

MILLENNIUM ENGINEERING, INC.
Land Surveyors and Civil Engineers

December 18, 2019

Newburyport Planning Board
City Hall
60 Pleasant Street
Newburyport, MA 01950

Attn: Andy Port
City Planner

Subject: 2-6 Market Street Response to Engineering Review Comments

Dear Andy:

In response to design review comments provided by Phil Christiansen dated December 16th, we have prepared the following responses. Please note these address outstanding issues. All previously addressed issues are not included.

Parking Configuration

Through the revisions the on-site parking has been reduced from 13 to 11. The required number of parking spaces by zoning rules as presented in the submitted application is 14.5. The reduction in the amount of on-site parking will require that the applicant pay the ITIF for 3 or 4 spaces in the parking garage rather than one as originally proposed.

The previous plan had 6 spaces with stacked parking at an angle of 63 degrees. The revised plan has 5 stacked spaces at 57 degrees to allow for adequate turning movements as shown in the Turning Movement drawing sheet TM-1 of the submittal. It should be noted the lifts and parking space P1/P2 can accommodate only vehicles of 16 feet in length. The remainder of the surface spaces can accommodate vehicles of 19 feet in length.

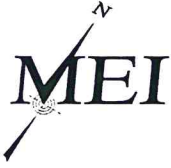
Response: No response required.

Retaining Walls

A note has been added to sheet C-2 that requires the proposed retaining wall along the southerly property line on the westerly side of the property be designed by a structural engineer. A note has been added to sheet C-3 stating that a "Structural engineer shall assess the viability of the existing retaining wall" in the rear of the existing building once the building is demolished. Both the proposed new wall and the existing wall are shown to be on the property line.

To construct the new wall on the property line will require encroachment on the property at 3 Summer Street. To avoid encroachment the wall would have to be moved to the north reducing the aisle width, but it could be accomplished without losing the surface parking space. If the retaining wall on the easterly side of the property is found to be inadequate remediation work or demolition and reconstruction of the wall would require encroachment on the property at 8 Market Street or moving the wall northerly thereby reducing aisle width resulting in losing parking spaces.

Response: Only when the demolition of the existing building is complete (after closing on the property) can a structural engineer fully assess the condition and integrity of the existing retaining wall located along the



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property line. At that time, a structural engineer will assess and certify the wall is either: 1) suitable to remain in place; 2) requires repair and/ or replacement - whereby we will seek a temporary construction easement from the abutter; or, 3) we will seek approval for a minor site plan amendment to modify the design of the site to shift the driveway aisle north and narrow the depth of the building (likely no more than 10 inches).

Snow Removal

The note added to sheet C-2 stating “in the event of excessive snow occurs, all plowed snow that cannot be contained on site shall be removed in accordance with all local, state, and federal regulations” is not a definitive answer and does not state that snow will be removed from the site under all conditions.

Response: The note has been revised accordingly to say all snow shall be removed from the site (see note 10).

Demolition and Erosion Control

A Grading, Erosion and Sediment Control Plan was submitted as sheet 3 of 5 in the second submittal. The revised plan set does not contain a plan entitled Grading, Erosion and Sediment Control Plan and the plans have been renumbered as Sheets C-1 through C-6. Silt fence and silt sacks are shown on sheets C-2 and sheet C-3.

Response: The plans were renamed and renumbered in the previous submittal.

Construction Sequencing

The applicant suggests submitting a sequencing plan as part of a conditional approval.

Response: No response required.

Plan Review

Site Plan – Sheet C-2

It is suggested in the notes that there is room for snow storage on site. That is not a reasonable assumption. The note should be modified that all snow is to be removed from the site.

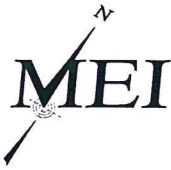
Response: The note has been revised accordingly to say all snow shall be removed from the site (see note 10).

Proposed 18” planters are shown in front of 8 Market Street on the site plan but are not shown on the architectural plan or the landscape plan.

Response: The site plan shows the proposed improvements and all other plans will be revised accordingly.

Grading Plan Sheet C-3

The rim on the Stormceptor unit is shown as 20.8 yet it is shown on the high side of the 21 contour. The drainage flow according to the contours would bypass the Stormceptor. The Stormceptor location or the contours should be adjusted.



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Response: The Stormceptor location has been adjusted slightly and an additional catch basin has been added in Summer Street to connect to the existing drain system.

Roadway and Drainage Details Sheet C-5

The Brick/Conc. Driveway detail shows a brick top course in the section view extending all the way to the roadway. Yet the plan view shows a portion of the drive not to be brick as do the architect plans and the site plan. The detail plan view shows a transition curb before the drive entrance which doesn't appear to be the case on the architects plan or the site plan. In fact the driveway detail looks like a modification of the Wheelchair ramp detail. The brick sidewalk specifies 4' x 8' x 2-1/4" pavers rather than bricks. It should be corrected.

Response: The brick/conc driveway detail has been revised accordingly. The transition curb has been added to the plan view. The brick sidewalk detail has been revised accordingly.

Site Plan A0.1

In the Zoning Matrix table under Proposed Dimensional Controls 13 spaces are shown when the new design shows only 11. The table should be corrected.

Response: The plan will be revised accordingly.

We trust this letter and revised plans provide the Board with the necessary information for their review. If you have any questions or concerns, please feel free to contact our office anytime.

Sincerely,

Millennium Engineering, Inc.

A handwritten signature in blue ink that reads 'Christopher M. York'.

Christopher M. York, P.E.
Project Manager