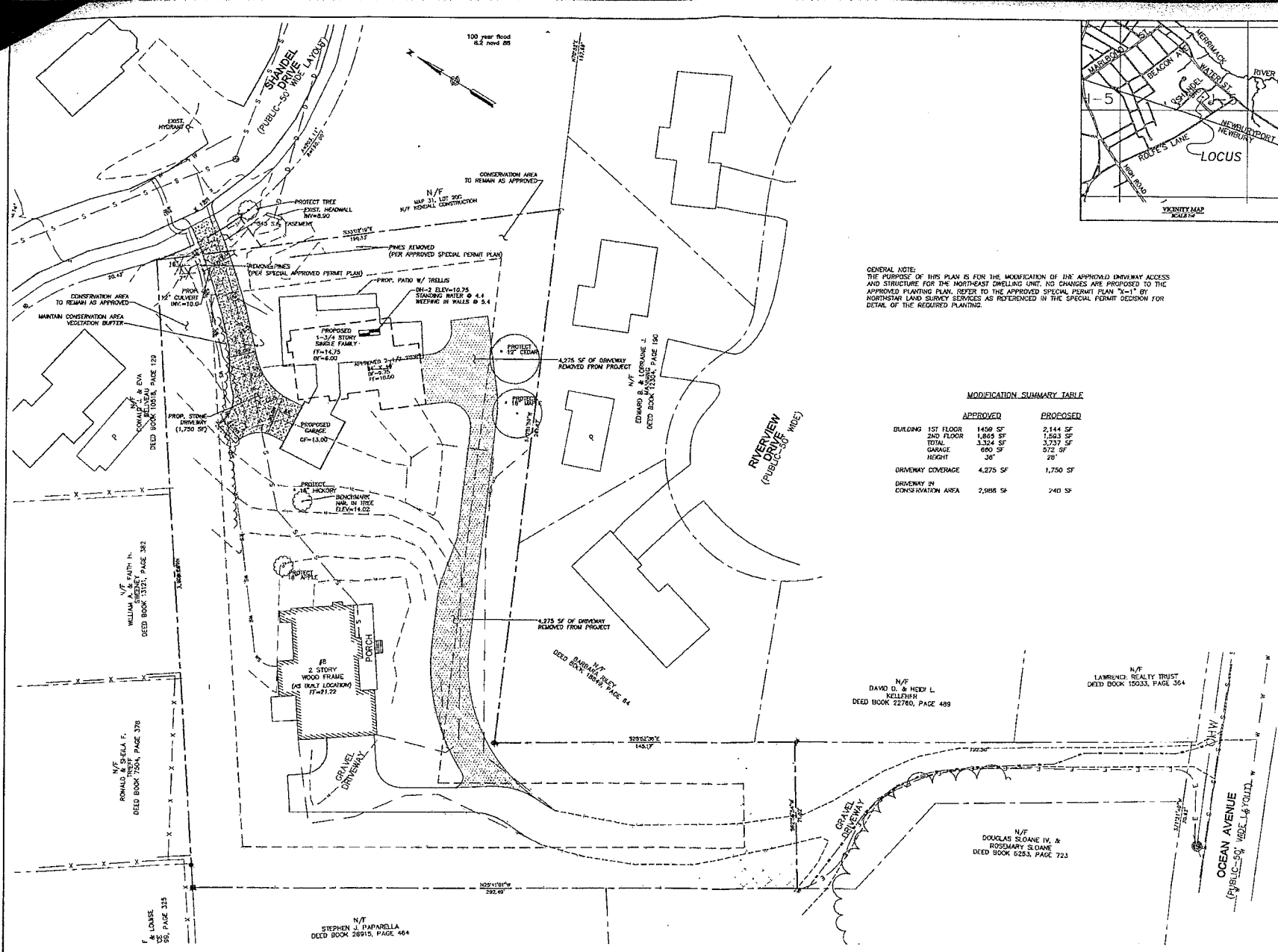
ONE HANCOCK ST., NEWBURYPORT, MA 01950  
TELEPHONE: (978) 465-8284

DATE: 10/10/05

10/12/05

PRELIMINARY SITE PLAN SECTION VI-C SITE PLAN REVIEW					
APPLICANT & OWNER					
BROMFIELD STREET REALTY TRUST SHAWN M. CAYR & DOUGLAS J. KILGORE, TRUSTEES					
ENGINEER & ARCHITECT					
PORT ENGINEERING ASSOCIATES, INC. ONE HANCOCK ST., NEWBURYPORT, MA 01950 TELEPHONE: (978) 465-8284					
DATE	DESIGNED BY	DRAWN BY	CHECKED BY	PROJECT NO.	SHEET NO.
10/10/05	P.B.T.	M.R.D.	P.D.T.	1"-20'	P0012 2 OF 2

13 Bromfield



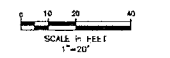
GENERAL NOTE:  
 THE PURPOSE OF THIS PLAN IS FOR THE MODIFICATION OF THE APPROVED DRIVEWAY ACCESS AND STRUCTURE FOR THE NORTH-EAST DWELLING UNIT. NO CHANGES ARE PROPOSED TO THE APPROVED PLANTING PLAN. REFER TO THE APPROVED SPECIAL PERMIT PLAN "A-1" BY NORTHSTAR LAND SURVEY SERVICES AS REFERENCED IN THE SPECIAL PERMIT DECISION FOR DETAIL OF THE REQUIRED PLANTING.

MODIFICATION SUMMARY TABLE

	APPROVED	PROPOSED
BUILDING 1ST FLOOR	1456 SF	2,144 SF
2ND FLOOR	1,863 SF	1,583 SF
TOTAL	3,324 SF	3,727 SF
GARAGE	890 SF	572 SF
HEIGHT	36'	28'
DRIVEWAY COVERAGE	4,275 SF	1,750 SF
ROADWAY IN CONSERVATION AREA	2,986 SF	240 SF

**8 OCEAN AVENUE CONDOMINIUM**  
 NEWBURYPORT MASS.

ENGINEERING DEVELOPMENT LLC  
 MARLBOROUGH, MASSACHUSETTS



**OAK ENGINEERS**  
 Steven's Wharf  
 Newburyport, MA 01950  
 Tel: (978) 455-8077  
 Fax: (978) 455-2066  
 www.oakengineers.com

**PROPOSED SPECIAL PERMIT AMENDMENT SITE PLAN**

No.	Revision/Issue	Date
2.	Building & Garage Mod.	5/20/09
1.	Building Mod.	5/7/09

Drawn by	Checked by
SBS	PFA
Drawn by	Checked by
SBS	SBS

Project	Date
094007	APRIL 23, 2009

C1



HORIUCHI SOLIEN P.C.  
 P.O. BOX 394  
 280 MAIN STREET  
 FALMOUTH MA  
 01901  
 TEL: 508-530-1100  
 FAX: 508-534-8411  
 www.horichisolien.com

**HORIUCHI SOLIEN**  
 LANDSCAPE ARCHITECTS

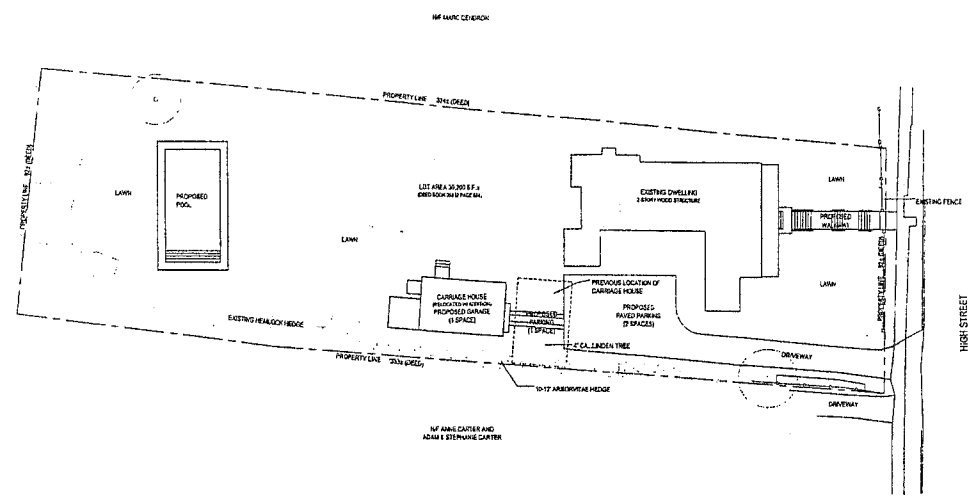
ARCHITECT  
 ANDREW H. SCHOFER ARCHITECTS, P.C.  
 44 HERRING STREET  
 NEWBURYPORT, MA  
 01941-1157

CIVIL ENGINEER/LAND SURVEYOR  
 RICHARD J. KAMRATER ASSOCIATES, INC.  
 300 HERRING STREET  
 LAWRENCE, MA 01840  
 TEL: 978-681-1413

**TOLAN  
 RESIDENCE**  
 87 HIGH STREET  
 NEWBURYPORT, MA

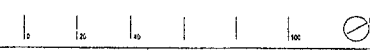
PROJECT NUMBER: 5400  
 DRAWN BY: RSK  
 CHECKED BY: KPH  
 SCALE: 1"=20'-0"  
 DATE: 04-02-07  
 REVISED: 04-15-07

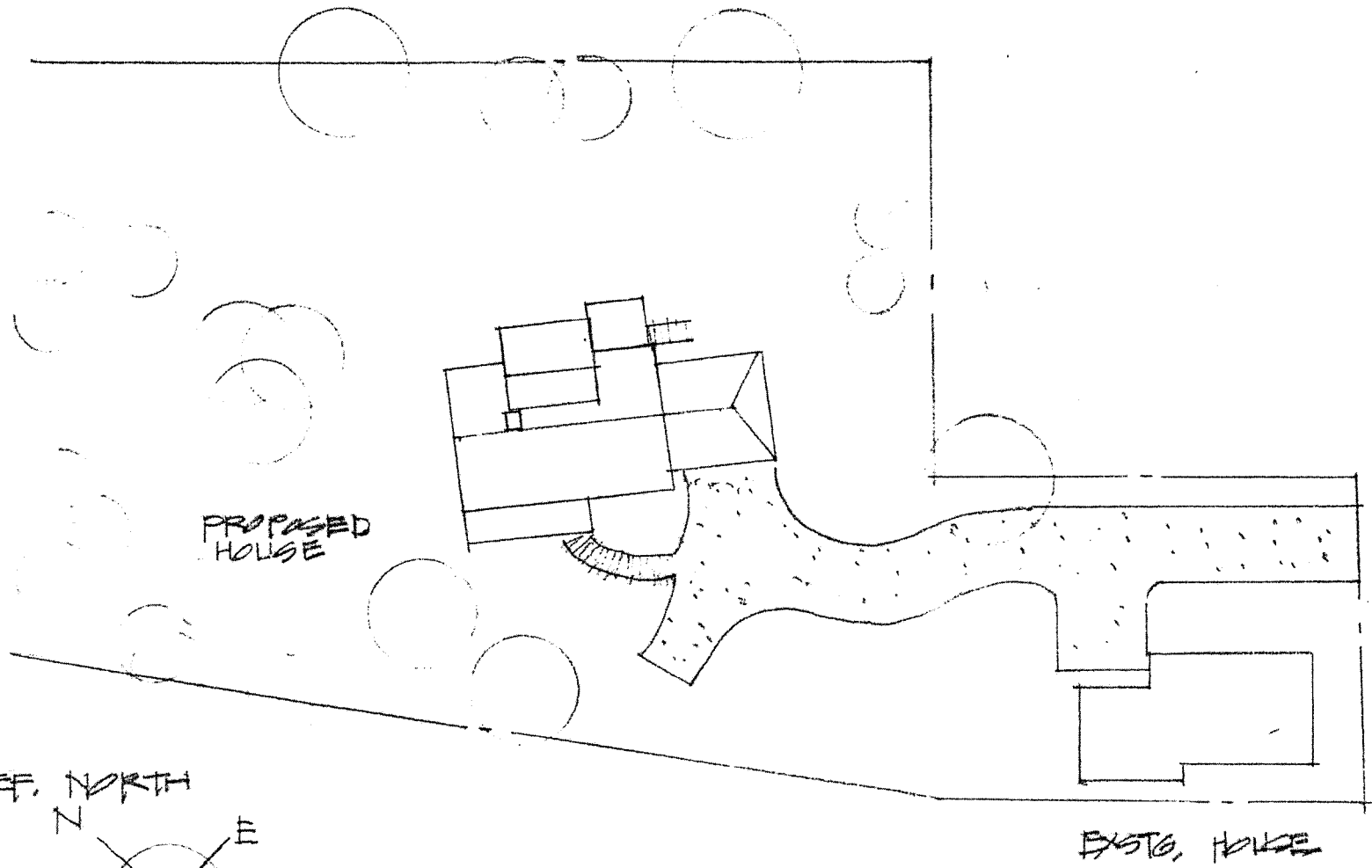
**SITE PLAN**



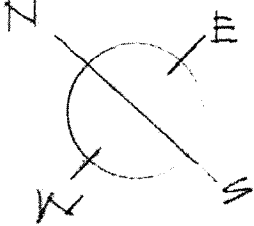
ZONING REGULATIONS			
APPLICANT NAME:	TOLAN		
PROPERTY ADDRESS:	87 HIGH STREET		
MAP CODE:	R-2		
DRAWING DISTRICT:	R-2		
	EXISTING DIMENSIONAL CONSTRAINTS	PROPOSED DIMENSIONAL CONSTRAINTS	REQUIRED DIMENSIONAL CONSTRAINTS
LOT AREA	30,900 SF	30,900	12,000
FRONT YARD	82	82	100
HEIGHT	28'0"	28'0"	33'
LOT COVERAGE (%)	MAX: 8.0% 80% 125%	MAX: 8.0% 80% 125%	35%
OVERLAP (FEET)	81.875	80.625	25'
FRONT SETBACK	0	0	20'
SIDE SETBACK	7'-0"	8'-0"	10'
REAR SETBACK	0	12'-0"	10'
REAR YETBACK	100'	142'	200'
PARKING SPACES	4	4	4
FAR			

- GENERAL NOTES
- THIS PLAN IS BASED ON PLOT PLAN OF LAND DATED MARCH 21, 2007 PREPARED BY HOWARD F. MAHONEY & ASSOCIATES, INC.
  - OWNER OF RECORD: PETER J. AND HELEN L. TOLAN  
 TELEPHONE: 508-534-8411 AS RECORDED AT THE DEEDS SOUTH DISTRICT REGISTRY OF DEEDS
  - ASSESSOR'S MAP 33 LOT 30



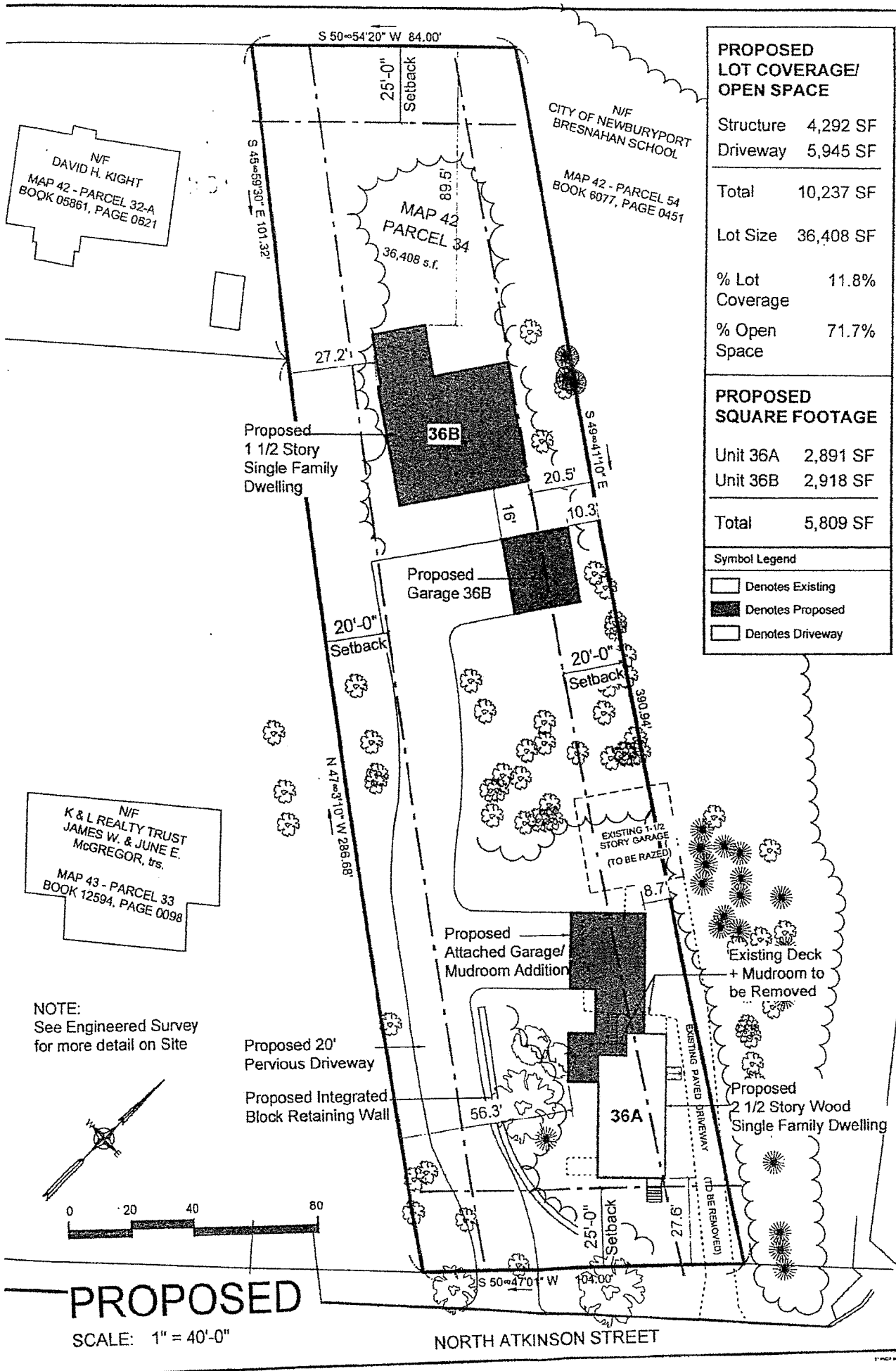


REF. NORTH



WOODLAND ST.

SITE PLAN - PROPOSED  
10 WOODLAND ST,  
NEWBURYPORT, MASS.



PROPOSED LOT COVERAGE/ OPEN SPACE	
Structure	4,292 SF
Driveway	5,945 SF
<b>Total</b>	<b>10,237 SF</b>
Lot Size	36,408 SF
% Lot Coverage	11.8%
% Open Space	71.7%

PROPOSED SQUARE FOOTAGE	
Unit 36A	2,891 SF
Unit 36B	2,918 SF
<b>Total</b>	<b>5,809 SF</b>

Symbol Legend	
	Denotes Existing
	Denotes Proposed
	Denotes Driveway

Renovations to:

**36 N. Atkinson Street**  
Newburyport, MA 01950

---

Project No. 277C      Scale: 1" = 40'-0"      Date: 5 November 2007

---

**Site Plan + Cover Sheet**

---

SCHEMATIC DESIGN  
6 November 2007

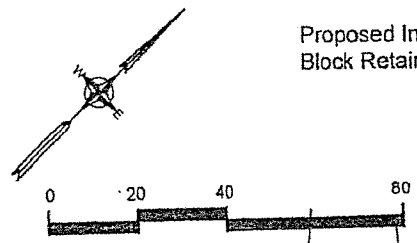
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**Graf Design Associates, Inc.**  
2 Liberty Street Newburyport, MA 01950  
Tel 978.499.9442 Fax 978.499.4442

---

**A00**

NOTE:  
See Engineered Survey  
for more detail on Site



**PROPOSED**  
SCALE: 1" = 40'-0"

NORTH ATKINSON STREET

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

JEFFREY S. HOFMANN, P.L.S.  
DATE

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE BUILDINGS LOCATED ON AND THE PERIMETER OF THE PREMISES OF UNITS 1, 2, & 3 AT 9 ORANGE STREET CONDOMINIUM, THE STREET AND ALL COMMON AREAS TO WHICH THE UNIT OWNERS HAVE ACCESS AS PROVIDED FOR IN THE MASTER DEED.

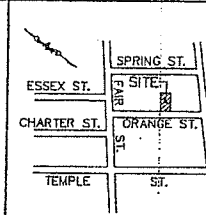
JEFFREY S. HOFMANN, P.L.S.  
DATE

**ASSESSORS REFERENCE**

MAP #16, LOT #5

**DEED REFERENCE**  
BOOK #28928, PAGE #283 E.S.D.R.D.

**ZONING DISTRICT**  
RESIDENTIAL III



PLAN BOOK 426 PLAN 82

RECEIVED NOVEMBER 30 2010

MA MASTER DEED 9

ORANGE STREET CONDOMINIUM

INTIUM

REGISTRY OF DEEDS

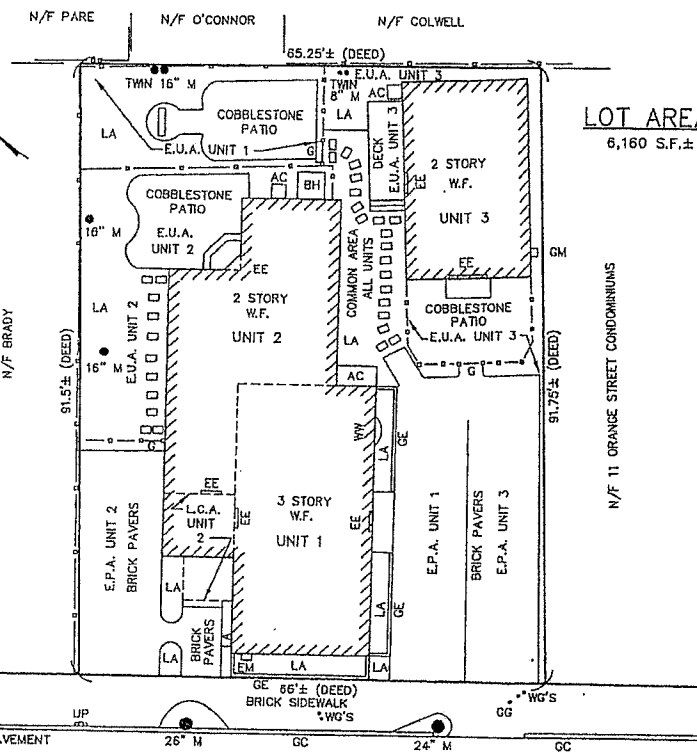
82  
426  
(4PIS.)

LOCUS 1"=500'±

FOR REGISTRY USE

**LEGEND**

- E.U.A. EXCLUSIVE USE AREA
- L.C.A. LIMITED COMMON AREA
- E.P.A. EXCLUSIVE PARKING AREA
- W.F. WOOD FRAMED
- N/F NOW OR FORMERLY
- EE EXCLUSIVE ENTRY
- LA. LANDSCAPED AREA
- G GATE
- AC AIR CONDITIONING UNIT
- GM GAS METER
- EM ELECTRIC METERS
- WW WINDOW WELL
- BH BULKHEAD
- WG WATER GATE
- GG GAS GATE
- GC GRANITE CURB
- UP UTILITY POLE
- M TREE WITH SIZE AND TYPE
- FLAGSTONE WALK
- WOOD FENCE



**LOT AREA**  
6,160 S.F.±

**CONDOMINIUM SITE PLAN OF LAND**

IN  
**NEWBURYPORT, MASSACHUSETTS**

OF  
**9 ORANGE STREET CONDOMINIUM**

PREPARED FOR  
**CHART HOUSE DEVELOPMENT, LLC**  
234 MIDDLE STREET - WEST NEWBURY, MASSACHUSETTS 01985

DATE: OCTOBER 20, 2010

SCALE: 1"=10'

**NORTHSTAR LAND SURVEYS SERVICES**  
19 CENTRAL STREET - SUITE H  
NEWBURY, MA 01922  
TEL: (978) 465-2940 FAX: (978) 465-1017  
EMAIL: NORTHSTAR01950@AOL.COM

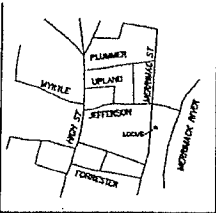
I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

JEFFREY S. HOFMANN, P.L.S.  
DATE

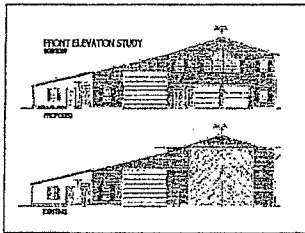
**ORANGE STREET**  
(PUBLIC - VARIABLE WIDTH)

10/20/10





VICINITY MAP  
NOT TO SCALE



PROPOSED STRUCTURE  
(DESIGN BY FILICORUM ARCHITECTS)  
SCALE: 1"=20'

**RECORD OWNER:**

CARR ISLAND LLC & 386 MERRIMAC CONDOMINIUM  
386 MERRIMAC STREET  
NEWBURYPORT, MA

**DEED REFERENCES:**

DEED BOOK 10331 PAGE 446 & BOOK 20862 PAGE 495

**ASSESSORS REFERENCE:**

MAP 68 LOTS 23A & 23B

**ZONING MATRIX:**

IND-INDUSTRIAL/MANUFACTURING/RECREATIONAL

**EXISTING:**  
LOT AREA = 137,422 ± S.F. (3.1556 ac ±)  
FRONTAGE 131.00'  
BUILDING HEIGHT = 24.8' (4th FL)  
FRONT SETBACK = 25'  
SIDE SETBACK = 10'  
REAR SETBACK = 70.5'  
% LOT COVERAGE BY BUILDING OR % OPEN SPACE 0.3%

**REQUIRED:**  
LOT AREA 10,000 S.F.  
FRONTAGE 80'  
MAX. BUILDING HEIGHT 25'  
MIN. FRONT SETBACK = 25'  
MIN. SIDE SETBACK = 10'  
MIN. REAR SETBACK = 25'  
MAX. LOT COVERAGE BY BUILDING OR % OPEN SPACE = 40%  
MAX. % SINGLE FAMILY/MIXED USE 33%

**PROPOSED:**  
LOT AREA = 137,422 S.F. (NO CHANGE)  
FRONTAGE 131.00' (NO CHANGE)  
BUILDING HEIGHT = 2 1/2 24.8' (NO CHANGE)  
MIN. FRONT SETBACK = 0' (NO CHANGE)  
MIN. SIDE SETBACK = 10.1'  
MIN. REAR SETBACK = 70' (DWELLING)  
% LOT COVERAGE BY BUILDING OR % OPEN SPACE 60% (NO CHANGE)  
% OPEN SPACE 60% (NO CHANGE)  
MAX. % SINGLE FAMILY/MIXED USE 31.4%

\* OPEN SPACE AREA (89,494 ± SQ FT ESTIMATED) - ALL NON BUILDING, NON DRIVEWAY, NON PARKING SPACE (65,828 ± SQ FT ESTIMATED BUILDING/BUILDING/DRIVEWAY/PARKING SPACE)

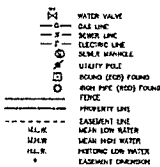
**PLAN REFERENCES:**

- 1) "PLAN OF LAND LOCATED IN NEWBURYPORT, MASSACHUSETTS, SCALE 1"=40', DATE: JUNE 20, 07', PREPARED BY PROFESSIONAL LAND SERVICES, L.L.C., 61 GARLSON STREET, GROVELAND, MASS 01834.
- 2) PLAN 88 OF 1972
- 3) PLAN BOOK 347, PLAN 81

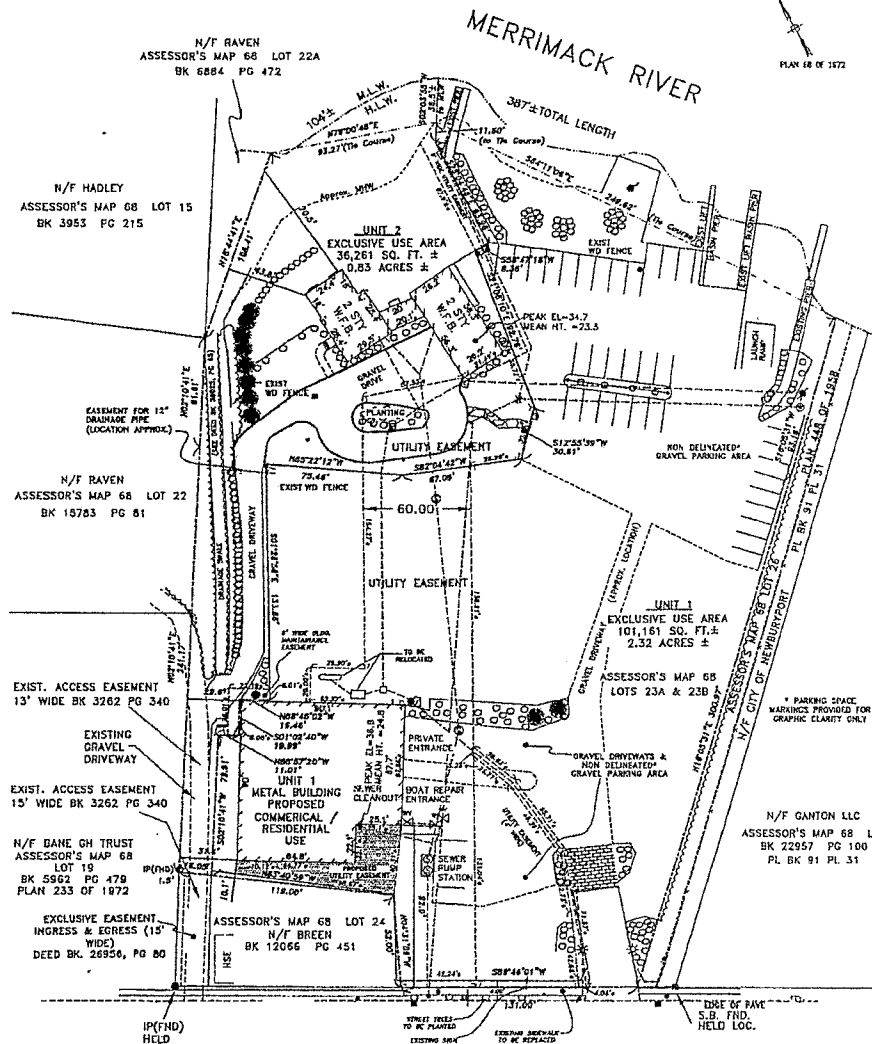
**NOTES:**

- 1) THIS SITE PLAN IS INTENDED TO DEPICT THE CHANGE IN USE FOR UNIT 1 FROM SOLELY WINTERPORT MARINE DISTRICT (IND) USE TO RESIDENTIAL USE FOR THE CREATION OF AN APARTMENT UNIT IN THE EXISTING BUILDING.
- 2) OWNERSHIP OF ADJACENT LOTS ACCORDING TO CITY OF NEWBURYPORT ASSESSOR'S DEPARTMENT.
- 3) ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND WERE COMPILED ACCORDING TO AVAILABLE RECORDS FROM THE VARIOUS COMPANIES AND PUBLIC AGENCIES. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE EXCAVATING, EXCAVATING, REPAIRING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, REPAIRING OR OTHER CONSTRUCTION. ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 310, ACTS OF 1984, MASSACHUSETTS, LOCAL LAW 547. ALL OWNERS MUST ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES DAMAGED OR INCORRECTLY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED.

**LEGEND**



REGISTERED PROFESSIONAL LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_



MERRIMAC STREET  
(PUBLIC - VARIABLE WIDTH)

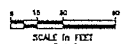
FOR REGISTRY USE ONLY

386 MERRIMAC STREET  
CONDOMINIUM  
NEWBURYPORT, MA 01860

Prepared for:

FROM OLGA TITIN  
P.O. BOX 1030  
NEWBURYPORT, MA 01860

Reduced NOT to Scale



**OAK**  
ENGINEERS  
Brown's Wharf  
Newburyport, MA 01850  
Tel: (978) 462-9877  
Fax: (978) 462-2508  
www.oak-engineers.com

CHANGE OF USE PLAN  
386 MERRIMAC STREET  
NEWBURYPORT, MA

No.	Revision/Issue	Date
2	Area discrepancy adjusted	2/1/19
1	Initial Issue	10/7/09

Drawn by	Checked by
EDX	EAC
Design by	Approved by
EDX	EDX
Project	Date
034078	10/7/09

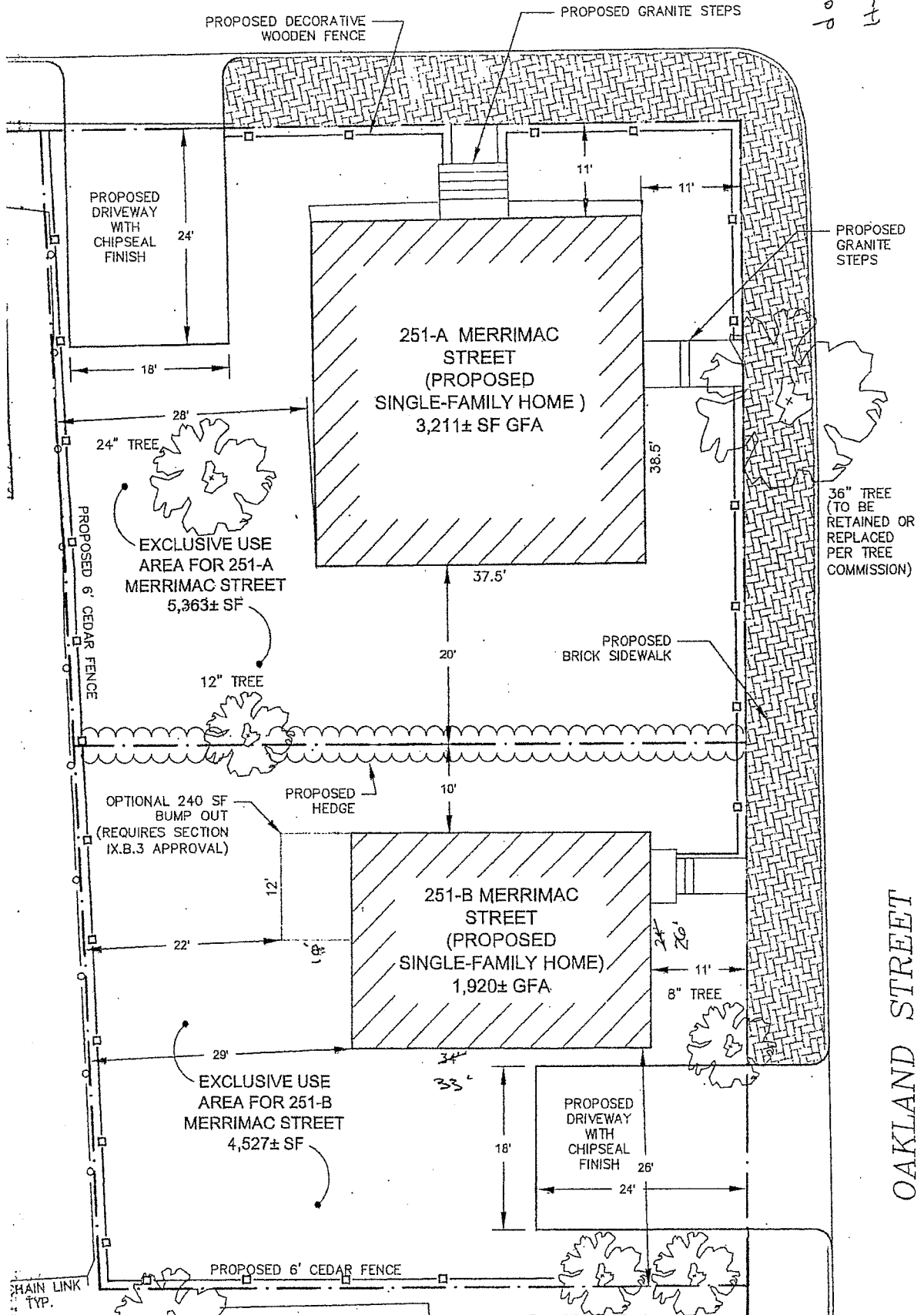
  

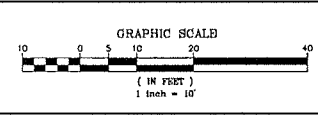
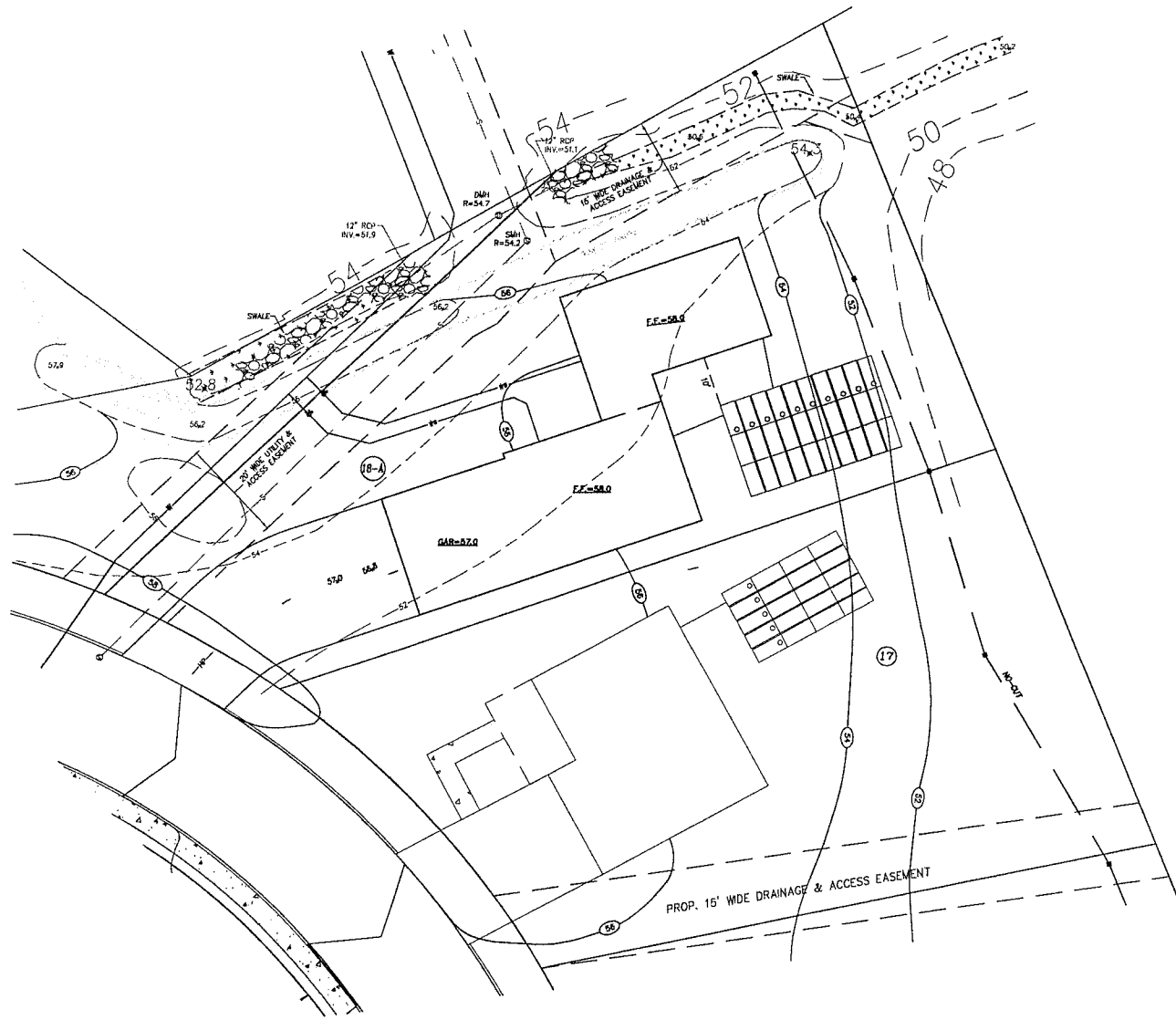
S1  
Initial Issue 10/7/09

251 Merrimac

DOUGLASS  
HARVEY

MERRIMAC STREET





PREPARED FOR  
**SPRINGWELL INVESTMENTS, LLC**  
 11 LAFAYETTE ROAD P.O. BOX 1297  
 N. HAMPTON, NH 03862

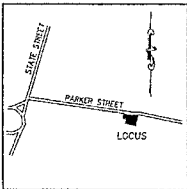
NO.	DATE	DESCRIPTION	BY

**MEI** MILLENNIUM ENGINEERING, INC.  
 ENGINEERING AND LAND SURVEYING  
 62 ELM ST. SALISBURY, MA 01922 (978) 463-8880  
 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=10'  
 DATE: APR. 24, 2012  
 DESG. BY: C.M.Y.  
 CHKD. BY: E.W.B.  
 PROJECT: M112327  
 SHEET: 1 OF 1

**OSRD DEFINITIVE PLAN**  
 FOR LAND IN  
**NEWBURYPORT, MA**  
 SHOWING  
**PROPOSED SUBDIVISION MODIFICATION**  
 AT  
**RUSSELL TERRACE EXTENSION**

LOT 18-A



ZONING DISTRICT D-1						
AREA	EXISTING FRONTAGE	PROPOSED FRONTAGE	ADJACENT FRONTAGE	EXISTING DEPTH	PROPOSED DEPTH	RECORDED DEPTH
FRONTAGE	158.40'	345.30'	170'	6.27'	6.78'	20'
% LOT COVERAGE	5.6%	7.1%	35.8% MAX	14.05'	14.85'	10'
% OPEN SPACE	28.8%	20.0%	40% MAX	31.45'	34.63'	20'
PARKING SPACES	8	18	13			

N/F  
NEWBURYPORT REALTY TRUST  
M. SARONHA & H. SARDINHA, TRUSTEES  
DEED BK. 13191, PG. 427

N/F  
MELISSA REALTY TRUST  
M. SARONHA & H. SARDINHA, TRUSTEES  
DEED BK. 15189, PG. 262

N/F  
OAK HILL CEMETERY PROPERTIES  
P.O. BOX 576  
NEWBURYPORT, MA  
BK. 3414 PG. 4

**BASIS OF BEARINGS**  
PLAN BK. 233, PL. 25

**PLAN REFERENCES**  
PLAN BK. 233, PL. 25

**OWNER OF RECORD**  
KENNETH LABRECQUE TRUST  
P.O. BOX 182  
NEWBURYPORT, MA  
BK. 16930 PG. 342

KENNETH LABRECQUE TRUST  
ONE VANDERBILT TRUST  
53 FEDERAL ST.  
NEWBURYPORT, MA  
BK. 17315 PG. 31

**PLANTING AREA A - UPPER SLOPES/GRASSED AREAS**  
USE STANDARD MOW PATTERN CONSISTING OF PERENNIALS AND TOLERANT SPECIES. IMMEDIATELY ADJACENT OR HYDROLOGICALLY SENSITIVE AREAS - GREENING RIDGE FESCUE - 30% - KENTUCKY 31 TALL FESCUE 10% - ANNUAL RYEGRASS 3% - PERPETUUM 3% - LAMARCK CLOVER

**PLANTING AREA B - SITE LANDSCAPING**  
PLANTINGS TO BE DETERMINED BY LANDSCAPE ARCHITECT AND AS REQUIRED FOR SITE PLAN REVIEW BY THE TOWN PLANNING

**PLANTING AREA C - EMBARCAMENT AREAS (EAST SIDE)**  
NEW ENGLAND CONSERVATION/MULCH MIX - 1 LB (SPREAD AT 1500 SF/LB) OR NEW ENGLAND EROSION CONTROL/RESTORATION MIX, VARIED SPECIES, 1.5 LBS (TO BE SPREAD AT 1000 SF/LB)

**PLANTING AREA D - CONSTITUTED WETLAND**  
NEW ENGLAND MIXTURE TO BE SPREAD AT 1 LB (SPREAD AT 1200 SF/LB) MIX ROADSIDE MATRIX WETLAND MIX ABOVE CL. 18 TO 20, EST. 1 LB (SPREAD AT 1200 SF/LB)

**PLANTING AREA E - BUFFER PLANTINGS**  
BUFFER PLANTINGS WEST OF DESIGNATED RESOURCE AREA ARE SUGGESTED TO BE PLANTED AT ELEV. 16/18. SPECIES SHALL CONSIST OF COMBINATIONS OF THE SUGGESTED SPECIES IN STAGGERED GROUPS OF TWO TO THREE FEET, PLANTS 18 IN. + 6 GROUPS STARTING WEST & SOUTH OF W. A-5 TO SOUTHWEST CORNER W. A-2

**SUGGESTED SPECIES:**

1. SWEET PEPPERBUSH	CLETHRA ALNIFOLIA	B & D
2. NORTHERN ARNICA	HIBISCUS SYRIACUS	B & D
3. SILKY DOCKWOOD	CORNUS AMOMUM	B & D
4. RED OSIER DOGWOOD	CORNUS SERICEA	B & D
5. HIGHBUSH BLUEBERRY	VACCINIUM CORTICOSUM	B & D
6. REARER HONEYLOCUST	LIGNUM VITAE	B & D

**PLANTING AREA F - TREES**  
A MINIMUM OF ONE IS SUGGESTED EAST OF THE PROPOSED BUILDING: MAPLE, PIN OAK, ACER SACCHARINUM, ACER RUBRUM, OR QUERCUS FAUCIOLATA

**LEGEND**

— 20 —	EXISTING CONTOUR
— 27 —	PROPOSED CONTOUR
— 27 —	PROPOSED RETAINING WALL
— 27 —	PROPOSED TREE LINE
— SF —	PROP. SILT FENCE/MAY BALES
— 27 —	PROPOSED BIT. CONC. SIDEWALK
— 27 —	PROPOSED SWALE

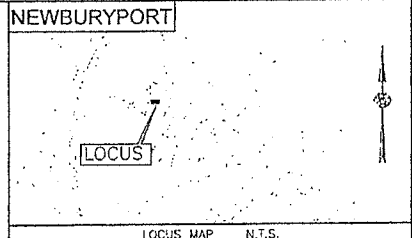
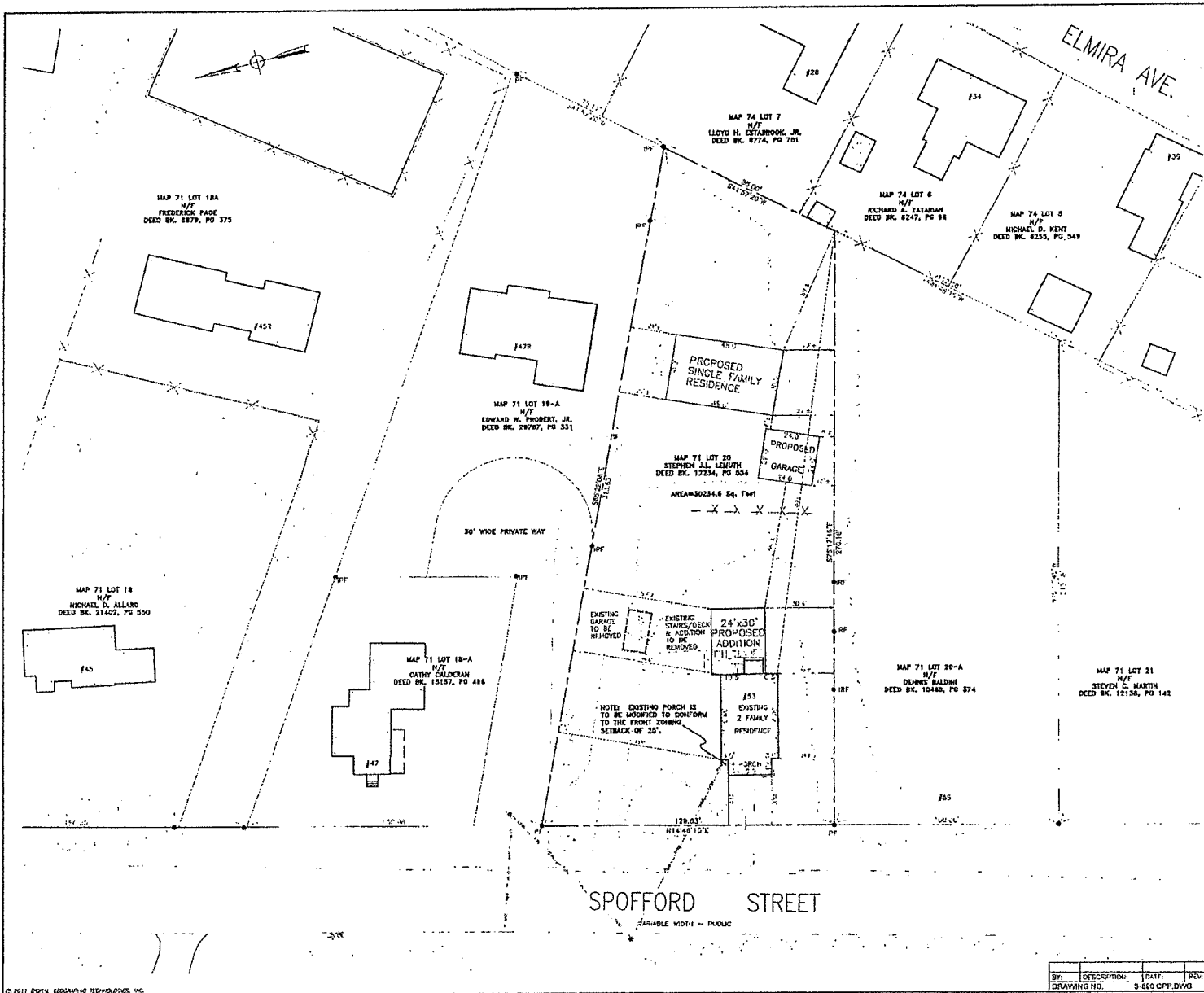
■	PROPOSED OUTER DRAIN	□	EXISTING CATCH BASIN
22.2	PROP. SPOT PAVEMENT GRADE	⊕	EXISTING UTILITY POLE
⊕	EXISTING TEST PIT	△	WETLANDS

I CERTIFY THAT THIS ACTUAL SURVEY WAS MADE ON THE CORNER BENCHES 4-10-16 AND 5-24-16 AND THAT THE STRUCTURE IS LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.

STEPHEN LABRECQUE  
1-5-17  
PROFESSIONAL LAND SURVEYOR DATE

**PLAN TO ACCOMPANY VI-C APPLICATION**

<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY					<p>GRAPHIC SCALE</p> <p>( 1" = 20' ) 1 inch = 20'</p>	<p>MILLENNIUM ENGINEERING, INC. ENGINEERING AND LAND SURVEYING 62 CUM ST. SAUGSBURY, MA 01927 (978) 483-8880 12 HAMPTON RD. EXETER, NH 03822 (603) 778-0528</p>	<p><b>PLAN OF LAND</b> IN NEWBURYPORT, MA.</p>	<p>PREPARED FOR</p> <p>KENNETH LABRECQUE 27 ROLFES LANE NEWBURY, MA 01951</p>	<p>SHOWING</p> <p>PROPOSED IMPROVEMENTS 3 PARKER STREET (ASSESSORS MAP 34 LOT 6 &amp; 6A)</p>
	NO.	DATE	DESCRIPTION	BY									
<p>SCALE: 1"=20'</p> <p>DATE: JAN. 3, 2012</p>	<p>DESIG. BY: C.M.Y.</p> <p>CHKD. BY: E.W.B.</p>	<p>PROJECT: M081934</p> <p>SHEET: 1 OF 1</p>											



**OWNER REFERENCE**

OWNER OF RECORD: STEPHEN J. & JANE LEVATH  
 LEGAL INSTRUMENT: BOOK 12234, PAGE 541  
 ASSASSIN: 71-12  
 AREA: 25,215 SQ FT (27) 8794 SQM

**ZONING TABLE (R2 DISTRICT)**

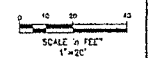
	EXISTING	R2 DISTRICT	R2 DISTRICT	PROPOSED
MINIMUM LOT AREA	30,235 sq ft	10,000 sq ft	15,000 sq ft	30,235 sq ft
MINIMUM LOT FRONTAGE	129.63'	90'	120'	129.63'
MAXIMUM LOT COVERAGE	45%	20%	25%	45%
MAXIMUM BUILDING HEIGHT	35'	35'	35'	35'
FRONT YARD SET BACK	22.0'	25'	24'	22.0'
REAR YARD SETBACK	25.0'	25'	25'	25.0'
SIDE YARD SETBACK	25.0'	10'	20'	25.0'

\*\* SEE NOTE ON DRAWING

**LEGEND:**  
 M/F IRON PIPE FOUND  
 R/F IRON ROD FOUND

I HEREBY CERTIFY THAT:  
 1. THIS CERTIFIED PLOT PLAN IS THE RESULT OF AN ON-THE-GROUND "ASTRONOMICAL" SURVEY AND A LIMITED RESEARCH INSTRUMENT IN CONFORMANCE WITH 253 CMR FROM PERMITS FOR A CASUALTY SURVEY.  
 2. THIS PLAN IS PREPARED FOR OUR CLIENT USE ONLY FOR THE SPECIFIC PURPOSES OF OBTAINING PERMITS AND LOCAL APPROVALS, AND IS NOT TO BE USED OR REPRODUCED AS A CONSTRUCTION DOCUMENT OR ANY OTHER USE WITHOUT THE WRITTEN CONSENT OF DGT.

*[Signature]*  
 DENNIS BALDRI  
 STEVEN C. MARTIN  
 DEED BK. 12134, PG 142  
 PROFESSIONAL LAND SURVEYOR  
 DATE: 07/20/12

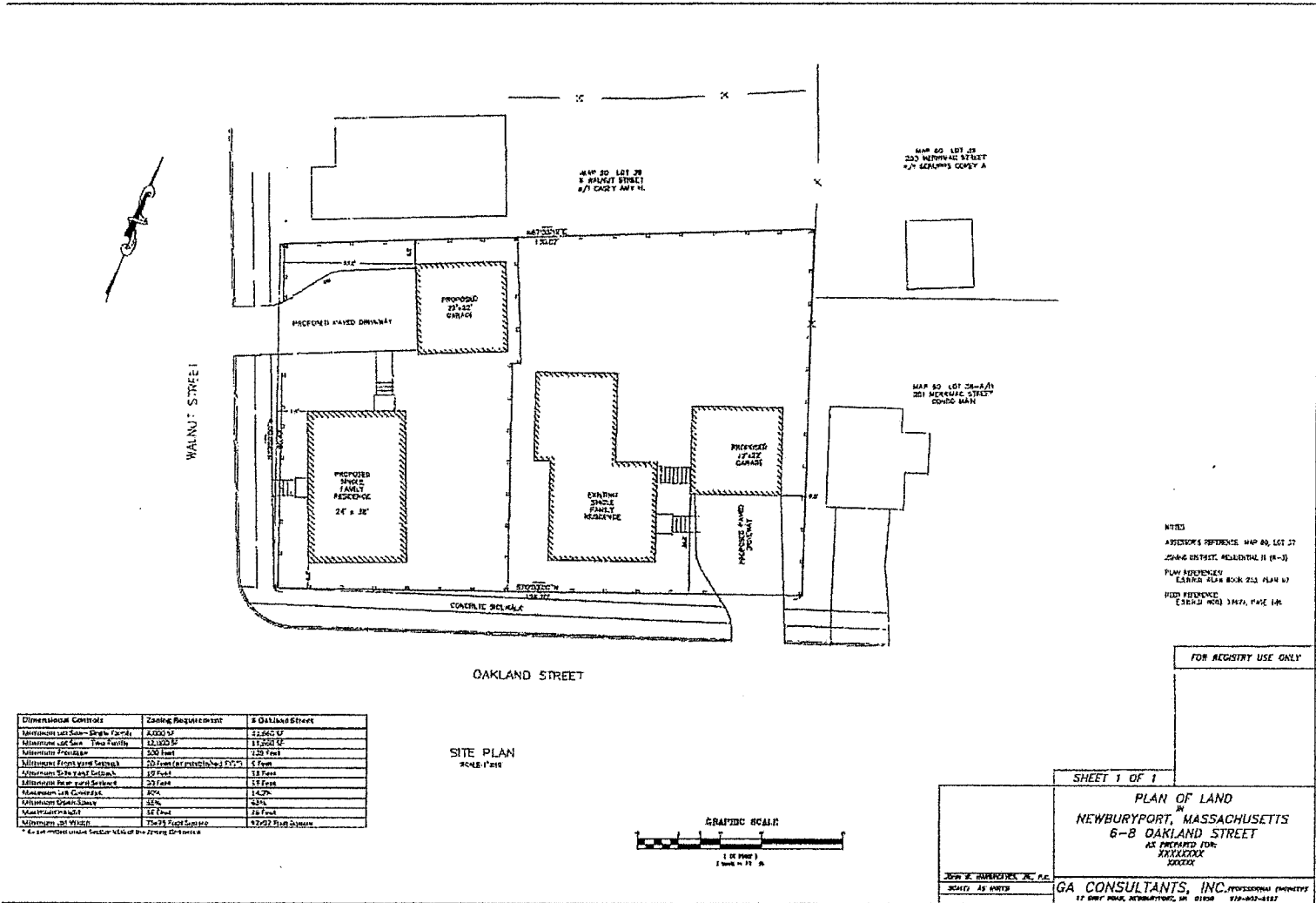


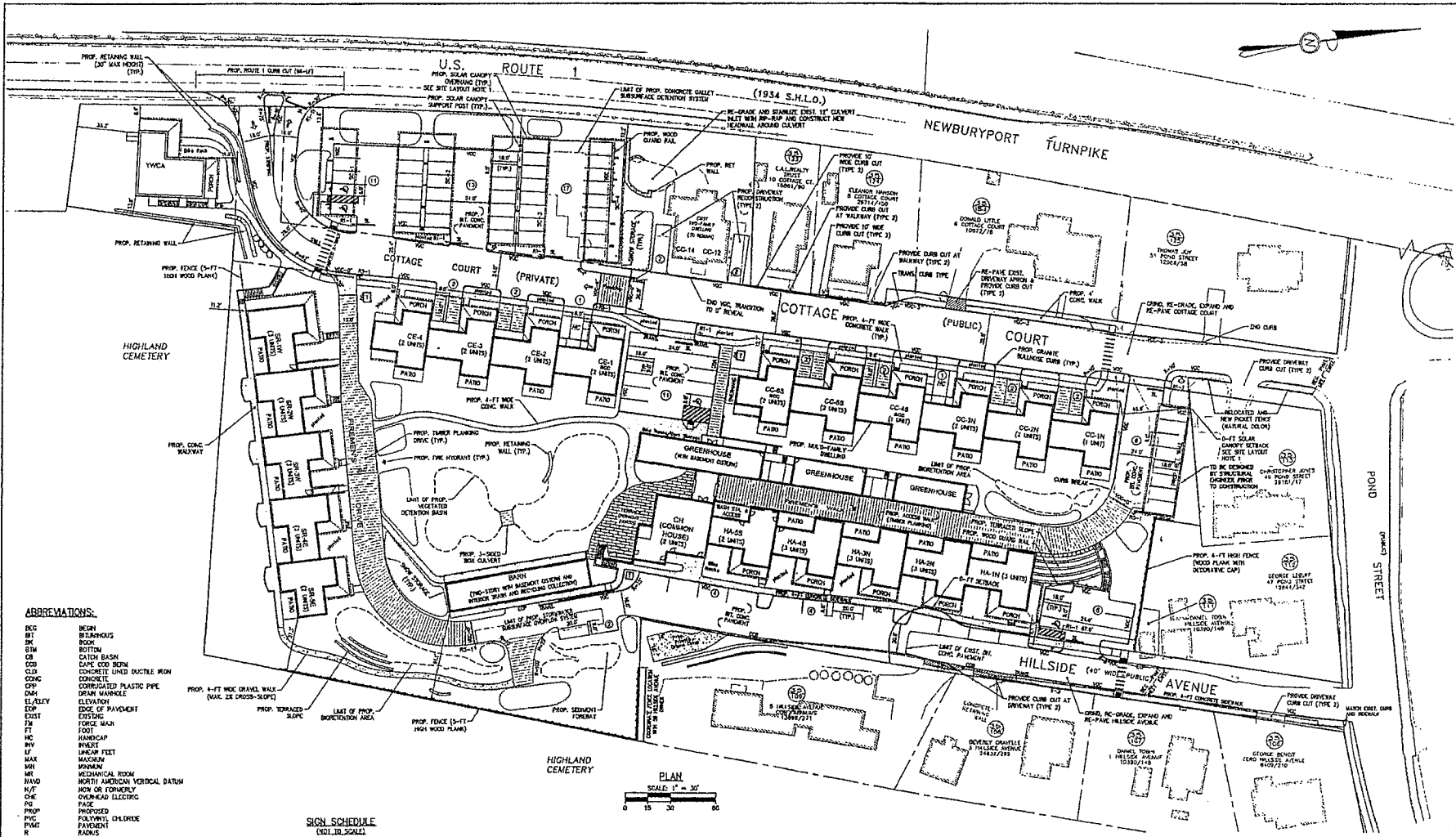
<b>53 SPOFFORD STREET</b> CERTIFIED	RESEARCH EDY/CA
<b>PLOT PLAN OF LAND</b> IN NEWBURYPORT, MASSACHUSETTS ESSEX COUNTY	FIELD NA
PREPARED FOR: NATHANIEL NORTON	CALCULATION: EDY
PREPARED BY: DGT SURVEY GROUP - NORTH SHORE A DIVISION OF DIGITAL GEOGRAPHIC TECHNOLOGIES, INC.	DRAWING: EDY
15 CENTER STREET SUITE 1 NEWBURYPORT, MA 01999	CHECK EDY
TEL: 978-465-8992 info@dgtlsurvey.com www.dgtlsurvey.com	PROJ. MANAGER: EDY
<i>[Logo]</i>	DATE: 07/20/12
	D.D.T. JOB NO. S-110121
	CRD FILE 53032810
	SHEET NO 1 OF 1

DATE: 07/20/12	DATE:	REV: 0
DRAWING NO.:	3-490 CPP.DWG	



Figure 12 - Proposed Site Plan: Two Single Family Houses on a Single Lot (VI.C)





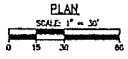
- ABBREVIATIONS:**
- REG ROOM
  - BT BRITANNISH ROOM
  - BRK ROOM
  - SBM BOTTOM
  - CB CATCH BASIN
  - CSB CABLE OVER BENCH
  - CDL CONCRETE UNID DUCTILE IRON
  - CONG CONCRETE
  - CRP CORRUGATED PLASTIC PIPE
  - DMH DEEM MANHOLE
  - EL/ELEV ELEVATION
  - EDP EDGE OF PAVEMENT
  - ESST ESCAPE
  - FM FORCE MAIN
  - FT FOOT
  - HC HANDCAP
  - HWY HIGHWAY
  - LF LINEAR FEET
  - MAC MASONRY
  - MR ROOM
  - MR MEDICAL ROOM
  - MSD NORTH AMERICAN VERTICAL DATUM
  - N/OF NOW OR FORMERLY
  - ONE OVERHEAD ELECTRIC
  - PAF FACE
  - PROP PROPOSED
  - PVC POLYVINYL CHLORIDE
  - PVMT PAVEMENT
  - R RAIN
  - RET RETAINING
  - SGE SQUARE FEET
  - SEW SEWER
  - STRUC STRUCTURE
  - SEW SEWER MANHOLE
  - TO BE TO BE DEEMED
  - TR TO BE REMOVED
  - TRF TRANSFORMER
  - TRNS TRANS
  - TP TYPICAL
  - USE UNDERGROUND ELECTRIC
  - VP VERTICAL GRANITE CURB
  - VC-0 VERTICAL GRANITE CURB SET FLUSH
  - VC-3 VERTICAL GRANITE CURB 3" REVEAL

**SIGN SCHEDULE**  
(END TO SCALE)

M.U.L.C.D. LEGEND	WIDTH	HEIGHT	SHAPED
RS-1	30"	30"	
RS-1	30"	30"	

- STRIPING LEGEND:**
- SWL 4" WHITE
  - X-WALK 10" WHITE X 5' LONG
  - PARKING 4" WHITE
  - SL 10" WHITE

**NOTE:**  
SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS FOR THE LATEST SIGN SPECIFICATIONS, TEXT, DIMENSIONS, COLOR AND NOMENCLATURE.



- SITE LAYOUT NOTES:**
- ROUTE 1 CURB CUT REQUIRES WALKWAY ACCESS PERMIT.
  - SITE CONSTRUCTION SHALL COMPLY WITH 821 CURB, MASSACHUSETTS ARCHITECTURAL ACCESS BOARD, FOLLOWING BUT NOT LIMITED TO PARALLEL STAIRS, RAMP, PARKING AND ACCESSIBLE ROUTES.
  - PROPOSED DRIVE AND FIREMAN'S WALK ARE NOT INTENDED FOR REGULAR VEHICULAR USE. THEY ARE DESIGNED FOR PEDESTRIAN USE AND FOR ACCESS BY EMERGENCY VEHICLES ONLY.
  - OFFSITE IMPROVEMENTS ILLUSTRATED HEREON SHALL NOT CHANGE UNTIL WRITTEN PERMISSION IS OBTAINED FROM THE APPLICABLE LAND OWNERS.
  - SEE ZONING ANALYSIS PLAN FOR DIMENSIONAL AND DENSITY REQUIREMENTS.
  - IMPROVEMENTS WITHIN THE PUBLIC WAYS WILL BE COORDINATED WITH THE NEWBURYPORT DEPARTMENT OF PUBLIC SERVICES DURING CONSTRUCTION.
  - ALL DRIVEWAYS SHALL BE "TYPE 1" UNLESS NOTED OTHERWISE. SEE SHEET 0-1.

**PLAN REFERENCE:**  
EXISTING 2007/08 PLAN OF LAND PREPARED BY GUY SURVEY GROUP-NORTH DORSET, DATED JULY 30, 2013 AND REVISED THROUGH JULY 1, 2016.

**GENERAL NOTE:**  
THESE PLANS ARE PREPARED FOR USE BY HILLSIDE LIVING, LLC FOR THE SPECIFIC PURPOSE OF OBTAINING PERMITS AND LOCAL APPROVALS, AND ARE NOT TO BE USED OR RELIED UPON AS A CONSTRUCTION DOCUMENT OR ANY OTHER USE BY OWNERS WITHOUT THE WRITTEN CONSENT OF THE MORIN-CAMERON GROUP, INC.

**The Morin-Cameron GROUP, INC.**

1000 STATE STREET, SUITE 100, NEWBURYPORT, MASSACHUSETTS 01950  
TEL: 978.335.1111 FAX: 978.335.1112  
WWW.MORIN-CAMERON.COM

---

**HILLSIDE CENTER FOR SUSTAINABLE LIVING**  
NEWBURYPORT, MASSACHUSETTS  
(ASSASSIN'S WAY - LOTS 110 & 117-122)  
PREPARED FOR:  
**HILLSIDE LIVING, LLC**

---

**SITE LAYOUT PLAN**  
DRAWING NO. **C-1**

---

**REVISIONS**

NO.	DESCRIPTION	DATE	BY	SCALE
1	ISSUE FOR PERMIT COMMENTS 1/7/18	1/7/18	DAVID BR. D'AMICO	AS NOTED
2	ISSUE FOR PERMIT REVIEW 7/20/18	7/20/18	DAVID BR. D'AMICO	AS NOTED

DATE: MAY 14, 2018



# MORTGAGE INSPECTION PLAN

LOCATED IN: NEWBURYPORT, MA.

BUYER: NELSON

SCALE: 1"=60'

DATE: JULY 19, 2001

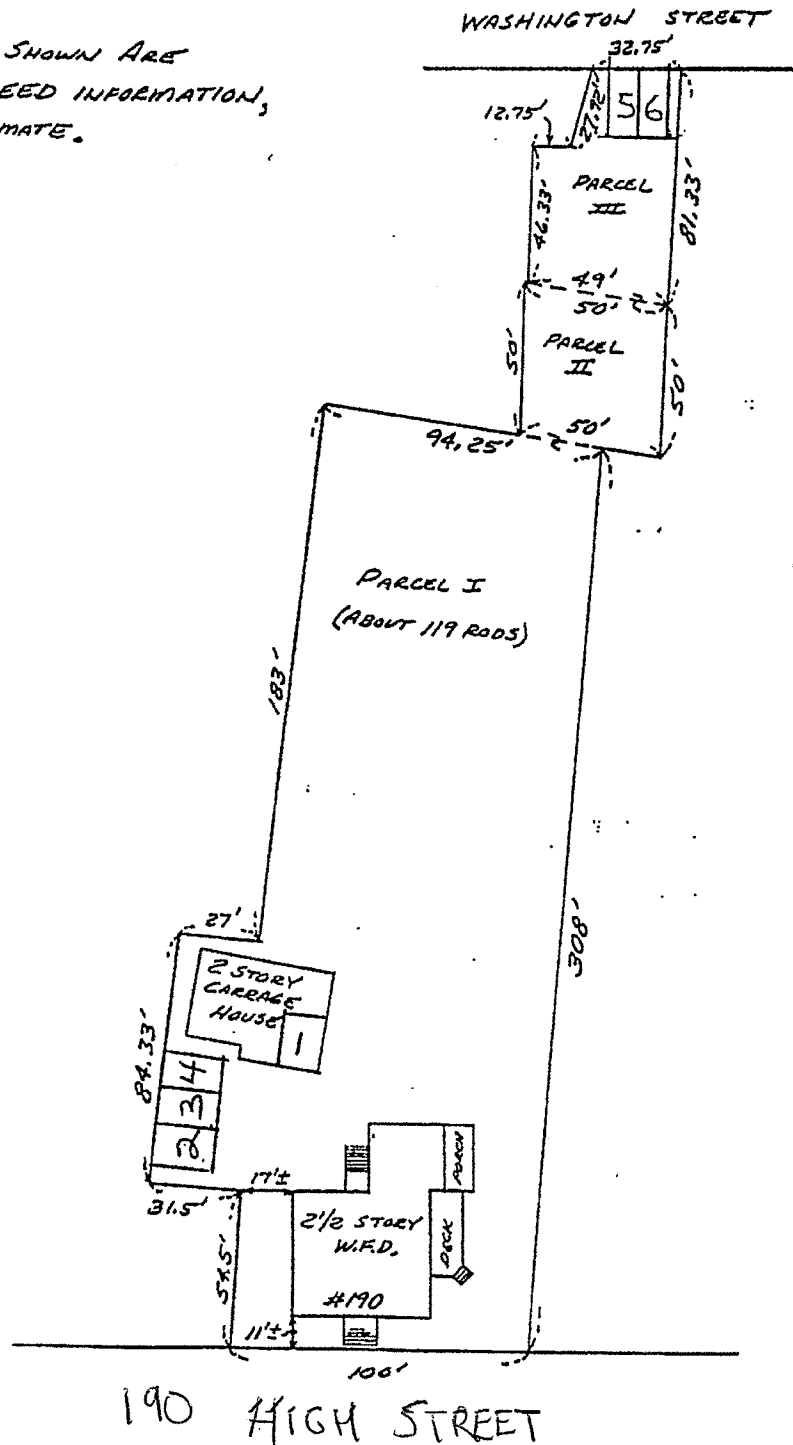
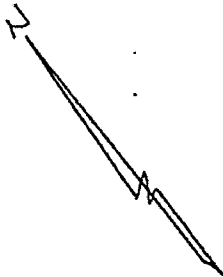
DEED BK. 12951 PG. 253

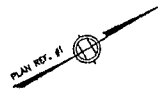
PLAN NO. DEED COMPILATION & ASSESSOR

BK. \_\_\_\_\_ PG. \_\_\_\_\_

INV. NO. 774

- PROPERTY LINES SHOWN ARE  
COMPILED FROM DEED INFORMATION,  
AND ARE APPROXIMATE.





**ZONING**

REVERSEL (R-1)  
SINGLE FAMILY

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	20,000 SF	26,000 SF	26,000 SF
MINIMUM FRONT SETBACK	150 FT	75.00 FT	75.00 FT
MINIMUM FRONT SETBACK	30 FT	11.6 FT	11.6 FT
MINIMUM SIDE SETBACK	30 FT	14.3 FT	20.0 FT
MINIMUM SIDE SETBACK	30 FT	14.7 FT	14.3 FT
MINIMUM REAR SETBACK	30 FT	20.0 FT	14.3 FT
MAX LOT COVERAGE	30%	2.1%	6.8%
MAX OPEN SPACE	30%	92.8%	93.2%
MAX BUILDING HEIGHT	30 FT	18.8 FT	28.3 FT

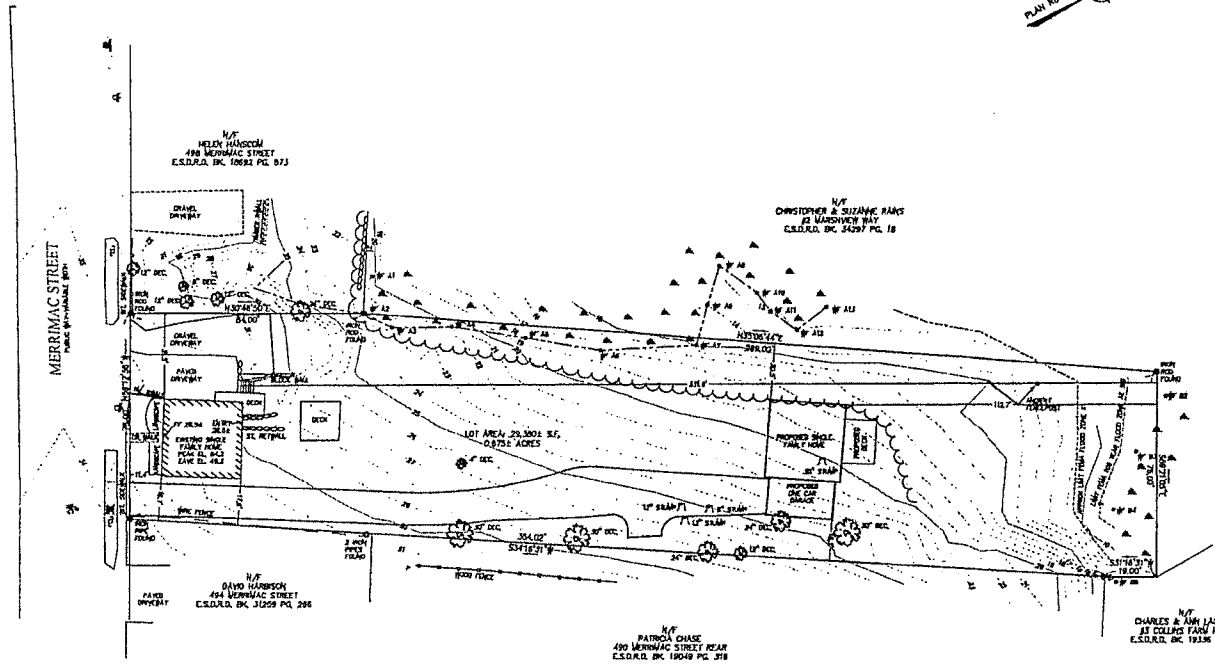
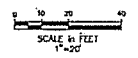
APPLICANT REPRESENTS SETBACK AND LOT AREA PLANNING ABOVE, WHICH HEIGHT IS NOT INTENDED TO BE A DEFINITE SETBACK DIMENSION AND IS FOR INFORMATIONAL PURPOSES ONLY. ALL REGULATIONS SHOULD BE REVIEWED BY LOCAL OFFICIALS PRIOR TO RELIANCE UPON THE SAME.

**NOTES**

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON THE LOT AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED ON APRIL 23, 2018. DESIGN FEATURES HAVE BEEN PROVIDED BY AND APPROVED BY THE CLIENT.  
ELEVATIONS SHOWN HEREON ARE ON HANO BE DATUM.  
A PORTION OF THE PROPERTY IS LOCATED IN FEMA ZONE AC ELEV 9.0 AS SHOWN HEREON. OTHER THAN INFORMATION USED IN THE PREPARATION OF THIS PLAN HAS OBTAINED FROM THE CITY OF NEWBURYPORT ASSESSOR'S OFFICE.  
LOCUS PROPERTY LINES SHOWN HEREON ARE CALCULATED FROM PLAN REFERENCE #1.  
TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING BY THE COMMONWEALTH OF MASSACHUSETTS.

P.L.S. EVERETT J. CHAMBER, P.L.S. MASS. REGISTRATION NO. 41783  
DATE \_\_\_\_\_

**PLAN REFERENCES**  
#1 REEL PLAN LOCATED AT 496 MERRIMAC STREET AS PREPARED FOR KAREN DAMON, PREPARED BY CYRUS DESON INC. DATED 2-22-18.



**LOCUS TITLE INFORMATION**  
496 MERRIMAC STREET  
OWNER: DAVID HANBSON & KAREN DAMON  
DEED REFERENCE BOOK 31427 PAGE 478  
ASSESSORS: MAP 89 PARCEL 1

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**Winter GEC, LLC**

34 WINTER STREET  
NEWBURYPORT, MA 01890  
878-270-8528

NO.	DATE	BY	REVISIONS
1	10/21/18	L.P.	REVISED GARAGE AND DRIVEWAY

FIELD	J.P.L.
CALCULATED	J.P.L.
CHECKED	E.K.
APPROVED	E.K.

ZONING BOARD OF APPEALS PLAN  
496 MERRIMAC STREET

PROJECT IN NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR DAVID HANBSON & KAREN DAMON

PROJECT NO. 496MERRIMAC
DATE: SEPT. 27, 2018
SHEET NO. 1 OF 1

