

ZONING DIMENSIONAL DATA:

ZONE: I-1B - INDUSTRIAL

	REQUIRED:	PROVIDED:
MINIMUM LOT SIZE:	50,000 S.F.	112,865 S.F.
MINIMUM LOT FRONTAGE:	200'	366.28'
MINIMUM YARDS:		

FRONT:	50'	50'
SIDE:	50'	50'
REAR:	50'	50.5'

MAXIMUM BUILDING COVER:	40% (44,000 S.F.)	26.58% (30,000 S.F.)
MAXIMUM BUILDING HEIGHT:	40' (MAX)	26.1' (+/-)
MINIMUM OPEN SPACE:	N/A	N/A

PARKING REQUIREMENTS:

PER SECTION VII
0.75 PER EMPLOYEE 55 STALLS PROVIDED

PARKING PROVIDED:

- (A) STANDARD STALLS (9'x18') 52
- (B) COMPACT STALLS (8'x17') 0
- (C) 2 HANDICAP STALLS 3

WETLANDS STATEMENT:

A NOTICE OF INTENT HAS BEEN FILED WITH THE NEWBURYPORT CONSERVATION COMMISSION (N.C.C.) AND MA DEP FILE #051-0933 THE N.C.C. ISSUED AN ORDER OF CONDITIONS ON OCTOBER 15, 2015, WHICH WAS MODIFIED ON DECEMBER, 12, 2016.

FLOODPLAIN CERTIFICATION:

THERE ARE NO ALTERATIONS OF THE 100 YEAR FLOODPLAIN AREAS LOCATED ON THE SUBJECT PROPERTY, PER FEMA FIRM MAPS REVISED 7-16-2014. (FLOODPLAIN EL=10.0')

GENERAL NOTES:

1. THE LOCATION OF ALL UTILITIES AND SUBSURFACE STRUCTURES ARE FROM MUNICIPAL AND CORPORATE RECORD AND ARE APPROXIMATE AS TO THEIR SIZE, LOCATION AND DEPTH. THEY ARE INDICATED ON THESE DRAWINGS TO PROVIDE CONTRACTOR(S) WITH A GENERAL IDEA OF THE EXISTING CONDITIONS WHICH ARE TO BE CONFIRMED BY THE INDIVIDUAL CONTRACTOR(S). IT IS UNDERSTOOD AND AGREED THAT EACH CONTRACTOR(S) SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS METHODS AND OBTAIN INFORMATION FROM UTILITY COMPANIES AND OTHERS AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.

LIST OF DRAWINGS

SHEET	TITLE
SHEET 1	TITLE
SHEET 2	PERIMETER BOUNDARY & EASEMENT PLAN
SHEET 3	EXISTING CONDITIONS SITE PLAN
SHEET 4	PROPOSED CONDITIONS OVERVIEW SITE PLAN
SHEET 5	DRAINAGE & GRADING DESIGN
SHEET 6	SEWER & DRAIN SYSTEM PROFILE
SHEET 7	LIGHTING PLAN ~ NOTES& DETAILS
SHEET 8	LANDSCAPING PLAN & DETAILS
SHEET 9	UTILITIES SITE PLAN & NOTES
SHEET 10	VEHICLE TURNING PLAN (TRUCK AND FIRE)
SHEET 11	CONSTRUCTION DETAILS & NOTES
SHEET 12	CONSTRUCTION DETAILS
SHEET 13	CONSERVATION DETAILS & NOTES
SHEET 14	WETLAND RESTORATION PLAN
SHEET 15	WETLAND RESTORATION (PLANTING DETAILS)
SHEET 16	SNOW STORAGE SITE PLAN

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (Ch. 380 OF THE ACTS OF 1966)



8/14/17



SURVEYOR:
WILLIAM G. HOLT, PLS,RS
LAND SURVEY & DESIGN SERVICES
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: 978-257-4576

LOCUS PLAN

SCALE: 1"=1000'

PREPARED BY:

ENGINEER:
ASB design group
THAD BERRY, PE
363 BOSTON STREET
TOPSFIELD, MA 01983
TEL: 978-500-8419



Thad D. Berry

8/14/17

SITE PERMIT PLAN

INDUSTRIAL DEVELOPMENT PROJECT

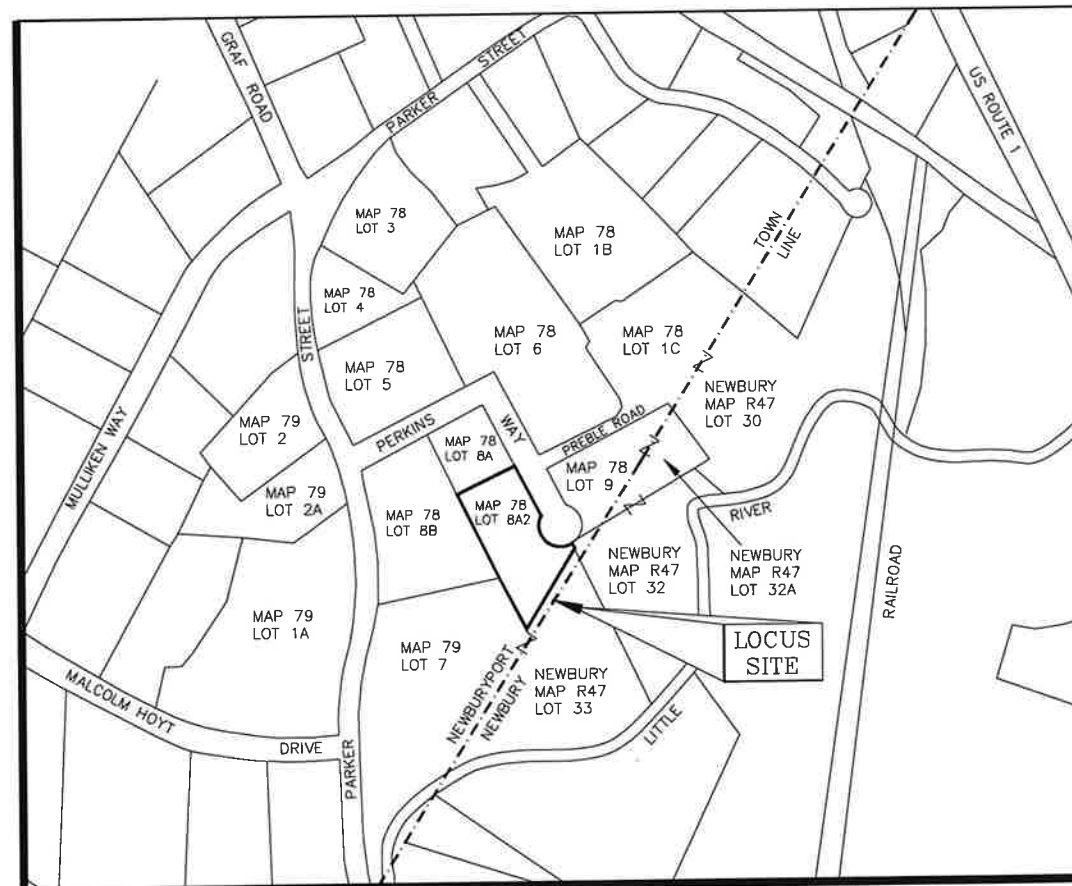
~ 6 PERKINS WAY ~

MAP 78 ~ LOT 8-A-2

NEWBURYPORT, MASSACHUSETTS

OWNER/APPLICANT:

SIX PERKINS WAY NOMINEE TRUST
4 PERKINS WAY
NEWBURYPORT, MA 01950



CITY OF NEWBURYPORT
SITE PLAN APPROVAL REQUIRED:
PLANNING BOARD:

PLANNING BOARD USE FOR REGISTRY USE ONLY
LEGEND: (APPLICABLE TO ALL SHEETS)

C.I.	CAST IRON PIPE
D.I.	DUCTILE IRON PIPE
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
STL	STEEL PIPE
CMP	CORRUGATED METAL PIPE
VGC	VERTICAL GRANITE CURB
BCC	BITUMINOUS CONCRETE CURB
⊙	DRAIN MANHOLE
⊙	CATCH BASIN
⊙	SEWER MANHOLE
⊙	TELEPHONE MANHOLE
⊙	ELECTRIC MANHOLE
⊙	ELECTRIC HANDHOLE
⊙	STONE BOUND
⊙	FIRE HYDRANT
⊙	WATER GATE VALVE - WATER SHUT OFF
⊙	GAS GATE VALVE
⊙	SIGN
⊙	UTILITY POLE
⊙	SURVEY CONTROL POINT
⊙	TREE - EVERGREEN/UNKNOWN/DECIDUOUS
⊙	SHRUB
⊙	EXISTING SPOT GRADE
⊙	PROPOSED SPOT GRADE
100x0	EXISTING CONTOUR
P100x0	PROPOSED CONTOUR
---	UNDERGROUND DRAIN LINE
---	UNDERGROUND SEWER LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND TELEPHONE
---	UNDERGROUND WATER LINE
---	UNDERGROUND GAS LINE
---	OVERHEAD WIRES
---	FENCE
---	STONE WALL
---	SURVEY CONTROL LINE/CONTROL POINT
---	VEGETATION LINE
---	WETLANDS BOUNDARY
---	100 FOOT RESOURCE BUFFER ZONE
---	EXISTING DRIVE
---	PROPOSED WOOD GAURD RAIL
---	PROP. TEMP EROSION CONTROL (TEC)
---	PROPOSED SILT FENCE ONLY
---	EDGE OF PAVEMENT W/ CURB
---	BUILDING YARD SETBACKS
---	SOIL CLASS BOUNDARY
---	SOIL TEST PIT / PERC TEST LOCATION
---	WELL (LABELED EXIST OR PROP.)

ASSESSOR'S DATA:

NEWBURYPORT: MAP No. 78
LOT No. 8-A-2,9

NEWBURY: MAP No. R47
LOT No. 32,32A



CALL
TOLL FREE
1-888-DIG-SAFE
(1-888-344-7233)
72 HOURS IN ADVANCE

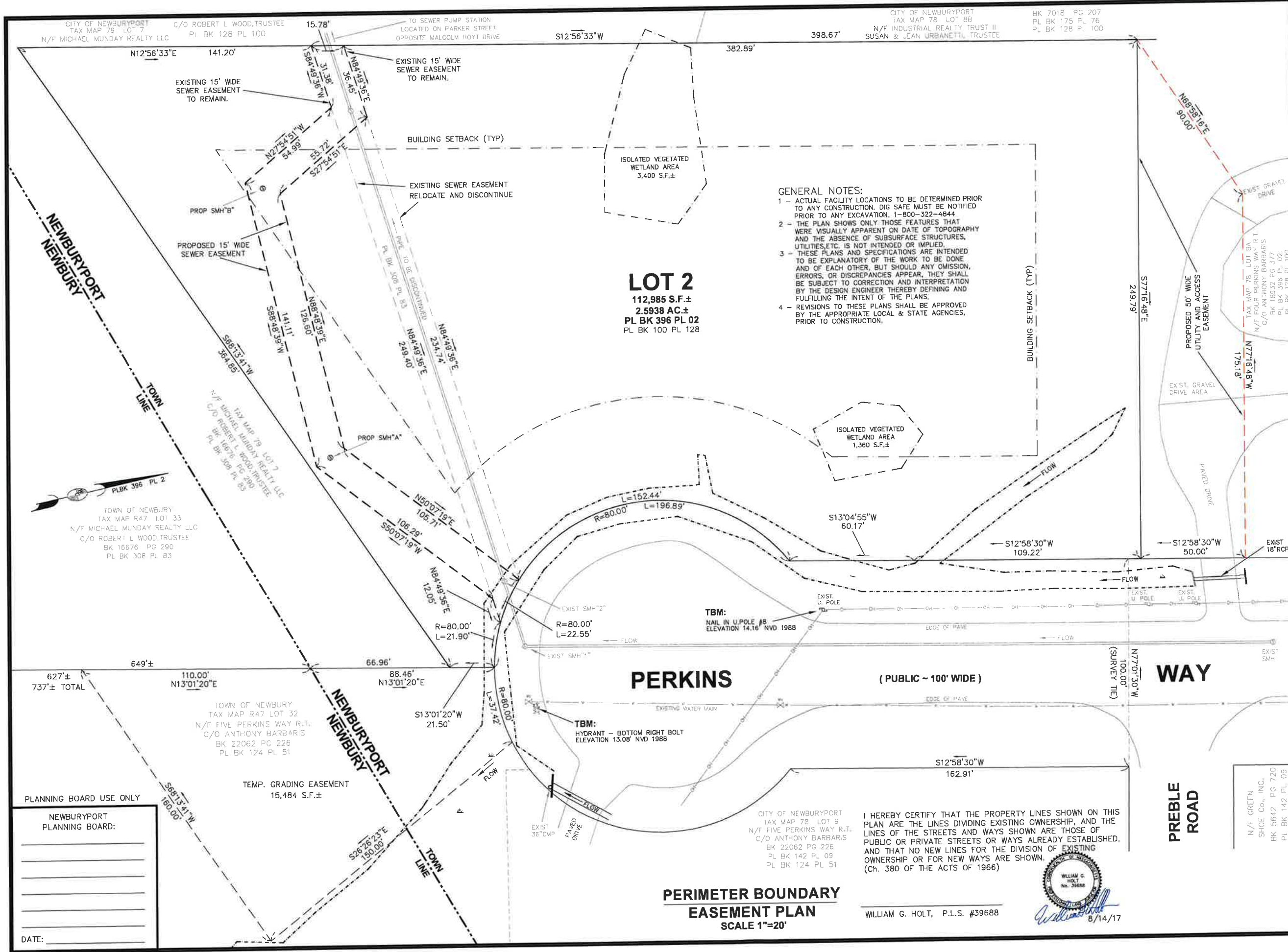
SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS

PREPARED FOR
OWNER & APPLICANT
FOUR PERKINS WAY R.T.
ANTHONY BARBARIS, TRUSTEE
P.O. BOX 2162
HAMILTON, MA 01982

6 PERKINS WAY
INDUSTRIAL DEVELOPMENT
COVER SHEET
SCALE: AS NOTED

No.	DATE:	REVISION
	8/14/17	C&S REV. COMMENTS

DATE: 5-MAY-2017



LOT 2
 112,985 S.F. ±
 2.5938 AC. ±
 PL BK 396 PL 02
 PL BK 100 PL 128

- GENERAL NOTES:**
- 1 - ACTUAL FACILITY LOCATIONS TO BE DETERMINED PRIOR TO ANY CONSTRUCTION. DIG SAFE MUST BE NOTIFIED PRIOR TO ANY EXCAVATION. 1-800-322-4844
 - 2 - THE PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON DATE OF TOPOGRAPHY AND THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED.
 - 3 - THESE PLANS AND SPECIFICATIONS ARE INTENDED TO BE EXPLANATORY OF THE WORK TO BE DONE AND OF EACH OTHER, BUT SHOULD ANY OMISSION, ERRORS, OR DISCREPANCIES APPEAR, THEY SHALL BE SUBJECT TO CORRECTION AND INTERPRETATION BY THE DESIGN ENGINEER THEREBY DEFINING AND FULFILLING THE INTENT OF THE PLANS.
 - 4 - REVISIONS TO THESE PLANS SHALL BE APPROVED BY THE APPROPRIATE LOCAL & STATE AGENCIES, PRIOR TO CONSTRUCTION.

FOR REGISTRY USE ONLY
PERIMETER PLAN

OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS

PREPARED FOR
OWNER & APPLICANT
 SIX PERKINS WAY NOMINEE TRUST
 C/O ANTHONY BARBARIS, TRUSTEE
 4 PERKINS WAY
 NEWBURYPORT, MA 01950

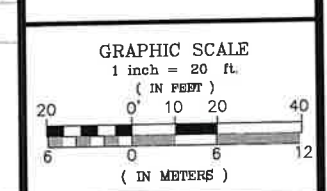
PREPARED BY
WGH LAND SURVEY & DESIGN
 83 WEST MAIN STREET
 MERRIMAC, MA 01860
 TEL: (978) 346-7873
 CELL: (978) 257-4576
 e-mail: billgholt@aol.com

ASSESSOR'S DATA:

NEWBURYPORT:	MAP No. 78
	LOT No. B-A-2, 9
NEWBURY:	MAP No. R47
	LOT No. 32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

8/14/17
 WILLIAM G. HOLT PLS, RS, SE



PROJECT TITLE:
#6 PERKINS WAY
LOT BOUNDARY
EASEMENT PLAN

DRAWN:	W.HOLT
DESIGNED:	W.HOLT, T. BERRY
CHECKED:	W.HOLT, T. BERRY
DATE:	5-MAY-17
CAD FILE:	WGH/SITE/6P_SP_SH2
JOB No.	014-015-03_SP

REVISION :	BY
8/14/17 C&S REV. COMMENTS	WH/TB

SHEET No. **2 OF 16**

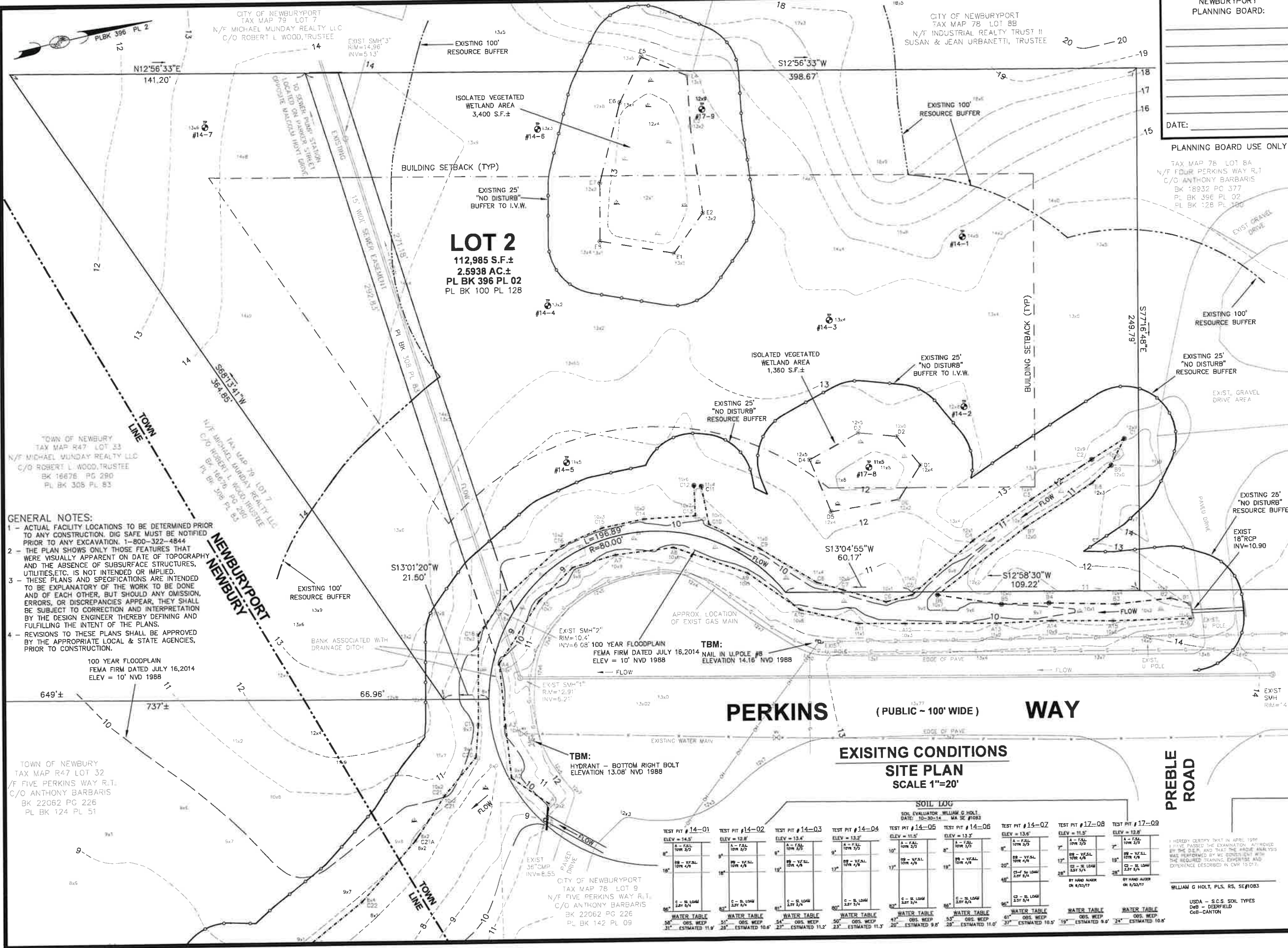
PLANNING BOARD USE ONLY

NEWBURYPORT PLANNING BOARD:	
DATE:	

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
 (Ch. 380 OF THE ACTS OF 1966)

WILLIAM G. HOLT, P.L.S. #39688
 8/14/17

PERIMETER BOUNDARY
EASEMENT PLAN
 SCALE 1"=20'



GENERAL NOTES:

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- REVISIONS TO THESE PLANS SHALL BE APPROVED BY THE APPROPRIATE LOCAL & STATE AGENCIES, PRIOR TO CONSTRUCTION.

NEWBURYPORT
PLANNING BOARD:

DATE: _____

FOR REGISTRY USE ONLY


SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS
PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01950
PREPARED BY
WGH LAND SURVEY & DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billgholt@aol.com

ASSESSOR'S DATA:

NEWBURYPORT: MAP No. 78
LOT No. 8-A-2, 9

NEWBURY: MAP No. R47
LOT No. 32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.


B/14/17
WILLIAM G. HOLT PLS, RS, SE

GRAPHIC SCALE
1 inch = 20 ft.
(IN FEET)
20 0 10 20 40
(IN METERS)

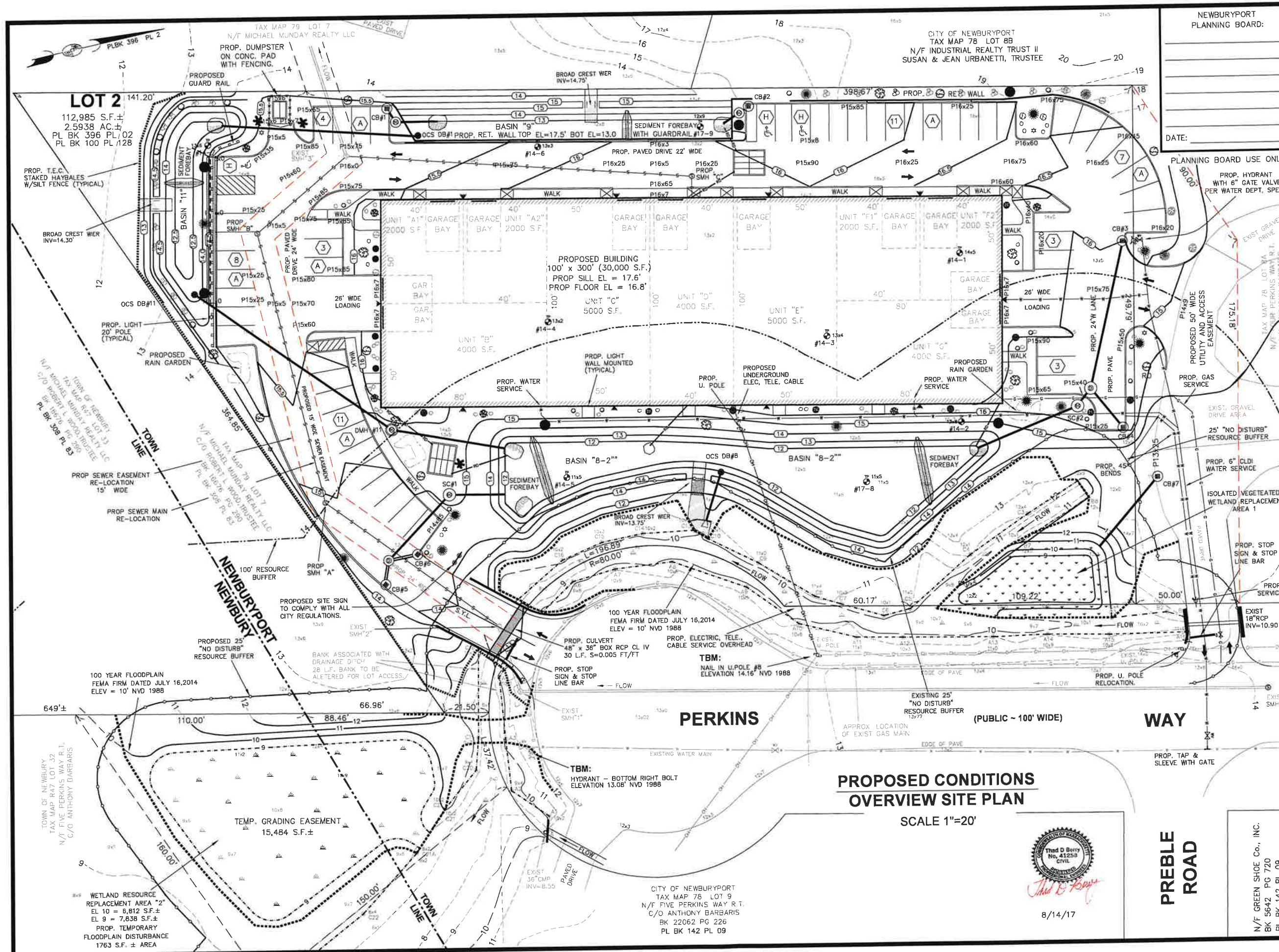
PROJECT TITLE:
#6 PERKINS WAY
EXISTING CONDITIONS
SITE PLAN

DRAWN: W.HOLT
DESIGNED: W.HOLT, T. BERRY
CHECKED: W.HOLT, T. BERRY
DATE: 5-MAY-17
CAD FILE: WGH/SITE/6P_SP_SH3
JOB No.: 014-015-03_SP

REVISION: _____ **BY:** _____

B/14/17 REV. COMMENTS WH/TB

SHEET No. 3 OF 16



NEWBURYPORT
PLANNING BOARD:

DATE:

FOR REGISTRY USE ONLY

SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS
PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01950
PREPARED BY
WGH LAND SURVEY
& DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billgholt@aol.com

ASSESSOR'S DATA:
NEWBURYPORT: MAP No. 78
LOT No. 8-A-2, 9
NEWBURY: MAP No. R47
LOT No. 32

I HEREBY CERTIFY THAT THIS
PLAN CONFORMS TO THE RULES
AND REGULATIONS OF THE
REGISTRY OF DEEDS.

WILLIAM G. HOLT PLS, RS, SE
8/14/17

GRAPHIC SCALE
1 inch = 20 ft.
(IN FEET)
20 0' 10' 20' 40'
(IN METERS)

PROJECT TITLE:
#6 PERKINS WAY
OVERVIEW
SITE PLAN

DRAWN: W.HOLT
DESIGNED: W.HOLT, T. BERRY
CHECKED: W.HOLT, T. BERRY
DATE: 5-MAY-17
CAD FILE: WGH/SITE/EP_SP_SH4
JOB No.: 014-015-03_SP

REVISION: BY
8/14/17 REV. COMMENTS WH/TB

SHEET No. 4 OF 16

PROPOSED CONDITIONS
OVERVIEW SITE PLAN

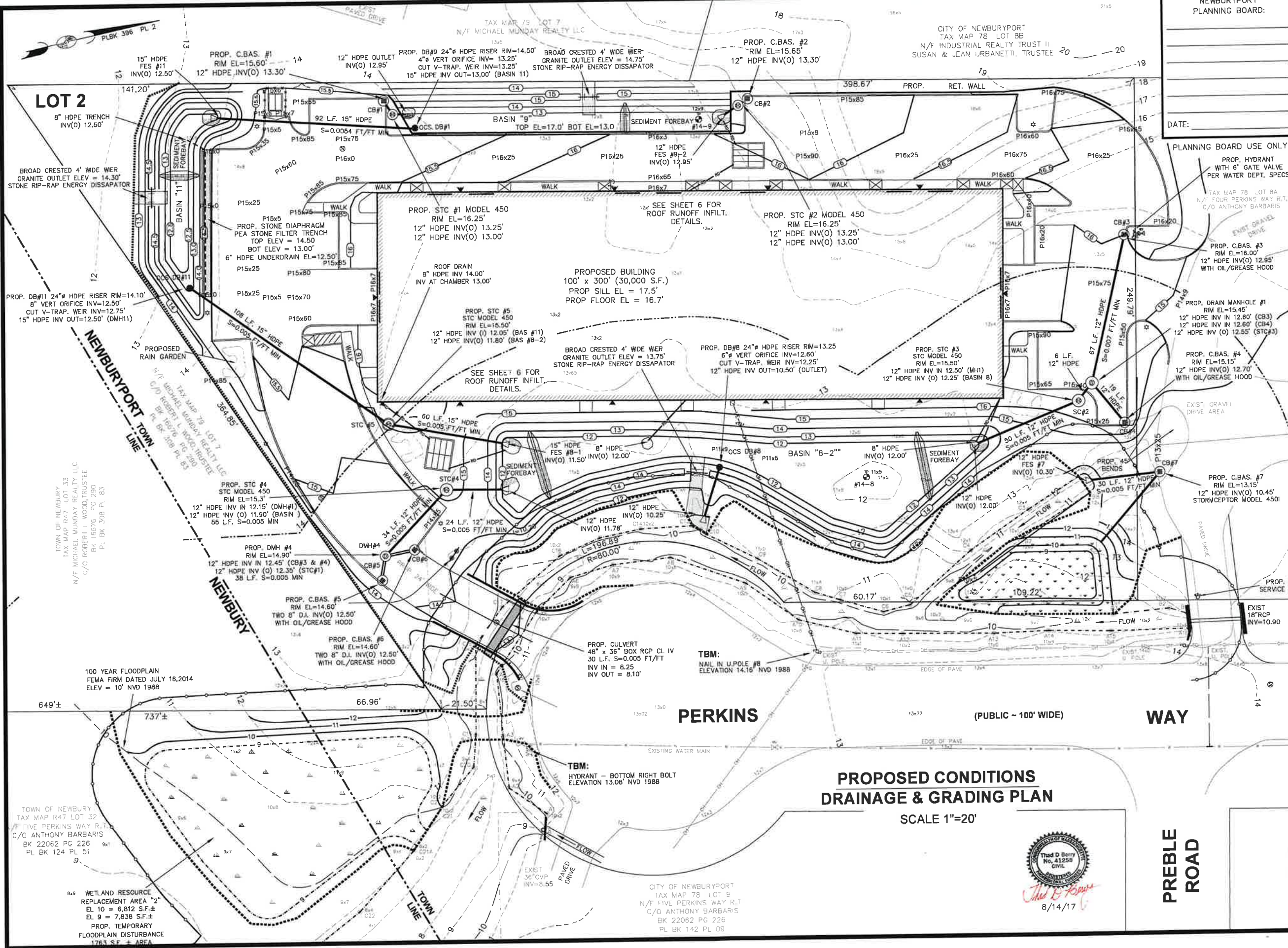
SCALE 1"=20'



8/14/17

N/F GREEN SHOE Co., INC.
BK 5642 PG 720
PL BK 142 PL 09

CITY OF NEWBURYPORT
TAX MAP 78 LOT 9
N/F FIVE PERKINS WAY R.T.
C/O ANTHONY BARBARIS
BK 22062 PG 226
PL BK 142 PL 09



NEWBURYPORT
PLANNING BOARD:

DATE:

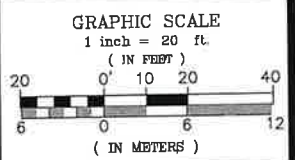
FOR REGISTRY USE ONLY

SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS
PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01960
PREPARED BY
WGH LAND SURVEY & DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billgholt@aol.com

ASSESSOR'S DATA:
NEWBURYPORT: MAP No. 78
LOT No. 8-A-2, 9
NEWBURY: MAP No. R47
LOT No. 32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

WILLIAM G. HOLT PLS, RS, SE
8/14/17



PROJECT TITLE:
**#6 PERKINS WAY
DRAINAGE & GRADING
SITE PLAN**

DRAWN: W.HOLT
DESIGNED: W.HOLT, T. BERRY
CHECKED: W.HOLT, T. BERRY
DATE: 5-MAY-17
CAD FILE: WGH/SITE/6P_SP_SH5
JOB No. 014-015-03_SP

REVISION: BY
8/14/17 REV. COMMENTS WH/TB

SHEET No. **5** OF 16

**PROPOSED CONDITIONS
DRAINAGE & GRADING PLAN**

SCALE 1"=20'



**PREBLE
ROAD**

CITY OF NEWBURYPORT
TAX MAP 78 LOT 9
N/F FIVE PERKINS WAY R.T.
C/O ANTHONY BARBARIS
BK 22062 PG 226
PL BK 142 PL 09

TOWN OF NEWBURY
TAX MAP R47 LOT 32
N/F FIVE PERKINS WAY R.T.
C/O ANTHONY BARBARIS
BK 22062 PG 226
PL BK 124 PL 51

TOWN OF NEWBURY
TAX MAP R47 LOT 32
N/F FIVE PERKINS WAY R.T.
C/O ANTHONY BARBARIS
BK 22062 PG 226
PL BK 124 PL 51

WETLAND RESOURCE
REPLACEMENT AREA "2"
EL 10 = 6,812 S.F.±
EL 9 = 7,838 S.F.±
PROP. TEMPORARY
FLOODPLAIN DISTURBANCE
1763 S.F. ± AREA

100 YEAR FLOODPLAIN
FEMA FIRM DATED JULY 16, 2014
ELEV = 10' NVD 1988

PERKINS

(PUBLIC - 100' WIDE)

WAY

NEWBURYPORT TOWN LINE

NEWBURY

TOWN LINE

DATE: _____

PLANNING BOARD USE ONLY

FOR REGISTRY USE ONLY

SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS

PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01950

PREPARED BY
WGH LAND SURVEY & DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
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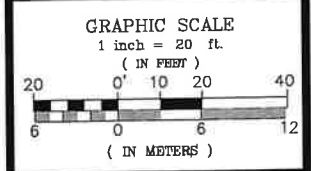
ASSESSOR'S DATA:

NEWBURYPORT: MAP No.	78
LOT No.	8-A-2, 9
NEWBURY: MAP No.	R47
LOT No.	32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.



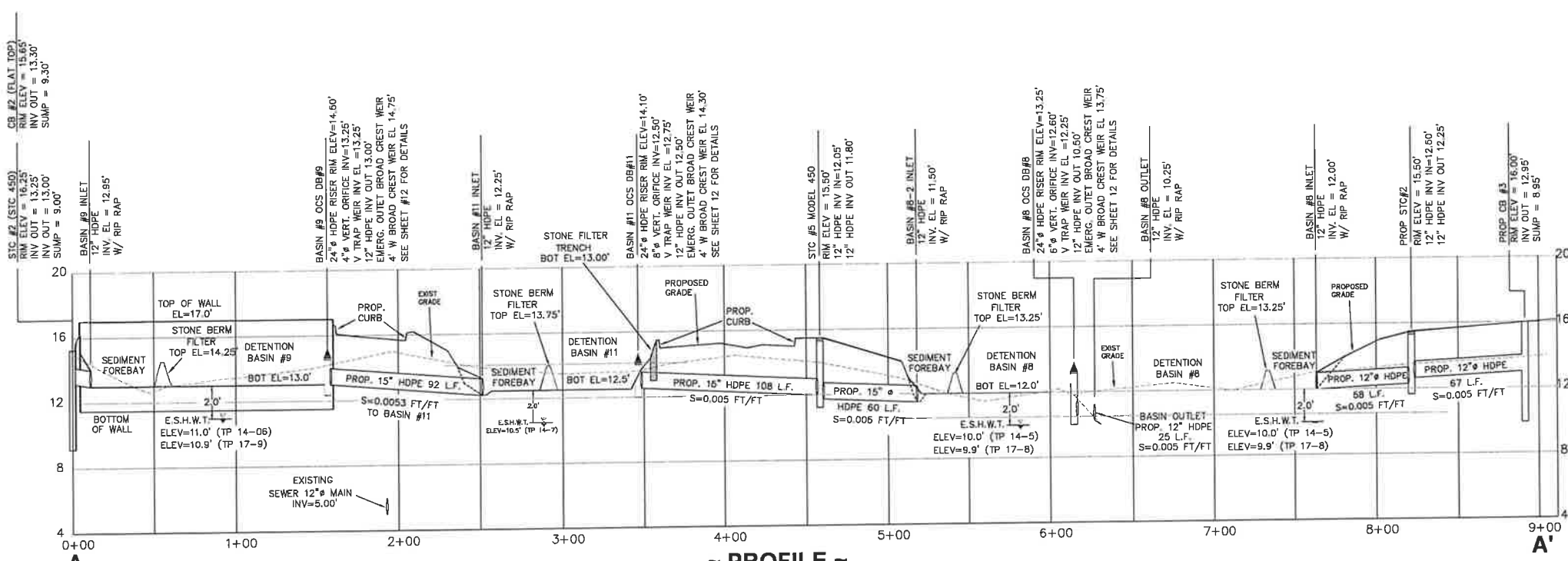
WILLIAM G. HOLT PLS, RS, SE
8/14/17



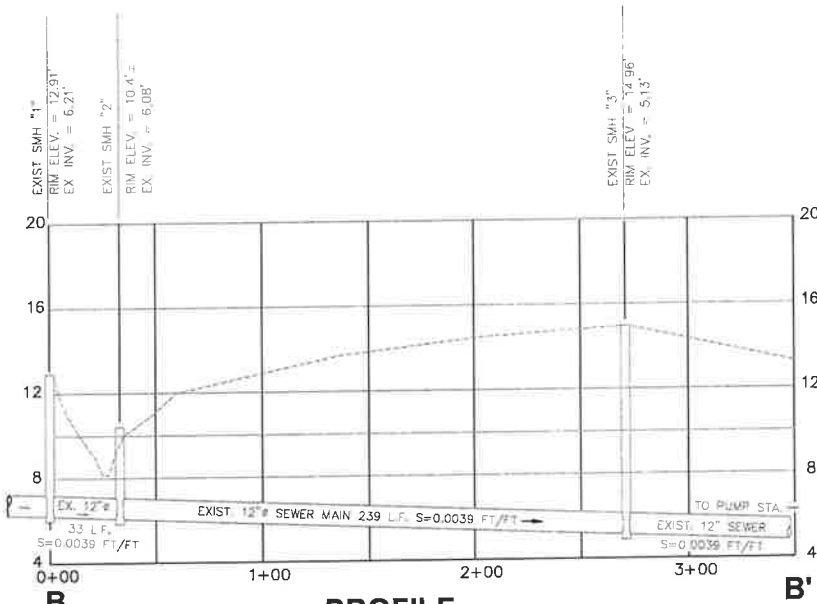
PROJECT TITLE:
#6 PERKINS WAY
DRAINAGE & SEWER
PROFILES

DRAWN:	W.HOLT
DESIGNED:	W.HOLT, T. BERRY
CHECKED:	W.HOLT, T. BERRY
DATE:	5-MAY-17
CAD FILE:	WGH/SITE/6P_SP_SH6
JOB No.	014-015-03_SP

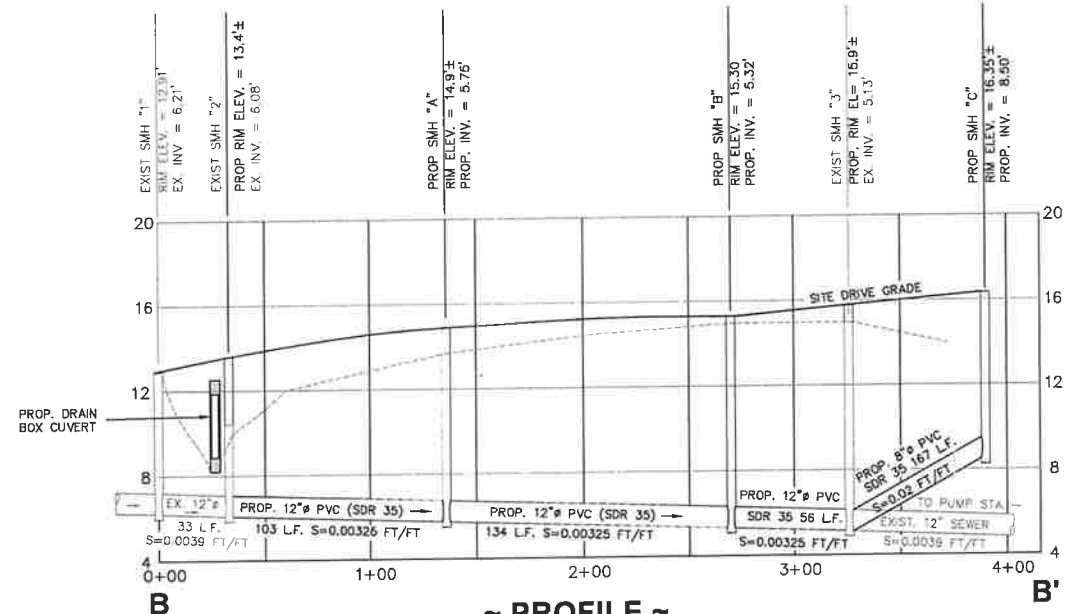
REVISION:	BY
8/14/17 REV. COMMENTS	WH/TB



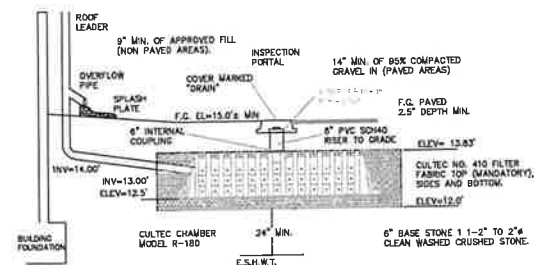
~ PROFILE ~
~ DETENTION BASIN #9, #11 & #8 ~
SCALE HOR: 1"=40'
VER: 1"=4'



~ PROFILE ~
~ EXIST. SEWER LOCATION ~
SCALE HOR: 1"=40'
VER: 1"=4'



~ PROFILE ~
~ PROP. SEWER RE-LOCATION ~
SCALE HOR: 1"=40'
VER: 1"=4'



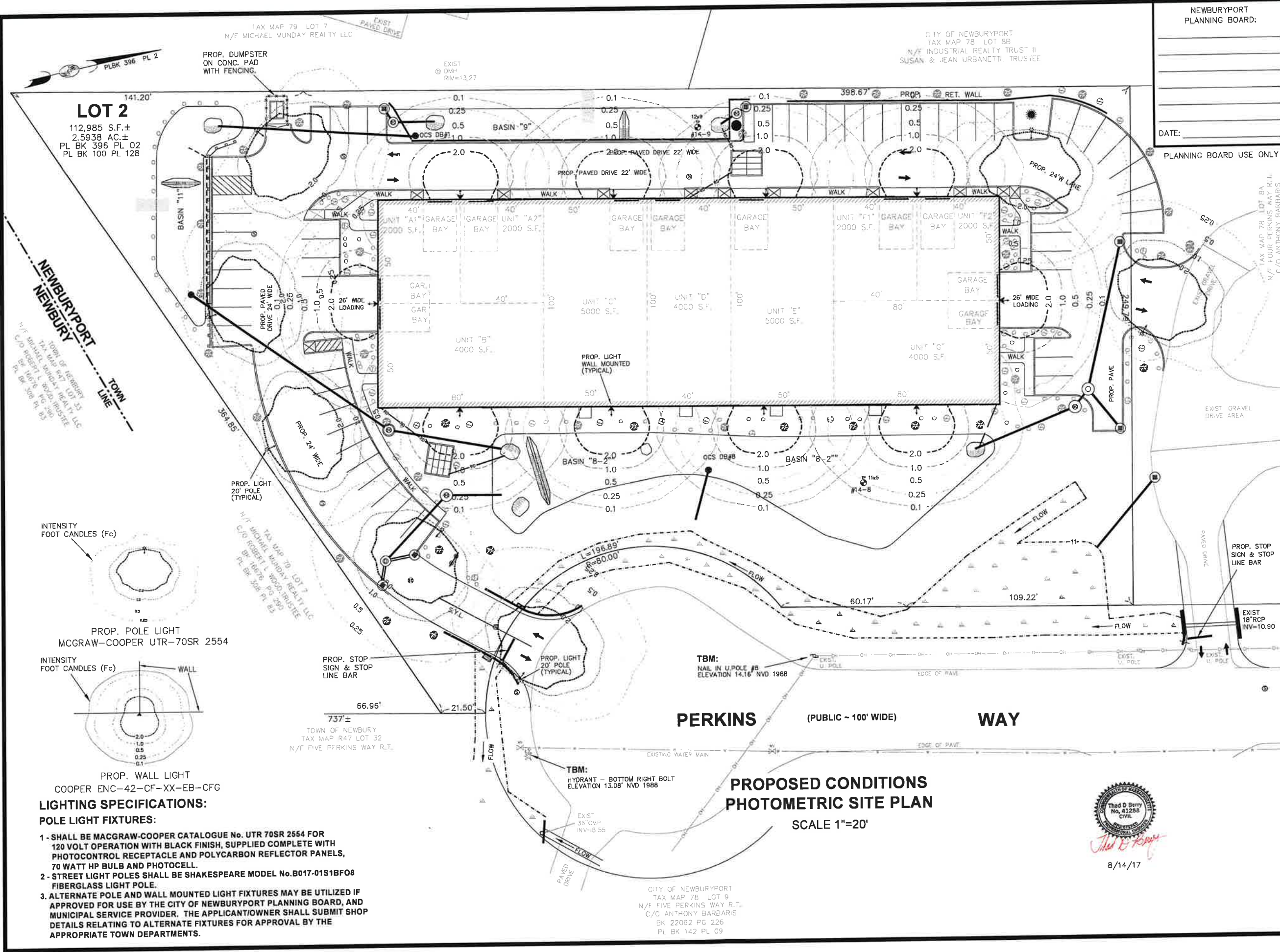
DOWNSPOUT AND ROOF RUNOFF
INFILTRATION AREA DETAIL
N.T.S.

ROOF RUNOFF
RECHARGE CALCULATIONS:
IMPERVIOUS AREA = 48,612 s.f.
RECHARGE VOL = FROM REPORT = 632 Cu. Ft.
= 632 C.F.
VOLUME OF SO-310 CHAMBER
= 31 Cu. Ft. PER CHAMBER
(PER MUNIFACT. SPECS.)
VOLUME OF VOIDS IN STONE
UNDER CHAMBERS = 0.40 x 0.330 x 3.83' W x 8.12' L = 4.1 C.F.
VOLUME OF VOIDS IN STONE
AROUND CHAMBERS = 0.40 x 11 S.F. x 1.33'D = 5.8 C.F.
TOTAL AVAILABLE STORAGE VOLUME/ CHAMBER
= 31 + 4.1 + 5.8 = 40.9 C.F.
TOTAL STORAGE AVAILABLE ALL UNITS = 16 x 40.9 = 654 C.F.

USE TWO BEDS OF 8 UNITS:
12.33' W x 29.5' L x 1.83' D
AREA: 364 S.F. BED; 327 Cu. Ft.
DRAW DOWN=327 CF/ 0.17 IN/HR x 1'/12" x
364 SF
= 327/5.157 = 63.4 HRS < 72 HRS.



8/14/17



NEWBURYPORT
PLANNING BOARD:

DATE:

PLANNING BOARD USE ONLY

FOR REGISTRY USE ONLY

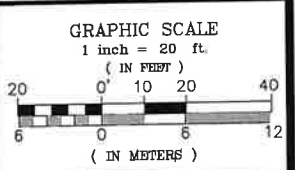
SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS
PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01950
PREPARED BY
WGH LAND SURVEY
& DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billgholt@aol.com

ASSESSOR'S DATA:

NEWBURYPORT: MAP No.	78
LOT No.	B-A-2, 9
NEWBURY: MAP No.	R47
LOT No.	32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

William G. Holt
8/14/17
WILLIAM G. HOLT PLS, RS, SE



PROJECT TITLE:
#6 PERKINS WAY
PHOTOMETRIC
SITE PLAN

DRAWN:	W.HOLT
DESIGNED:	W.HOLT, T. BERRY
CHECKED:	W.HOLT, T. BERRY
DATE:	5-MAY-17
CAD FILE:	WGH/SITE/6P_SP_SH7
JOB No.	014-015-03_SP

REVISION:	BY
8/14/17 REV. COMMENTS	WH/TB

SHEET No. **7 OF 16**

LOT 2
112,985 S.F.±
2.5938 AC.±
PL BK 396 PL 02
PL BK 100 PL 128

CITY OF NEWBURYPORT
TAX MAP 78 LOT 8B
N/F INDUSTRIAL REALTY TRUST II
SUSAN & JEAN URBANETTI, TRUSTEE

PROP. DUMPSTER
ON CONC. PAD
WITH FENCING.

EXIST
DMH
RIV=13.27

NEWBURYPORT
NEWBURY

TOWN OF NEWBURYPORT
TAX MAP 87 LOT 13
N/F MICHAEL MUNDAY REALTY LLC
C/O ROBERT L. WOOD, TRUSTEE
PG. 1076 PG. 380
PL. BK. 308 PL. 23

TAX MAP 79 LOT 7
N/F MICHAEL MUNDAY REALTY LLC

TAX MAP 79 LOT 7
N/F MICHAEL MUNDAY REALTY LLC
C/O ROBERT L. WOOD, TRUSTEE
PG. 1076 PG. 380
PL. BK. 308 PL. 23

TOWN OF NEWBURY
TAX MAP R47 LOT 32
N/F FIVE PERKINS WAY R.T.

CITY OF NEWBURYPORT
TAX MAP 78 LOT 9
N/F FIVE PERKINS WAY R.T.
C/O ANTHONY BARBARIS
BK 22062 PG 226
PL BK 142 PL 09

INTENSITY
FOOT CANDLES (Fc)

PROP. POLE LIGHT
MCGRAW-COOPER UTR-70SR 2554

INTENSITY
FOOT CANDLES (Fc)

PROP. WALL LIGHT
COOPER ENC-42-CF-XX-EB-CFG

LIGHTING SPECIFICATIONS:
POLE LIGHT FIXTURES:

- 1- SHALL BE MACGRAW-COOPER CATALOGUE No. UTR 70SR 2554 FOR 120 VOLT OPERATION WITH BLACK FINISH, SUPPLIED COMPLETE WITH PHOTOCONTROL RECEPTACLE AND POLYCARBON REFLECTOR PANELS, 70 WATT HP BULB AND PHOTOCCELL.
- 2- STREET LIGHT POLES SHALL BE SHAKESPEARE MODEL No. B017-01S1BF08 FIBERGLASS LIGHT POLE.
- 3- ALTERNATE POLE AND WALL MOUNTED LIGHT FIXTURES MAY BE UTILIZED IF APPROVED FOR USE BY THE CITY OF NEWBURYPORT PLANNING BOARD, AND MUNICIPAL SERVICE PROVIDER. THE APPLICANT/OWNER SHALL SUBMIT SHOP DETAILS RELATING TO ALTERNATE FIXTURES FOR APPROVAL BY THE APPROPRIATE TOWN DEPARTMENTS.

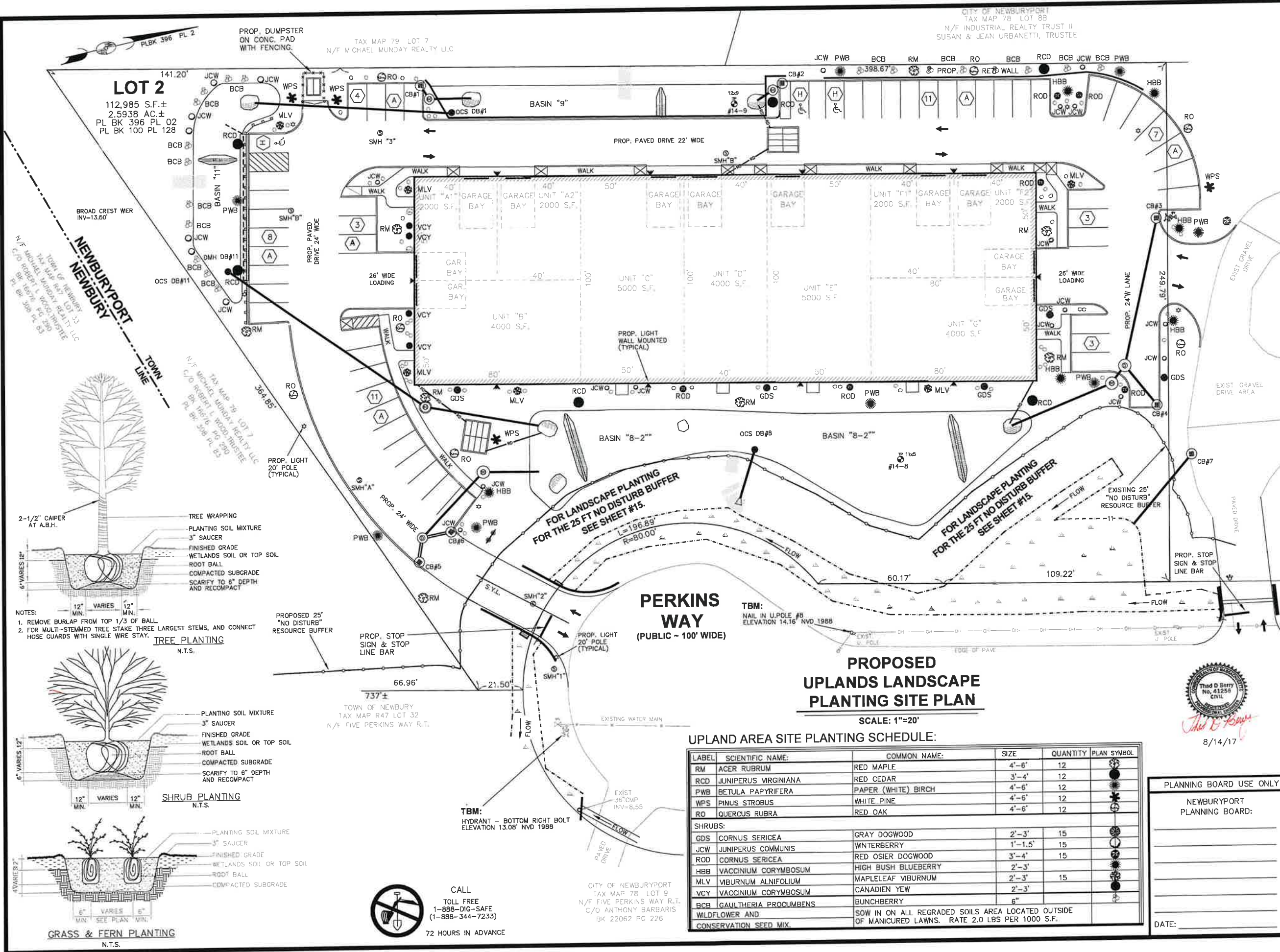
PERKINS WAY
(PUBLIC ~ 100' WIDE)

PROPOSED CONDITIONS
PHOTOMETRIC SITE PLAN

SCALE 1"=20'



8/14/17



FOR REGISTRY USE ONLY

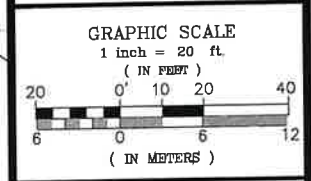
SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS
PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01950
PREPARED BY
WGH LAND SURVEY & DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billgholt@aol.com

ASSESSOR'S DATA:

NEWBURYPORT: MAP No.	78
LOT No.	8-A-2, 9
NEWBURY: MAP No.	R47
LOT No.	32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

WILLIAM G. HOLT PLS., RS., SE
8/14/17



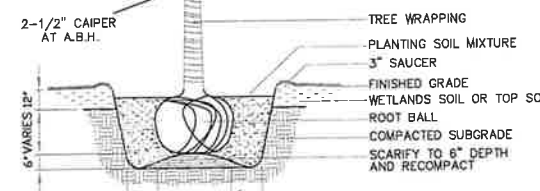
PROJECT TITLE:
#6 PERKINS WAY
LANDSCAPE PLANTING
SITE PLAN

DRAWN: W.HOLT
DESIGNED: W.HOLT, T. BERRY
CHECKED: W.HOLT, T. BERRY
DATE: 5-MAY-17
CAD FILE: WGH/SITE/6P_SP_SH8
JOB No. 014-015-03_SP

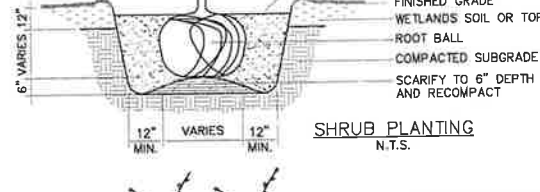
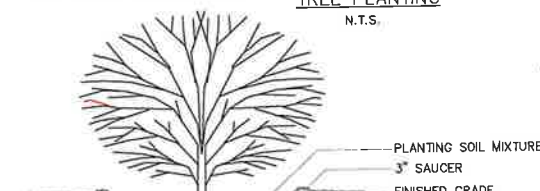
REVISION: BY
8/14/17 REV. COMMENTS WH/TB

SHEET No. **8 of 16**

PLANNING BOARD USE ONLY
NEWBURYPORT
PLANNING BOARD:
DATE:

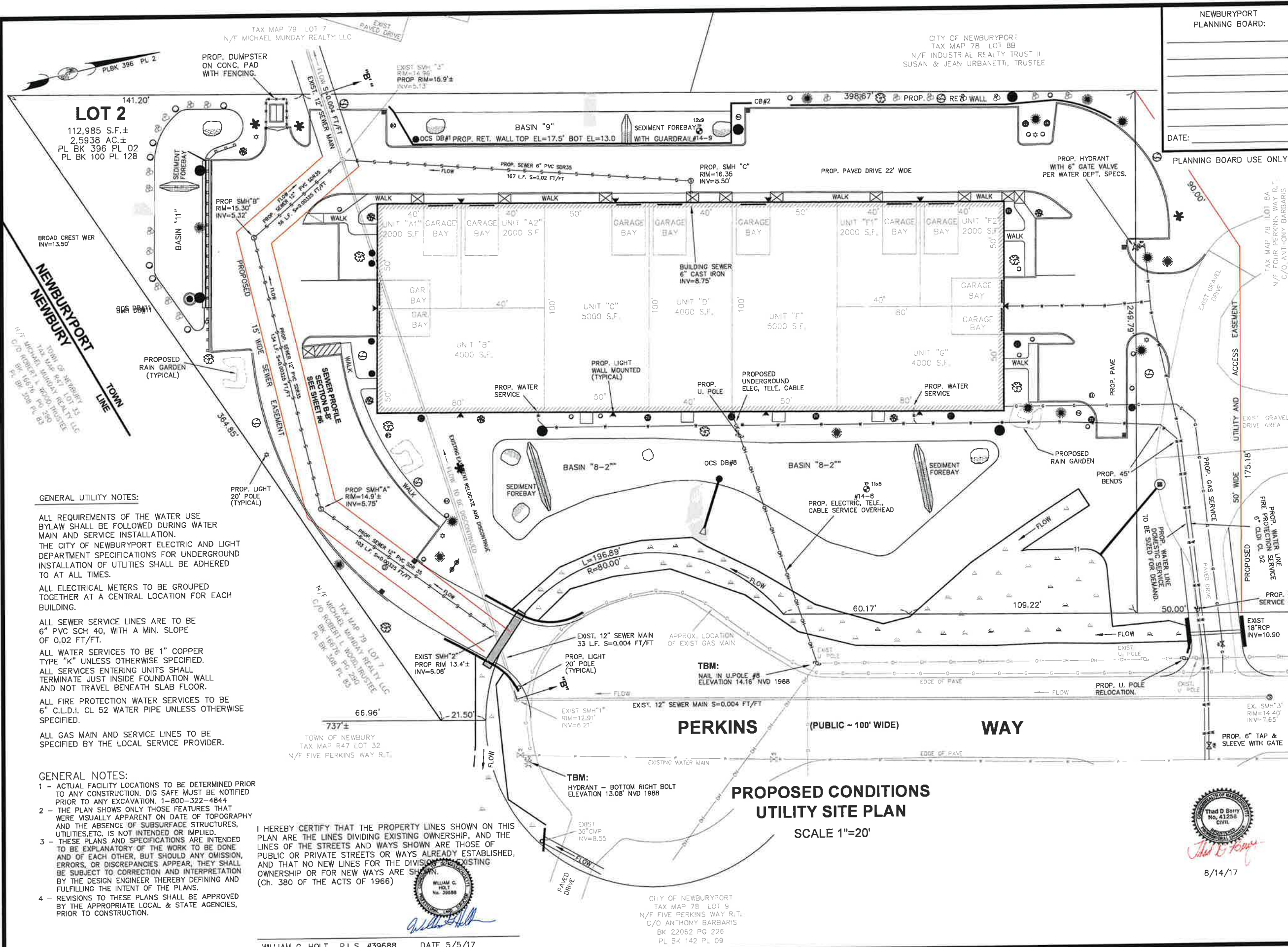


- NOTES:**
1. REMOVE BURLAP FROM TOP 1/3 OF BALL.
 2. FOR MULTI-STEMMED TREE STAKE THREE LARGEST STEMS, AND CONNECT HOSE GUARDS WITH SINGLE WIRE STAY.



CALL
TOLL FREE
1-888-DIG-SAFE
(1-888-344-7233)
72 HOURS IN ADVANCE

CITY OF NEWBURYPORT
TAX MAP 78 LOT 9
N/F FIVE PERKINS WAY R.T.
C/O ANTHONY BARBARIS
BK 22062 PG 226



GENERAL UTILITY NOTES:

ALL REQUIREMENTS OF THE WATER USE BYLAW SHALL BE FOLLOWED DURING WATER MAIN AND SERVICE INSTALLATION. THE CITY OF NEWBURYPORT ELECTRIC AND LIGHT DEPARTMENT SPECIFICATIONS FOR UNDERGROUND INSTALLATION OF UTILITIES SHALL BE ADHERED TO AT ALL TIMES.

ALL ELECTRICAL METERS TO BE GROUPED TOGETHER AT A CENTRAL LOCATION FOR EACH BUILDING.

ALL SEWER SERVICE LINES ARE TO BE 6" PVC SCH 40, WITH A MIN. SLOPE OF 0.02 FT/FT.

ALL WATER SERVICES TO BE 1" COPPER TYPE "K" UNLESS OTHERWISE SPECIFIED. ALL SERVICES ENTERING UNITS SHALL TERMINATE JUST INSIDE FOUNDATION WALL AND NOT TRAVEL BENEATH SLAB FLOOR.

ALL FIRE PROTECTION WATER SERVICES TO BE 6" C.L.D.I. CL 52 WATER PIPE UNLESS OTHERWISE SPECIFIED.

ALL GAS MAIN AND SERVICE LINES TO BE SPECIFIED BY THE LOCAL SERVICE PROVIDER.

GENERAL NOTES:

- ACTUAL FACILITY LOCATIONS TO BE DETERMINED PRIOR TO ANY CONSTRUCTION. DIG SAFE MUST BE NOTIFIED PRIOR TO ANY EXCAVATION, 1-800-322-4844
- THE PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON DATE OF TOPOGRAPHY AND THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC., IS NOT INTENDED OR IMPLIED.
- THESE PLANS AND SPECIFICATIONS ARE INTENDED TO BE EXPLANATORY OF THE WORK TO BE DONE AND OF EACH OTHER, BUT SHOULD ANY OMISSION, ERRORS, OR DISCREPANCIES APPEAR, THEY SHALL BE SUBJECT TO CORRECTION AND INTERPRETATION BY THE DESIGN ENGINEER THEREBY DEFINING AND FULFILLING THE INTENT OF THE PLANS.
- REVISIONS TO THESE PLANS SHALL BE APPROVED BY THE APPROPRIATE LOCAL & STATE AGENCIES, PRIOR TO CONSTRUCTION.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (Ch. 380 OF THE ACTS OF 1966)



WILLIAM G. HOLT, P.L.S. #39688 DATE 5/5/17

CITY OF NEWBURYPORT
TAX MAP 78 LOT 9
N/F FIVE PERKINS WAY R.T.
C/O ANTHONY BARBARIS
BK 22062 PG 226
PL BK 142 PL 09

**PROPOSED CONDITIONS
UTILITY SITE PLAN**
SCALE 1"=20'

NEWBURYPORT
PLANNING BOARD:

DATE:

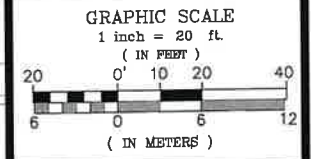
FOR REGISTRY USE ONLY

SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS
PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01960
PREPARED BY
WGH LAND SURVEY
& DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billgholt@aol.com

ASSESSOR'S DATA:
NEWBURYPORT: MAP No. 78
LOT No. 8-A-2, 9
NEWBURY: MAP No. R47
LOT No. 32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

WILLIAM G. HOLT
No. 39688
8/14/17
WILLIAM G. HOLT PLS, RS, SE



PROJECT TITLE:
#6 PERKINS WAY
UTILITIES
SITE PLAN

DRAWN: W.HOLT
DESIGNED: W.HOLT, T. BERRY
CHECKED: W.HOLT, T. BERRY
DATE: 5-MAY-17
CAD FILE: WGH/SITE/6P_SP_SH9
JOB No. 014-015-03_SP

REVISION : BY
8/14/17 REV. COMMENTS WH/TB

SHEET No. 9 OF 16

NEWBURYPORT
PLANNING BOARD:

DATE: _____

FOR REGISTRY USE ONLY

**SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS**


PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01950

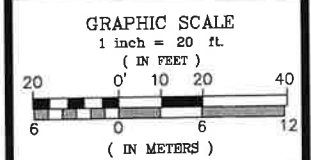
PREPARED BY
**WGH LAND SURVEY
& DESIGN**
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billgholt@aol.com

ASSESSOR'S DATA:

NEWBURYPORT: MAP No.	78
LOT No.	8-A-2, 9
NEWBURY: MAP No.	R47
LOT No.	32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

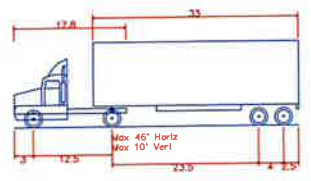

8/14/17
WILLIAM G. HOLT PLS, RS, SE



PROJECT TITLE:
**#6 PERKINS WAY
VEHICLE TURN ANALYSIS
SITE PLAN**

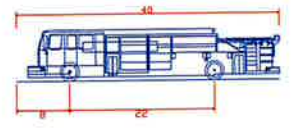
DRAWN:	W.HOLT
DESIGNED:	W.HOLT, T. BERRY
CHECKED:	W.HOLT, T. BERRY
DATE:	5-MAY-17
CAD FILE:	WGH/SITE/6P_SP_S110
JOB No.	014-015-03_SP

REVISION:	BY
8/14/17 REV. COMMENTS	WH/TB



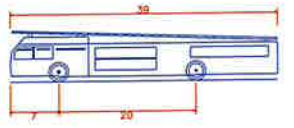
WB-40 - Intermediate Semi-Trailer
Overall Length 45.49ft
Overall Width 8.00ft
Overall Body Height 13.50ft
Min Body Ground Clearance 1.34ft
Track Width 8.00ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 20.30°

**VEHICLE TURNING ANALYSIS
TRACTOR TRUCK WB-40 DETAIL**



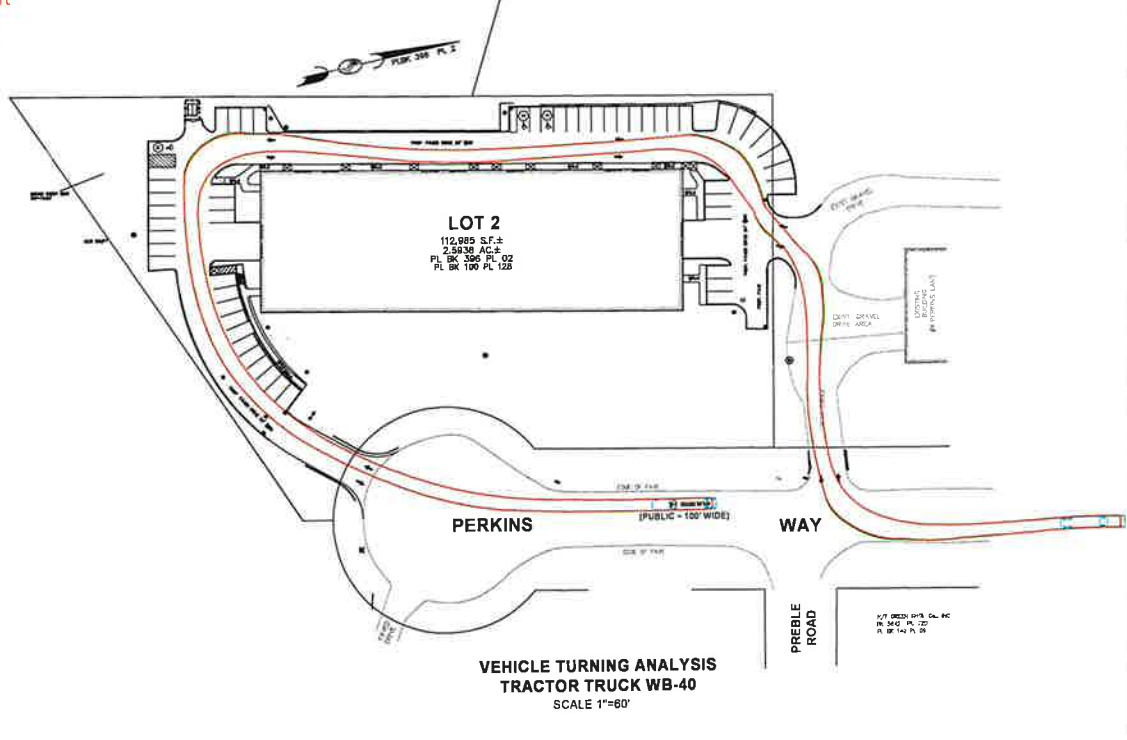
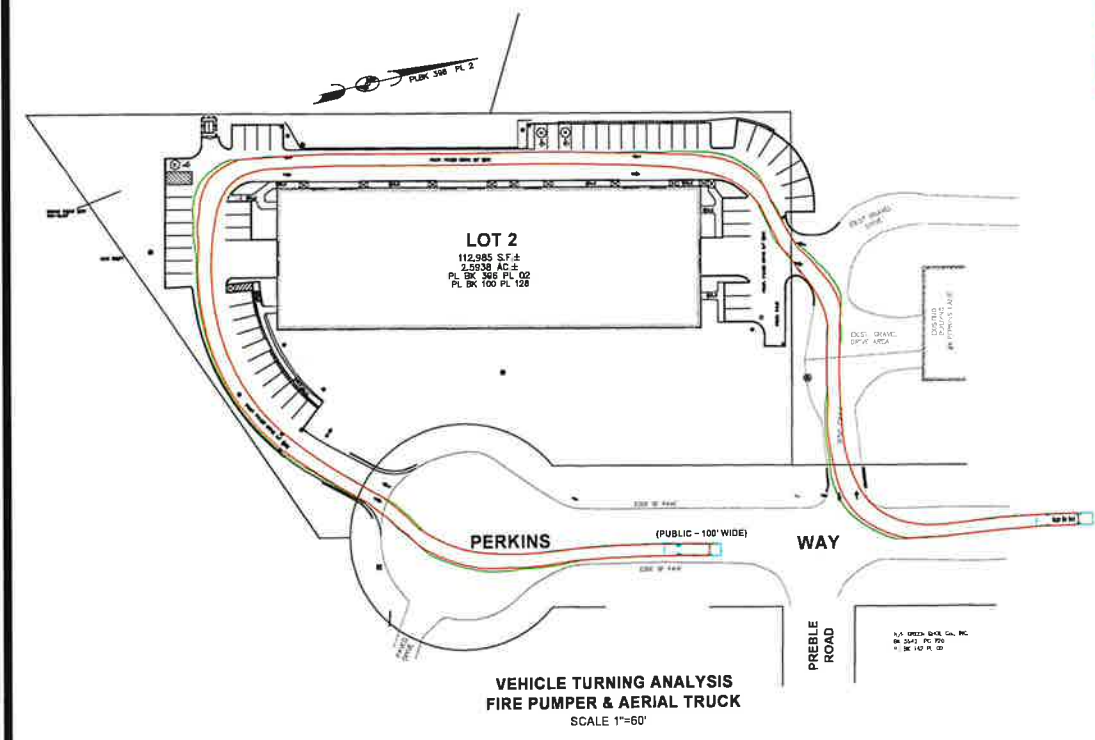
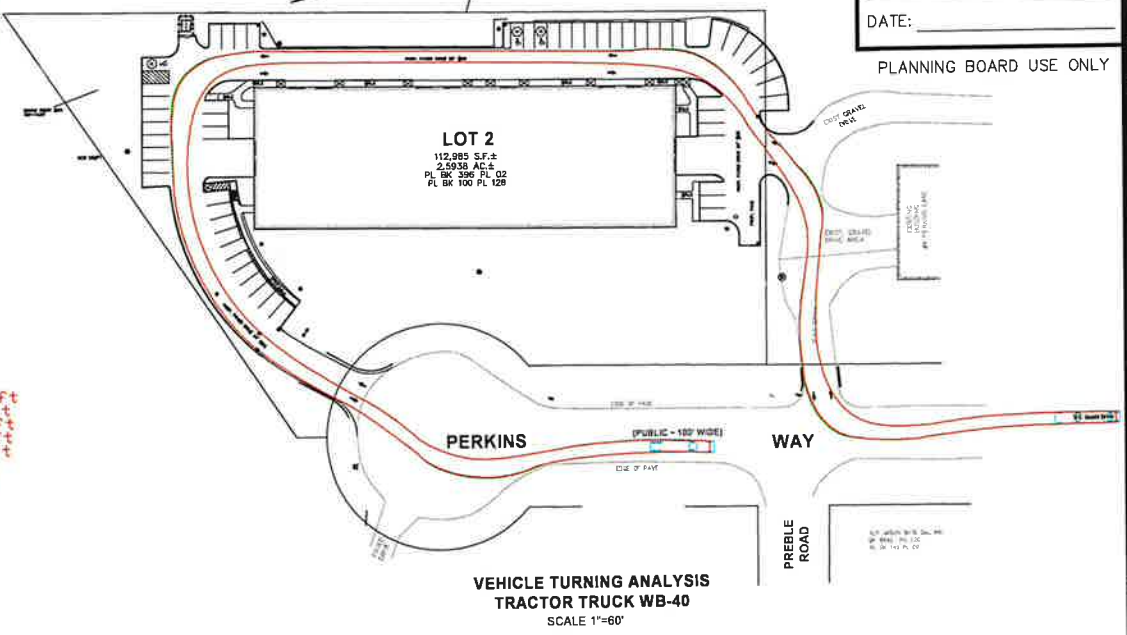
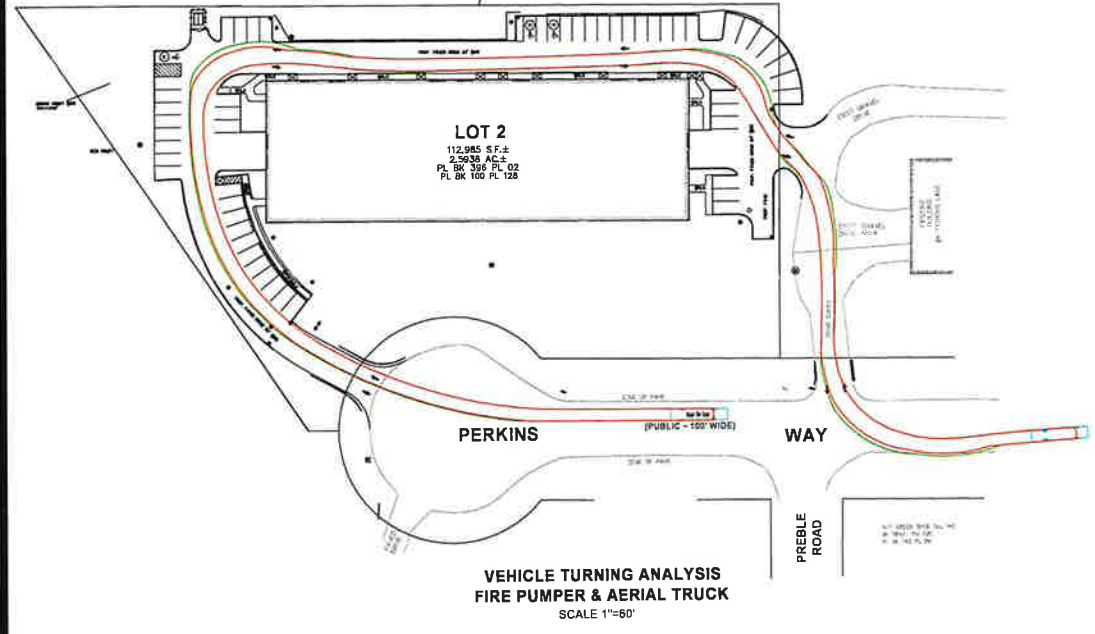
Pumper Fire Truck
Overall Length 40.00ft
Overall Width 8.16ft
Overall Body Height 7.74ft
Min Body Ground Clearance 0.65ft
Track Width 8.16ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

**VEHICLE TURNING ANALYSIS
FIRE PUMPER DETAIL**



Aerial Fire Truck
Overall Length 39.00ft
Overall Width 8.16ft
Overall Body Height 7.50ft
Min Body Ground Clearance 0.75ft
Track Width 8.16ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

**VEHICLE TURNING ANALYSIS
FIRE AERIAL LADDER DETAIL**




Thad D. Berry
No. 41236
CIVIL

8/14/17

NEWBURYPORT
PLANNING BOARD:

DATE: _____

PLANNING BOARD USE ONLY

FOR REGISTRY USE ONLY

SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS

PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01860

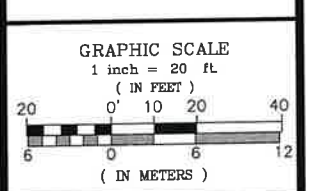
PREPARED BY
WGH LAND SURVEY & DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billholt@aol.com

ASSESSOR'S DATA:

NEWBURYPORT:	MAP No. 78
	LOT No. 8-A-2, 9
NEWBURY:	MAP No. R47
	LOT No. 32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

WILLIAM G. HOLT
P.L.S. #39688
8/14/17
WILLIAM G. HOLT PLS, RS, SE

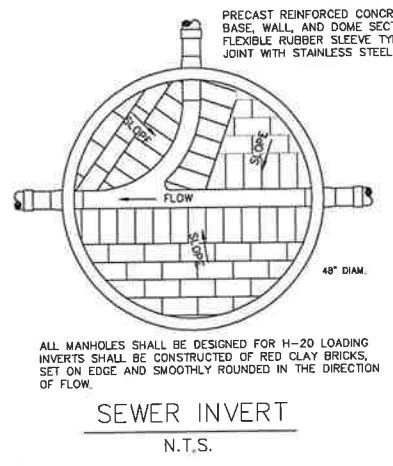
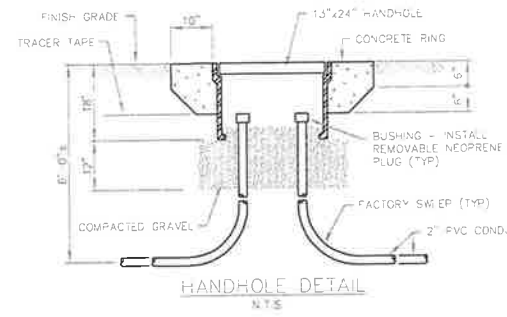
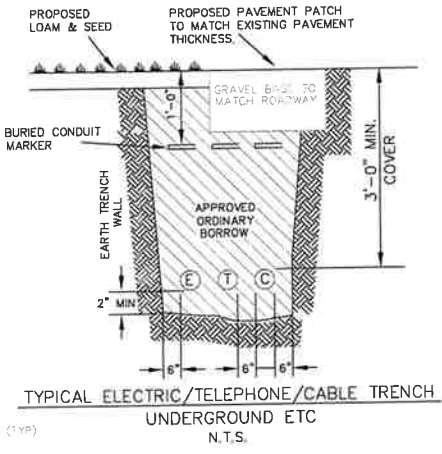
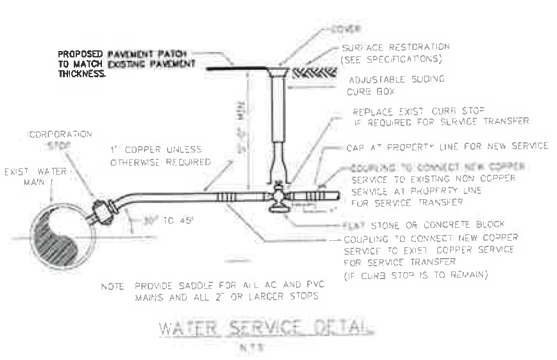


PROJECT TITLE:
#6 PERKINS WAY
CONSTRUCTION
DETAILS

DRAWN:	W.HOLT
DESIGNED:	W.HOLT
CHECKED:	W.HOLT, T. BERRY
DATE:	5-MAY-17
CAD FILE:	WGH/SITE/6P_SP_SH11
JOB No.	014-015-03_SP

REVISION:	BY
8/14/17 REV. COMMENTS	WH/TB

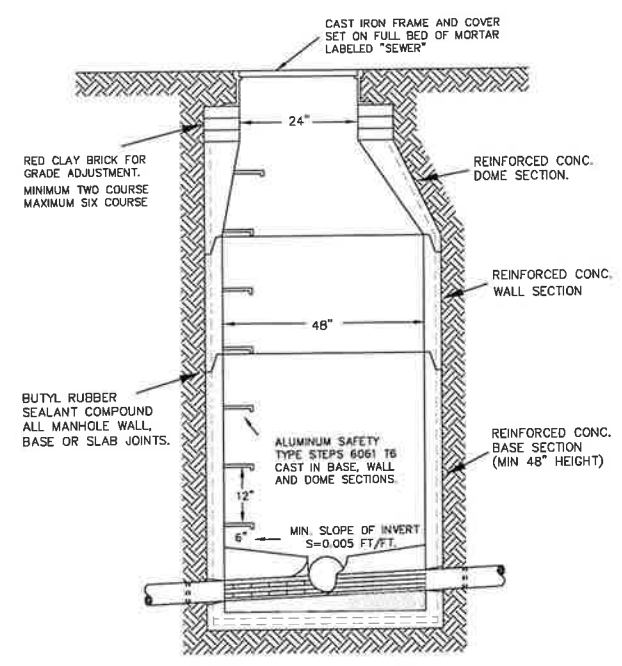
SHEET No. **11** OF **16**



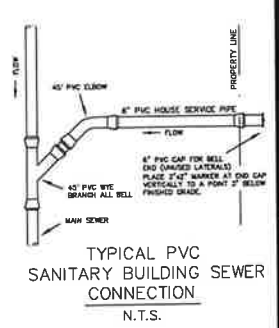
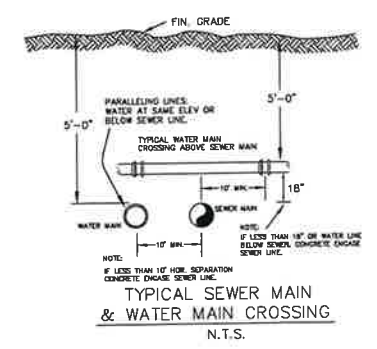
BOTTOM OF TRENCH AND PIPE BEDDING:
THE BOTTOM OF THE TRENCH SHALL BE EXCAVATED TO A DEPTH OF 4" BELOW THE BOTTOM OF THE PIPE BARREL AND 3/4" CRUSHED STONE PLACED FOR PIPE LAYING. AFTER THE PIPE HAS BEEN SET TO LINE AND GRADE, ADDITIONAL CRUSHED STONE OF THE SAME SIZE AND CHARACTERISTIC AS THAT WHICH HAS BEEN PLACED BELOW THE PIPE, SHALL BE CHECKED BY HAND AROUND THE PIPE AND LIGHTLY TAMPED IN PLACE TO AN ELEVATION EQUAL TO A POINT 8" ABOVE THE TOP OF PIPE. THIS CRUSHED STONE, BENEATH THE PIPE SHALL BE PLACED THE FULL WIDTH OF THE TRENCH AS EXCAVATED, OR TO THE INSIDE SURFACE OF THE SHEETING WHICH IS REQUIRED TO CONTAIN THE FOUNDATION MATERIAL IN SOFT TRENCHES.

BACKFILL MATERIAL:
MATERIAL FOR BACKFILLING TO A POINT 24 INCHES ABOVE THE TOP OF PIPE SHALL BE SELECT BORROW, CONTAINING NO STONES LARGER THAN 3" DIA. LOAM, CLAY OR OTHER SUBSTANCES UNSUITABLE FOR BACKFILL MATERIAL. SELECT BORROW SHALL BE PLACED IN LAYERS SUITABLY TAMPED TO THE SIDE LIMITS OF THE TRENCH AS EXCAVATED. MATERIAL TO A POINT 24 INCHES ABOVE THE TOP OF PIPE TO A POINT 18 INCHES BELOW SUB-GRADE SHALL BE ORDINARY BORROW, PLACED IN LAYERS AND THOROUGHLY TAMPED. NO ROCK FRAGMENTS WEIGHING MORE THAN 50 LBS. WILL BE PERMITTED IN THIS SECTION OF BACKFILLING. THIS SECTION OF THE BACKFILLING, THE TOP 18 INCHES OF THE TRENCH SHALL BE FILLED WITH SURFACE ROAD BANK GRAVEL, WHICH WHEN ROLLED IN PLACE, WILL FORM A SUITABLE FOUNDATION FOR THE BASE COURSE OF ROAD SURFACING.

SEPARATION FROM WATER SUPPLY LINES:
SEWER LINES SHALL BE LAID AT A MINIMUM OF 10 FEET HORIZONTALLY FROM ANY WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE DROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. USE CONCRETESADDLE IF SEPARATION CANNOT BE MAINTAINED.



MANHOLE DESIGN TO LATEST ASTM C478 REINFORCING STEEL CONFORMS TO LATEST ASTM A185 CONCRETE COMPRESSIVE STRENGTH - 4000 PSI @ 28 DAYS ONE POUR MONOLITHIC BASE STEPS - STEEL REINFORCING COPOLYMER POLYPROPYLENE PLASTIC CONFORMS TO LATEST ASTM C 478 PARA 12. BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-S-210A SPEC. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS FROM 3.5" TO 21.25" O.D. ASTM C923, A167.



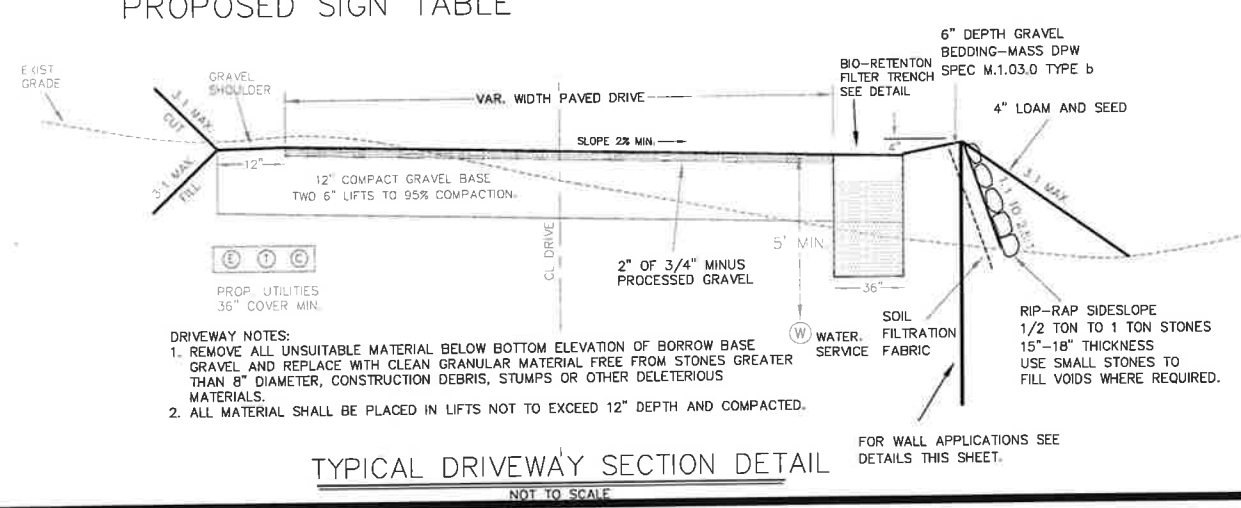
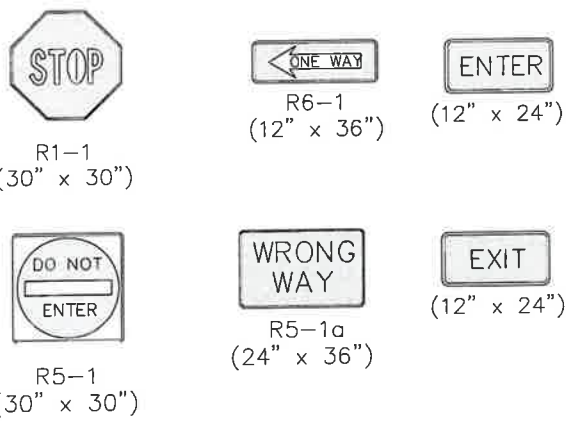
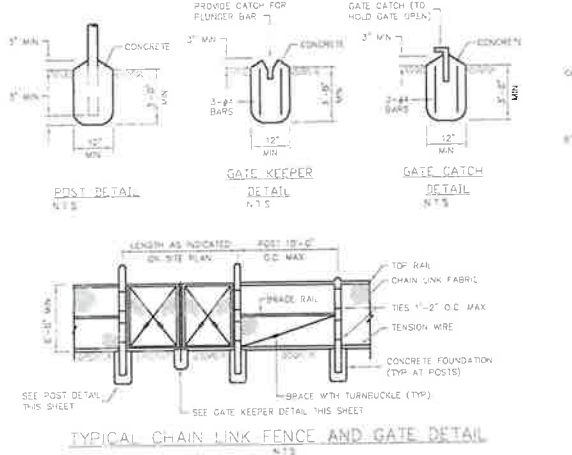
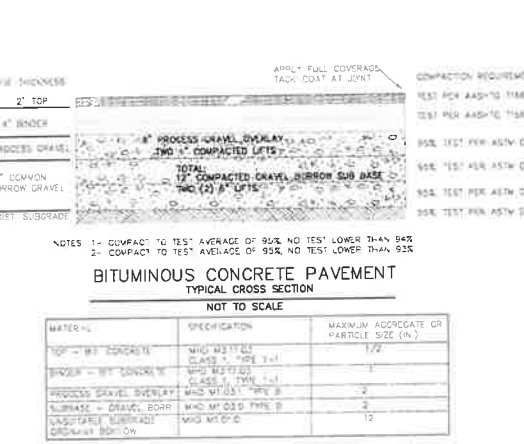
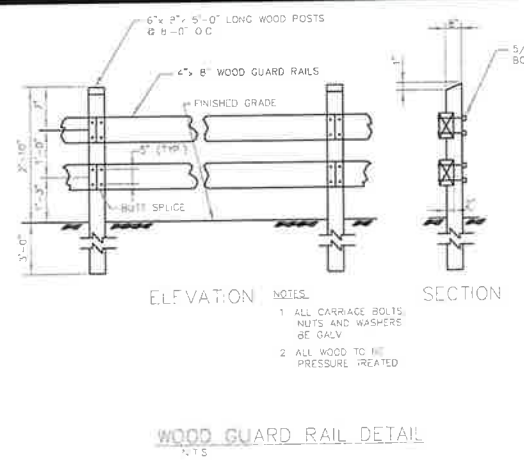
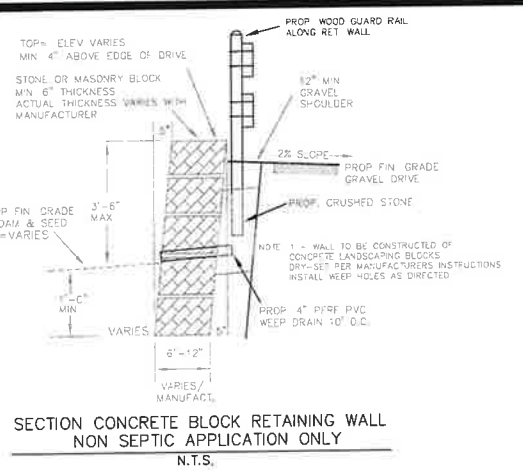
CALL
TOLL FREE
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(1-888-344-7233)
72 HOURS IN ADVANCE

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Thad D Berry
No. 41258
CIVIL
8/14/17

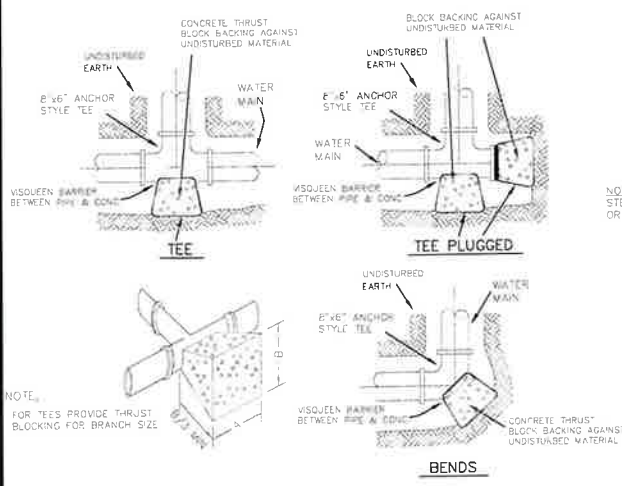
WILLIAM G. HOLT
P.L.S. #39688
DATE 5/5/17

WILLIAM G. HOLT, P.L.S. #39688 DATE 5/5/17



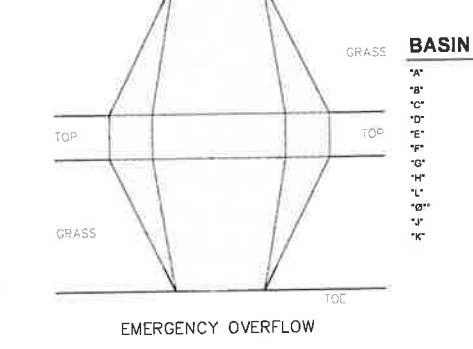
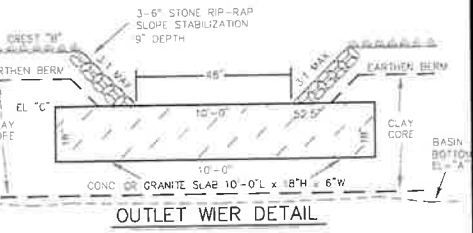
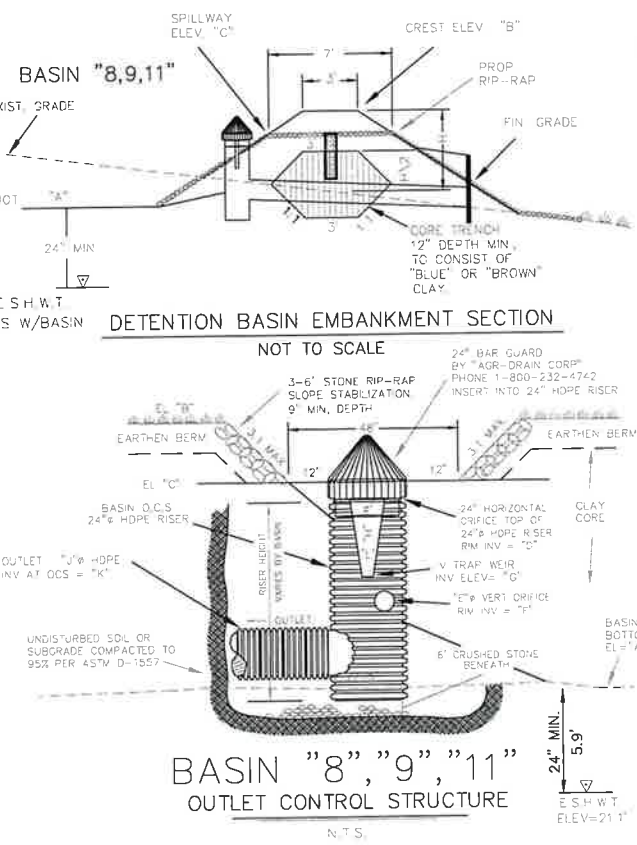
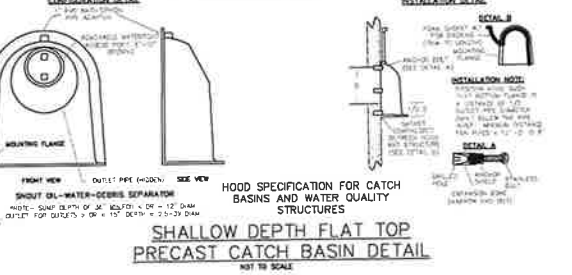
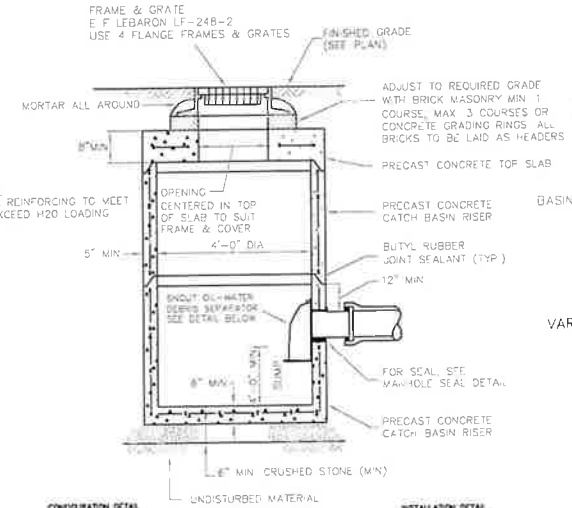
DRIVEWAY NOTES:
1. REMOVE ALL UNSUITABLE MATERIAL BELOW BOTTOM ELEVATION OF BORROW BASE GRAVEL AND REPLACE WITH CLEAN GRANULAR MATERIAL FREE FROM STONES GREATER THAN 8" DIAMETER, CONSTRUCTION DEBRIS, STUMPS OR OTHER DELETERIOUS MATERIALS.
2. ALL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12" DEPTH AND COMPACTED.

FOR WALL APPLICATIONS SEE DETAILS THIS SHEET.



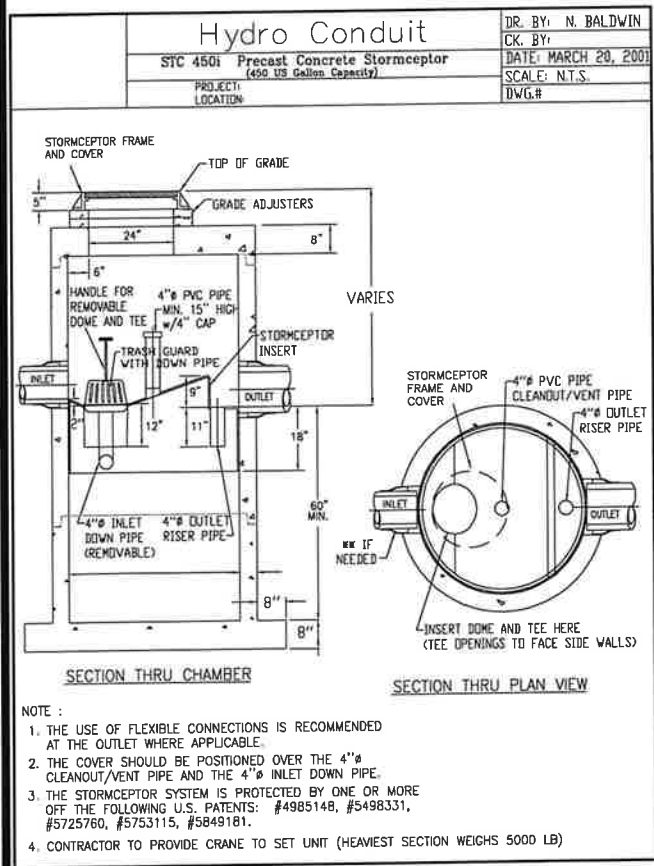
FITTING	TEES & PLUGS		90° BENDS		45° BENDS & 1/2" BENDS		22 1/2° BENDS	
	A	B	A	B	A	B	A	B
6"	1'-6"	1'-6"	2'-0"	1'-6"	1'-6"	1'-6"	1'-0"	1'-3"
8"	2'-0"	2'-0"	2'-6"	2'-0"	2'-0"	2'-0"	1'-6"	1'-9"
10"	2'-6"	2'-6"	3'-0"	2'-6"	2'-6"	2'-6"	2'-0"	2'-3"
12"	3'-0"	3'-0"	3'-6"	3'-0"	3'-0"	3'-0"	2'-6"	2'-9"

NOTES:
 1 - THIS TABLE IS BASED ON 200 PSI MAIN PRESSURE AND 2000 P.S.F. SOIL BEARING PRESSURE. ADJUST BEARING AREAS IN ACCORDANCE WITH SOIL CONDITIONS AND PRESSURES ENCOUNTERED.
 2 - USE VISQUEEN BARRIER BETWEEN PIPE AND CONCRETE AS SHOWN IN DETAIL ABOVE.
 3 - CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
 4 - BLOCKING SIZE/FREQUENCY SHALL BE INCREASED IF REQUIRED BY ENGINEER.

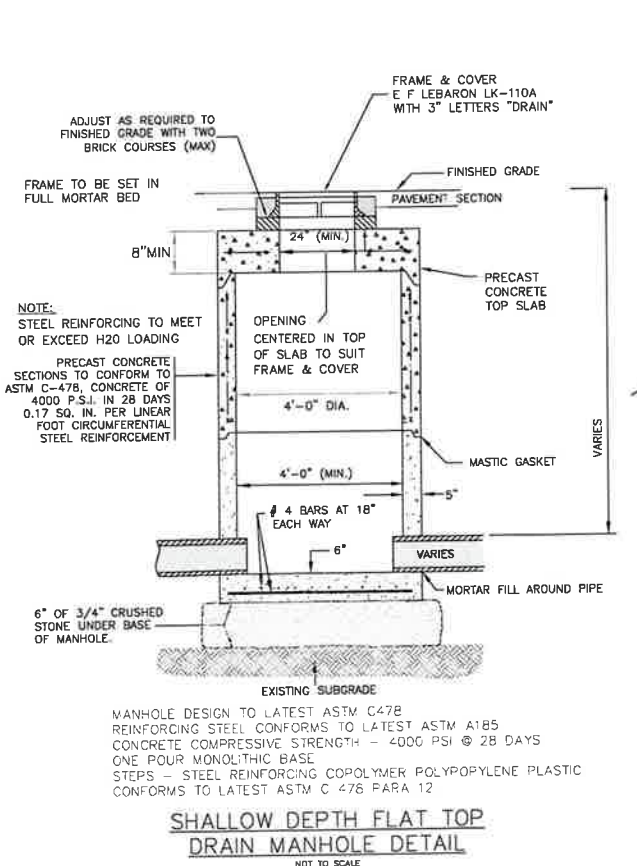


	8	9	11
"A"	12'0"	13'0"	12'5"
"B"	14'25"	15'25"	14'75"
"C"	13'75"	14'75"	14'30"
"D"	13'25"	14'50"	14'10"
"E"	8'	4'	8'
"F"	12'60"	13'25"	12'90"
"G"	12'25"	13'25"	12'75"
"H"	1'00"	1'25"	1'35"
"I"	12"	18"	12"
"J"	30"	30"	30"
"K"	12"	15"	15"
"L"	10'50"	13'00"	12'50"

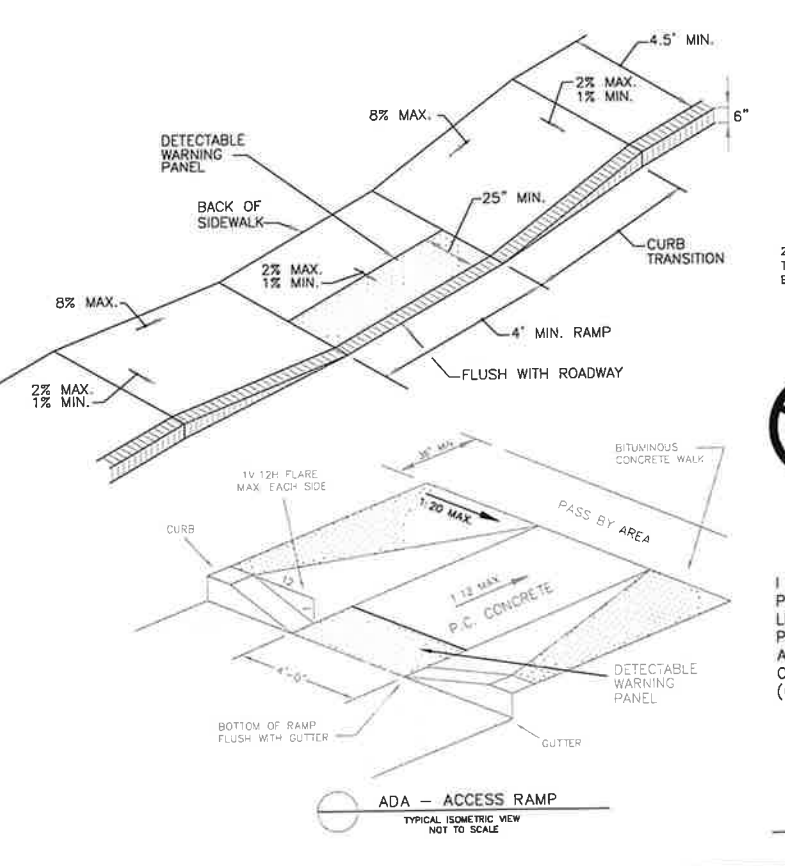
NOTES:
 1 - STONES SHALL WEIGH 50 TO 125 LBS UNLESS OTHERWISE APPROVED BY DESIGN ENGINEER.
 2 - 50# STONE (D50) SHALL BE 3"-6" DIAM OR LARGER, TO A DEPTH OF 9' MIN.



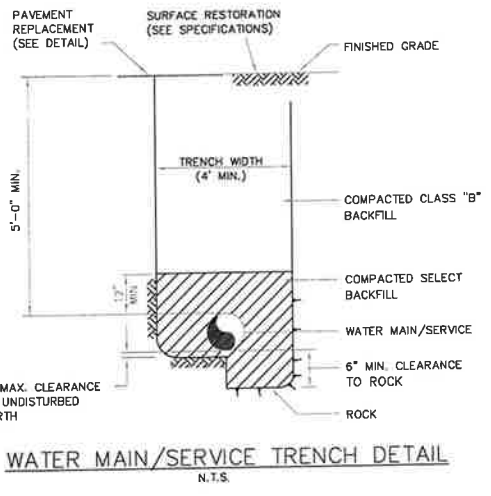
NOTE:
 1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE OUTLET WHERE APPLICABLE.
 2. THE COVER SHOULD BE POSITIONED OVER THE 4" INLET CLEANOUT/VENT PIPE AND THE 4" INLET DOWN PIPE.
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OFF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.
 4. CONTRACTOR TO PROVIDE CRANE TO SET UNIT (HEAVIEST SECTION WEIGHS 5000 LB)



MANHOLE DESIGN TO LATEST ASTM C478 REINFORCING STEEL CONFORMS TO LATEST ASTM A185 CONCRETE COMPRESSIVE STRENGTH - 4000 PSI @ 28 DAYS ONE POUR MONOLITHIC BASE.
 STEPS - STEEL REINFORCING COPOLYMER POLYPROPYLENE PLASTIC CONFORMS TO LATEST ASTM C 476 PARA 12



ADA - ACCESS RAMP
 TYPICAL ISOMETRIC VIEW NOT TO SCALE



CALL TOLL FREE 1-888-DIG-SAFE (1-888-344-7233) 72 HOURS IN ADVANCE

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (Ch. 380 OF THE ACTS OF 1966)

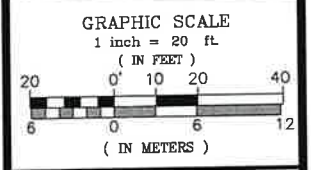
NEWBURYPORT PLANNING BOARD:
 DATE: _____
 PLANNING BOARD USE ONLY

SITE PLAN
 OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS
 PREPARED FOR
OWNER & APPLICANT
 SIX PERKINS WAY NOMINEE TRUST
 C/O ANTHONY BARBARIS, TRUSTEE
 4 PERKINS WAY
 NEWBURYPORT, MA 01960
 PREPARED BY
WGH LAND SURVEY & DESIGN
 83 WEST MAIN STREET
 MERRIMAC, MA 01860
 TEL: (978) 346-7873
 CELL: (978) 257-4576
 e-mail: billgholt@aol.com

ASSESSOR'S DATA:
 NEWBURYPORT: MAP No. 78
 LOT No. B-A-2, 9
 NEWBURY: MAP No. R47
 LOT No. 32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

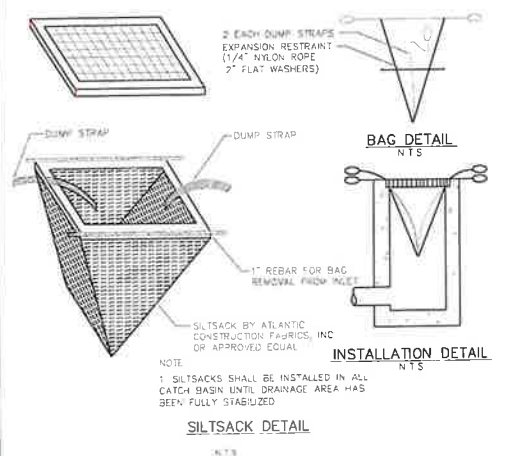
WILLIAM G. HOLT PLS, RS, SE
 5/5/17



PROJECT TITLE:
#6 PERKINS WAY
CONSTRUCTION DETAILS
AND NOTES
 DRAWN: W.HOLT
 DESIGNED: W.HOLT
 CHECKED: W.HOLT, T. BERRY
 DATE: 5-MAY-17
 CAD FILE: WGH/SITE/6P_SP_SH12
 JOB No. 014-015-03_SP

REVISION: _____ BY _____
 SHEET No. **12** OF **16**

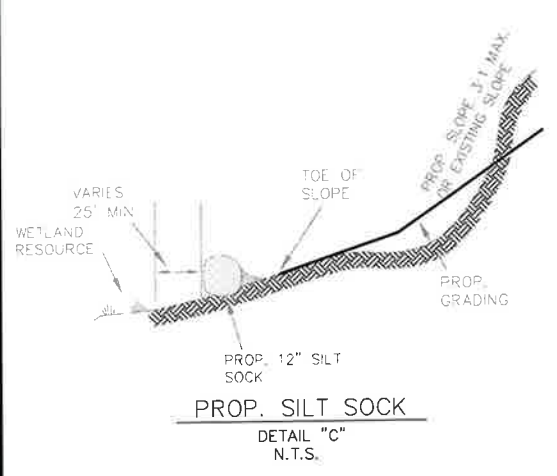
WILLIAM G. HOLT, P.L.S. #39688 DATE 5/5/17



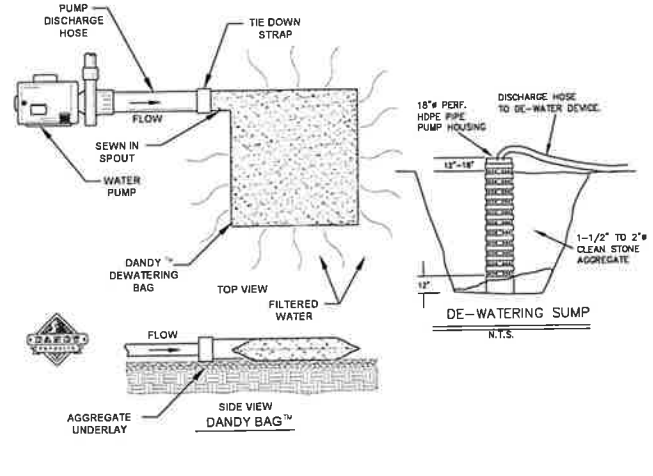
SILTSACK DETAIL
N.T.S.



WALKWAYS POROUS PAVER DETAIL
N.T.S.



PROP. SILT SOCK DETAIL "C"
N.T.S.



DEWATERING NOTES:
DEWATERING BAG LOCATIONS AND DISCHARGE AREAS SHOULD BE CHOSEN WITH CAREFUL CONSIDERATION TO THE DOWNGRADIENT WATER RESOURCES AND THE EXISTING LANDSCAPE'S ABILITY TO TREAT WATER FLOWS FROM THE DEWATERING PROCESS. VEGETATED BUFFERS AND FLAT TO MODERATE SLOPES PROVIDE THE BEST OPPORTUNITY FOR FILTRATION AND ABSORPTION OF SUCH DISCHARGES. CARE MUST BE EXERCISED TO PREVENT CONTACT OF WATER FROM THE DEWATERING FACILITY SHOULD BE REVIEWED AT LEAST DAILY, WITH MORE FREQUENT OR CONTINUOUS SUPERVISION AS WARRANTED BY SITE CONDITIONS. SPECIAL ATTENTION SHOULD BE PAID TO THE BUFFER AREA FOR ANY SIGN OF EROSION OR CONCENTRATION OF FLOW THAT MAY DAMAGE THE BUFFER'S VEGETATION OR UNDERLYING SOIL. THE VISUAL QUALITY OF THE EFFLUENT SHOULD BE MONITORED TO ASSESS WHETHER ADDITIONAL TREATMENT SHOULD BE PROVIDED TO PREVENT SEDIMENTATION OF DOWNSTREAM RECEIVING WATERS. ALL SEDIMENT TRAPPED IN DEWATERING BAGS DURING EXCAVATING AND HANDLING OF PESTICIDE IMPACTED SOIL AS PART OF REDEVELOPMENT OF THE SITE MUST BE HANDLED, TESTED AND DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOIL MANAGEMENT PLAN. DEWATERING DURING PERIODS OF INTENSE HEAVY RAIN SHOULD BE AVOIDED. FLOW TO DEWATERING BAG MUST NOT EXCEED THE BAG'S VOLUME CAPACITY OR ITS CAPACITY TO FILTER FLOW. GEOTEXTILE BAG MATERIAL SHOULD BE BASED ON THE PARTICLE SIZES IN THE PUMPED WATER. FOR COARSE PARTICLES A WOVEN MATERIAL MAY BE USED. FOR SILTS AND CLAYS A NON-WOVEN MATERIAL IS REQUIRED. RECEIVING WATERS.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CALL DIGSAFE AT 1-800-322-4844 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER PRIOR TO EXCAVATION.
2. LOCATIONS OF EXISTING PIPES, CONDUITS, UTILITIES, FOUNDATIONS AND OTHER UNDERGROUND OBJECTS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL HAVE NO CLAIM ON THAT ACCOUNT SHOULD THEY BE OTHER THAN SHOWN.
3. TEST PITS TO LOCATE EXISTING UTILITIES MAY BE ORDERED BY THE ENGINEER.
4. STONE WALLS, FENCES, MAIL BOXES, SIGNS, CURBS, LIGHT POLES, ETC., SHALL BE REMOVED AND REPLACED AS NECESSARY TO PERFORM THE WORK. UNLESS OTHERWISE INDICATED, ALL SUCH WORK SHALL BE INCIDENTAL TO CONSTRUCTION OF THE PROJECT.
5. ALL PAVEMENT DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS AND AS SHOWN ON THE DRAWINGS.
6. THE CONTRACTOR SHALL INSTALL THE EROSION CONTROL DEVICES BEFORE BEGINNING OTHER WORK ON SITE.
7. THE CONTRACTOR SHALL CONSTRUCT DRAINAGE SWALES AND DETENTION PONDS OR OTHER STORMWATER MANAGEMENT MEASURES AS OUTLINED IN THE (SWPPP) BEFORE BEGINNING SITE WORK.
8. THE CONTRACTOR SHALL NOTIFY THE LOCAL WATER DEPARTMENT AT LEAST 72 HOURS PRIOR TO EXCAVATING NEAR WATERLINES.
9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE REQUIRED NPDES GENERAL PERMIT PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WHICH ACCOMPANIES AND IS MADE PART OF THIS PLAN SET. THE SWPPP AND DESIGN PLANS ARE INTENDED TO COMPLIMENT EACH OTHER, DISCREPANCIES SHALL BE BROUGHT TO THE DESIGN ENGINEERS AND CONSERVATION AGENTS, ATTENTION FOR CLARIFICATION AND AMENDMENT IF NECESSARY.

CALL
TOLL FREE
1-888-DIG-SAFE
(1-888-344-7233)
72 HOURS IN ADVANCE

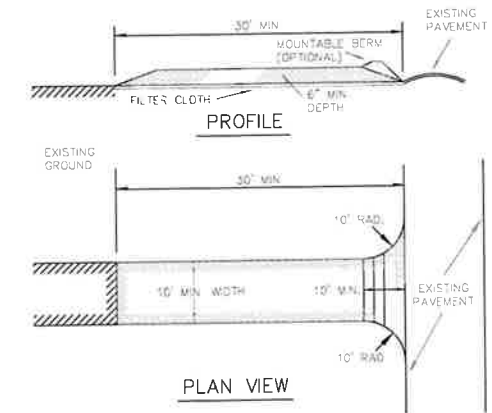
THE FOLLOWING LONG TERM BEST MANAGEMENT PRACTICES ARE PROPOSED TO MEET DEP STORMWATER MANAGEMENT REGULATIONS:

- 1 - DEEP SUMP CATCH BASINS WITH OIL/GREASE HOODS;
- 2 - STORMCEPTER MODEL STC-900 PROPRIETARY VORTECHNIC TREATMENT UNIT.
- 3 - INFILTRATION CHAMBER BED WITH PRETREATMENT PRIOR TO RECHARGE.
- 4 - INFILTRATION BASIN WITH SEDIMENT FOREBAY.
- 5 - ROOF RUNOFF DRYWELL/CHAMBERS MAY BE REQUIRED.

THE FOLLOWING TEMPORARY CONSTRUCTION PHASE BEST MANAGEMENT PRACTICE WILL BE UTILIZED TO MEET DEP STORMWATER MANAGEMENT REGULATIONS:

- 6 - TEMP. EROSION CONTROL MEASURES SUCH AS STAKED HAYBALES AND SILT FENCING, OR SILT SOCKS AS APPROPRIATE.
- 7 - SOIL STOCKPILES PROTECTED BY TEMP. EROSION CONTROL DEVICES.
- 8 - STABILIZED CONSTRUCTION ENTRANCE TO PREVENT SEDIMENT TRACKING ONTO TOWN R.O.W.
- 9 - PROTECT CATCH BASIN INLETS WITH PROPRIETARY SILT SACKS, OR FILTER FABRIC, STONE FILTER AND HAYBALES.
- 10 - PROTECT OTHER DRAIN INLETS WITH EROSION CONTROL DEVICES.
- 11 - STORE CONSTRUCTION EQUIPMENT OUTSIDE OF ALL ENVIRONMENTAL REGULATORY SETBACKS.

FILING OF AN EPA - NPDES PERMIT AND PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CONSTRUCTION AND PERMANENT OPERATION AND MAINTENANCE PLANS WILL BE GENERATED, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.



- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE: USE 3"-5" CRUSHED CLEAN STONE.
 2. LENGTH: AS REQUIRED, BUT NOT LESS THAN 30'. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MIN. LENGTH WOULD APPLY).
 3. THICKNESS: NOT LESS THAN SIX INCHES (6") DEPTH.
 4. WIDTH: TEN (10) FEET MINIMUM, BUT NOT LESS THAN FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH: WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACEMENT OF STONE (NOT REQUIRED FOR SINGLE RESIDENCE LOT).
 6. SURFACE WATER: ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE RILED ACROSS THE ENTRANCE. IF RILING IS IMPRACTICAL, A MOUNTABLE BERM WITH 2:1 SLOPE WILL BE REQUIRED.
 7. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO THE PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT. AN/O/D CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SHALL BE DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY, SHALL BE REMOVED IMMEDIATELY.
 8. WASHING: WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINFALL EVENT.

STABILIZED CONSTRUCTION ENTRANCE
PROVIDED AT SITE EXIT ONLY.

EROSION CONTROL NOTES:

1. HAYBALES AND SILT FENCES: THE STAKED HAYBALES AND SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER AND UPGRADED OF THE BORDERING VEGETATED WETLANDS IN ACCORDANCE WITH THIS PLAN. THE SITUATION BARRIER WILL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. AN ADDITIONAL SUPPLY OF HAYBALES AND SILT FENCE SHALL BE ON-SITE TO REPLACE AND/OR REPAIR HAYBALE FENCING THAT IS DISTURBED PRIOR TO THE COMMENCEMENT OF WORK. THE HAYBALES AND SILT FENCE SHALL BE INSTALLED AND INSPECTED BY THE PLANNING BOARD SUBDIVISION INSPECTOR. ON A WEEKLY BASIS AND AFTER EVERY STORM EVENT, THE CONTRACTOR SHALL VERIFY THAT ALL EROSION CONTROL AND STABILIZING MEASURES ARE STILL IN PLACE AND INTACT. ANY BREAKS IN SILT FENCE AND HAYBALES WILL BE CORRECTED IMMEDIATELY.
2. ALL STOCKPILES OF MATERIALS OR ANY OTHER EXPOSED MATERIALS, OPEN TO THE ELEMENTS SHALL BE STABILIZED.
3. AT THE COMPLETION OF THE PROJECT ALL DISTURBED AREAS ARE TO BE PERMANENTLY LOADED AND SEEDED OR PERMANENTLY STABILIZED WITH OTHER SUITABLE GROUND COVER APPROVED BY THE ENGINEER.
4. STORM DRAIN INLET PROTECTION: A TEMPORARY STORM DRAIN INLET PROTECTIVE SITUATION BARRIER SHALL BE INSTALLED INSIDE CATCH BASIN GRATE AS SHOWN IN THE DETAIL DEPICTED ON THIS SHEET. THE SILT SACK SHALL BE MAINTAINED PER MANUFACTURER'S SPECIFICATIONS.
5. THE SURFACE OF ALL DISTURBED AREAS SHALL BE STABILIZED DURING AND AFTER CONSTRUCTION. TEMPORARY EROSION CONTROL MEASURES SHALL CONFORM WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES URBAN AND SUBURBAN AREAS DATED MARCH 1997, AND SHALL BE APPROVED BY THE ENGINEER. ALL DISTURBED SLOPES WILL BE STABILIZED WITH A PERMANENT VEGETATIVE COVER. ALL 2:1 SLOPES SHALL BE STABILIZED WITH EROSION CONTROL NETTING. SOME OR ALL OF THE FOLLOWING MEASURES WILL BE UTILIZED ON THIS PROJECT:
 - A. TEMPORARY SEEDING
 - B. TEMPORARY MULCHING (STRAW)
 - C. PERMANENT SEEDING
 - D. PLACEMENT OF SOO
 - E. HYDROSEEDING
 - F. PLACEMENT OF HAY (WINTER MONTHS)
 - G. PLACEMENT OF JUTE NETTING (WINTER MONTHS)
6. DUST CONTROL: DUST CONTROL IS NOT ANTICIPATED TO BE A PROBLEM DUE TO THE SMALL SIZE OF THE AREA DISTURBED, AND THE SHORT PERIOD OF EXPOSURE DURING CONSTRUCTION. IF DUST IS GENERATED DURING CONSTRUCTION ACTIVITIES, THEN THE USE OF WATER TRUCKS OR WATER SPRINKLING WILL BE IMPLEMENTED.
7. DEBRIS AND LITTER REMOVAL: ALL DEBRIS AND LITTER SHALL BE REMOVED WHEN NECESSARY.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN. (Ch. 380 OF THE ACTS OF 1966)

Thad D Berry
No. 41258
CIVIL
8/14/17

WILLIAM G. HOLT
No. 39688
8/14/17

WILLIAM G. HOLT, P.L.S. #39688 DATE 8/14/17

NEWBURYPORT
PLANNING BOARD:

DATE: _____

PLANNING BOARD USE ONLY

FOR REGISTRY USE ONLY

SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS

PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01960

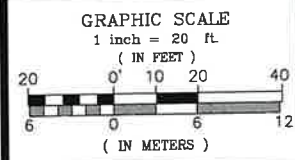
PREPARED BY
WGH LAND SURVEY
& DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billholt@aol.com

ASSESSOR'S DATA:

NEWBURYPORT: MAP No.	78
LOT No.	B-A-2, 9
NEWBURY: MAP No.	R47
LOT No.	32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

WILLIAM G. HOLT PLS, RS, SE
8/14/17

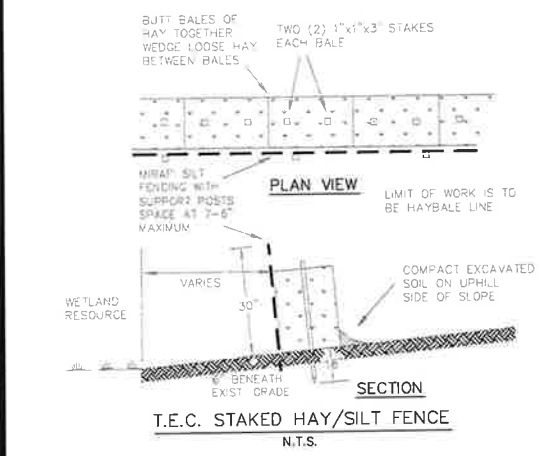


PROJECT TITLE:
**#6 PERKINS WAY
SEDIMENT AND EROSION
CONTROLS, NOTES, & DETAILS**

DRAWN:	W.HOLT
DESIGNED:	W.HOLT
CHECKED:	W.HOLT, T. BERRY
DATE:	5-MAY-17
CAD FILE:	WGH/SITE/6P_SP_SH13
JOB No.	014-015-03_SP

REVISION:	BY
8/14/17 REV. COMMENTS	WH/TB

SHEET No. **13** OF **16**



T.E.C. STAKED HAY/SILT FENCE
N.T.S.

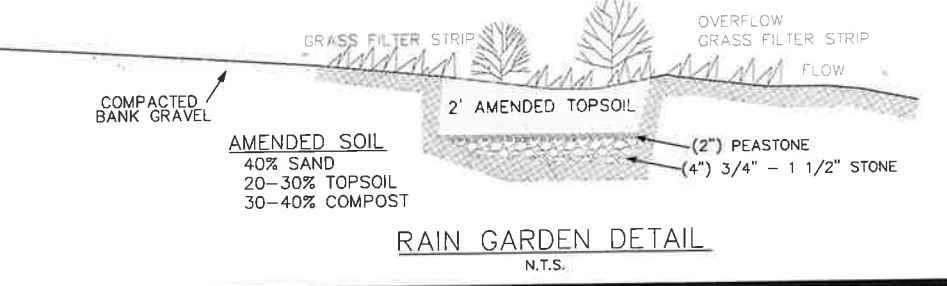
RAIN GARDEN PLANT SCHEDULE:

SHRUBS:

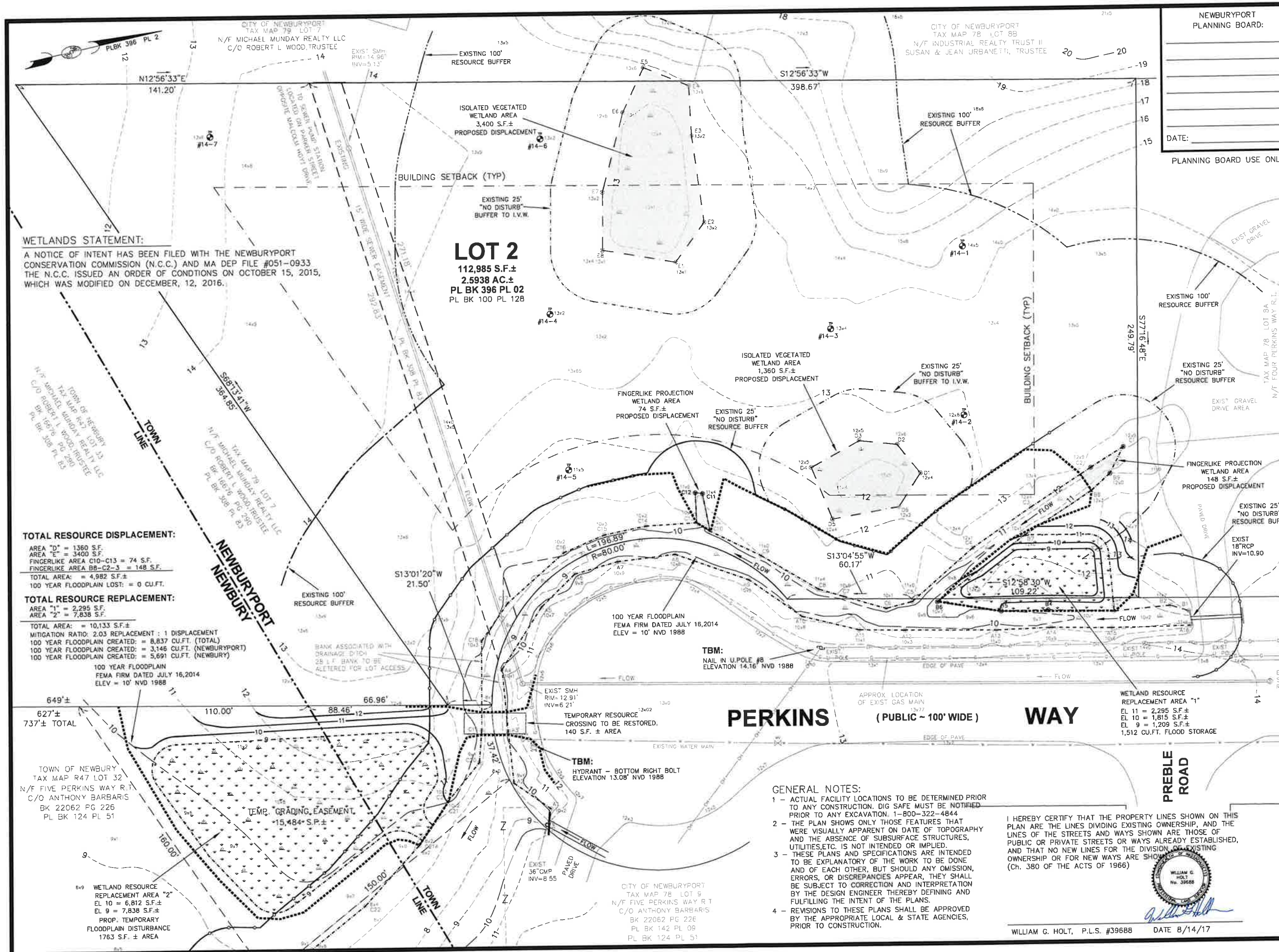
SYMBOL	COMMON NAME	QUANTITY	SIZE
NS	NORTHERN SPICEBUSH	9	#3 POT
RTD	RED TWIG DOGWOOD	10	#5 POT
NWR	NORTHERN WILD RAISIN	14	#3 POT

HERBACEOUS PERENNIALS:

COMMON NAME	QUANTITY	SIZE
BLUE FLAG IRIS	10	#1 POT
SWITCH GRASS	12	#3 POT
CRANESBILL	15	#1 POT
BLACKEYED SUSAN	10	#1 POT



RAIN GARDEN DETAIL
N.T.S.



WETLANDS STATEMENT:
 A NOTICE OF INTENT HAS BEEN FILED WITH THE NEWBURYPORT CONSERVATION COMMISSION (N.C.C.) AND MA DEP FILE #051-0933 THE N.C.C. ISSUED AN ORDER OF CONDITIONS ON OCTOBER 15, 2015, WHICH WAS MODIFIED ON DECEMBER, 12, 2016.

TOTAL RESOURCE DISPLACEMENT:
 AREA "D" = 1360 S.F.
 AREA "E" = 3400 S.F.
 FINGERLIKE AREA C10-C13 = 74 S.F.
 FINGERLIKE AREA BB-C2-3 = 148 S.F.
 TOTAL AREA = 4,982 S.F. ±
 100 YEAR FLOODPLAIN LOST = 0 CU.FT.

TOTAL RESOURCE REPLACEMENT:
 AREA "1" = 2,295 S.F.
 AREA "2" = 7,838 S.F.
 TOTAL AREA = 10,133 S.F. ±
 MITIGATION RATIO: 2.03 REPLACEMENT : 1 DISPLACEMENT
 100 YEAR FLOODPLAIN CREATED = 8,837 CU.FT. (TOTAL)
 100 YEAR FLOODPLAIN CREATED = 3,146 CU.FT. (NEWBURYPORT)
 100 YEAR FLOODPLAIN CREATED = 5,691 CU.FT. (NEWBURY)

100 YEAR FLOODPLAIN
 FEMA FIRM DATED JULY 16, 2014
 ELEV = 10' NVD 1988

- GENERAL NOTES:**
- 1 - ACTUAL FACILITY LOCATIONS TO BE DETERMINED PRIOR TO ANY CONSTRUCTION. DIG SAFE MUST BE NOTIFIED PRIOR TO ANY EXCAVATION. 1-800-322-4844
 - 2 - THE PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON DATE OF TOPOGRAPHY AND THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED.
 - 3 - THESE PLANS AND SPECIFICATIONS ARE INTENDED TO BE EXPLANATORY OF THE WORK TO BE DONE AND OF EACH OTHER, BUT SHOULD ANY OMISSION, ERRORS, OR DISCREPANCIES APPEAR, THEY SHALL BE SUBJECT TO CORRECTION AND INTERPRETATION BY THE DESIGN ENGINEER THEREBY DEFINING AND FULFILLING THE INTENT OF THE PLANS.
 - 4 - REVISIONS TO THESE PLANS SHALL BE APPROVED BY THE APPROPRIATE LOCAL & STATE AGENCIES, PRIOR TO CONSTRUCTION.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN ON THIS PLAN. (Ch. 380 OF THE ACTS OF 1966)



WILLIAM G. HOLT, P.L.S. #39688 DATE 8/14/17

NEWBURYPORT
 PLANNING BOARD:

DATE: _____

PLANNING BOARD USE ONLY

FOR REGISTRY USE ONLY

SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS

PREPARED FOR
OWNER & APPLICANT
 SIX PERKINS WAY NOMINEE TRUST
 C/O ANTHONY BARBARIS, TRUSTEE
 4 PERKINS WAY
 NEWBURYPORT, MA 01950

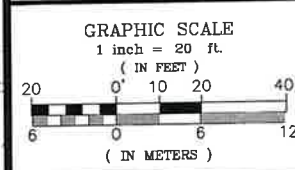
PREPARED BY
WGH LAND SURVEY
& DESIGN
 83 WEST MAIN STREET
 MERRIMAC, MA 01860
 TEL: (978) 346-7873
 CELL: (978) 257-4576
 e-mail: billholt@aol.com

ASSESSOR'S DATA:

NEWBURYPORT:	MAP No. 78
	LOT No. 8-A-2, 9
NEWBURY:	MAP No. R47
	LOT No. 32

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

WILLIAM G. HOLT
 No. 39688
 8/14/17
 WILLIAM G. HOLT PLS, RS, SE



PROJECT TITLE:
#6 PERKINS WAY
WETLAND RESOURCE
MITIGATION SITE PLAN

DRAWN:	W.HOLT
DESIGNED:	W.HOLT, T. BERRY
CHECKED:	W.HOLT, T. BERRY
DATE:	5-MAY-17
CAD FILE:	WGH/SITE/6P_SP_SH14
JOB No.	014-015-03_SP

REVISION:	BY
8/14/17 REV. COMMENTS	WH/TB

SHEET No. 14 of 16

FOR REGISTRY USE ONLY


SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS

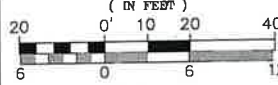
PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
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NEWBURYPORT, MA 01950

PREPARED BY
WGH LAND SURVEY & DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billgholt@aol.com

ASSESSOR'S DATA:
MAP No. 78
LOT No. 8-A-2

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.


WILLIAM G. HOLT PLS, RS, SE
8/14/17

GRAPHIC SCALE
1 inch = 20 ft.
(IN FEET)

(IN METERS)

PROJECT TITLE:
#6 PERKINS WAY WETLANDS LANDSCAPE PLANTING SITE PLAN

DRAWN: W.HOLT
DESIGNED: W.HOLT/P. SEEKAMP
CHECKED: W.H./T.B./P.S.
DATE: 5-MAY-17
CAD FILE: WGH/SITE/6P_SP_SH15
JOB No. 014-015-03_SP

REVISION: BY
8/14/17 REV. COMMENTS WH/TB

SHEET No. 15 of 16

FOR LANDSCAPE PLANTING FOR REMAINING AREAS OUTSIDE OF 25 FT NO DISTURB BUFFER
SEE SHEET #8.
PROPOSED BUILDING
100' x 300' (30,000 S.F.)
PROP. SILL ELEV=17.6'
PROP. FLOOR ELEV=16.7'

WETLANDS STATEMENT:
A NOTICE OF INTENT HAS BEEN FILED WITH THE NEWBURYPORT CONSERVATION COMMISSION (N.C.C.) AND MA DEP FILE #051-0933 THE N.C.C. ISSUED AN ORDER OF CONDITIONS ON OCTOBER 15, 2015, WHICH WAS MODIFIED ON DECEMBER, 12, 2016.

25' BUFFER AREA PLANTING SCHEDULE:

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY	SUPPLEMENTAL
TREES:					
RCD	JUNIPERUS VIRGINIANA	RED CEDAR	3'-4'	12	
RVB	BETULA NIGRA	RIVER BIRCH	4'-6'	12	5
GYB	BETULA PAPULIFOLIA	GRAY BIRCH	4'-6'	12	5
SHRUBS:					
BCH	ARONIA MELANOCARPA	BLACK CHOKEBERRY	3'-4'	15	3
SHB	AMELANCHIER CANADENSIS	SHADBUSH	3'-4'	15	
ROD	CORNUS SERICEA	RED OSIER DOGWOOD	3'-4'	15	
HBB	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	2'-3'	30 @ 8' O.C.	
HERBACEOUS:					
WILDFLOWER AND CONSERVATION SEED MIX					
SOW IN ON ALL REGRADED SOILS AREA RATE 2.0 LBS PER 1000 S.F.					

WETLAND REPLACEMENT AREA #1 (B3-B6) 2,295 S.F. PLANTING SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
TREES:				
HBB	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	2'-3'	10 @ 8' O.C.
SDW	CORNUS AMOMUM	SILKY DOGWOOD	2'-3'	10 @ 8' O.C.
SPA	ALNUS RUUGOSA	SPECKLED ALDER	2'-3'	10 @ 8' O.C.
HERBACEOUS:				
WETLAND SEED MIX				
SEED ENTIRE AREA WITH TOTAL OF 2.5 LBS. OF SEED MIX.				
SEED EXPOSED UPLAND SIDE SLOPES TO STABILIZE				

WETLAND REPLACEMENT AREA #2 (C19-C23) 7,838 S.F. PLANTING SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
TREES:				
HBB	VACCINIUM CORYMBOSUM	HIGH BUSH BLUEBERRY	2'-3'	20 @ 8' O.C.
SDW	CORNUS AMOMUM	SILKY DOGWOOD	2'-3'	20 @ 8' O.C.
SPA	ALNUS RUUGOSA	SPECKLED ALDER	2'-3'	20 @ 8' O.C.
HERBACEOUS:				
WETLAND SEED MIX				
SEED ENTIRE AREA WITH TOTAL OF 2.5 LBS. OF SEED MIX.				
SEED EXPOSED UPLAND SIDE SLOPES TO STABILIZE				

PERKINS WAY
(PUBLIC - 100' WIDE)
PROPOSED WETLANDS LANDSCAPE PLANTING SITE PLAN

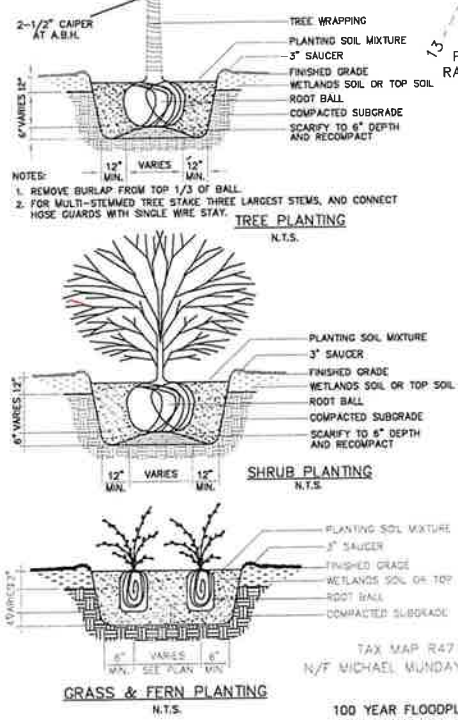
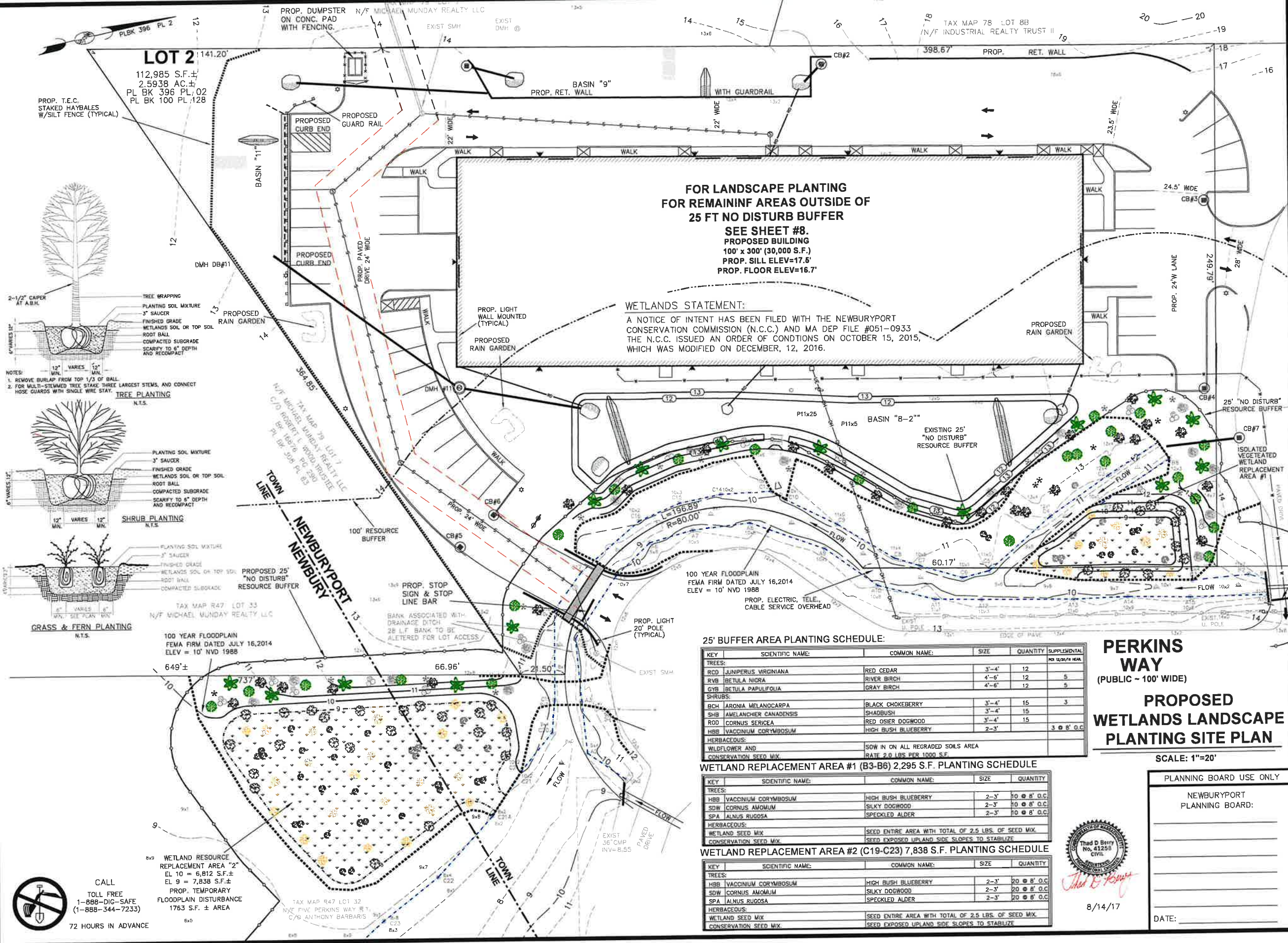
SCALE: 1"=20'

PLANNING BOARD USE ONLY
NEWBURYPORT PLANNING BOARD:

DATE: _____

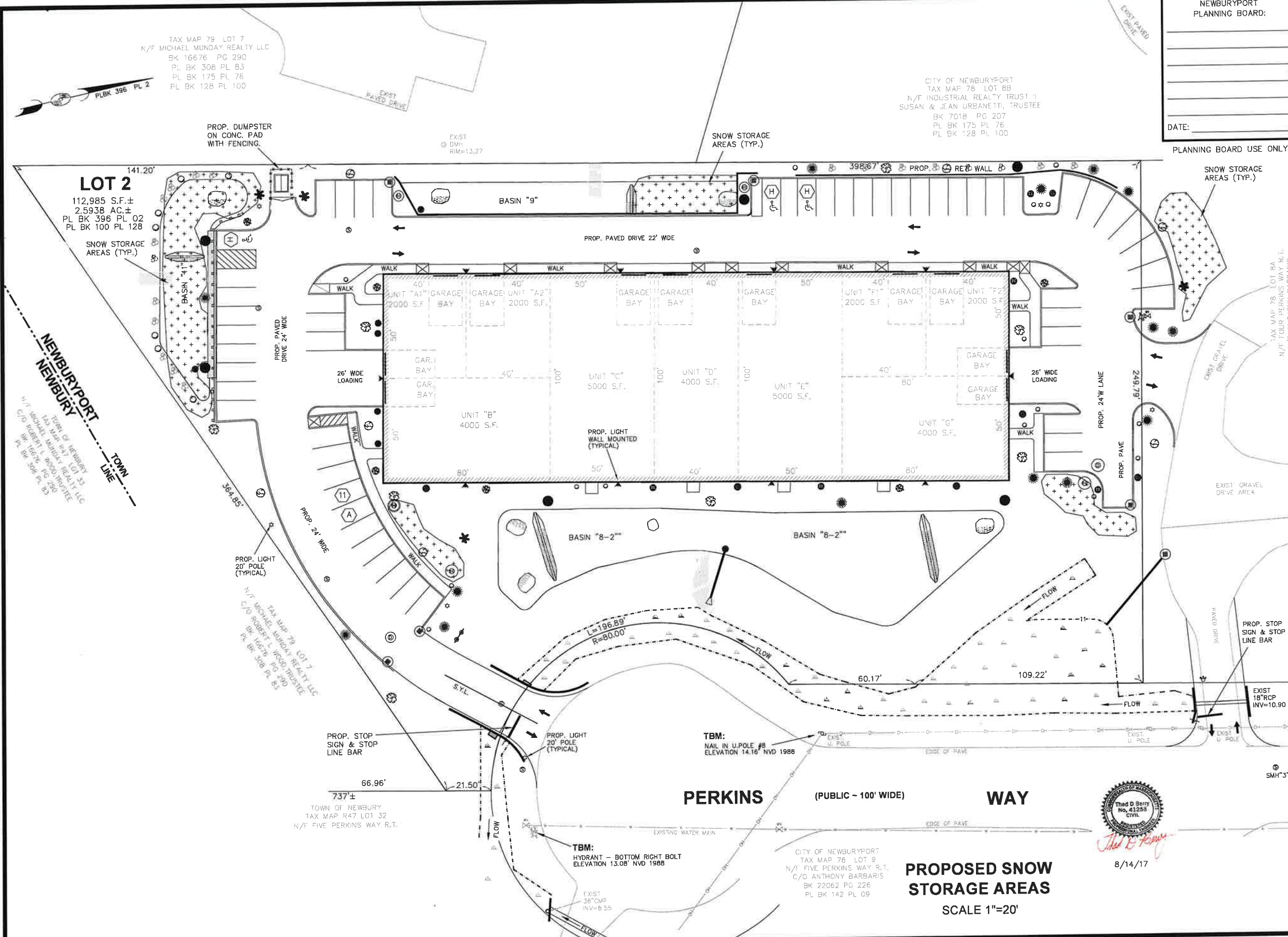


8/14/17



CALL
TOLL FREE
1-888-DIG-SAFE
(1-888-344-7233)
72 HOURS IN ADVANCE

WETLAND RESOURCE REPLACEMENT AREA "2"
EL 10 = 6,812 S.F. ±
EL 9 = 7,838 S.F. ±
PROP. TEMPORARY FLOODPLAIN DISTURBANCE 1763 S.F. ± AREA



NEWBURYPORT
PLANNING BOARD:

DATE:

PLANNING BOARD USE ONLY

FOR REGISTRY USE ONLY

SITE PLAN
OF LAND LOCATED IN
NEWBURYPORT
MASSACHUSETTS

PREPARED FOR
OWNER & APPLICANT
SIX PERKINS WAY NOMINEE TRUST
C/O ANTHONY BARBARIS, TRUSTEE
4 PERKINS WAY
NEWBURYPORT, MA 01960

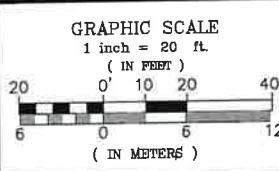
PREPARED BY
WGH LAND SURVEY
& DESIGN
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
CELL: (978) 257-4576
e-mail: billgholt@aol.com

ASSESSOR'S DATA:

NEWBURYPORT: MAP No.	78
LOT No.	8-A-2, 9
NEWBURY: MAP No.	R47
LOT No.	32

I HEREBY CERTIFY THAT THIS
PLAN CONFORMS TO THE RULES
AND REGULATIONS OF THE
REGISTRY OF DEEDS.

8/14/17
WILLIAM G. HOLT PLS, RS, SE



PROJECT TITLE:
#6 PERKINS WAY
SNOW STORAGE
AREAS

DRAWN:	W.HOLT
DESIGNED:	W.HOLT, T. BERRY
CHECKED:	W.HOLT, T. BERRY
DATE:	5-MAY-17
CAD FILE:	WGH/SITE/6P_SP_SH16
JOB No.	014-015-03_SP

REVISION :	BY
8/14/17 REV. COMMENTS	WH/TB

PROPOSED SNOW
STORAGE AREAS
SCALE 1"=20'

8/14/17

CITY OF NEWBURYPORT
TAX MAP 78 LOT 9
N/F FIVE PERKINS WAY R.T.
C/O ANTHONY BARBARIS
BK 22062 PG 226
PL BK 142 PL 09

TAX MAP 79 LOT 7
N/F MICHAEL MUNDAY REALTY LLC
BK 16676 PG 290
PL BK 308 PL 83
PL BK 175 PL 76
PL BK 128 PL 100

CITY OF NEWBURYPORT
TAX MAP 78 LOT 8B
N/F INDUSTRIAL REALTY TRUST II
SUSAN & JEAN URBANETTI, TRUSTEE
BK 7018 PG 207
PL BK 175 PL 76
PL BK 128 PL 100

NEWBURYPORT
NEWBURY
TOWN OF NEWBURY
TAX MAP R47 L01 32
N/F ROBERT L. WOOD, TRUSTEE
BK 16676 PG 290
PL BK 308 PL 83

TAX MAP 78 LOT 7
N/F MICHAEL MUNDAY REALTY LLC
BK 16676 PG 290
PL BK 308 PL 83

TOWN OF NEWBURY
TAX MAP R47 L01 32
N/F FIVE PERKINS WAY R.T.