

**City of Newburyport Planning Board**  
**FORM C – DEFINITIVE SUBDIVISION APPROVAL Application**

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The undersigned hereby submits an application for:

- Definitive Subdivision approval  
 Definitive Subdivision modification

Applicant: The Daly Group LLC c/o Lisa Mead, Mead, Talerman & Costa, LLC  
Mailing Address: 30 Green Street  
Newburyport, MA 01950  
Phone: 978-463-7700  
Email: lisa@mtclawyers.com

Site Address: 8, 10, 12, and 18 Colby Farm Lane

Name of Subdivision: The Stables at Bashaw Farm

Map and Lot(s): Map 98 Lots 26, 27, 5, and 4 Zoning District R1 and CFLROD

Book and Page: See attached or Certificate of Title: \_\_\_\_\_

Easements and restrictions of record (describe and include deed references):  
\_\_\_\_\_

Preliminary Plan Submitted:  Yes  No If yes, plan approved on: \_\_\_\_\_

Engineer: LandPlex LLC

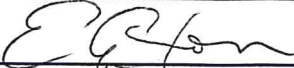
Address: 10 George Street Suite 208  
Lowell, MA 01852

Phone: 978-201-9390

Email: mhamor@landplex.com

Owner's Name: Ellsworth Eaton Jr., Trustee

Address: 7 Currier Street  
Amesbury, MA

Owner's Signature: 

**City of Newburyport Planning Board  
Application for SITE PLAN REVIEW**

Applicant: The Daly Group LLC c/o Lisa Mead, Mead, Talerman & Costa, LLC  
Address: 30 Green Street  
Newburyport, MA 01950  
Phone: 978-463-7700  
Email: lisa@mtclawyers.com

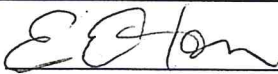
Property Address: 8, 10, 12, and 18 Colby Farm Lane  
Assessor's Map and Lot(s): Map 98 Lots 26, 27, 5, and 4 Zoning District: R1 and CFLROD  
Book and Page(s) or Cert.#: See attached

Type of Project:  Major  Minor  Amendment (attach previous decision)

Project Description: Construct 8 dwelling units on 2 lots on the property in an open space residential subdivision along with related amenities.

Engineer: LandPlex LLC  
Address: 10 George Street Suite 208  
Lowell, MA 01852  
Phone: 978-201-9390  
Email: mhamor@landplex.com

Owner: Ellsworth Eaton Jr., Trustee  
Address: 7 Currier Street  
Amesbury, MA  
Phone: \_\_\_\_\_

Owner's Signature: 

**City of Newburyport Planning Board  
Application for a SPECIAL PERMIT**

The undersigned hereby submits an application for:

- Special Permit
- Special Permit amendment

Petitioner: The Daly Group LLC c/o Lisa Mead, Mead, Talerman & Costa, LLC  
Address: 30 Green Street  
Phone: 978-463-7700  
Email: lisa@mtclawyers.com  
Owner: Ellsworth Eaton Jr., Trustee  
Address: 7 Currier Street, Amesbury, MA  
Phone: \_\_\_\_\_

Site Address: 8, 10, 12, and 18 Colby Farm Lane

Assessor's Map and Lot(s): Map 98 Lots 26, 27, 5, and 4 Zoning District: R1 and CFLROD

Book and Page #: See attached or Certificate of Title: \_\_\_\_\_

**Ordinance section where relief is being requested:**

- |  |  |
|--|--|
| <input type="checkbox"/> Table of Permitted Uses (V-D)                       | <input type="checkbox"/> Courts and Lanes (XXIII)                    |
| <input checked="" type="checkbox"/> One residential structure per lot (VI.C) | <input type="checkbox"/> Waterfront West Overlay District (XXIV)     |
| <input checked="" type="checkbox"/> Open Space Residential Development (XIV) | <input type="checkbox"/> Towle Complex Redev. Overlay District (XXV) |
| <input type="checkbox"/> Water Resource Protection District (XIX)            | <input type="checkbox"/> Other _____                                 |
| <input type="checkbox"/> Federal Street Overlay District (XXII)              | (For XXVII, see DOD Special Permit Application)                      |

**Describe the Special Permit request:**

Construct 8 dwelling units on 2 lots on the property in an open space residential subdivision along with related amenities.

**Petitioner and Landowner signature(s):**

Every application for a Special Permit shall be made on this form, which is the official form of the Planning Board. It shall be the responsibility of the petitioner to furnish all supporting documentation with this application. The dated copy of this application received by the City Clerk or Office of Planning and Development does not absolve the applicant from this responsibility. Failure to comply with application requirements as cited herein may result in the Planning Board dismissing the application as incomplete.

Signature of petitioner/owner:   
Print name(s) here: David T. Daly

**OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD)  
FOUR-STEP DESIGN PROCESS  
[SECTION XIV(5)(A)(I)-(IV)]  
ADDENDUM TO THE SPECIAL PERMIT APPLICATION**

<b>ZONING INFORMATION</b>	
Acreage of the property(ies) (must be three acres or more)	7.631 acres
What is the property zoned (AC, R1, R2, BUS-1 I-B-ROD)?	R1 / R-2 CFLROD
If zoned R1 or R2, is the property less than three (3) acres?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<b>SKETCH PLAN REQUIREMENTS</b> (check each step completed as part of the sketch plan)
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***Step 1: Identifying Conservation Areas and Potentially Developable Areas***

**Primary Conservation Areas**

List and describe briefly the primary conservation areas identified on the site. If present, attach documentation for areas protected by jurisdictional federal, State and local laws.

See sheet 2 on the attached plan set.

**Secondary Conservation Areas**

List and describe briefly the secondary conservation areas identified on the site.

See sheet 2 on the attached plan set.

**Potentially Developable Area (PDA):** 59,942 sq ft acres If the PDA consists of areas separated by primary or secondary conservation areas or public right(s)-of-way, list acreages separately.

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**Step 2: Locating House Sites**  
*Locate the approximate site of individual houses or structures and delineate the private yards and shared amenities, so as to reflect an integrated neighborhood that conforms to the existing topography and natural features.*

8 Number of homes/dwelling units          0 Number of accessory structures

Lot Number	Acreage	Lot Number	Acreage
See attached			

**Step 3: Aligning Streets and Trails**  
*Align streets to access the house lots and lay out sidewalks and walking trails to create internal and external connections to existing and/or potential future streets, sidewalks and trails. These features should be shown on a sketch plan.*

If walking trails or recreational trails are proposed, describe use, width and surface material(s).

See attached plans which include a walking trail and bridge crossing.

**Step 4: Determining Lot Lines**

If any restrictive covenants or easements are proposed for common space, open space or individual lots, provide proposed language that describes briefly any use restrictions within the designated areas.

The open space area of 6.255 acres will include a conservation restriction and/or be deeded to the City as determined during the hearing process.

**Conventional Subdivision Yield Plan Requirements**  
(refer to requirements described in Section 7 of the OSRD Ordinance)

\_\_\_\_\_ <sup>8</sup> Number of lots or dwelling units permitted by a conventional subdivision yield plan

**Waivers for Subdivision Requirements and Dimensional Requirements**

Provide a description of any waivers requested from the Rules and Regulations Governing the Subdivision of Land.

Provide a zoning analysis describing any waivers to the dimensional requirements in Section VI of the Zoning Ordinance and any other waivers of requirements in the Zoning Ordinance.

*Refer to OSRD Ordinance for more detailed application and public hearing requirements and deadlines for OSRD projects.*

### **Book and Page of Property**

Book 15799 Page 31

Book 26178 Page 1

Book 26178 Page 3

### **Lots and Lot Configuration**

There will be a single family home lot consisting of 10,000 square feet.

There will be 7 single family homes and one two family home located on 49,942 square feet of area. Of the 49,942 sq ft of area there will be a common open space and play ground in addition to 5 public parking spaces.



Mead, Talerman & Costa, LLC  
Attorneys at Law

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Newburyport, MA 01950

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Fax 978.463.7747

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February 28, 2020

By Hand

Bonnie Sontag, Chair  
Planning Board  
City of Newburyport  
City Hall  
60 Pleasant Street  
Newburyport, MA 01950

Re: Application for Definitive Subdivision  
Application for Special Permit OSRD and Special Permit VI-C  
Application for Site Plan Review  
8, 10, 12, and 18 Colby Farm Lane (the "Property")  
Assessor's Map: 98 Lots: 26, 27, 5, and 4

Dear Chair and Members of the Board;

Reference is made to the above captioned matter. In that connection, this firm represents The Daly Group LLC (the "Applicant"). The Applicant seeks special permits for the establishment of an Open Space Residential Development ("OSRD") and the siting of more than one dwelling on a lot, approval of a Definitive Subdivision Plan on the Property, and Major Site Plan review approval. If allowed, the OSRD will ensure the permanent preservation of a 6.255-acre open space parcel (the "Open Space Parcel") which will include a pedestrian bridge crossing and hiking trail connection, and in addition, on the developable portion, five (5) parking spaces and a playground open to the public. This proposed OSRD along with the Reserve at Bashaw Farm will ensure the retention of the rural character which historically was predominant in this area of the City.

#### **A. Property Background**

The Property is currently is used for truck storage and housing of large roll-off container type structures. It includes 7.631 acres of land and is located in the R1 and Colby Farm Lane Residential Overlay District ("CFLROD") zoning districts under the Newburyport Zoning Ordinance (the "Ordinance").

#### **B. Relief Requested**

The Applicant seeks a Special Permit to allow the establishment of an OSRD on the Property and approval of a definitive plan. The Applicant also seeks a Section VI-C Special Permit and is subject to Major Site Plan Review. As you can see from the plans, the Property will support eight (8) dwelling units on duplex lots, which when laid out meet all of the subdivision regulations of the Planning Board without the need for waivers and which would fully comply with the City of Newburyport Wetlands Ordinance and Regulations. Given that the Property includes in excess of

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three (3) acres, in accordance with Section XIV-B(a) of the Ordinance, the Applicant is required to submit this Special Permit Application.

### **Open Space Residential Development Special Permit**

Pursuant to Section XIV-D, the Applicant attended pre-application meetings with the Planning Board on January 15, 2020, and again on February 5, 2020.

In accordance with Section XIV-C of the Ordinance, the Applicant is required to meet the Special Permit Criteria set forth in Section X-H(7)(A) of the Ordinance.

#### **Section X-H(7)(A)**

1. *The use requested is listed in the table of use regulations or elsewhere as in the ordinances requiring a special permit in the district for which application is made or is similar in character to permitted uses in a particular district but is not specifically mentioned.*

The Property is located in the CFLROD, which is subject to the dimensional regulations applicable to the R2 zoning district, notwithstanding the Property's location in an R1 zoning district. Single-family residential use is allowed in the table of use regulations by right in the R2 zoning district. The two-family use will require a Special Permit from the Zoning Board. Additionally, Section XIV-B(a) of the Ordinance requires that any proposed residential development on three (3) acres of land or more shall submit a special permit for an OSRD.

2. *The requested use is essential and/or desirable to the public convenience or welfare.*

The use as single family homes in the R2, as well as a two-family, by their very nature being allowed by-right and Special Permit, have been determined to be essential and/or desirable to the public convenience or welfare given the City Council has adopted the zoning. Additionally, the Ordinance requires that any residential development over three (3) acres must submit an application for a Special Permit for an OSRD. Given that requirement, the City has determined that the development of an OSRD is more desirable than a traditional subdivision on land of three (3) acres or more.

3. *The requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The use as single-family homes is one of the least impactful uses allowed under the Ordinance. Additionally, there will be only one two-family structure. Here there are only eight (8) units being added. Based upon the prior review for the Reserve at Bashaw Farm, it is clear that the area can support an additional eight (8) units without creating undue traffic congestion or impairing pedestrian safety. Additionally, the Applicant will construct five (5) public parking spaces located just off Colby Farm Lane. As you are aware, the traffic flow will also be improved by the widening of Colby Farm Lane during the project for the Reserve at Bashaw Farm.

4. *The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the city will be unduly subjected to hazards affecting health, safety or the general welfare.*

The Applicant will construct the project to meet all of the required stormwater regulations. Currently, notwithstanding the use to store old trucks and the like, there are no stormwater mechanisms catching and cleaning

the stormwater before it travels into the wetlands. The project will meet stormwater requirements and that condition will be abated.

5. *Any special regulations for the use, set forth in the special permit table are fulfilled.*

All special regulations set forth in Section XIV of the Ordinance are fulfilled in this submission. For those specific items not represented on the plan, the Applicant will be doing the following:

- a. Use of Open Space: The open space will be suitable for a combination of conservation, outdoor education, passive and active outdoor recreation.
- b. Long-term protection: the open space will be subject to a recorded conservation restriction enforced by the City and held exclusively for the foregoing purposes, and conveyed to the Home Owners Association or the City as set forth in Section XIV-I(d) of the OSRD, unless the Board finds otherwise.

The proposed OSRD meets all General Design Standards found in Section XIV-J(a)(i) of the Ordinance, as evidenced by the attached Landscape, OSRD and architectural plans. Of particular note, the one lot which faces Colby Farm Lane is more similar to the units at The Reserve at Bashaw Farm than in the proposed subdivision.

6. *The requested use will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood.*

The proposed OSRD will be located in the CFLROD. The proposed development is located on 7.631 acres of land, whereby under traditional subdivision standards eight (8) lots could be created. The area is predominantly single-family homes located in an open space residential design. The clustering of homes near the road will help maintain the feel of this more rural landscape.

7. *The proposed use is in harmony with the purpose and intent of this ordinance.*

Section XIV of the Ordinance requires that residential development on three (3) acres or more be submitted by way of an OSRD Special Permit. The purpose of the OSRD is to allow greater flexibility and creativity in design of residential development, permanent preservation of open space and natural resources, encourage more efficient and compact design and minimize disturbance on the site, among others. This proposal accomplishes these purposes. Indeed, by allowing this development, the Applicant proposes to clean up a current area which may cause harm to the wetland resource area and create a public play space in an area of the community which lacks such a facility. The design creatively uses the site to ensure access to various outdoor recreational activities, and it provides a connection to a hiking trail. The design ensures preservation of at least 80% of the lot area and aids in the preservation of the rural landscape in this area of the community. As a result, given its compliance with the Ordinance, the residential use in the OSRD is in harmony with the purpose and intent of the Ordinance.

8. *The proposed use shall not be conducted in a manner so as to emit any dangerous, noxious, injurious or otherwise objectionable fire, explosion, radioactive or other hazard, noise or vibration, smoke, dust, odor or other form of environmental pollution.*

The proposed OSRD will not create any type of dangerous, noxious, injurious or otherwise objectionable fire, explosion, radioactive or other similar hazard before, during or after construction. As to be expected, construction of any type will create some amount of noise and dust. All construction will consequently take place at reasonable hours and all measures will be taken to minimize any temporary disturbances to surrounding properties.

## I. Section XIV-K

In accordance with Section XIV-K of the Ordinance, a special permit may be granted for the establishment of an OSRD where this Board determines that the proposed OSRD has a less detrimental impact on the tract and advances further the interests of the community than a conventional development plan (“CDP”) for the tract based on the following factors:

1. *Whether the OSRD achieves greater flexibility and creativity in the design of residential developments than a CDP.*

The use of an OSRD to develop the Property allows the Applicant to create smaller lots that are clustered in smaller portions of the Property rather than using all of the Property for individual homeowners, thereby essentially turning private property into public property without the need for public tax dollars to be spent. The proposed OSRD accomplishes this goal as can be seen on the plan. First, the Applicant clusters the eight (8) homes toward the front of the Property. Next, the Applicant uses the land in its present state and highlights, so to speak, the wetlands and natural landscapes that currently exist. It combines to the greatest extent possible all of the open space. The proposed OSRD and the method by which the homes are placed on the lots will essentially create a tight-knit neighborhood, where the residents are encouraged to have neighborly interactions with one another by congregating toward the front of the lots and on the open common area to the front where a playground and greenspace area are located to encourage community interactions.

2. *Whether the OSRD promotes permanent preservation of open space, scenic vistas, agricultural land, forestry land, wildlife and rare species habitat, other natural resources and features, including aquifers, waterbodies, areas of critical environmental concern, and wetlands, and historical and archeological resources in a manner that is consistent with the City of Newburyport Master Plan, City of Newburyport Strategic Land Use Plan and City of Newburyport Open Space Plan.*

The proposed OSRD will promote the preservation of open space and recreation in the City in accordance with the City of Newburyport Master Plan (hereinafter referred to as the “Master Plan”) and the Open Space Plan. The proposed OSRD includes conservation restriction on the Open Space Parcel to be held by the Home Owners Association or conveyed to the City as set forth in the Ordinance.

These actions are in alignment with the Master Plan and Open Space plans to increase the amount of public and private open space that are protected. The placement of a conservation restriction on the Open Space Parcel or conveying it to the City will ensure that 6.255 acres of land becomes open space preserved in perpetuity and available to the public.

The proposed OSRD will also further the Master Plan goals by preserving and enhancing the City’s historic structures, traditional neighborhoods, and cultural landscapes. If a special permit is granted for the development of an OSRD, the new neighborhood will enhance those neighborhoods around the Property by eliminating a commercial use, creating public open space and providing safe access to a playground and hiking trails. It will also preserve a historic landscape for the City.

The proposed OSRD will likewise further the goals of the City’s Open Space and Recreation Plan, which places an emphasis on preserving the City’s remaining open space. This area is one of the largest pieces of open space left in the city that is privately owned. The proposed OSRD will give the City the opportunity to preserve over 80% of the Property without spending any taxpayer dollars to do so.

3. *Whether the OSRD promotes a more efficient and compact form of development that consumes less open land and natural materials and conforms to existing topography and natural features better than a CDP.*

The use of an OSRD in the development of the Property will allow for residential lots with less area than is required in a CDP. The use of small lots and smaller setbacks allows the residences to be constructed in a more compact fashion. This configuration will consume less land than a CDP with the same number of lots.

The clustering of the residential lots towards the existing public road, namely Colby Farm Lane, prevents the construction of unneeded public streets.

4. *Whether the OSRD reduces the total amount of disturbance on the site as compared with a CDP.*

An eight (8)-dwelling unit CDP would cause more disturbance to the Property than the proposed OSRD and would not be in keeping with the overall feel of this area of the City. The additional disturbances primarily result from the larger required lot area and longer roads. Creating larger lots leaves much less open space. By clustering the residential lots together towards the front of the Property, more valuable open space is preserved, and less area is taken by private individual ownership.

5. *Whether the OSRD furthers the goals and policies of the City of Newburyport Master Plan, City of Newburyport Strategic Land Use Plan and City of Newburyport Open Space Plan as amended from time to time.*

As discussed above in Section 2, the proposed OSRD furthers the goals and policies of the Master Plan and the Open Space Plan with respect to the preservation of open space and historical features of the City.

The Master Plan places an emphasis on housing. The proposed OSRD furthers the Goals of the Master Plan in that respect. In particular, it ensures that new housing developments are designed to protect the City's natural and cultural resources and to preserve open space corridors. The proposal also promotes a range of housing options, provides a diverse neighborhood, and accommodates households with varying housing needs and family structures.

6. *Whether the OSRD facilitates the construction and maintenance of housing, streets, utilities, and public services in a more economical and efficient manner than a CDP.*

The proposed OSRD will allow for a more efficient construction of public services, streets and utilities than a CDP primarily due to the placement of the residential lots. The use of an OSRD allows the residential lots to be smaller than are required in a CDP. This allows all the residential lots to be located towards an existing public road. The neighborhood created inside the development will be more efficiently maintained and given that there will be no additional public roads, the City will not have the cost of maintenance and upkeep of the streets, thereby preventing more pressure on City finances.

7. *Whether the OSRD special permit plan and other supporting documentation complies with all provisions of this section XIV.*

The OSRD special permit plan and all supporting documentation comply with the provisions of Section XVI of the Ordinance.

8. *Whether the proposed construction of housing, landscape and streetscape is in harmony with the overall architectural heritage and historic character of the City of Newburyport.*

The eight (8) new dwelling units comprising the proposed OSRD have been carefully designed to be in harmony with and compliment the character of the City and the surrounding landscape.

9. *If applicable, whether the OSRD meets the affordable housing requirements as compared to a CDP.*

The proposed OSRD will include an affordable component of one (1) affordable housing unit.

### **Definitive Subdivision Submission**

Pursuant to the requirements of the Subdivision Rules and Regulations, the Applicant submits herewith its Definitive Subdivision Application. Attached please find the following documents:

1. The Stables at Bashaw Farm by Daly Group LLC Definitive Subdivision drawn by LandPlex, LLC, 10 George Street, Lowell, and dated February 14, 2020.
2. Stormwater Management Report by LandPlex, LLC, 10 George Street, Lowell, and dated February 14, 2020 including Operation and Maintenance Plan for Stormwater System.
3. Environmental and Community Impact Analysis
4. Deeds
5. Front Elevations of Architectural Design. Please note pursuant to the OSRD Special Permit, the other three elevations may be submitted during the definitive process.
6. Definitive Plan Application and Requisite Filing Fee
7. Special Permit Application and Requisite Filing Fee

It should be noted that while a definitive plan is prepared, in the end this will get filed as an ANR plan because ultimately no public streets will be created. As a result, there are no waivers submitted.

### **Section VI-C Special Permit**

In order to maximize the open space and minimize the impervious surface, the Applicant proposes to include the five (5) single-family homes to the rear of the Property and the two-family structure on one (1) lot without lot lines. They would be held in condominium ownership and would qualify as more than one (1) residential structure on a single lot under section VI-C of the Ordinance.

1) The application shall include conceptual by-right development plans, such as a conventional subdivision, to demonstrate to the planning board that more than one residential structure per lot is a reasonable alternative to other allowed developments of the parcel involved.

The Applicant has submitted herewith a by-right plan which shows a proposed subdivision on eight (8) individual house lots. The Applicant's proposal is a reasonable alternative to constructing eight (8) individual house

lots as the Applicant will be able to preserve significant amounts of open space, provide active recreational opportunities, provide an affordable unit, and reduce the impervious area.

(2) A clear public benefit is derived from the proposed development, including but not limited to a long-term restriction involving one or more of the following:

- a. Creation of affordable housing;
- b. Preservation of historical structures; and/or
- c. Conservation of significant natural resources.

The Applicant proposes to create one (1) affordable housing unit in perpetuity and to grant a conservation restriction on the open space to the rear of the Property and/or convey it to the City for open space purposes.

(3) Unless the residential structures are located side-by-side and have the same front yard setback, then one (1) residential structure shall be subordinate to the other dwelling in appearance by meeting either of the following:

- a. Covering at least ten (10) percent less building footprint and built no higher than the existing dwelling; or
- b. Located entirely within the envelope of an accessory building in existence on the effective date of this ordinance.

As shown on the submitted plans, the structure to the front of the lot, the two-family structure, is clearly larger in scale and massing than the homes to the rear, which are more of a cottage style. The proposal meets these criteria.

(4) The plan provides adequate ways furnishing access to each site for such building, in the same manner as otherwise required for lots within a subdivision.

The plan shows adequate access within the lot and includes a turnaround for emergency vehicles.

(5) The proposed residential structures shall comply with all other applicable zoning regulations.

The proposed new structures otherwise comply with zoning and the OSRD development method.

### **Major Site Plan Review**

Under Section XV-C of the Ordinance, major site plan review is mandated where a project consists of construction of 1,000 square feet or more of gross floor area. Accordingly, this project is subject to major site plan review.

#### **A. Submission Requirements Under Section XV-E(a)**

As per Section XV-E(a) of the Ordinance, the following information is provided, all as shown on the plans included herewith:

1. Location and boundaries. The location and boundaries of the Property and adjacent roadways, to the extent feasible, are shown on the plans.
2. Structures. The proposed structures are shown on the plans. Additionally, architectural drawings have been provided.

3. Signage. Signage is as shown on the plans.
4. Landscaping. The Landscape Plan is provided and is stamped by a Landscape Architect.
5. Traffic. Traffic patterns, site access, and circulation within the site are all shown on the plans. The Applicant seeks a waiver from a full Traffic Report submission.
6. Parking. The locations of parking spaces, entrances and exits are all shown on the plans.
7. Public access. Public access is shown on the plans, including the five (5) public parking spaces.
8. Lighting. Lighting is shown on the plans.
9. Topography. Both existing and proposed topography of the site, with contours, are shown on the plans
10. Water and waste disposal, drainage and other utilities. The locations of water and sewer systems, other utilities and connections thereto are shown on the plans.

#### **B. Narrative Submittals Under Section XV-E(b)**

As required by Section XV-E(b) of the Ordinance, the following narrative submittals are provided to assist with the Board's review of the Project:

1. Surface and groundwater pollution. The Storm Water Report prepared by LandPlex, LLC is attached hereto. (the "Storm Water Report").
2. Soils. Please see Storm Water Report.
3. Environmental and community impact analysis. The Applicant requests a Waiver from a full Environmental and Community impact analysis, for the same reasons set forth. An environmental and community impact analysis overview is attached hereto.
4. Traffic impacts. The Applicant requests a waiver from filing a traffic report. As detailed in the OSRD special permit section above, the use as single-family homes and one two-family home is one of the least impactful uses allowed under the Ordinance, and only eight (8) units will be added.
5. Architectural style. The proposed elevation plans are attached.
6. Other permits required. The project will require the OSRD Special Permit, Section VI-C Special Permit, Definitive Subdivision approval, and a special permit from the Zoning Board for the two-family use.

#### **C. Criteria for Site Plan Review**

Pursuant to Section XV-G of the Ordinance, each of the criteria for site plan review are addressed as follows:

1. Community character. The Property is located in the R1 zoning district and CFLROD, which is one

of the more rural areas of the City. The Property is more than 7.631 acres. The OSRD development proposed on the Property is consistent with the community character in that its design reflects the rural nature of the neighborhood and the Open Space Parcel will remain reflective of that rural character.

2. Traffic, parking and public access. As aforementioned, the use of the Property for single-family homes and one two-family—for a total of eight (8) dwellings—is the one of the least impactful uses under the Ordinance in terms of traffic. Additionally, the project will add five (5) public parking spaces off Colby Farm Lane.

3. Health. The project will have no negative effect on the public health or safety.

4. Public services and utilities. The Applicant will construct the project to meet all required stormwater regulations. As shown on the plans, public services and utilities are proposed.

5. Land use planning. The proposal is sensitive to the surrounding area and the rural character of the R1 district and CFLROD. The project will permanently preserve open space due to the compact nature of the residential development, in contrast to a traditional subdivision.

6. Open space and environmental protection. The Property is 7.631 acres, of which 80% will be preserved as open space. The stormwater plan ensure protection of the wetlands, an improvement over the current use of the Property.

#### **D. Development and Performance Standards**

Pursuant to Section XV-H of the Ordinance, each of the required development and performance standards, to the extent the same are applicable, are addressed as follows:

1. Pedestrian and vehicular access and traffic impacts. Pedestrian and vehicular access, circulation on-site, parking, and accessibility for emergency vehicles are shown on the plans.

2. Site plan and architectural design. The project has been designed to be sensitive to the rural character of the neighborhood.

3. Lighting. Lighting will meet all requirements under the Ordinance.

4. Landscaping. All landscaping will be properly maintained by the Home Owners Association.

5. Storm water runoff. The project complies with the City of Newburyport Storm Water Guidelines. The Applicant has submitted a Storm Water Report.

6. Water quality. The project does not result in any negative impact on the quality of groundwater.

7. Wetlands. The project will require Conservation Commission approval and the project fully complies with the City of Newburyport Wetlands Ordinance and Regulations.

8. Erosion control. Erosion control measures are shown on the plans.

9. Environmental performance standards. The project complies with the performance standards set

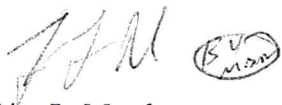


forth in Section XI of the Ordinance, governing fire and explosive hazards, radioactivity, smoke, air pollution, wastes, vibration, noise, odors and glare.

1. Utilities. Public utilities are provided to the site and will be utilized. All standards and requirements of the City of Newburyport Water and Sewer Departments will be followed. All new locations and connections are represented on the plans.

We look forward to presenting the plan to the Board.

Respectfully submitted,  
The Daly Group LLC  
By Its Attorney,



Lisa L. Mead

cc: Client  
Board of Health  
City Clerk

## ENVIORNMENTAL AND COMMUNITY IMPACT ANALYSIS

The Applicant submits this overview in addition to the Stormwater Report to address the environmental and community impact of the project. As an overview the property is currently being used for storage of trucks and various abandon equipment and storage trailers. These uses which are counter to the approved zoning will be removed and the threat to the nearby wetlands will thereafter be alleviated. A proper buffer will be constructed between the project and the wetland resource area and moving forward the wetlands and surrounding open space will be protected from contaminants and improper intrusion.

The proposal to construct 8 dwelling units will include between 20 and 24 bedrooms. The project will be connected to City water and sewer services. The impact therefore will include 2,640 gpd in the most conservative analysis. The City treats approximately 2.1 million gpd of water and treats 2.4 million gpd for sewer. The increase to the system will therefore be negligible. Additionally, the Low Street sewer was recently reconstructed and therefore, this new development will have limited if any impact thereon.

The Applicant is proposing to construct a foot bridge to connect to hiking trails in the rear of the property as well as construct a playground to be open, not only to the residents of the development, but to the public in general. This improvement coupled with the construction of five (5) off street parking spaces for the public will provide recreational opportunities to the Low Street neighborhoods which heretofore have not existed,

The compact development promotes limited use of valuable open space corridors. Retaining the landscapes and vistas in this area of the city are paramount in retaining the rural character that exists over the fields on Low Street. Reduction in pervious surfaces, minimization of setbacks, and restricting further development of open space conforms with the City Master Plan and has a positive impact on the environment and community overall.

There will be limited amounts of traffic in the area as a result of these eight (8) housing units. One of the least intense traffic impacts are single family homes This development is no different. The road will be improved to meet the needs of the development to the driveway for the home that faces Colby Farm Lane. This improvement will further the improvements which began as a result of the Reserve at Bashaw Far.

Finally, the development will include several housing types. Both single and two family dwellings are provided. Of the single family homes there is a larger more traditional style, but in addition smaller cottage style homes. Importantly there is an affordable unit which will be provided as part of this development. In the end, both diversity in affordability and housing styles will be provided.

CITY OF NEWBURYPORT, MA  
ZONING DETERMINATION

APR# 2020-022

Name: Daly Group LLC

Address: 8,10,12,18 Colby Farm Ln (Map98,Lots 26,27,5 &4) Zoning District(s): R2/CFLROD

Request: Establish an OSRD of 8 dwelling units with more than 1 residential structure per lot.

ZONING BOARD REVIEW REQUIRED

Variance

- Dimensional Controls (VI)
  - Lot Area
  - Lot Frontage
  - Lot Coverage
  - Parking (VII)
  - Modification
- Open Space
- Height
- Lot Width
- Front Yard
- Side Yard
- Rear Yard

Sign Variance

- Signs (VIII)
  - Type
  - Lighting
  - Size
  - Location

Other

\_\_\_\_\_

Special Permit

- Table of Use Regulations (V.D) #: \_\_\_\_\_
- Spacing (VI.D)
- In-Law Apartment (XIIA)
- Bonus for Multifamily Developments (XVI)
- Personal Wireless Communication Services (XX)
- Demolition Control Overlay District (XXVIII)\*
- Wind Energy Conversion Facilities (XXVI)
- Other \_\_\_\_\_

Special Permit for Non-Conformities

- Extension or Alteration (IX.B.2)
  - Parking
  - Upward Extension
  - Open Space
  - Height
  - Lot Area
  - Use
  - Rear Yard
  - Lot Coverage
  - Side Yard
  - Lot Frontage
  - Front Yard
- Over 500 sf. increase (IX.B.3.c)
- Plum Island Overlay District (XXI-G-3)
  - FAR
  - Lot Coverage
  - Height
  - Setbacks
  - Open Space

PLANNING BOARD REVIEW REQUIRED

Special Permit

- Table of Use Regulations (V-D) # \_\_\_\_\_
- One residential structure per lot (VI.C)
- Open Space Residential Development (XIV)
- Water Resource Protection District (XIX)
- Federal Street Overlay District (XXII)
- Courts and Lanes (XXIII)
- Waterfront West Overlay District (XXIV)
- Towle Complex Redev. Overlay District (XXV)
- Downtown Overlay District (XXVII)\*
- Other \_\_\_\_\_

Special Permit for Non-Conformities

- Extension or Alteration (IX.B.2)
  - Parking
  - Upward Extension
  - Open Space
  - Height
  - Lot Area
  - Use
  - Rear Yard
  - Lot Coverage
  - Side Yard
  - Lot Frontage
  - Front Yard
- Over 500 sf. increase (IX.B.3.c)

Site Plan Review (XV)

- Major
- Minor

Smart Growth District (XXIX)

- Plan Approval

HISTORICAL COMMISSION REVIEW REQUIRED

- Demo. Delay
- \*Advisory Review

CONSERVATION COMMISSION REVIEW REQUIRED

XXX-D.1 AHT Pre Application meeting

*SUBDIVISION REVIEW*

*[Signature]*  
Newburyport Zoning Administrator

2/24/2020

Date

# 8 COLBY FARM LN

**Location** 8 COLBY FARM LN

**MBLU** 98/ 26/ / /

**Owner** EATON ELLSWORTH M JR TRS

**Assessment** \$68,000

**PID** 6494

**Building Count** 1

## Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$0	\$68,000	\$68,000

## Owner of Record

**Owner** EATON ELLSWORTH M JR TRS  
**Co-Owner** EATON CROW REALTY TRUST  
**Address** 10A PARTRIDGE LN  
 SALISBURY, MA 01952

**Sale Price** \$0  
**Certificate**  
**Book & Page** 26178/0001  
**Sale Date** 10/13/2006  
**Instrument** 1F

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
EATON ELLSWORTH M JR TRS	\$0		26178/0001	1F	10/13/2006
EATON ELLSWORTH M. JR.	\$1		11740 0487	1A	02/10/1993
EATON ELLSWORTH M JR	\$8,000		06966/0073	1N	08/11/1982
KINSON BASIL S INC	\$0		05628/0573		08/08/1969

## Building Information

### Building 1 : Section 1

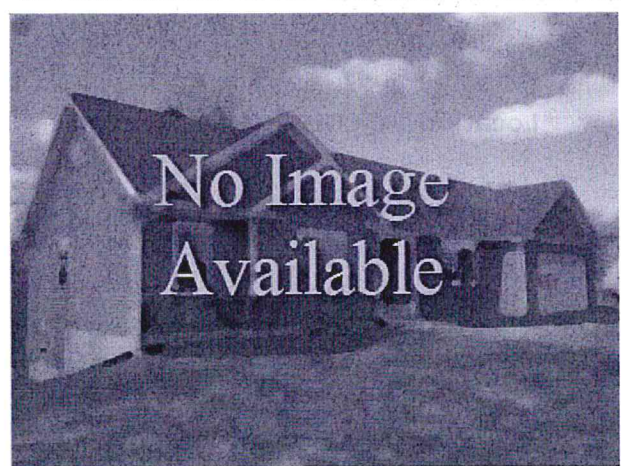
**Year Built:**

**Living Area:** 0

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Stories:	
Occupancy	
Exterior Wall 1	
Exterior Wall 2	

Roof Structure:	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	

**Building Photo**



(<http://images.vgsi.com/photos/NewburyportMAPPhotos//default.jpg>)

**Building Layout**

([http://images.vgsi.com/photos/NewburyportMAPPhotos//Sketches/6494\\_6678.jpg](http://images.vgsi.com/photos/NewburyportMAPPhotos//Sketches/6494_6678.jpg))

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

**Extra Features**

Extra Features	Legend
No Data for Extra Features	

**Land**

**Land Use**

**Use Code** 1310  
**Description** RES ACLNPO

**Land Line Valuation**

**Size (Acres)** 0.57  
**Depth** 0  
**Assessed Value** \$68,000

**Outbuildings**

Outbuildings	Legend
No Data for Outbuildings	

**Valuation History**

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$0	\$68,000	\$68,000

# 10 COLBY FARM LN

**Location** 10 COLBY FARM LN

**MBLU** 98/ 27/ / /

**Owner** EATON ELLSWORTH M JR TRS

**Assessment** \$112,300

**PID** 6495

**Building Count** 1

## Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$29,000	\$83,300	\$112,300

## Owner of Record

**Owner** EATON ELLSWORTH M JR TRS  
**Co-Owner** EATON CROW REALTY TRUST  
**Address** 10A PARTRIDGE LN  
 SALISBURY, MA 01952

**Sale Price** \$0  
**Certificate**  
**Book & Page** 26178/0001  
**Sale Date** 10/13/2006  
**Instrument** 1F

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
EATON ELLSWORTH M JR TRS	\$0		26178/0001	1F	10/13/2006
EATON ELLSWORTH M. JR.	\$0		11740 0487	1A	02/10/1993
EATON ELLSWORTH M JR	\$8,000		06966/0073	1N	08/11/1982
KINSON BASIL S INC	\$0		05628/0573		08/08/1969

## Building Information

### Building 1 : Section 1

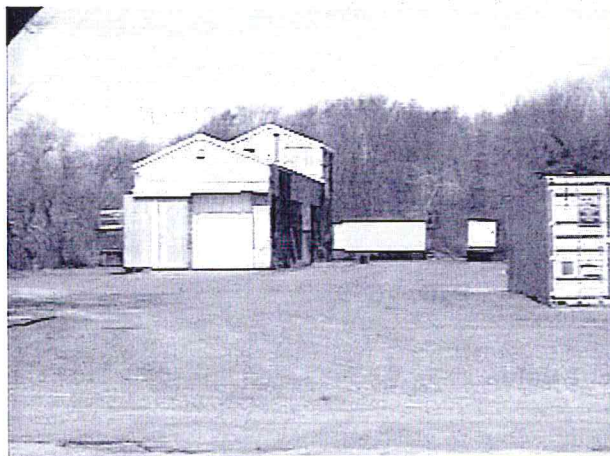
**Year Built:**

**Living Area:** 0

Building Attributes	
Field	Description
Style	Outbuildings
Model	
Stories:	
Occupancy	
Exterior Wall 1	
Exterior Wall 2	

Roof Structure:	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	

**Building Photo**



(<http://images.vgsi.com/photos/NewburyportMAPotos//\01\00\54\98.jpg>)

**Building Layout**

Building Layout ([http://images.vgsi.com/photos/NewburyportMAPotos//Sketches/6495\\_6679.jpg](http://images.vgsi.com/photos/NewburyportMAPotos//Sketches/6495_6679.jpg))

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

**Extra Features**

Extra Features	Legend
No Data for Extra Features	

**Land**

**Land Use**

**Use Code** 4400  
**Description** IND LD DV

**Land Line Valuation**

**Size (Acres)** 0.60  
**Depth** 0  
**Assessed Value** \$83,300

**Outbuildings**

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
PAV1	PAVING-ASPHALT			3000 S.F.	\$3,500	1
FGR1	GARAGE-AVE			1820 S.F.	\$25,500	1

**Valuation History**

Assessment			
Valuation Year	Improvements	Land	Total

# 12 COLBY FARM LN

**Location** 12 COLBY FARM LN

**MBLU** 98/ 5/ / /

**Owner** EATON ELLSWORTH M JR TRS

**Assessment** \$64,300

**PID** 6467

**Building Count** 1

## Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$0	\$64,300	\$64,300

## Owner of Record

**Owner** EATON ELLSWORTH M JR TRS  
**Co-Owner** EATON CROW REALTY TRUST  
**Address** 10A PARTRIDGE LN  
 SALISBURY, MA 01952

**Sale Price** \$0  
**Certificate**  
**Book & Page** 26178/0003  
**Sale Date** 10/13/2006  
**Instrument** 1F

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
EATON ELLSWORTH M JR TRS	\$0		26178/0003	1F	10/13/2006
EATON ELLSWORTH M JR	\$0		11740/0486	1A	02/10/1992
EATON ELLSWORTH M JR	\$7,500		07515/0183	00	09/07/1984
SMITH MILTON H	\$1		07257/0421	1A	11/01/1983
KINSON BASIL S INC	\$0		5554/ 668		09/03/1968

## Building Information

### Building 1 : Section 1

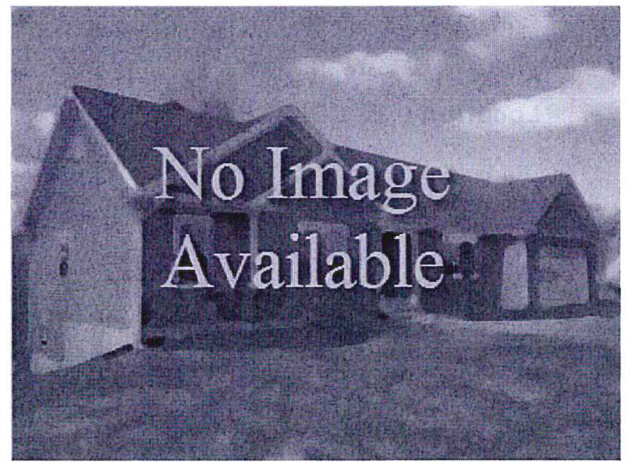
**Year Built:**

**Living Area:** 0

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Stories:	
Occupancy	
Exterior Wall 1	



Exterior Wall 2	
Roof Structure:	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	



(<http://images.vgsi.com/photos/NewburyportMAPhotos//default.jpg>)

**Building Layout**

([http://images.vgsi.com/photos/NewburyportMAPhotos//Sketches/6467\\_6651.jpg](http://images.vgsi.com/photos/NewburyportMAPhotos//Sketches/6467_6651.jpg))

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

**Extra Features**

Extra Features	Legend
No Data for Extra Features	

**Land**

**Land Use**

**Use Code** 1310  
**Description** RES ACLNPO

**Land Line Valuation**

**Size (Acres)** 0.23  
**Depth** 0  
**Assessed Value** \$64,300

**Outbuildings**

Outbuildings	Legend
No Data for Outbuildings	

**Valuation History**

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$0	\$64,300	\$64,300

# 18 COLBY FARM LN

**Location** 18 COLBY FARM LN

**MBLU** 98/ 4/ / /

**Owner** EATON ELLSWORTH M TRUSTEE

**Assessment** \$88,900

**PID** 6466

**Building Count** 1

## Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$0	\$88,900	\$88,900

## Owner of Record

**Owner** EATON ELLSWORTH M TRUSTEE  
**Co-Owner** CROW'S NEST REALTY TRUST  
**Address** 10A PARTRIDGE LN  
 SALISBURY, MA 01952

**Sale Price** \$0  
**Certificate**  
**Book & Page** 15799/0031  
**Sale Date** 07/09/1999  
**Instrument** 1A

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
EATON ELLSWORTH M TRUSTEE	\$0		15799/0031	1A	07/09/1999
EATON-MURPHY-WILSON TRS.	\$11,666		13271/0398	1K	11/07/1995
RAWHIDE INCORPORATED	\$1		11981 0553	1K	07/01/1993
PAYSON WILBUR A	\$0		5250/ 747		

## Building Information

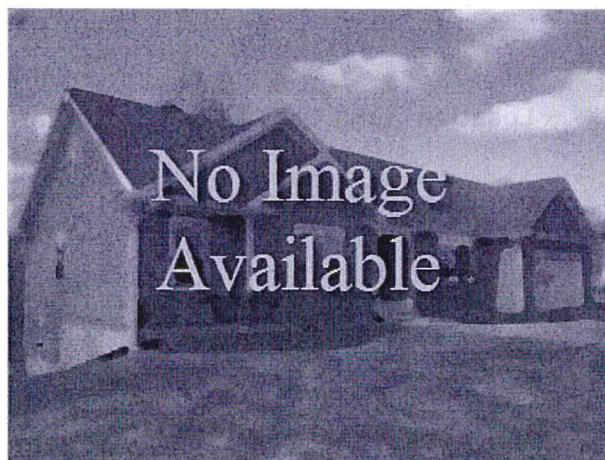
### Building 1 : Section 1

**Year Built:**

**Living Area:** 0

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Stories:	
Occupancy	

Exterior Wall 1	
Exterior Wall 2	
Roof Structure:	
Roof Cover	
Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	



(<http://images.vgsi.com/photos/NewburyportMAPhotos//default.jpg>)

**Building Layout**

([http://images.vgsi.com/photos/NewburyportMAPhotos//Sketches/6466\\_6650.jpg](http://images.vgsi.com/photos/NewburyportMAPhotos//Sketches/6466_6650.jpg))

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

**Extra Features**

Extra Features	Legend
No Data for Extra Features	

**Land**

**Land Use**

**Use Code** 1310  
**Description** RES ACLNPO

**Land Line Valuation**

**Size (Acres)** 6.41  
**Depth** 0  
**Assessed Value** \$88,900

**Outbuildings**

Outbuildings	Legend
No Data for Outbuildings	

**Valuation History**

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$0	\$88,900	\$88,900

25

We, Ellsworth Eaton, John P. Murphy and Daniel R. Wilson, Trustees of the EMW Realty Trust under a declaration of trust dated October 31, 1995 and recorded with the Essex South District Registry of Deeds in book 13271 page 391

07/09/99 8:18 inst. 27  
BK 15799 PG 31

of Crow Lane Newburyport, Essex County, Massachusetts

XXXXXXXXXXXX for nominal consideration

grant to Ellsworth M. Eaton, Trustee of Crow's Nest Realty Trust under a declaration of trust dated September 8, 1997 and recorded with the Essex South District Registry of Deeds herewith.

of Crow Lane Newburyport, Massachusetts 01950 with quitclaim covenants the land in Newburyport, Essex County, Massachusetts, bounded and described as follows:

a certain parcel of land being shown as Lot 3 on plan entitled "Plan of Land in Newburyport, MA showing a subdivision for Land on Lot St. and Crow Lane", prepared for: Ellsworth Eaton, John P. Murphy and Daniel R. Wilson Trustees of the EMW Realty Trust, prepared by: North Shore Engineering P.O. Box 274 Groveland, Ma 01834, Scale: 1"=80', dated: July 15, 1998 and duly recorded with the Essex South District Registry of Deeds herewith.

Lot 3 contains 6.41 acres of land, more or less, according to said plan.

Being a portion of the premises conveyed to the grantors by deed of Rawhide Incorporated dated October 31, 1995 and recorded with the Essex South District Registry of Deeds in Book 13271 page 398.

Lot 3 Crow Lane Newburyport, Massachusetts 01950

Executed as a sealed instrument this 8th day of September 1998

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The Commonwealth of Massachusetts

Essex ss. September 8 1998

Then personally appeared the above named Ellsworth Eaton, John P. Murphy and Daniel R. Wilson, Trustees

and acknowledged the foregoing instrument to be their free act and deed,

Before me, \_\_\_\_\_

My commission expires 11/25/99

Notary Public  
XXXXXXXXXXXX  
19

Box 66

NO ENV.

2006101300154 Bk:26178 Pg:1  
10/13/2006 10:36:00 DEED Pg 1/2

QUITCLAIM DEED

Ellsworth M. Eaton, Jr., individually, of 10 Crow Lane, Newburyport, MA

for nominal consideration paid (less than one hundred dollars)

grant to Ellsworth M. Eaton, Jr., Trustee of Eaton Crow Realty Trust, under a declaration of trust dated October 12, 2006, and recorded with Essex South District Registry of Deeds (the "Trust"), with an address of 10 Crow Lane, Newburyport, MA  
with QUITCLAIM COVENANTS

Three parcels of land situated in Newburyport, Essex County, Massachusetts, with the address of 8 and 10 Crow Lane, Newburyport, with the buildings thereon, bounded and described as follows:

See Exhibit A attached hereto and incorporated herein.

WITNESS my hand and seal this 12<sup>th</sup> day of October 2006.

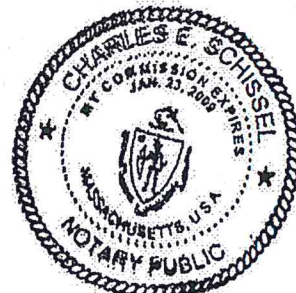
*Ellsworth M. Eaton, Jr.*  
Ellsworth M. Eaton, Jr.

COMMONWEALTH OF MASSACHUSETTS

Essex County

On this 12<sup>th</sup> day of October 2006, before me, the undersigned notary public, personally appeared Ellsworth M. Eaton, Jr., proved to me through satisfactory evidence of identification, which was his/her/their Drivers License(s) to be the person(s) whose name is/are signed on the preceding or attached document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose.

*Charles E. Schissel*  
Charles E. Schissel - Notary Public  
My Commission Expires - 01/23/2009



Charles E Schissel  
Attorney at Law  
51 Sparhawk Street  
Amesbury, MA 01913

NEWBURYPORT  
8 & 10 CROW LANE,

125

EXHIBIT A

**LOCUS: Lots 8, 10, Crow Lane, Newburyport, MA**

**Parcel 1 (10 Crow Lane)**

A certain parcel of land situated on the Northwest side of Crow Lane in Newburyport, Essex County, Massachusetts being shown as Lot #1 on a plan entitled "Plan of Land in Newburyport, Mass. as Subdivided for Basil S. Kinson, Inc.", Scale: 1" = 40', dated April, 1975 by Louis M. Holt, Jr., said plan being recorded as Plan 262 of 1975. Said parcel is more particularly bounded as follows:

SOUTHEASTERLY	by Crow Lane a distance of 90 feet;
NORTHEASTERLY	by Lot #2 on said plan a distance of 274.27 feet;
NORTHWESTERLY	by land now or formerly of Leary, 107.81 feet;
SOUTHWESTERLY	on two (2) courses of land of Payson and Kinson a distance of 142.83 feet and 133.98 feet.

Containing 26,000 square feet more or less all according to said Plan.

**Parcel 2 (8 Crow Lane)**

A certain parcel of land situated on the Northwest side of Crow Lane in Newburyport, Essex County, Massachusetts being shown as Lot #2 on the plan referenced in Parcel 1 above. Said parcel is more particularly bounded as follows:

SOUTHEASTERLY	by Crow Lane a distance of 90 feet;
NORTHEASTERLY	by Lot #3 on said plan, 273.39 feet;
NORTHWESTERLY	by land now or formerly of Leary, 89.98 feet;
SOUTHWESTERLY	by Lot #1 on said plan a distance of 274.27 feet

Containing 24,640 square feet, more or less all according to said plan.

Parcels one and two being the same premises conveyed to the grantor by deed of Ellsworth M. Eaton, Jr., and Nancy J. Eaton dated March 11, 1992, recorded with Essex South District Registry of Deeds in Book 11740, Page 487.

NO ENV. QUITCLAIM DEED

2006101300155 Bk:26178 Pg:3  
10/13/2006 10:36:00 DEED Pg 1/2

Ellsworth M. Eaton, Jr., individually, of 10 Crow Lane, Newburyport, MA

for nominal consideration paid (less than one hundred dollars)

grant to Ellsworth M. Eaton, Jr., Trustee of Eaton Crow Realty Trust, under a declaration of trust dated October 12, 2006, and recorded with Essex South District Registry of Deeds (the "Trust"), with an address of 10 Crow Lane, Newburyport, MA with QUITCLAIM COVENANTS

Three parcels of land situated in Newburyport, Essex County, Massachusetts, with the address of 12 Crow Lane, Newburyport, with the buildings thereon, bounded and described as follows:

See Exhibit A attached hereto and incorporated herein.

WITNESS my hand and seal this 12<sup>th</sup> day of October 2006.

*Ellsworth M. Eaton, Jr.*  
Ellsworth M. Eaton, Jr.

COMMONWEALTH OF MASSACHUSETTS

Essex County

On this 12<sup>th</sup> day of October 2006, before me, the undersigned notary public, personally appeared Ellsworth M. Eaton, Jr., proved to me through satisfactory evidence of identification, which was his/her/their Drivers License(s) to be the person(s) whose name is/are signed on the preceding or attached document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose.

*Charles E. Schissel*  
Charles E. Schissel - Notary Public  
My Commission Expires - 01/23/2009



Charles E Schissel  
Attorney at Law  
51 Sparhawk Street  
Amesbury, MA 01913

12 CROW LANE, NEWBURYPORT

2006

EXHIBIT A

**LOCUS: Lots 12 Crow Lane, Newburyport, MA**

**Parcel 1 (12 Crow Lane)**

The land in said Newburyport, beginning at a point on Crow Lane being 470 feet, more or less, from Low Street, being the southeasterly corner of the herein described parcel, and running

WESTERLY	by said Crow Lane 100 feet to a point; thence turning and running
NORTHERLY	by land now or formerly of Hallmark Corp., 100 feet to a point;
	thence tuning and running in an
EASTERLY	direction 100 feet to land now or formerly of A. Currier; thence
	turning and running in a
SOUTHERLY	direction 100 feet to the point of beginning.

Being shown on "Plan of Land Division of Property owned by Hallmark Corp., Crow Lane, Newburyport," dated June 14, 1961, Scale 1" = 80' by MacWilliams Engineering Associates, Newburyport, Mass. as parcel A, containing 10,000 square feet more or less.

Being the same premises conveyed to the grantor by deed of Ellsworth M. Eaton, Jr., and Nancy J. Eaton dated March 11, 1992, recorded with Essex South District Registry of Deeds in Book 11740, Page 486.



**ORDERED:**

**AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF NEWBURYPORT**

Be it ordained by the City Council of the City of Newburyport as follows:

**THAT** the Zoning Ordinance, Appendix A of the Code of Ordinances, City of Newburyport, Massachusetts, is hereby amended pursuant to Section XII-B “Adoption and Amendment” as follows:

**Section III-C: Zoning Map.**

The Zoning Map of said Zoning Ordinance entitled “Zoning Map of the City of Newburyport,” referenced in Section III-C (entitled Zoning Map) is hereby amended pursuant to Section III-D “Changes to Zoning Map” as follows:

- a) Add a so-called “Colby Farm Lane Residential Overlay District” (CFL-ROD) as depicted on the attached map entitled “Colby Farm Lane Residential Overlay District,” prepared by the Office of Planning & Development, dated August 7, 2018;
- b) Eliminate the existing “IB-ROD” Overlay District, which is referenced in Section XIV entitled “Open Space Residential Development (OSRD); and
- c) Change the entire existing I-1B District located north of Colby Farm Road and west of Low Street to an R-2 District.

**Section XIV: Open Space Residential Development (OSRD)**

**Section XIV-A: Purposes and intent.**

*Delete subsection (5) of Section XIV-A, entitled “Purposes and intent,” in its entirety, and replace said subsection with the following:*

*(5) To further the goals and policies of the City of Newburyport Master Plan, Strategic Land Use Plan and Open Space & Recreation Plan, as amended from time to time;*

**Section XIV-B: Applicability**

*Delete subsection b. of Section XIV-B, entitled “Applicability,” in its entirety, and replace said subsection with the following:*

*b. Zoning classification:* Only those tracts located in the following districts shall be eligible for consideration as an OSRD: AC, R1, R2, R3 and the Colby Farm Lane – Residential Overlay District (CFL-ROD). Residential Overlay Districts, such as the CFL-ROD, are intended to provide added incentives for open space protection due to the unique ecological, cultural, and/or aesthetic characteristics of the properties within the overlay district.

**Section XIV-G: Conventional subdivision yield plan – Basic maximum number of lots/dwelling units.**

Insert a new subsection b. under Section XIV-G, entitled “Conventional subdivision yield plan – Basic maximum number of lots/dwelling units,” as follows:

*b. Determination of yield within CFL-ROD: Notwithstanding any provision to the contrary, properties within the CFL-ROD are required to establish a determination of yield based on the requirements listed in Section XIV-G(a) using dimensional regulations applicable to the R-2 District.*

**Section XIV-I: Open space requirements**

Delete subsection (i)(d) of Section XIV-I, entitled “Open space requirements,” in its entirety, and replace said subsection with the following:

*d. In the CFL-ROD a minimum of eighty (80) percent of the tract shown on the OSRD-SP plan shall be open space and must be preserved as such in perpetuity in accordance with this subsection.*

Delete the first two (2) sentences of subsection (vii)(3) of Section XIV-I, entitled “Open space requirements,” and replace said sentences with the following:

*3. A corporation or trust owned individually (for agricultural or conservation purposes only) or jointly or in common by the owners of lots within the OSRD. If such corporation or trust is utilized, ownership thereof shall pass with conveyance of the lot(s) in perpetuity.*

**Section XIV-J: Design standards**

In subsection (a)(i)(1) of Section XIV-J, entitled “Design standards,” replace the word “it” with “its”.

In subsection (a)(i)(3) of Section XIV-J, entitled “Design standards,” replace the word “compliment” with “complement”.

**Section XIV-K: Decision of the planning board**

In subsection (a)(v) of Section XIV-K, entitled “Decision of the planning board,” delete the phrases “(2001)” and “(2004)”.

Replace the text of subsection (a)(viii) of Section XIV-K, entitled “Decision of the planning board,” in its entirety, and replace said text with the following:

*viii. Whether the proposed construction of housing, landscape and streetscape is in harmony with the overall architectural heritage and historic character of the City of Newburyport; and”*

**Section XIV-L: Increases in permissible density**

Delete subsections (b) and (c) of Section XIV-L, entitled “Increases in permissible density,” in their entirety, and replace said subsections with the following:

*b. In the CFL-ROD district, the planning board at its discretion may award a density bonus for an OSRD to increase the number of dwelling units beyond the basic maximum number. All projects within the CFL-ROD which provide either: 1) at least eighty-five (85) percent protected open space; or 2) deeded public access to, and improvements on, the protected open space, may be permitted an increase in permissible density of twenty-five (25) percent beyond the basic maximum number to a maximum density of twenty-five (25) units excluding the required percent of affordable housing units.*

c. In the AC, R1, R2, R3, and CFL-ROD districts, excluding units required under the Inclusionary Affordable Housing Ordinance, for every one dwelling unit restricted to occupancy for a period of not less than ninety-nine (99) years by persons or families who qualify as low or moderate income, as those terms are defined for the area by the commonwealth's department of housing and community development, the planning board may award a density bonus of two (2) market-rate dwelling units; provided, however, that this density bonus, in aggregate with other density bonuses, shall not exceed twenty-five (25) percent of the basic maximum number.

**Section XIV-N: Affordable housing requirements for OSRD projects**

*Insert a new Section XIV-N, entitled "Affordable housing requirements for OSRD projects" to read as follows:*

*For additional information regarding the minimum affordable housing requirements applicable to all OSRD projects, regardless of any density increases awarded pursuant to Section XIV-L, see Section XXX, entitled "Inclusionary affordable housing."*

---

Councilor Larry G. Giunta, Jr.

---

Councilor Charles F. Tontar

2/26/2020

# Sweet Cherry Pie

481.124.v8 KR (2/26/2020)

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 **Artform Home Plans**

603-431-9559



**Front Elevation**

Scale: 1/8" = 1'-0"

2/26/2020

# Sweet Cherry Pie

481.124.v8 KR (2/26/2020)

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 Artform Home Plans

603-431-9559



**Right Elevation**  
Scale: 1/8" = 1'-0"

2/26/2020

# Sweet Cherry Pie

481.124.v8 KR (2/26/2020)

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 Artform Home Plans

603-431-9559



**Rear Elevation**  
Scale: 1/8" = 1'-0"

2/26/2020

# Sweet Cherry Pie

481.124.v8 KR (2/26/2020)

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 Artform Home Plans

603-431-9559



**Left Elevation**  
Scale: 1/8" = 1'-0"







Front Elevation - 1/8" = 1'-0"



Right Elevation - 1/8" = 1'-0"



Left Elevation - 1/8" = 1'-0"



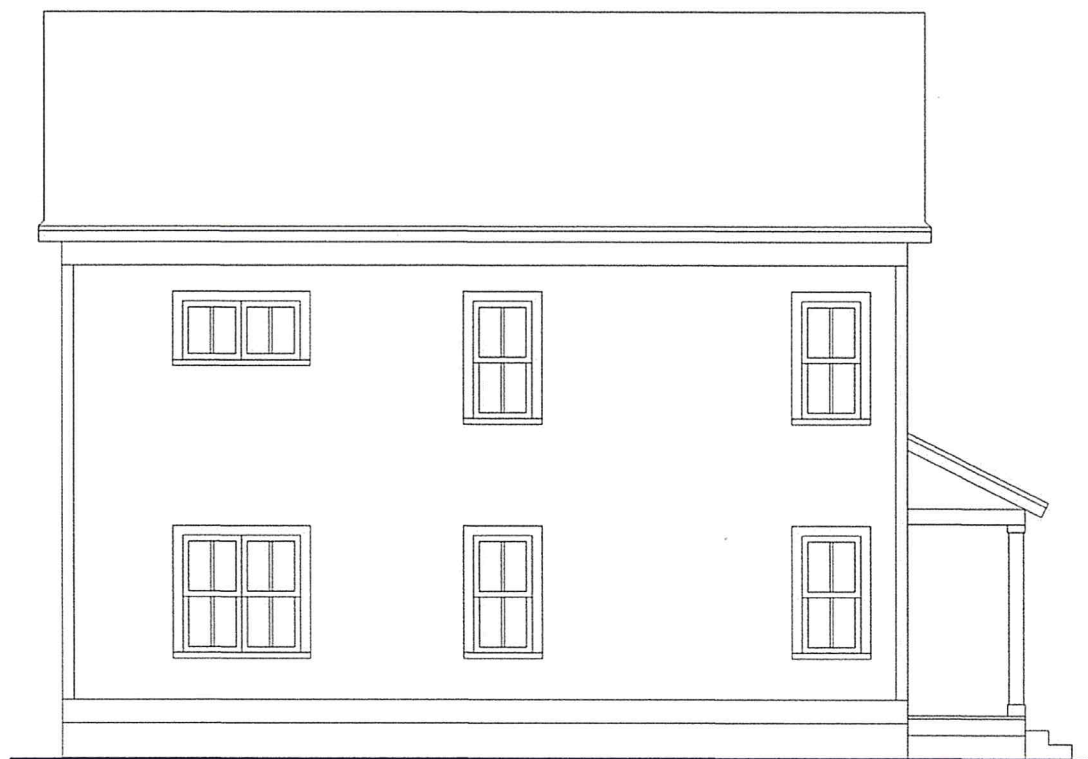
Rear Elevation - 1/8" = 1'-0"



Front Elevation - 1/8" = 1'-0"



Right Elevation - 1/8" = 1'-0"



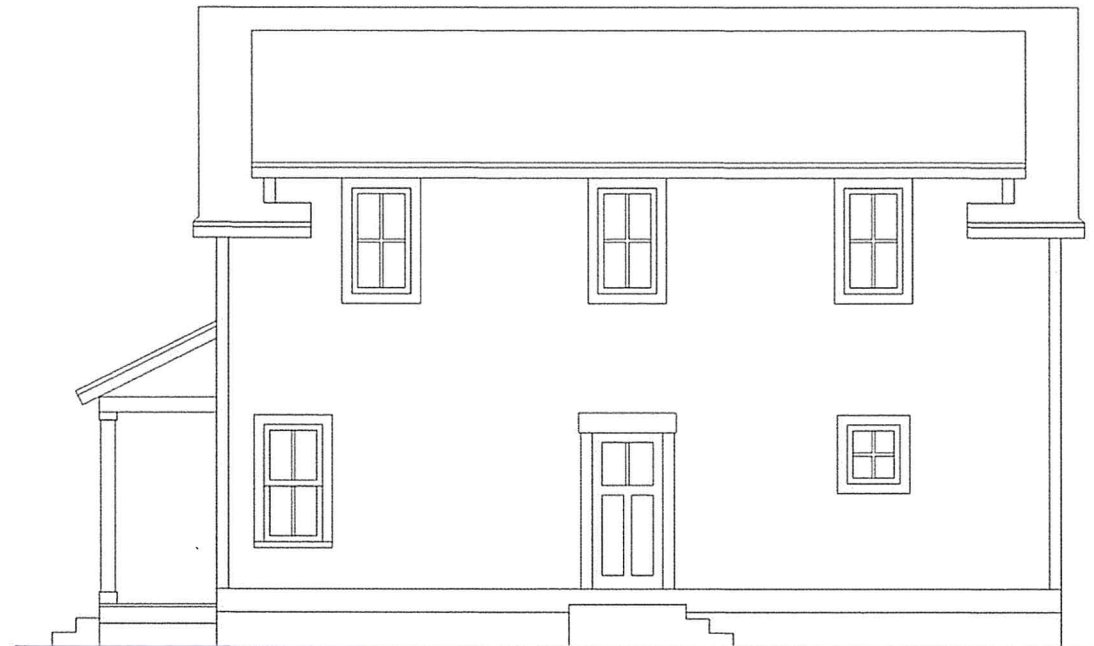
Left Elevation - 1/8" = 1'-0"



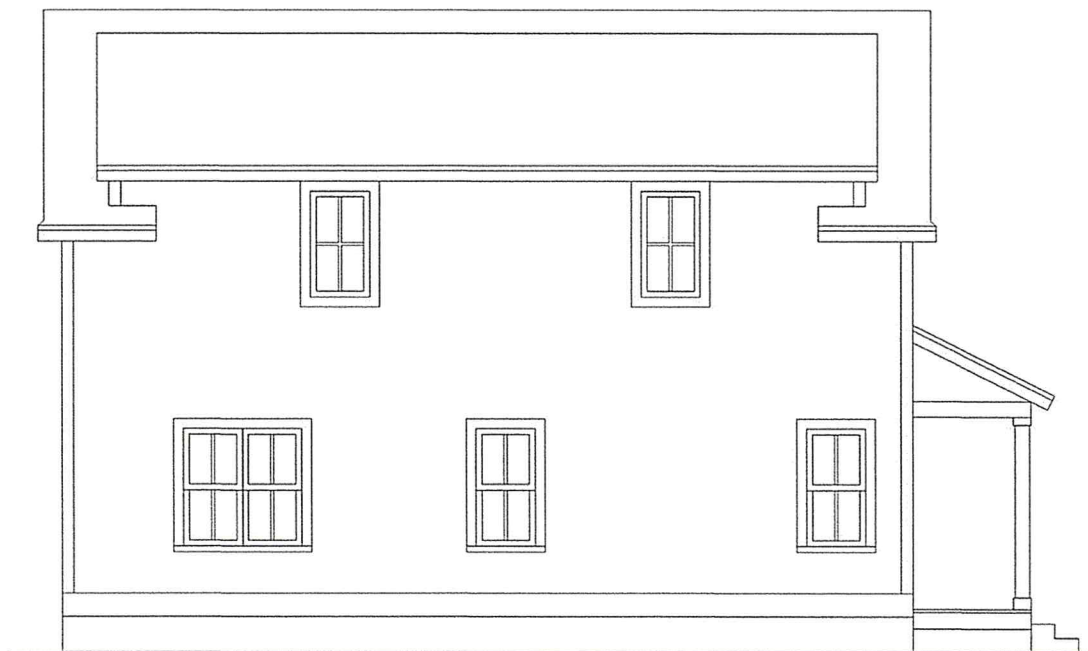
Rear Elevation - 1/8" = 1'-0"



Front Elevation - 1/8" = 1'-0"



Right Elevation - 1/8" = 1'-0"



Left Elevation - 1/8" = 1'-0"



Rear Elevation - 1/8" = 1'-0"

PER PLAN 3200-K



LOCUS  
"NOT TO SCALE"

**DEED REFERENCE**

CERT. NO. 92670  
DOC. NO. 603502

**PLAN REFERENCES**

SOUTHERN ESSEX COUNTY  
1. PLAN 3700-K

**ASSESSORS ID**

MAP 32, LOT 86

**PROPERTY OWNERS**

57 RAILROAD AVE LLC  
229 STEDMAN STREET  
LOWELL, MA

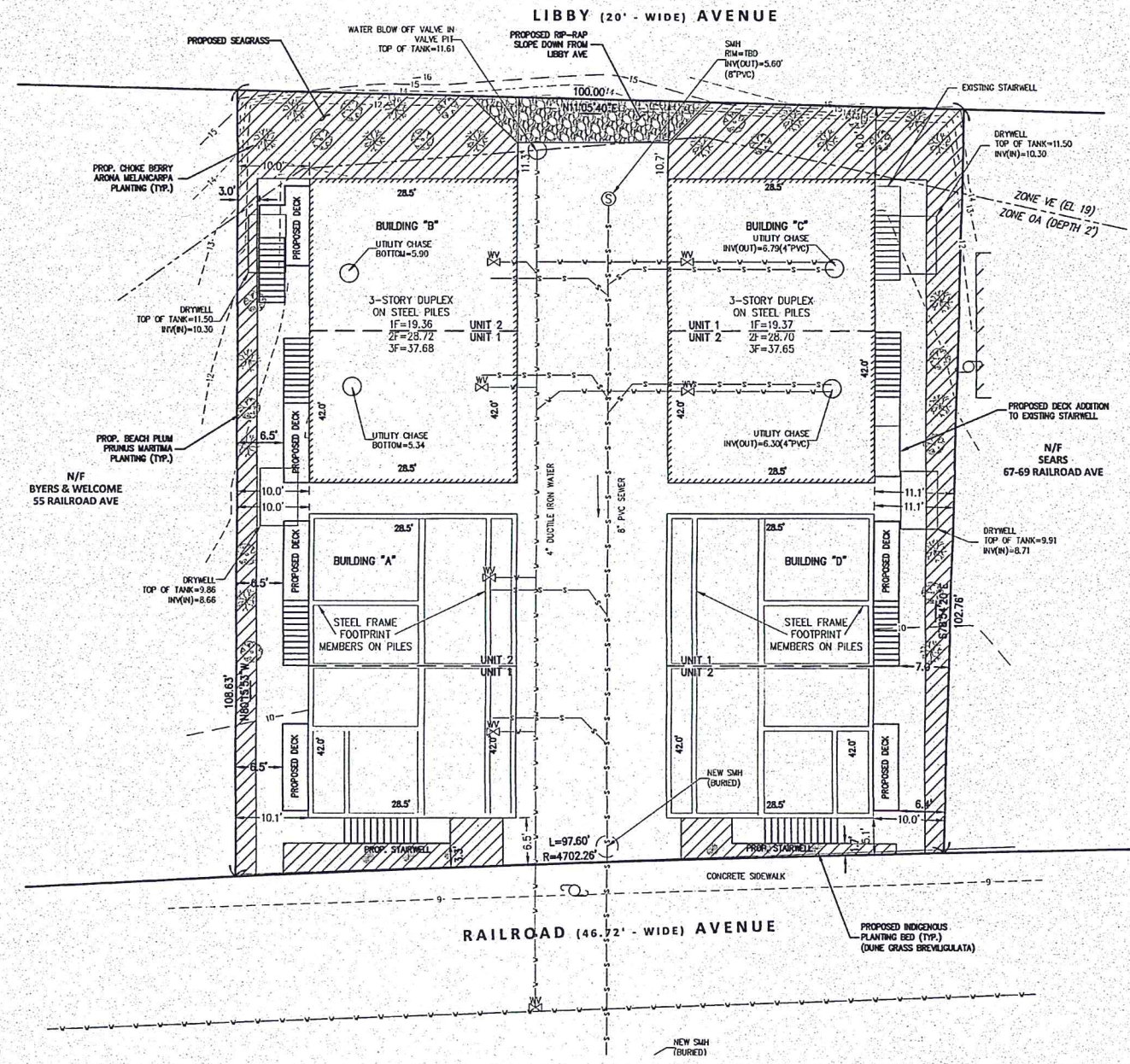
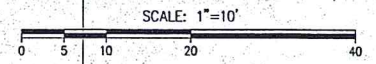
**ZONING**

DISTRICT: BEACH COMMERCIAL (BC)

DESCRIPTION	REQUIRED	EXISTING
LOT AREA	N/A	10,420±SF
FRONTAGE	N/A	97.60'
FRONT YARD	5'	5.1'
SIDE YARD	10'	10.0'
REAR YARD	10'	10.0'

**NOTES**

- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN AUGUST OF 2019 AND FEBRUARY OF 2020.
- PORTIONS OF THE PREMISES SHOWN HEREON ARE LOCATED WITHIN FLOOD HAZARD ZONE VE AND AO AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0129F, EFFECTIVE DATE JULY 12, 2012.
- NO UTILITIES ARE SHOWN. CALL DIGSAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.



**ABBREVIATIONS**

INV	INVERT
PROP.	PROPOSED
SF	SQUARE FEET
SMH	SEWER MANHOLE

**PROPOSED PLOT PLAN**

57 RAILROAD AVENUE  
SALISBURY, MASSACHUSETTS

PLAN PREPARED FOR:  
THE DALY GROUP  
229 STEDMAN STREET  
LOWELL, MASSACHUSETTS

FEBRUARY 18, 2020

SCALE: 1"=10'

CIVIL ENGINEERING • SURVEYING  
 10 GEORGE STREET, UNIT 208  
 LOWELL, MASSACHUSETTS 01852  
 978-201-6390 - LANDPLEX.COM

NO.	REVISION DESCRIPTION	DATE
2	2-27-2020	

# 'OPEN SPACE RESIDENTIAL DEVELOPMENT' PLAN SET

## "THE STABLES AT BASHAW FARM"

8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS

### ASSESSORS

MAP 98, LOT 26 (8 COLBY FARM LANE)  
MAP 98, LOT 27 (10 COLBY FARM LANE)  
MAP 98, LOT 5 (12 COLBY FARM LANE)  
MAP 98, LOT 4 (18 COLBY FARM LANE)

### PROPERTY OWNER

ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST  
  
ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST

### DEED REFERENCES

SOUTHERN ESSEX REGISTRY OF DEEDS  
1. BOOK 26178, PAGE 1.  
2. BOOK 26178, PAGE 3.  
3. BOOK 15799, PAGE 31.

### PLAN REFERENCES

SOUTHERN ESSEX REGISTRY OF DEEDS  
1. PLAN BOOK 473, PLAN 21.  
2. PLAN BOOK 335, PLAN 92.  
3. PLAN BOOK 138, PLAN 72.  
4. PLAN 262 OF 1975.  
5. PLAN 462 OF 1961.

### NOTES

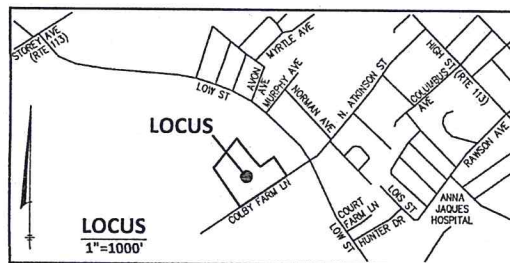
- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE JULY 3, 2012.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- FOR PROPOSED UTILITY WORK IN COLBY FARM LANE, REFER TO PLAN SET ENTITLED "THE RESERVE AT BASHAW FARM OSRD" PREPARED BY GAMMETT ENGINEERING, AND RECORDED WITH THE SOUTHERN ESSEX REGISTRY OF DEEDS AS PLAN 3 IN PLAN BOOK 474.

### ABBREVIATIONS

BDG.	BUILDING
BIT.	BITUMINOUS
CALC.	CALCULATED
CONC.	CONCRETE
DMH	DRAIN MANHOLE
ELEV	ELEVATION
FF	FIRST FLOOR ELEVATION
GS	GARAGE SLAB ELEVATION
IHV	INVERT
REC.	RECORD
RET.WALL	RETAINING WALL
RP	ROOF PEAK
SF	SQUARE FEET
SMH	SEWER MANHOLE
TYP	TYPICAL
UP	UTILITY POLE

### LEGEND

	STONEWALL
	SEWER MANHOLE
	DRAIN MANHOLE
	STONE MONUMENT
	UTILITY POLE
	WETLAND LINE WITH FLAG
	UNDERGROUND SEWER LINE
	UNDERGROUND DRAIN LINE
	OVERHEAD WIRE LINE
	WATER LINE
	UNDERGROUND UTILITY LINE
	2-FOOT CONTOUR



### SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS
- OPEN SPACE RESIDENTIAL DEVELOPMENT 'YIELD' PLAN
- DEFINITIVE SUBDIVISION PLAN OF LAND
- LAYOUT & LANDSCAPING PLAN
- GRADING & UTILITIES PLAN
- EROSION & SEDIMENTATION CONTROL PLAN
- EMERGENCY VEHICLE SWEEP-PATH ANALYSIS
- DETAILS

### ZONING INFORMATION

UNDERLYING DISTRICT: R1, RESIDENTIAL  
OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT(CFL-ROD)  
FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

#### SINGLE-FAMILY REQUIREMENTS

DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	10,000 SF
MIN. FRONTAGE	90'
MIN. FRONT YARD	25'
MIN. SIDE YARD	10'
MIN. REAR YARD	25'

#### TWO-FAMILY REQUIREMENTS

DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'

### OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD) ZONING REQUIREMENTS

"OPEN SPACE RESIDENTIAL DEVELOPMENT" (OSRD) ZONING TABLE

DESCRIPTION	REQUIRED	PROPOSED
MIN. TOTAL TRACT AREA	3 ACRES	7.631±ACRES
MIN. SINGLE-FAMILY LOT SIZE	10,000 SF	10,000±SF
MIN. OPEN SPACE OF TOTAL TRACT	60%	82.0%
MIN. PERCENT OPEN SPACE UPLANDS OF TOTAL TRACT UPLANDS	50%	31.4%
MAX. TOTAL TRACT DISTURBED AREAS	50%	17.8%
MIN. OSRD FRONT SETBACK (50% OF UNDERLYING DISTRICT)	12.5'	25.0'
MIN. OSRD SIDE SETBACK (50% OF UNDERLYING DISTRICT)	5'	12.0'
MIN. OSRD REAR SETBACK (50% OF UNDERLYING DISTRICT)	12.5'	37.0'
MIN. PARKING PER UNIT (FOR PROPOSED 8 UNITS)	2 SPACES/UNIT (16 SPACES)	2.625 SPACES/UNIT (21 SPACES)
MIN. PERCENT AFFORDABLE UNITS	12%	12.5% (1 OF 8)

### TITLE SHEET

8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:

THE DALY GROUP  
225 STEDMAN STREET  
LOWELL, MASSACHUSETTS 01851

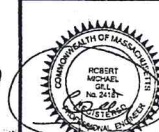
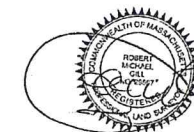
PLAN PREPARED BY:

**LANDPLEX**  
CIVIL ENGINEERING - SURVEYING  
10 GEORGE STREET, UNIT 208  
LOWELL, MASSACHUSETTS 01852  
978-201-9390 - LANDPLEX.COM

SHEET: 1 OF 9

SCALE: 1"= 40'

FEBRUARY 14, 2020



1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE

2-27-2020

**TEST HOLE DATA**

DATE: 1/24/2020  
SOIL EVALUATOR: STEVE ERIKSEN (HORSE ENVIRONMENTAL)

TH-1, ELEVATION=45.3  
0-48" C1 FINE SANDY LOAM, LOOSE 10YR5/4  
ESHW AT 48" (REDOX)  
ESHW ELEVATION=41.3  
LEDGE AT 48"

TH-2, ELEVATION=41.8  
0-24" AP FINE SANDY LOAM, LOOSE 10YR2/2  
24-72" C1 FINE SANDY LOAM, LOOSE 10YR5/4  
ESHW AT 48" (REDOX)  
ESHW ELEVATION=37.8  
LEDGE AT 72"

TH-3, ELEVATION=42.3  
0-18" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
18-32" Bw FINE SANDY LOAM, LOOSE 10YR5/4  
32-108" C1 FINE SANDY LOAM, LOOSE 10YR5/4  
ESHW AT 48" (REDOX)  
ESHW ELEVATION=38.3  
LEDGE AT 108"

TH-4, ELEVATION=43.3  
0-35" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
35-102" Bw FINE SANDY LOAM, LOOSE 10YR5/4  
ESHW AT 50" (REDOX)  
ESHW ELEVATION=39.1  
LEDGE AT 102"

TH-5, ELEVATION=44.8  
0-18" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
18-36" Bw FINE SANDY LOAM, LOOSE 10YR5/4  
36-102" C1 LOAMY SAND, LOOSE 10YR5/4  
ESHW AT 60" (REDOX)  
ESHW ELEVATION=39.8  
LEDGE AT 102"

TH-6, ELEVATION=44.3  
0-24" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
24-36" Bw FINE LOAMY SAND, LOOSE 10YR5/4  
ESHW AT 50" (REDOX)  
ESHW ELEVATION=40.1  
LEDGE AT 36"

MAP 98, LOT 3  
JPBA LIMITED PARTNERSHIP  
20 COLBY FARM LANE

MAP 98, LOT 20  
MICHAEL RAICHE BRIAN  
223 LOW STREET

MAP 98, LOT 8-D  
JOHN R. KEESGAN  
199 LOW STREET

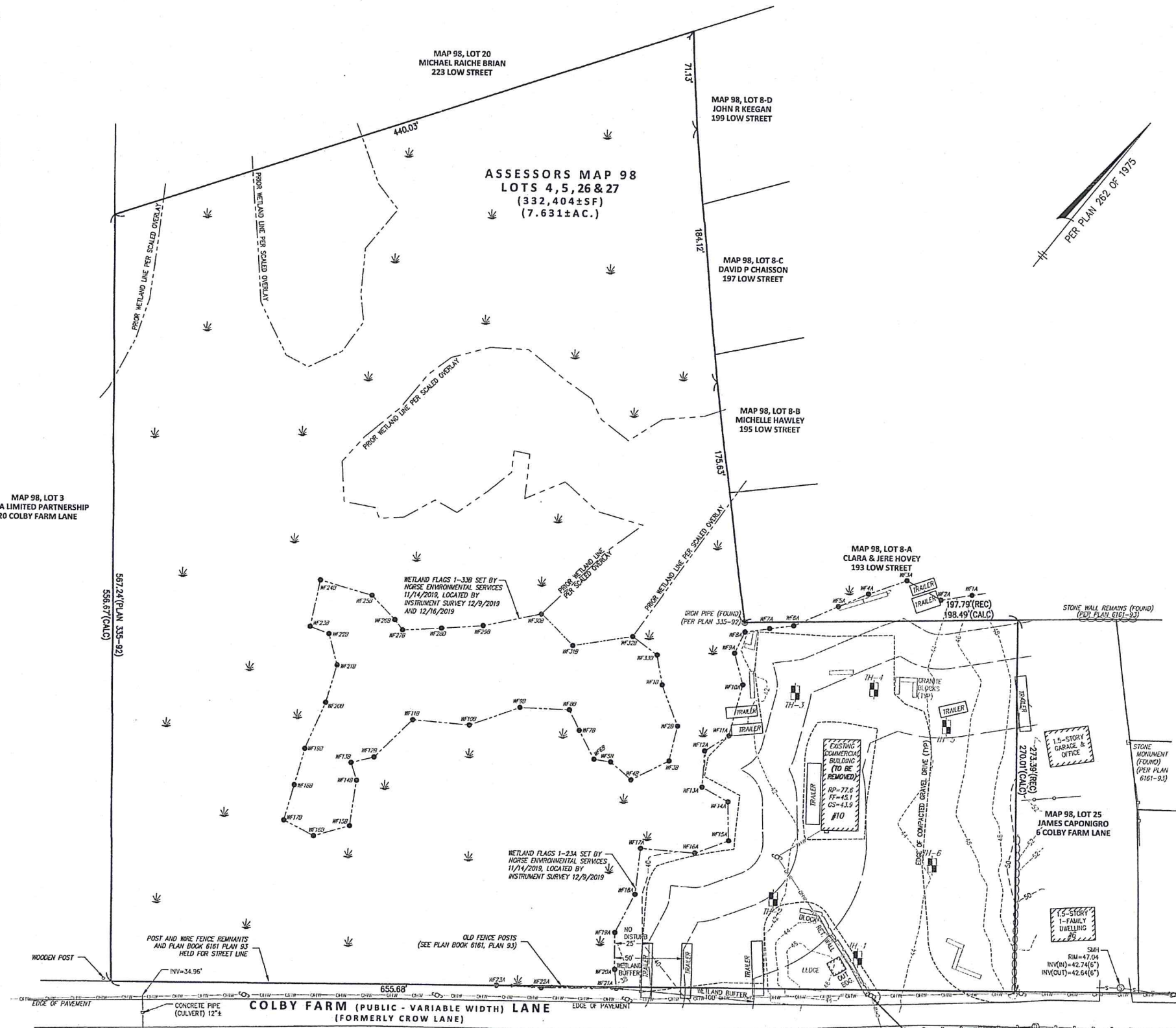
MAP 98, LOT 8-C  
DAVID P. CHAISSON  
197 LOW STREET

MAP 98, LOT 8-B  
MICHELLE HAWLEY  
195 LOW STREET

MAP 98, LOT 8-A  
CLARA & JERE HOVEY  
193 LOW STREET

MAP 98, LOT 25  
JAMES CAPONIGRO  
6 COLBY FARM LANE

**ASSESSORS MAP 98  
LOTS 4, 5, 26 & 27  
(332,404±SF)  
(7.631±AC.)**

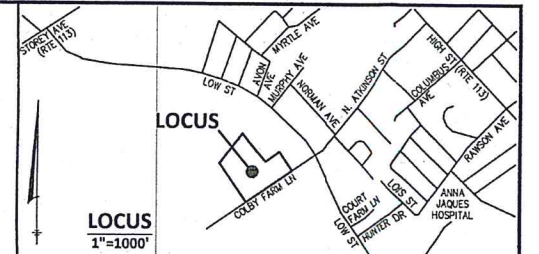


**ABBREVIATIONS**

- BDG. BUILDING
- BIT. BITUMINOUS
- CALC. CALCULATED
- CONC. CONCRETE
- DMH DRAIN MANHOLE
- ELEV ELEVATION
- FF FIRST FLOOR ELEVATION
- GS GARAGE SLAB ELEVATION
- INV INVERT
- REC. RECORD
- RET.WALL RETAINING WALL
- RP ROOF PEAK
- SF SQUARE FEET
- SMH SEWER MANHOLE
- TYP TYPICAL
- UP UTILITY POLE

**LEGEND**

- STONEWALL
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ STONE MONUMENT
- ⊙ UTILITY POLE
- WETLAND LINE WITH FLAG
- UNDERGROUND SEWER LINE
- UNDERGROUND DRAIN LINE
- OVERHEAD WIRE LINE
- 2-FOOT CONTOUR



**ASSESSORS**

- MAP 98, LOT 26 (8 COLBY FARM LANE)
- MAP 98, LOT 27 (10 COLBY FARM LANE)
- MAP 98, LOT 5 (12 COLBY FARM LANE)
- MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST  
  
ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST

**DEED REFERENCES**

- SOUTHERN ESSEX REGISTRY OF DEEDS
- 1. BOOK 26178, PAGE 1.
- 2. BOOK 26178, PAGE 3.
- 3. BOOK 15799, PAGE 31.

**PLAN REFERENCES**

- SOUTHERN ESSEX REGISTRY OF DEEDS
- 1. PLAN BOOK 473, PLAN 21.
- 2. PLAN BOOK 335, PLAN 92.
- 3. PLAN BOOK 138, PLAN 72.
- 4. PLAN 262 OF 1975.
- 5. PLAN 482 OF 1961.

**NOTES**

1. EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
2. NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE JULY 3, 2012.
3. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
4. ALL EXISTING STRUCTURES, DEBRIS, CONTRACTOR MATERIALS, AND TRAILERS TO BE REMOVED AND DISPOSED OF PER LOCAL AND STATE REGULATED TRASH FACILITIES.

**ZONING INFORMATION**

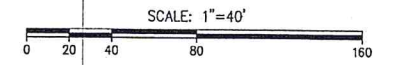
UNDERLYING DISTRICT: R1, RESIDENTIAL  
OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT (CFL-RO)  
FOR CFL-RO, USE R2 ZONING REQUIREMENTS

**SINGLE-FAMILY REQUIREMENTS**

DESCRIPTION	REQUIRED (R2)
MIN. LOT AREA	10,000 SF
MIN. FRONTAGE	90'
MIN. FRONT YARD	25'
MIN. SIDE YARD	10'
MIN. REAR YARD	25'

**TWO-FAMILY REQUIREMENTS**

DESCRIPTION	REQUIRED (R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'



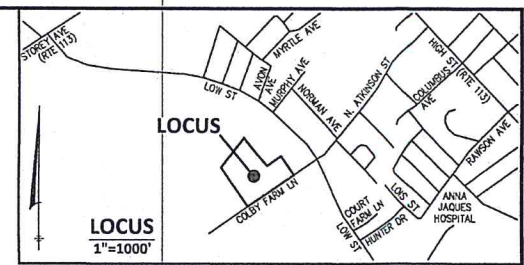
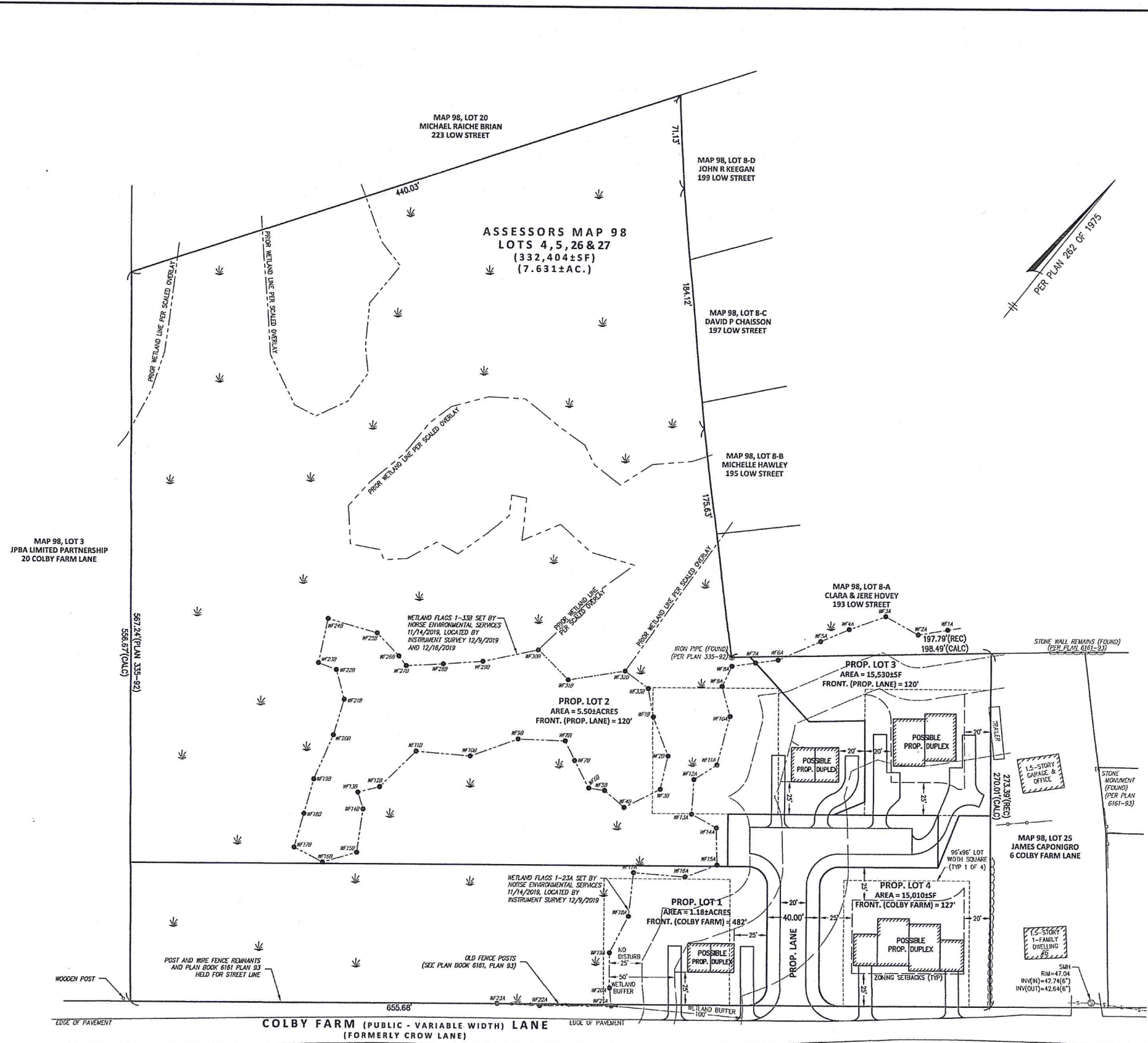
**EXISTING CONDITIONS**

**8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: <b>THE DALY GROUP</b> 225 STEDMAN STREET LOWELL, MASSACHUSETTS 01851	PLAN PREPARED BY: <b>LANDPLEX</b> CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-9390 - LANDPLEX.COM
SHEET: 2 OF 9	SCALE: 1"=40'
FEBRUARY 14, 2020	

ROBERT MICHAEL  
REGISTERED PROFESSIONAL ENGINEER  
NO. 10123  
EXPIRES 12/31/2024

NO.	REVISION DESCRIPTION	DATE
1.	UPDATE ZONING INFO	2/26/2020
2.	REVISION DESCRIPTION	DATE



**ASSESSORS**  
 MAP 98, LOT 26 (8 COLBY FARM LANE)  
 MAP 98, LOT 27 (10 COLBY FARM LANE)  
 MAP 98, LOT 5 (12 COLBY FARM LANE)  
 MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**  
 ELLSWORTH M. EATON, JR., TRUSTEE  
 EATON CROW REALTY TRUST  
 ELLSWORTH M. EATON, JR., TRUSTEE  
 CROW'S NEST REALTY TRUST

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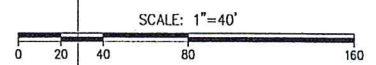
**PLAN REFERENCES**  
 SOUTHERN ESSEX REGISTRY OF DEEDS  
 1. PLAN BOOK 473, PLAN 21.  
 2. PLAN BOOK 335, PLAN 92.  
 3. PLAN BOOK 138, PLAN 72.  
 4. PLAN 282 OF 1975.  
 5. PLAN 462 OF 1961.

**NOTES**  
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**ZONING**  
 UNDERLYING DISTRICT: R1, RESIDENTIAL  
 OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT (CFL-ROD)  
 FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

**TWO-FAMILY REQUIREMENTS**

DESCRIPTION	REQUIRED (R2)	PROP. LOT 1	PROP. LOT 2	PROP. LOT 3	PROP. LOT 4
MIN. LOT AREA	15,000 SF	1.18±AC.	5.50±AC.	15,530±SF	15,010±SF
MIN. FRONTAGE	120'	482'	120'	120'	127'
MIN. FRONT YARD	25'				
MIN. SIDE YARD	20'				
MIN. REAR YARD	25'				



**ABBREVIATIONS**  
 CALC. CALCULATED  
 REC. RECORD  
 SF SQUARE FEET  
 TYP TYPICAL  
 UP UTILITY POLE  
 WF WETLAND FLAG

**LEGEND**  
 ○ STONEMALL  
 □ STONE MONUMENT  
 - - - WETLAND LINE WITH FLAG

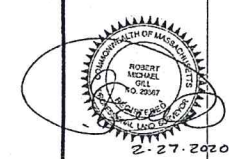
**OPEN SPACE RESIDENTIAL DEVELOPMENT 'YIELD' PLAN**

8, 10, 12, & 18 COLBY FARM LANE  
 NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:  
**THE DALY GROUP**  
 225 STEDMAN STREET  
 LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY:  
**LANDPLEX**  
 CIVIL ENGINEERING - SURVEYING  
 10 GEORGE STREET, UNIT 208  
 LOWELL, MASSACHUSETTS 01852  
 978-201-9300 - LANDPLEX.COM

SHEET: 3 OF 9    SCALE: 1" = 40'    FEBRUARY 14, 2020



NO.	REVISION DESCRIPTION	DATE
1.	UPDATE ZONING INFO	2/26/2020
2.	27.2020	

THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

FOR REGISTRY USE

**NEWBURYPORT PLANNING BOARD**

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

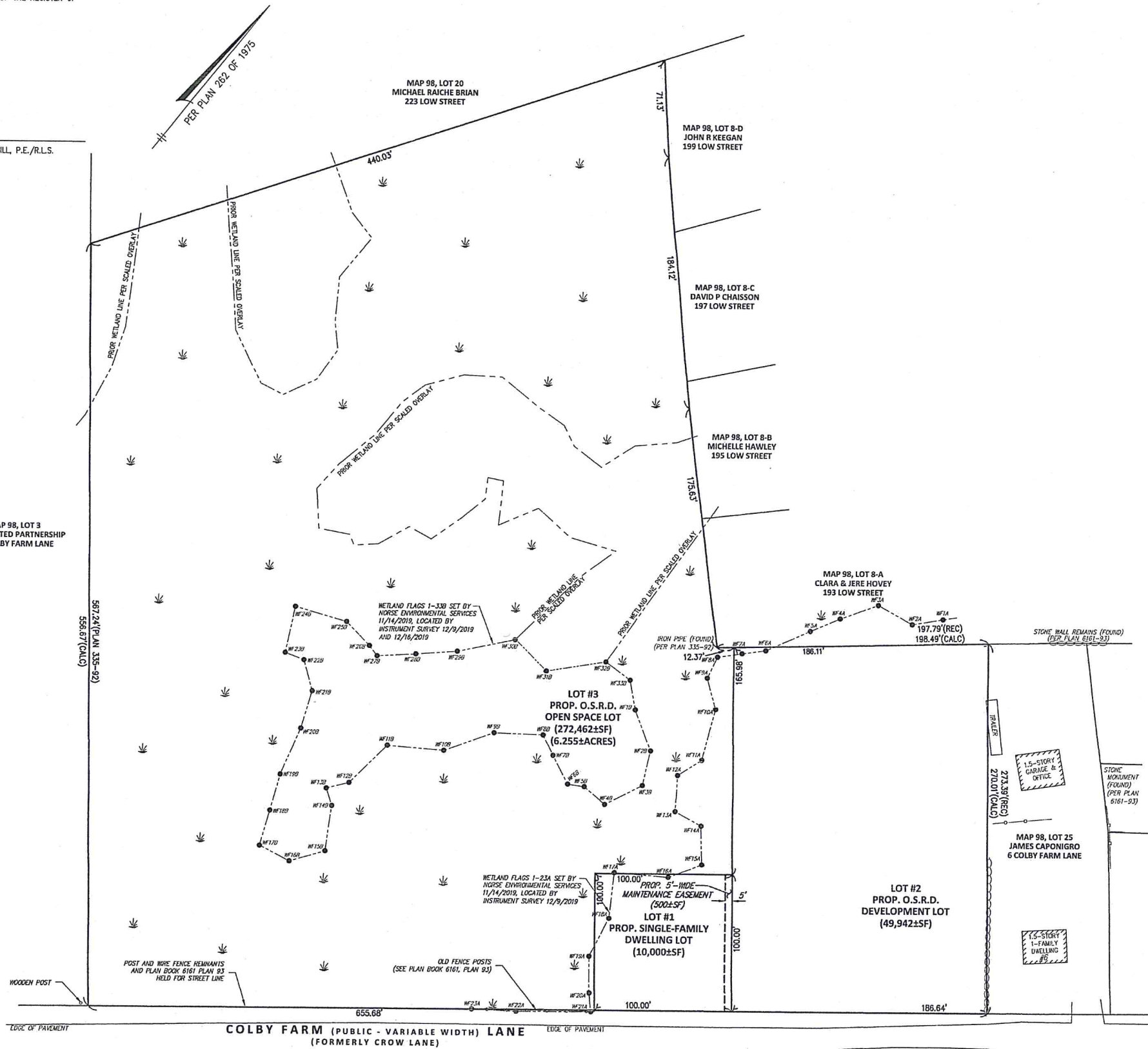
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

MAP 98, LOT 3  
JPBA LIMITED PARTNERSHIP  
20 COLBY FARM LANE

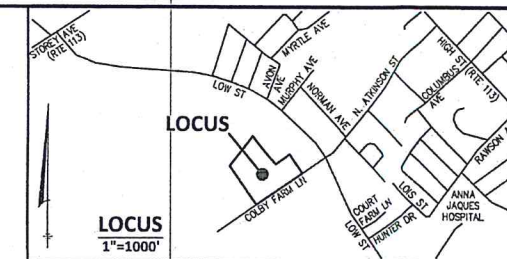


**ABBREVIATIONS**

- CALC. CALCULATED
- REC. RECORD
- SF SQUARE FEET
- TYP TYPICAL
- UP UTILITY POLE
- WF WETLAND FLAG

**LEGEND**

- STONEWALL
- STONE MONUMENT
- ⊕ WETLAND LINE WITH FLAG



**ASSESSORS**

- MAP 98, LOT 26 (8 COLBY FARM LANE)
- MAP 98, LOT 27 (10 COLBY FARM LANE)
- MAP 98, LOT 5 (12 COLBY FARM LANE)
- MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

- ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST
- ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST

**DEED REFERENCES**

- SOUTHERN ESSEX REGISTRY OF DEEDS
- 1. BOOK 26178, PAGE 1.
- 2. BOOK 26178, PAGE 3.
- 3. BOOK 15799, PAGE 31.

**PLAN REFERENCES**

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- 1. PLAN BOOK 473, PLAN 21.
- 2. PLAN BOOK 335, PLAN 92.
- 3. PLAN BOOK 138, PLAN 72.
- 4. PLAN 262 OF 1975.
- 5. PLAN 462 OF 1961.

**NOTES**

1. EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
2. NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE JULY 3, 2012.
3. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

**ZONING INFORMATION**

UNDERLYING DISTRICT: R1, RESIDENTIAL  
OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT (CFL-ROD)  
FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

SINGLE-FAMILY REQUIREMENTS DESCRIPTION	REQUIRED (R2)	PROP. LOT 1	PROP. LOT 2	PROP. LOT 3
MIN. LOT AREA	10,000 SF	10,000 SF	49,942±SF	272,462±SF
MIN. FRONTAGE	90'	100.00'	186.64'	369.04'
MIN. FRONT YARD	25'	25.0'	25.0'	N/A
MIN. SIDE YARD	10'	15.0'	12.0'	N/A
MIN. REAR YARD	25'	37.0'	78.9'	N/A

TWO-FAMILY REQUIREMENTS DESCRIPTION	REQUIRED (R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'

SCALE: 1"=40'



**PLAN OF LAND**

8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS

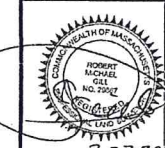
PLAN PREPARED FOR:  
**THE DALY GROUP**  
225 STEDMAN STREET  
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY:  
**LANDPLEX**  
CIVIL ENGINEERING - SURVEYING  
10 GEORGE STREET, UNIT 208  
LOWELL, MASSACHUSETTS 01852  
978-201-9300 - LANDPLEX.COM

SHEET: 4 OF 9

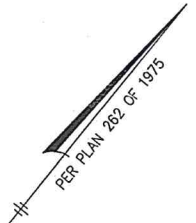
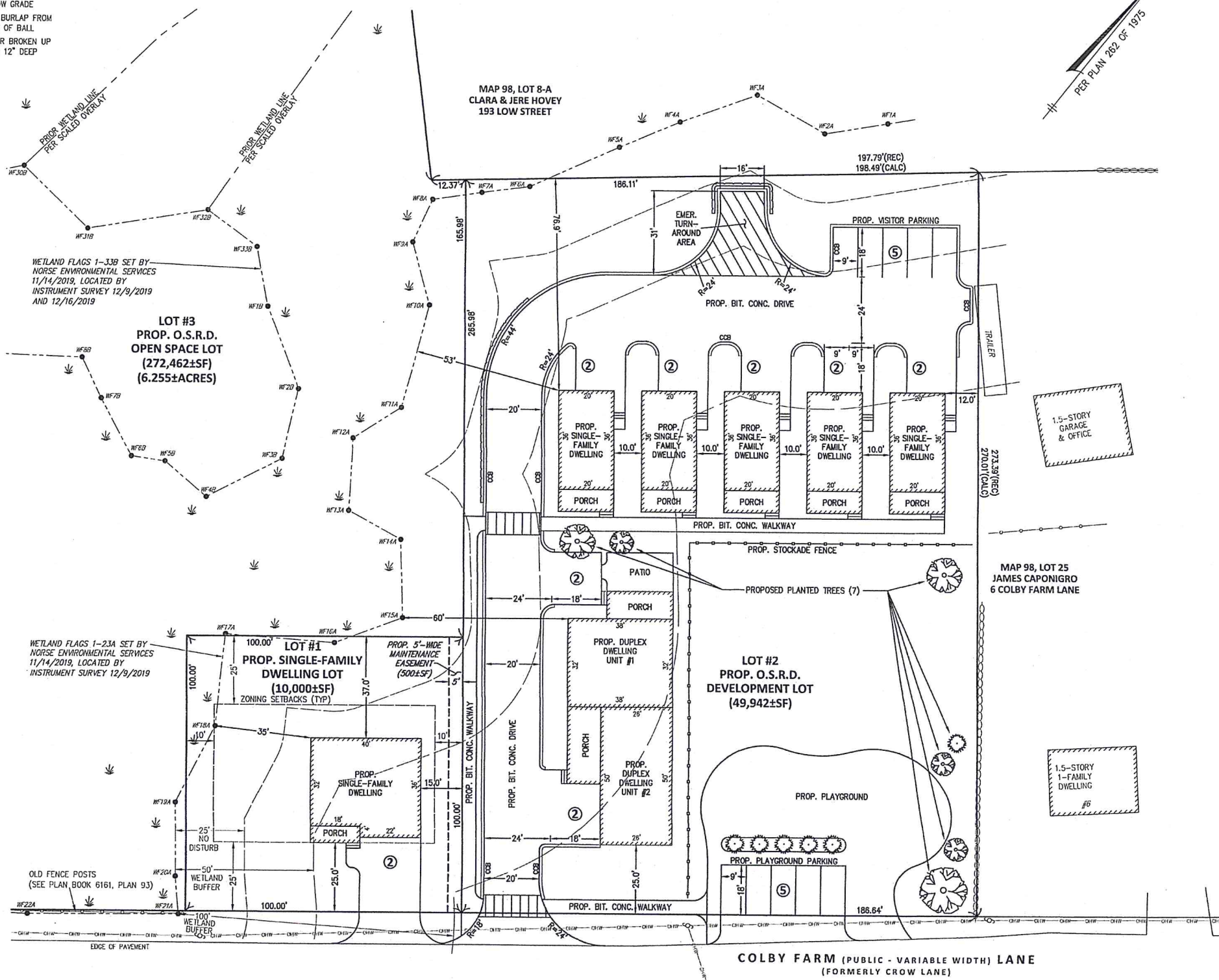
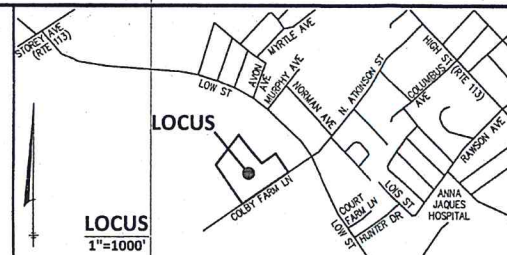
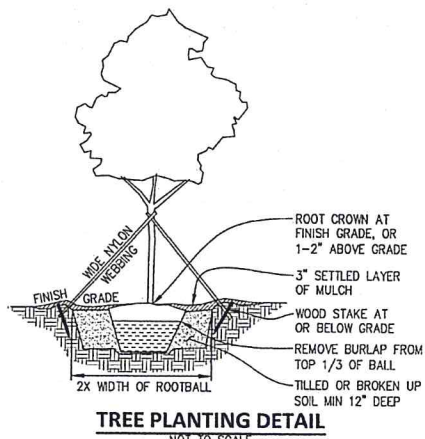
SCALE: 1"=40'

FEBRUARY 14, 2020



NO.	REVISION DESCRIPTION	DATE
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE





**ASSESSORS**

MAP 98, LOT 26 (8 COLBY FARM LANE)  
MAP 98, LOT 27 (10 COLBY FARM LANE)  
MAP 98, LOT 5 (12 COLBY FARM LANE)  
MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST

ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST

**DEED REFERENCES**

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1. BOOK 26178, PAGE 1.  
2. BOOK 26178, PAGE 3.  
3. BOOK 15799, PAGE 31.

**PLAN REFERENCES**

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2. PLAN BOOK 335, PLAN 92.  
3. PLAN BOOK 336, PLAN 72.  
4. PLAN 262 OF 1975.  
5. PLAN 462 OF 1961.

**NOTES**

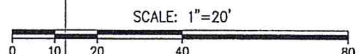
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FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

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DESCRIPTION	REQUIRED(R2)	LOT 1	LOT 2	LOT 3
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MIN. SIDE YARD	10'	15.0'	12.0'	N/A
MIN. REAR YARD	25'	37.0'	76.9'	N/A

TWO-FAMILY REQUIREMENTS		REQUIRED(R2)
DESCRIPTION	REQUIRED(R2)	
MIN. LOT AREA	15,000 SF	
MIN. FRONTAGE	120'	
MIN. FRONT YARD	25'	
MIN. SIDE YARD	20'	
MIN. REAR YARD	25'	



**ABBREVIATIONS**

BDG.	BUILDING
BIT.	BITUMINOUS
CALC.	CALCULATED
CONC.	CONCRETE
REC.	RECORD
SF	SQUARE FEET
TYP	TYPICAL

**LEGEND**

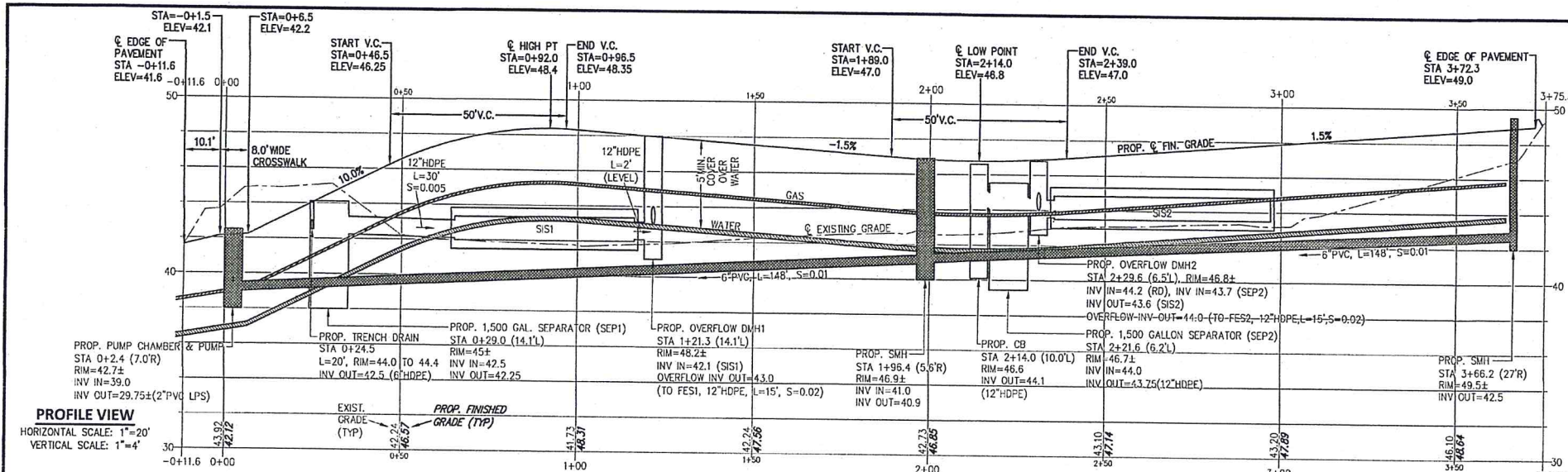
	STONEWALL
	SEWER MANHOLE
	DRAIN MANHOLE
	STONE MONUMENT
	UTILITY POLE
	WETLAND LINE WITH FLAG

**LAYOUT & LANDSCAPING PLAN**

**8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: <b>THE DAILY GROUP 225 STEDMAN STREET LOWELL, MASSACHUSETTS 01851</b>	PLAN PREPARED BY: <b>LANDPLEX</b> CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 229 LOWELL, MASSACHUSETTS 01852 978-201-9300 - LANDPLEX.COM
SHEET: 5 OF 9	SCALE: 1"=20'      FEBRUARY 14, 2020

NO.	REVISION DESCRIPTION	DATE
1.	UPDATE ZONING INFO	2/26/2020



**TEST HOLE DATA**  
DATE: 1/24/2020  
SOIL EVALUATOR: STEVE ERIKSEN (NORSE ENVIRONMENTAL)

**TH-1** ELEVATION=45.3  
0-48" CI FINE SANDY LOAM, LOOSE 10YR5/4  
ESHWIT AT 48" (REDOX)  
ESHWIT ELEVATION=41.3  
LEDGE AT 48"

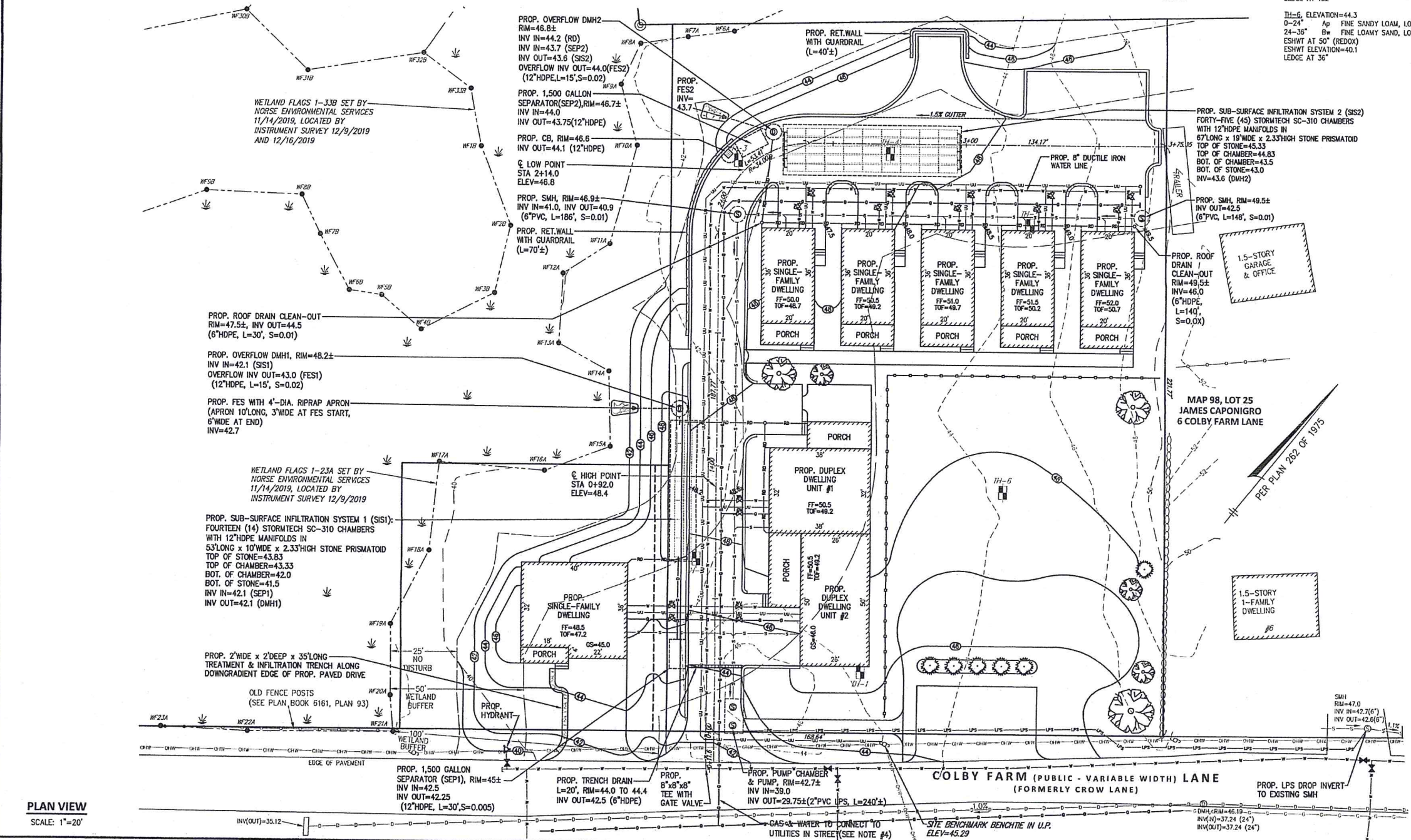
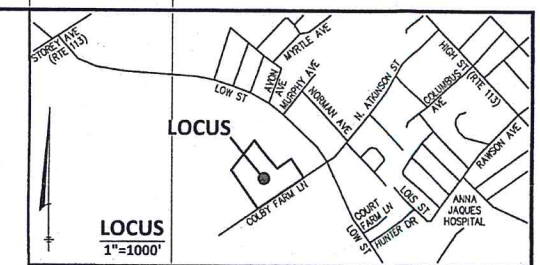
**TH-2** ELEVATION=41.8  
0-24" AP FINE SANDY LOAM, LOOSE 10YR2/2  
24-72" CI FINE SANDY LOAM, LOOSE 10YR5/4  
ESHWIT AT 48" (REDOX)  
ESHWIT ELEVATION=37.8  
LEDGE AT 72"

**TH-3** ELEVATION=42.3  
0-18" AP FINE SANDY LOAM, LOOSE 10YR2/2  
18-32" Bw FINE SANDY LOAM, LOOSE 10YR5/4  
32-108" CI FINE SANDY LOAM, LOOSE 10YR5/4  
ESHWIT AT 48" (REDOX)  
ESHWIT ELEVATION=38.3  
LEDGE AT 108"

**TH-4** ELEVATION=43.3  
0-35" AP FINE SANDY LOAM, LOOSE 10YR2/2  
35-102" Bw FINE SANDY LOAM, LOOSE 10YR5/4  
ESHWIT AT 50" (REDOX)  
ESHWIT ELEVATION=39.1  
LEDGE AT 102"

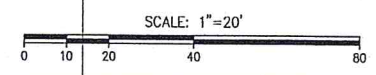
**TH-5** ELEVATION=44.8  
0-18" AP FINE SANDY LOAM, LOOSE 10YR2/2  
18-36" Bw FINE SANDY LOAM, LOOSE 10YR5/4  
36-102" CI LOAMY SAND, LOOSE 10YR5/4  
ESHWIT AT 60" (REDOX)  
ESHWIT ELEVATION=39.8  
LEDGE AT 102"

**TH-6** ELEVATION=44.3  
0-24" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
24-36" Bw FINE LOAMY SAND, LOOSE 10YR5/4  
ESHWIT AT 50" (REDOX)  
ESHWIT ELEVATION=40.1  
LEDGE AT 36"



- ASSESSORS**
- MAP 98, LOT 26 (8 COLBY FARM LANE)
  - MAP 98, LOT 27 (10 COLBY FARM LANE)
  - MAP 98, LOT 5 (12 COLBY FARM LANE)
  - MAP 98, LOT 4 (18 COLBY FARM LANE)
- PROPERTY OWNER**
- ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST
- ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST
- DEED REFERENCES**
- SOUTHERN ESSEX REGISTRY OF DEEDS
- BOOK 26178, PAGE 1.
  - BOOK 26178, PAGE 3.
  - BOOK 15799, PAGE 31.
- PLAN REFERENCES**
- SOUTHERN ESSEX REGISTRY OF DEEDS
- PLAN BOOK 473, PLAN 21.
  - PLAN BOOK 335, PLAN 92.
  - PLAN BOOK 138, PLAN 72.
  - PLAN 262 OF 1975.
  - PLAN 462 OF 1981.

- NOTES**
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  - UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
  - FOR PROPOSED UTILITY WORK IN COLBY FARM LANE, REFER TO PLAN SET ENTITLED "THE RESERVE AT BASHAW FARM OSRD" PREPARED BY GAMMETT ENGINEERING, AND RECORDED WITH THE SOUTHERN ESSEX REGISTRY OF DEEDS AS PLAN 3 IN PLAN BOOK 474.

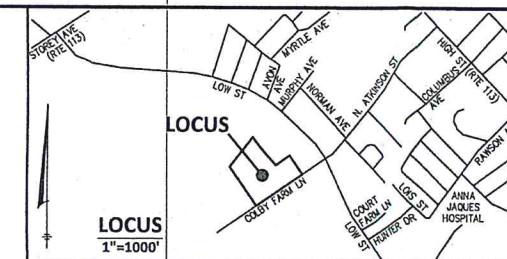


<b>GRADING &amp; UTILITIES PLAN</b>	
<b>8, 10, 12, &amp; 18 COLBY FARM LANE NEWBURYPORT, MASSACHUSETTS</b>	
PLAN PREPARED FOR: <b>THE DALY GROUP 225 STEDMAN STREET LOWELL, MASSACHUSETTS 01851</b>	PLAN PREPARED BY:  <b>CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-9300 - LANDPLEX.COM</b>
SHEET: 6 OF 9	SCALE: 1"=20'      FEBRUARY 14, 2020
1. UPDATE ZONING INFO	2/26/2020
NO. REVISION DESCRIPTION	DATE

**PLAN VIEW**  
SCALE: 1"=20'

**RESOURCE AREA BUFFER ZONE ALTERATION CHART (FOR PROPOSED SITE DEVELOPMENT)**

BUFFER ZONES	EXISTING DISTURBANCE	PROPOSED DISTURBANCE		BUFFER ZONE RESTORATION
		GRADING	IMPERVIOUS	
25' "NO DISTURB"	9,891±SF	4,478±SF(45.3%)	116±SF(1.1%)	5,297±SF(53.6%)
50' "WETLAND BUFFER"	21,192±SF	10,292±SF(48.5%)	5,603±SF(26.4%)	5,297±SF(25.0%)
100' "WETLAND BUFFER"	40,451±SF	14,625±SF(36.1%)	20,528±SF(50.7%)	5,297±SF(13.1%)



**ASSESSORS**

MAP 98, LOT 26 (8 COLBY FARM LANE)  
 MAP 98, LOT 27 (10 COLBY FARM LANE)  
 MAP 98, LOT 5 (12 COLBY FARM LANE)  
 MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

ELLSWORTH M. EATON, JR., TRUSTEE  
 EATON CROW REALTY TRUST  
 ELLSWORTH M. EATON, JR., TRUSTEE  
 CROW'S NEST REALTY TRUST

**DEED REFERENCES**

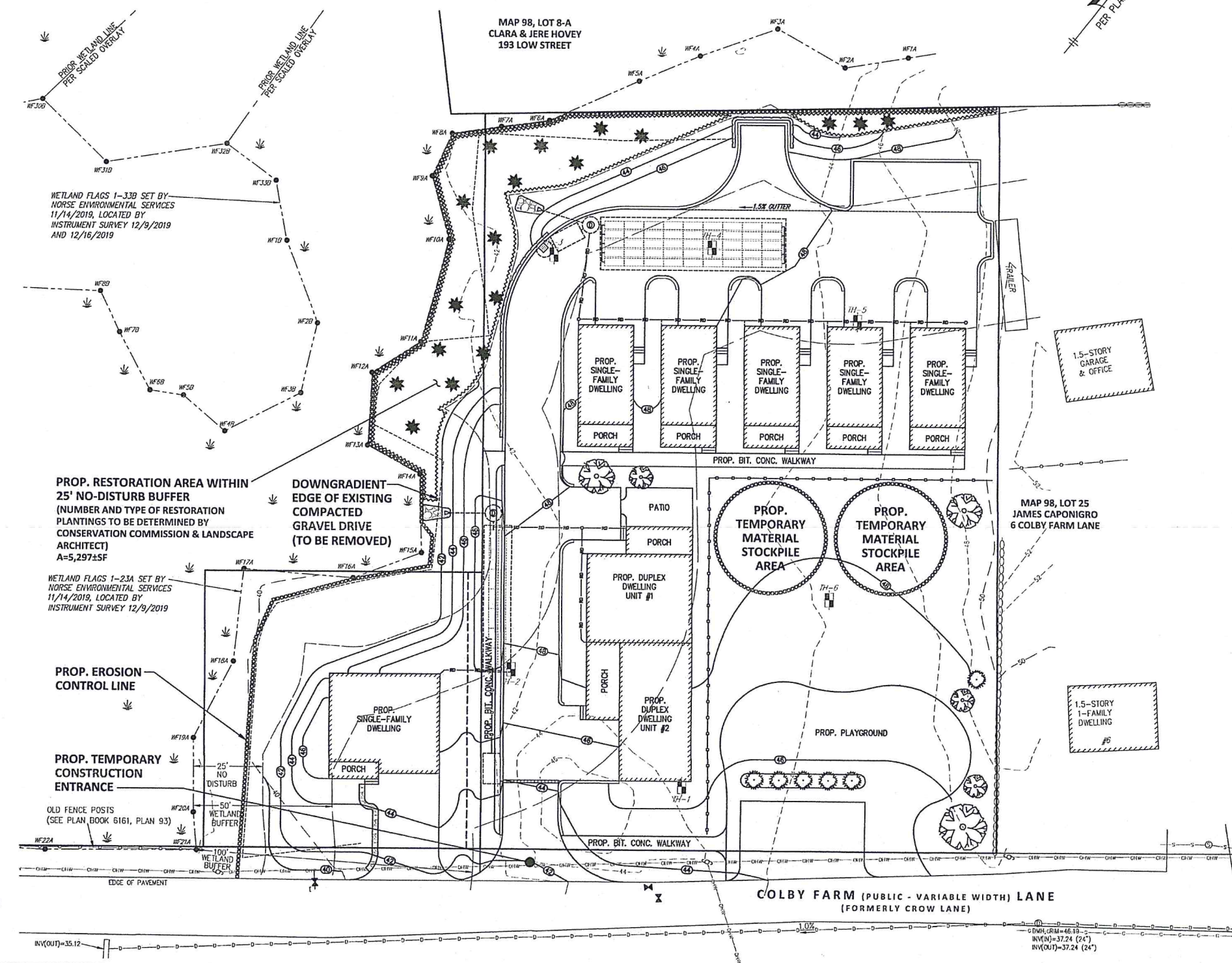
SOUTHERN ESSEX REGISTRY OF DEEDS  
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 3. PLAN BOOK 138, PLAN 72.  
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 5. PLAN 462 OF 1991.

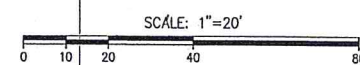
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- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.



- ABBREVIATIONS**
- BDG. BUILDING
  - BIT. BITUMINOUS
  - CALC. CALCULATED
  - CONC. CONCRETE
  - DMH DRAIN MANHOLE
  - ELEV ELEVATION
  - FF FIRST FLOOR ELEVATION
  - GS GARAGE SLAB ELEVATION
  - INV INVERT
  - REC. RECORD
  - RET.WALL RETAINING WALL
  - RP ROOF PEAK
  - SF SQUARE FEET
  - SMH SEWER MANHOLE
  - TYP TYPICAL
  - UP UTILITY POLE

- LEGEND**
- STONEWALL
  - SEWER MANHOLE
  - DRAIN MANHOLE
  - STONE MONUMENT
  - UTILITY POLE
  - WETLAND LINE WITH FLAG
  - UNDERGROUND SEWER LINE
  - UNDERGROUND DRAIN LINE
  - OVERHEAD WIRE LINE
  - 2-FOOT CONTOUR



**RESTORATION & EROSION CONTROL PLAN**

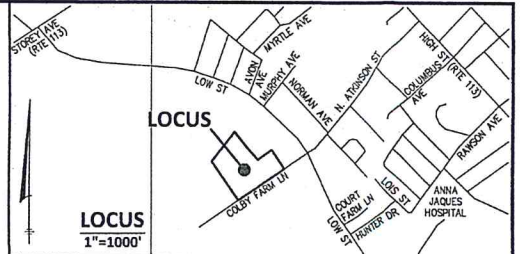
**8, 10, 12, & 18 COLBY FARM LANE  
 NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: <b>THE DALY GROUP 225 STEDMAN STREET LOWELL, MASSACHUSETTS 01851</b>	PLAN PREPARED BY: <b>LANDPLEX CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-9390 - LANDPLEX.COM</b>
SHEET: 7 OF 9	SCALE: 1"=20' FEBRUARY 14, 2020

1. UPDATE ZONING INFO 2/26/2020

NO. REVISION DESCRIPTION DATE

PER PLAN 262 OF 1975



**ASSESSORS**

MAP 98, LOT 26 (8 COLBY FARM LANE)  
 MAP 98, LOT 27 (10 COLBY FARM LANE)  
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 MAP 98, LOT 4 (18 COLBY FARM LANE)

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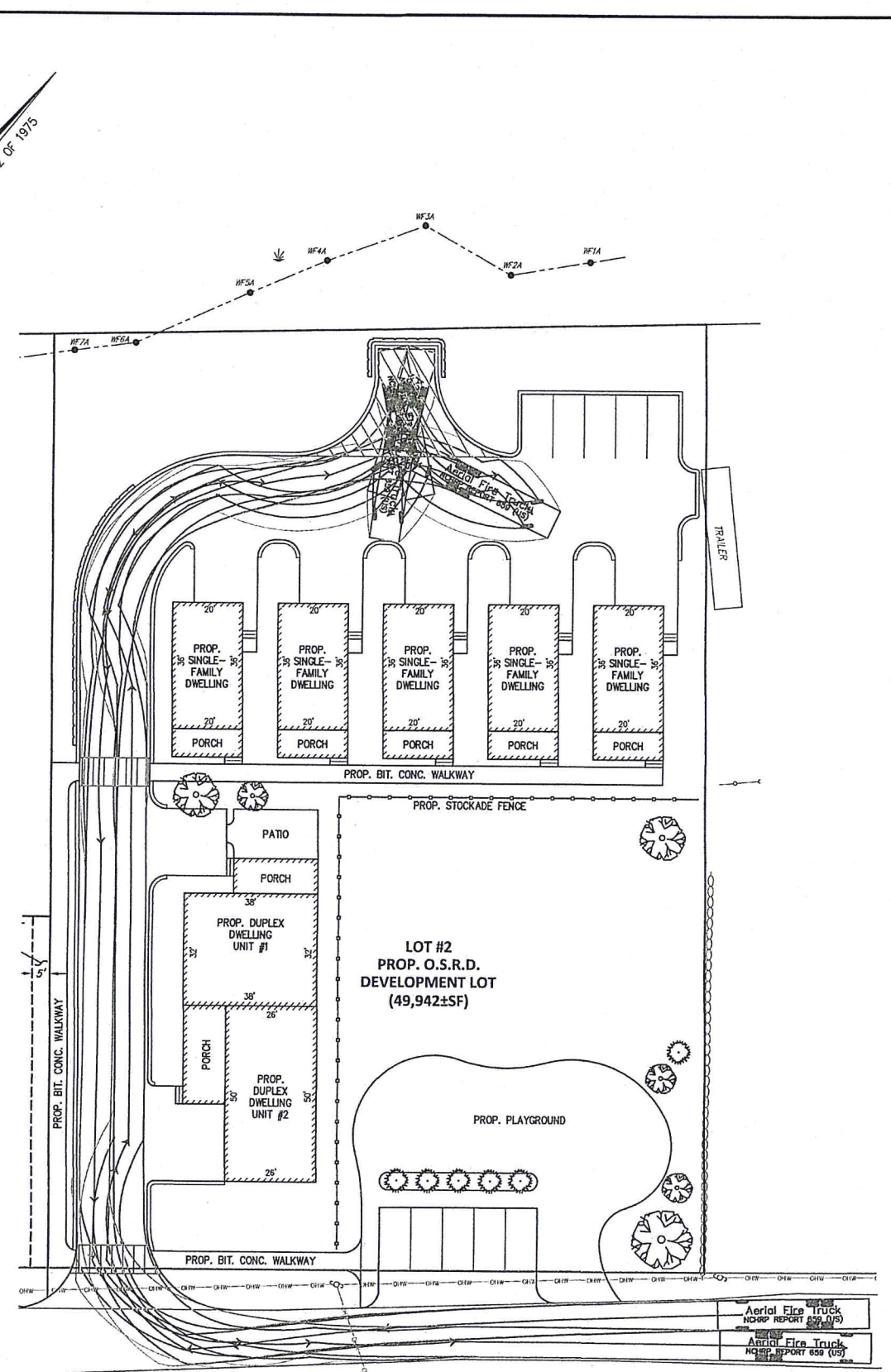
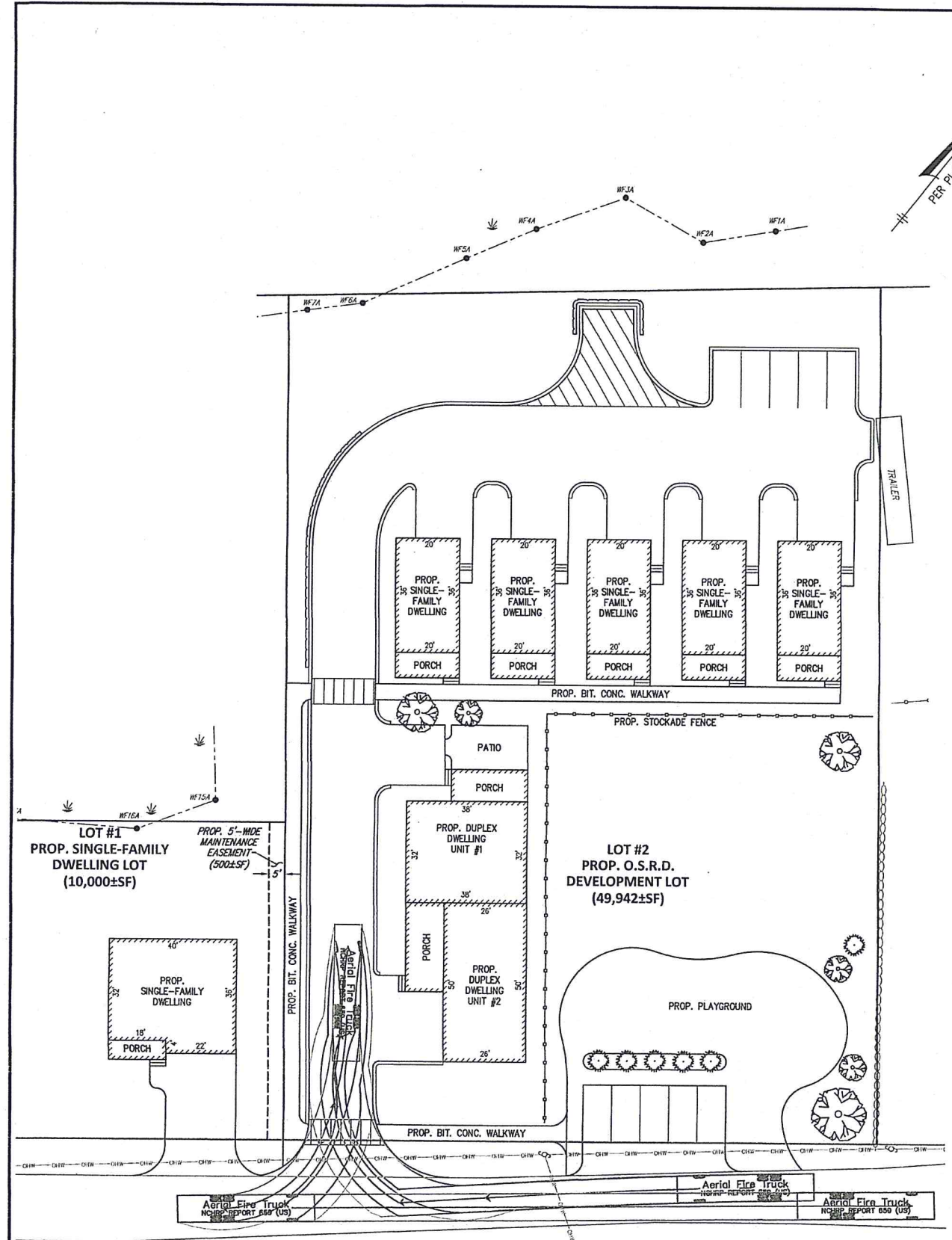
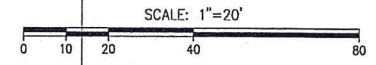
SOUTHERN ESSEX REGISTRY OF DEEDS  
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 3. BOOK 15799, PAGE 31.

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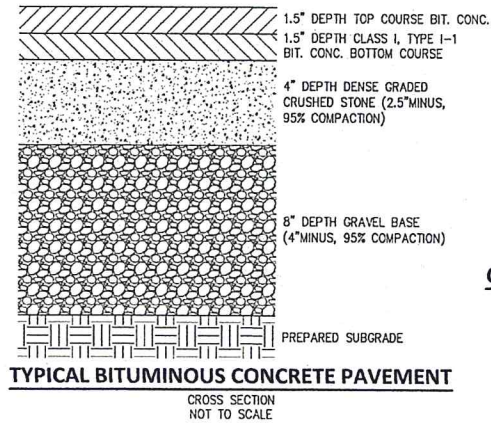
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**NOTES**

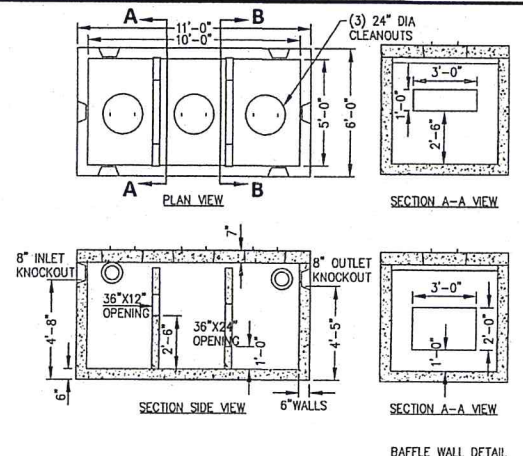
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EMERGENCY VEHICLE SWEEP-PATH ANALYSIS		
8, 10, 12, & 18 COLBY FARM LANE NEWBURYPORT, MASSACHUSETTS		
PLAN PREPARED FOR:	PLAN PREPARED BY:	
THE DALY GROUP 225 STEDMAN STREET LOWELL, MASSACHUSETTS 01851	 CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-8390 - LANDPLEX.COM	
SHEET: 8 OF 9	SCALE: 1"=20'	FEBRUARY 14, 2020
 2-27-2020	1. UPDATE ZONING INFO	2/26/2020
	NO. REVISION DESCRIPTION	DATE

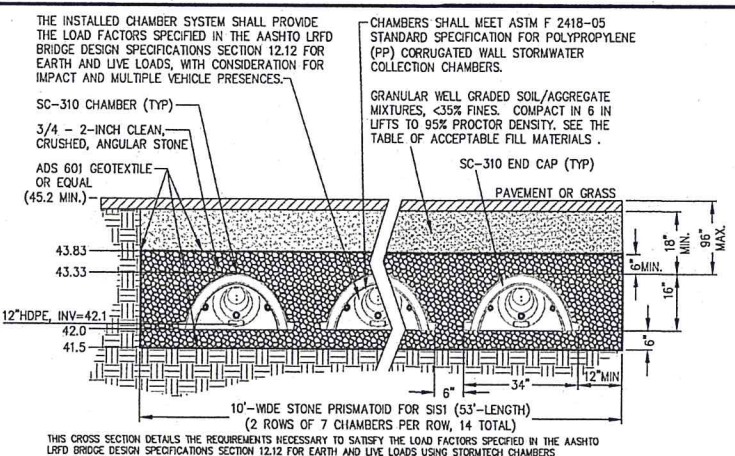


**CAPE COD BERM DETAIL**  
CROSS SECTION NOT TO SCALE

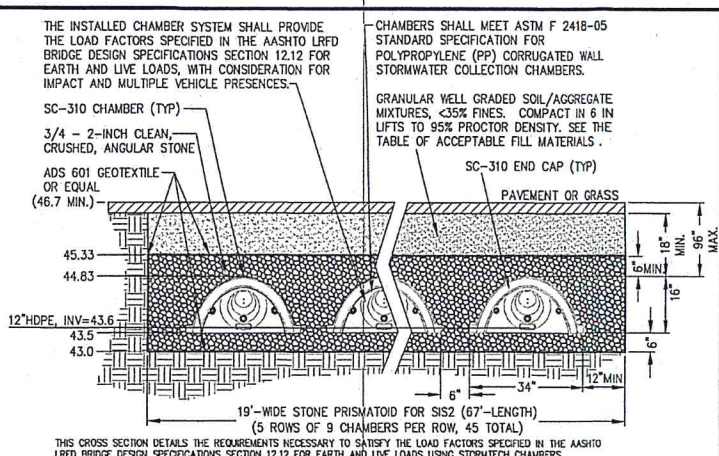


**NOTES**  
 1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.  
 2. DESIGNED FOR H-20 LOADING.  
 3. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.  
 4. SHEA CONCRETE ITEM TK-15000SEP OR APPROVED EQUAL FOR SEPARATORS WITH PIPE INLETS, OR SHEA CONCRETE ITEM TK-15000CEP OR APPROVED EQUAL FOR SEPARATORS WITH CATCH BASIN INLETS.

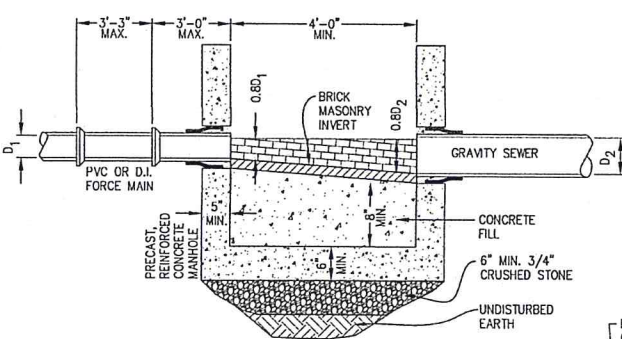
**SEDIMENT & OIL SEPARATOR 1500 GALLON TANK**  
TYPICAL SCALE: 1"=4'



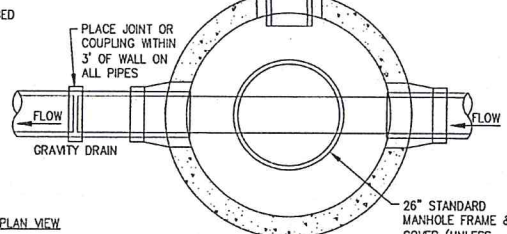
**SUB-SURFACE INFILTRATION SYSTEM 1 (SIS1)**  
**(STORMTECH SC-310 OR APPROVED EQUAL)**  
CROSS SECTION NOT TO SCALE



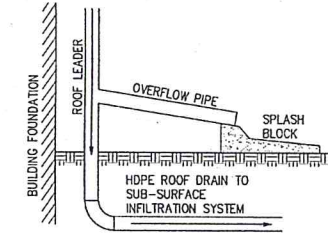
**SUB-SURFACE INFILTRATION SYSTEM 2 (SIS2)**  
**(STORMTECH SC-310 OR APPROVED EQUAL)**  
CROSS SECTION NOT TO SCALE



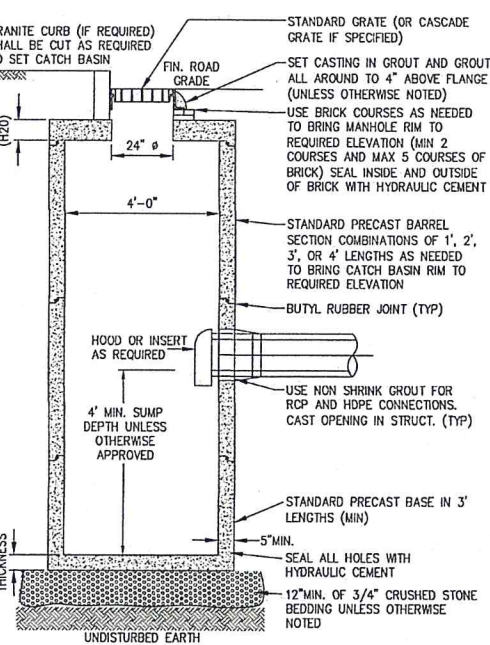
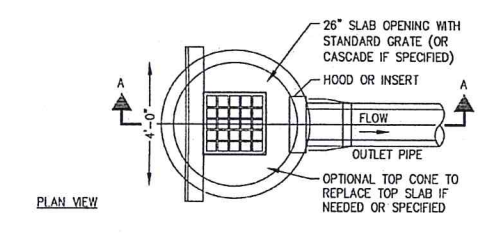
**FORCE MAIN MANHOLE**  
CROSS SECTION NOT TO SCALE



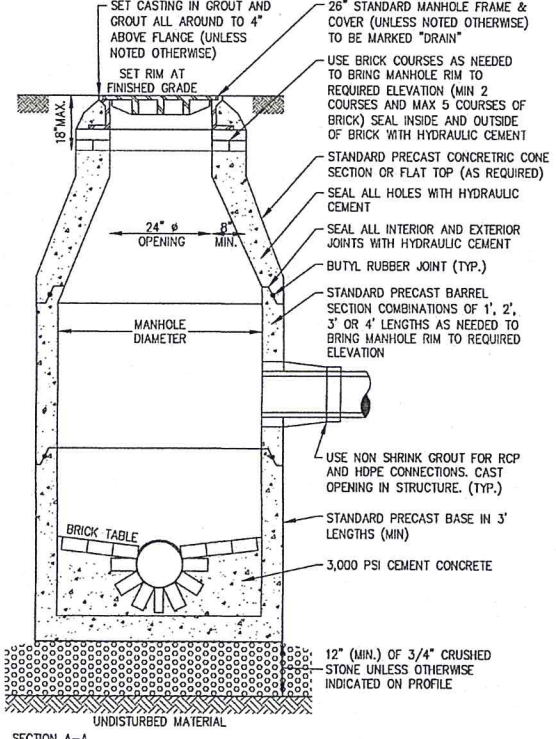
**PLAN VIEW**



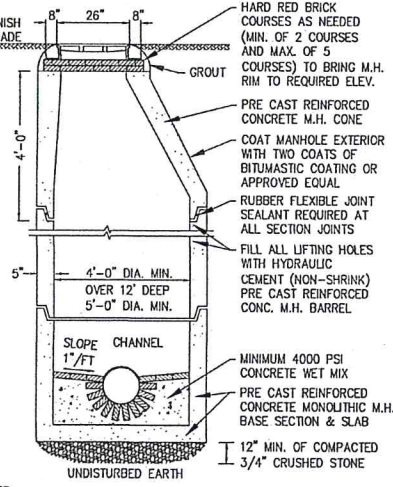
**ROOF DRAIN DETAIL**  
NOT TO SCALE



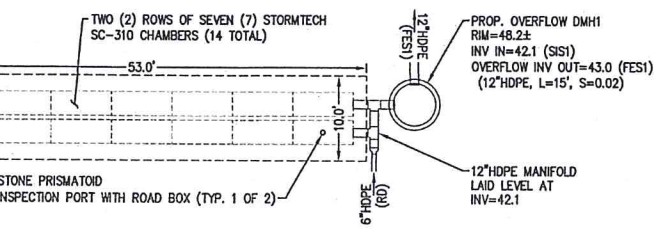
**SINGLE GRATE CATCH BASIN**  
NOT TO SCALE



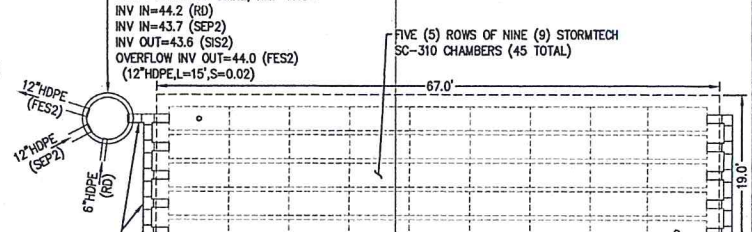
**DRAIN MANHOLE DETAIL**  
NOT TO SCALE



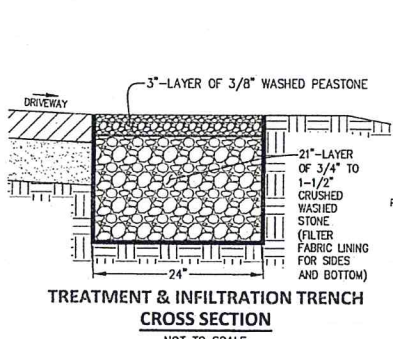
**TYPICAL SEWER MANHOLE DETAIL**  
CROSS SECTION NOT TO SCALE



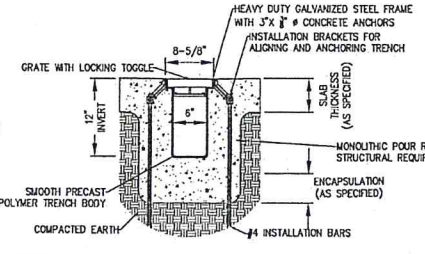
**SUB-SURFACE INFILTRATION SYSTEM 1 (SIS1)**  
PLAN VIEW SCALE: 1"=10'



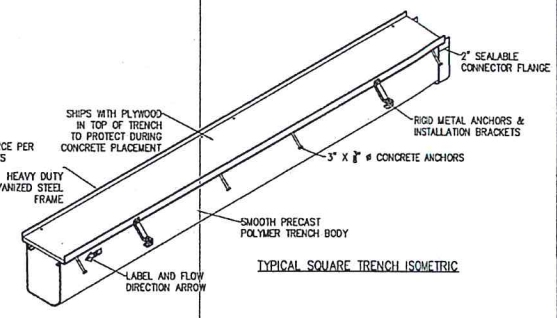
**SUB-SURFACE INFILTRATION SYSTEM 2 (SIS2)**  
PLAN VIEW SCALE: 1"=10'



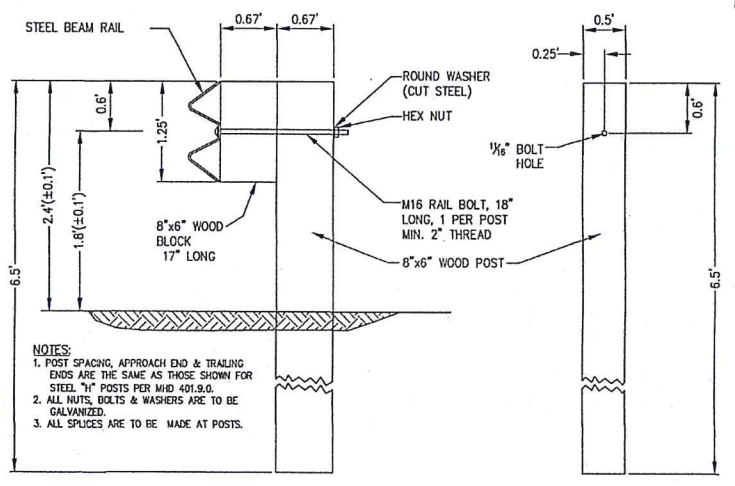
**TREATMENT & INFILTRATION TRENCH**  
CROSS SECTION NOT TO SCALE



**TYPICAL SQUARE TRENCH SECTION**



**PRE-FABRICATED 6\"/>
 NOT TO SCALE**



**GUARDRAIL DETAIL**  
NOT TO SCALE

**NOTES**  
 1. TYPICAL SANITARY MANHOLE TO BE 4 FEET IN DIAMETER.  
 2. 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 12 FEET OR WHEN ORDERED BY THE ENGINEER.  
 3. 6" MIN. WALL THICKNESS AND 7" MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.  
 4. INNER EDGE OF BRICK TABLE TO BE AT ELEVATION OF CROWN OF TOP OF PIPE.  
 5. DESIGN LOAD-HS20.  
 6. ALL INVERTS SHALL BE 4,000 PSI CEMENT CONCRETE IN VOID AREAS AND RED SEWER BRICK CONSTRUCTION.  
 7. INVERTS SHALL NOT BE BUILT ABOVE GRADE. ALL INVERTS SHALL BE BUILT IN PLACE AFTER ALL PIPES HAVE BEEN INSTALLED.

DETAILS		
8, 10, 12, & 18 COLBY FARM LANE NEWBURYPORT, MASSACHUSETTS		
PLAN PREPARED FOR: <b>THE DALY GROUP</b> 225 STEDMAN STREET LOWELL, MASSACHUSETTS 01851	PLAN PREPARED BY: <b>LANDPLEX</b> CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-9300 - LANDPLEX.COM	
SHEET: 9 OF 9	SCALE: 1"=40'	FEBRUARY 14, 2020
NO.	REVISION DESCRIPTION	DATE
	UPDATE ZONING INFO	2/26/2020