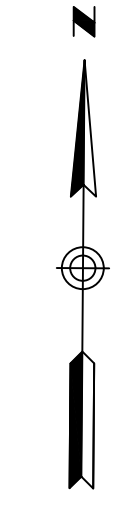


LEGEND

- 92 --- PROPERTY LINE
- S --- S --- EXISTING CONTOUR
- W --- W --- SEWER LINE
- D --- D --- WATER LINE
- GAS --- GAS LINE
- E --- E --- DRAIN LINE
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ LIGHT POLE
- ▨ PAVEMENT TO BE REMOVED/RECLAIMED
- PAVEMENT SAWCUT
- APPROXIMATE LIMIT OF WORK
- TP-1 ⬜ STORMWATER TEST PIT



DEMOLITION NOTES:

1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NOT ALREADY OBTAINED BY THE OWNER AND ARRANGE AND PAY FOR ALL NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
3. SEE SITE PLANS AND DETAIL SHEETS FOR EROSION CONTROL DETAILS. CONTRACTOR SHALL INSTALL APPROPRIATE MEASURES PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL MAINTAIN EROSION CONTROLS FOR THE DURATION OF THE PROJECT.
4. SAWCUT AND REMOVE PAVEMENT/CONCRETE ONE FOOT OFF PROPOSED EDGE OF PAVEMENT. CONCRETE OR EXISTING CURBLINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
5. ALL MATERIALS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL SALVAGED MATERIALS NOT SUITABLE FOR REUSE ON SITE SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES, AND CODES.
6. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFFSITE IN ACCORDANCE WITH FEDERAL, STATE & LOCAL LAWS AND REGULATIONS. THE CONTRACTOR SHALL STRIP AND STOCKPILE ALL TOPSOIL WITHIN THE LIMITS OF WORK. SOIL STOCKPILE LOCATIONS SHALL BE SUBJECT TO APPROVAL BY OWNER. STOCKPILED MATERIAL NOT USED BY THE PROJECT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
7. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR SHALL HAVE OPTION OF PULVERIZING AND RECLAIMING EXISTING PAVEMENT FOR USE AS NEW PAVEMENT BASE PROVIDED THAT RECLAIMED MATERIAL MEETS GRADATION SPECIFICATIONS.

SURVEY NOTES:

1. EXISTING CONDITIONS BASED ON SITE PLANS PREPARED BY OAK ENGINEERS IN NOVEMBER 2004 DURING DESIGN AND PERMITTING OF THE EXISTING CAR WASH. UNDERGROUND UTILITY INFORMATION AND AS-BUILT INFORMATION PROVIDED BY CLIPPER CITY CAR WASH AND ON-SITE VISUAL OBSERVATIONS BY OAK CONSULTING GROUP DURING MAY 2017.

Site:
CLIPPER CITY CAR WASH
 74 STOREY AVENUE
 NEWBURYPORT, MA

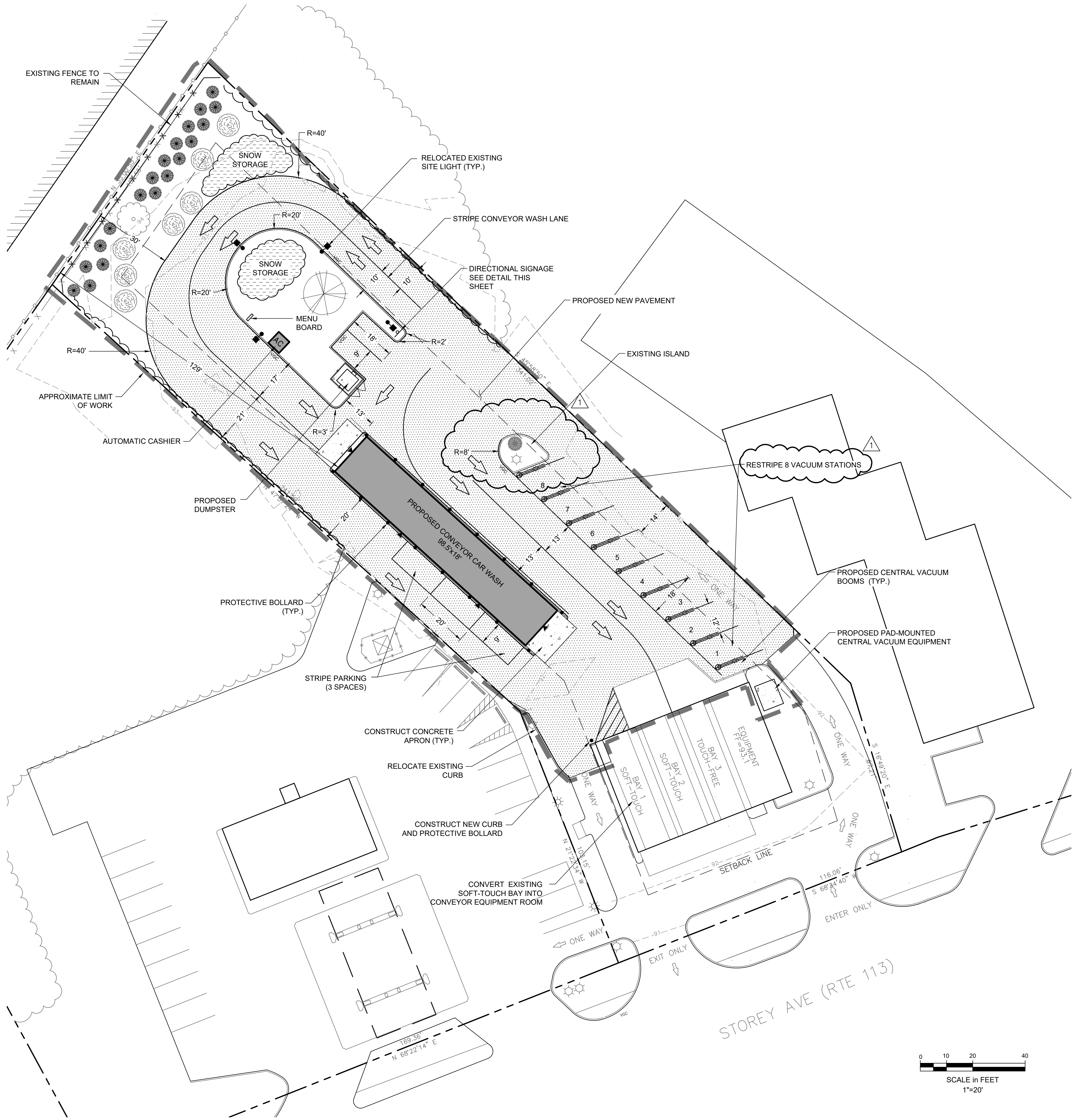
Prepared for:
 CLIPPER CITY CAR WASH
 74 STOREY AVENUE
 NEWBURYPORT, MA

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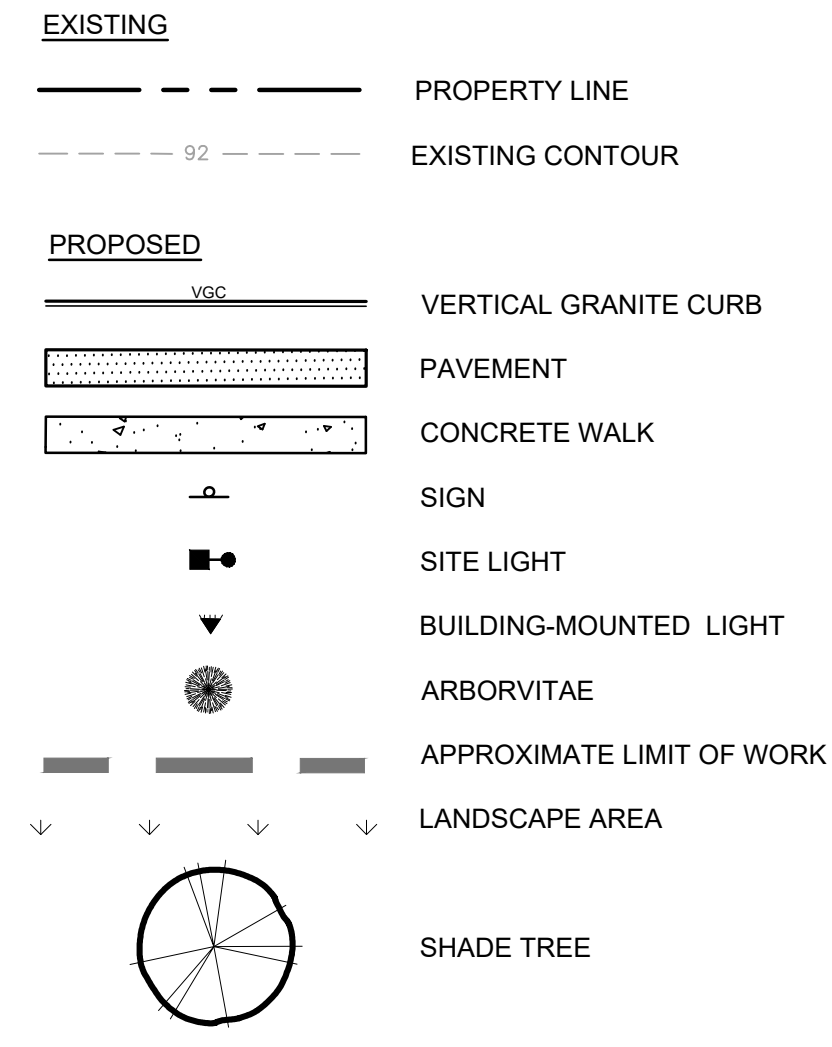
EXISTING CONDITIONS AND SITE PREPARATION PLAN

1	REDUCED VACUUMS	7/3/18
No.	Revision/Issue	Date
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Drawn by:	Approved by:	
PFA		
Project:	Date:	
14035	AUGUST 18, 2017	
Sheet:		

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LEGEND



ZONING SUMMARY

DISTRICT: B1
PRINCIPAL USE: 404 - RETAIL SERVICES

	REQUIRED	PROVIDED
MINIMUM LOT AREA	10,000 sf.	±38,813 sf.
MINIMUM LOT FRONTAGE	90'	116'
MAXIMUM LOT COVERAGE	30%	12%
MAXIMUM BUILDING HEIGHT	35'	15.3' *
FRONT YARD SETBACK	20'	36'
REAR YARD SETBACK	20'	129'
SIDE YARD SETBACK	20'	20'

* MAXIMUM BUILDING HEIGHT IS PROPOSED CONVEYOR WASH ONLY.

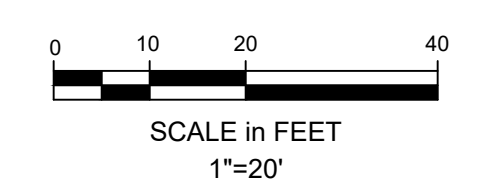
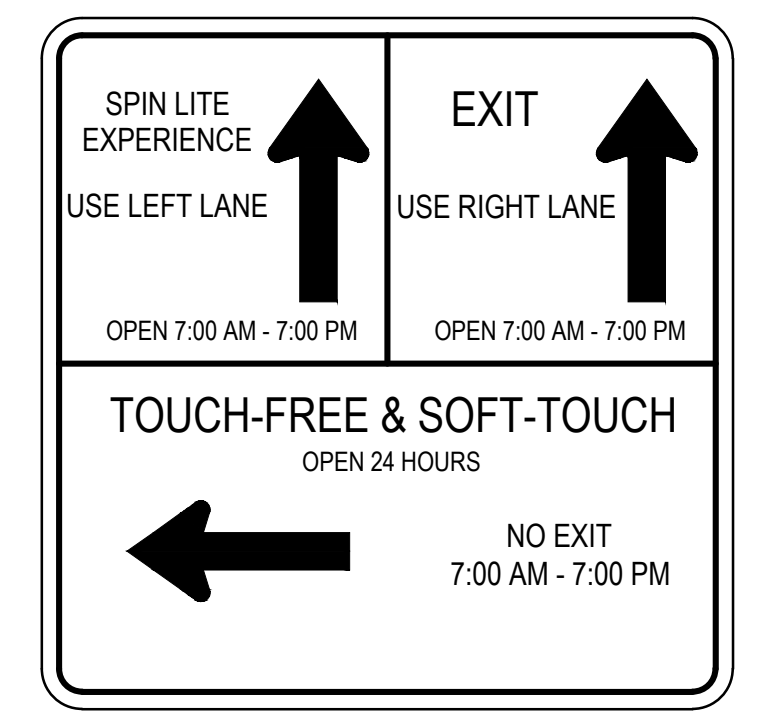
PARKING SUMMARY:

REQUIRED:
(2,700 SF (EX.) + 1,800 SF (PROP.)) * (1 SPACE / 300 SF) = 15 SPACES

PROVIDED
TOTAL SPACES PROVIDED: 15 SPACES

SITE NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY, STATE, AND FEDERAL CODES.
- STRIPES AS SHOWN WITH WHITE TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248, TYPE "N".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", LATEST EDITIONS AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS UNLESS OTHERWISE SPECIFIED.
- CLEAN AND COAT VERTICAL FACE OF PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- SEE LANDSCAPE PLAN L-1 FOR LANDSCAPE PLANTING DETAILS



1 DIRECTIONAL SIGNAGE LAYOUT
NOT TO SCALE

Site:
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74 STOREY AVENUE
NEWBURYPORT, MA

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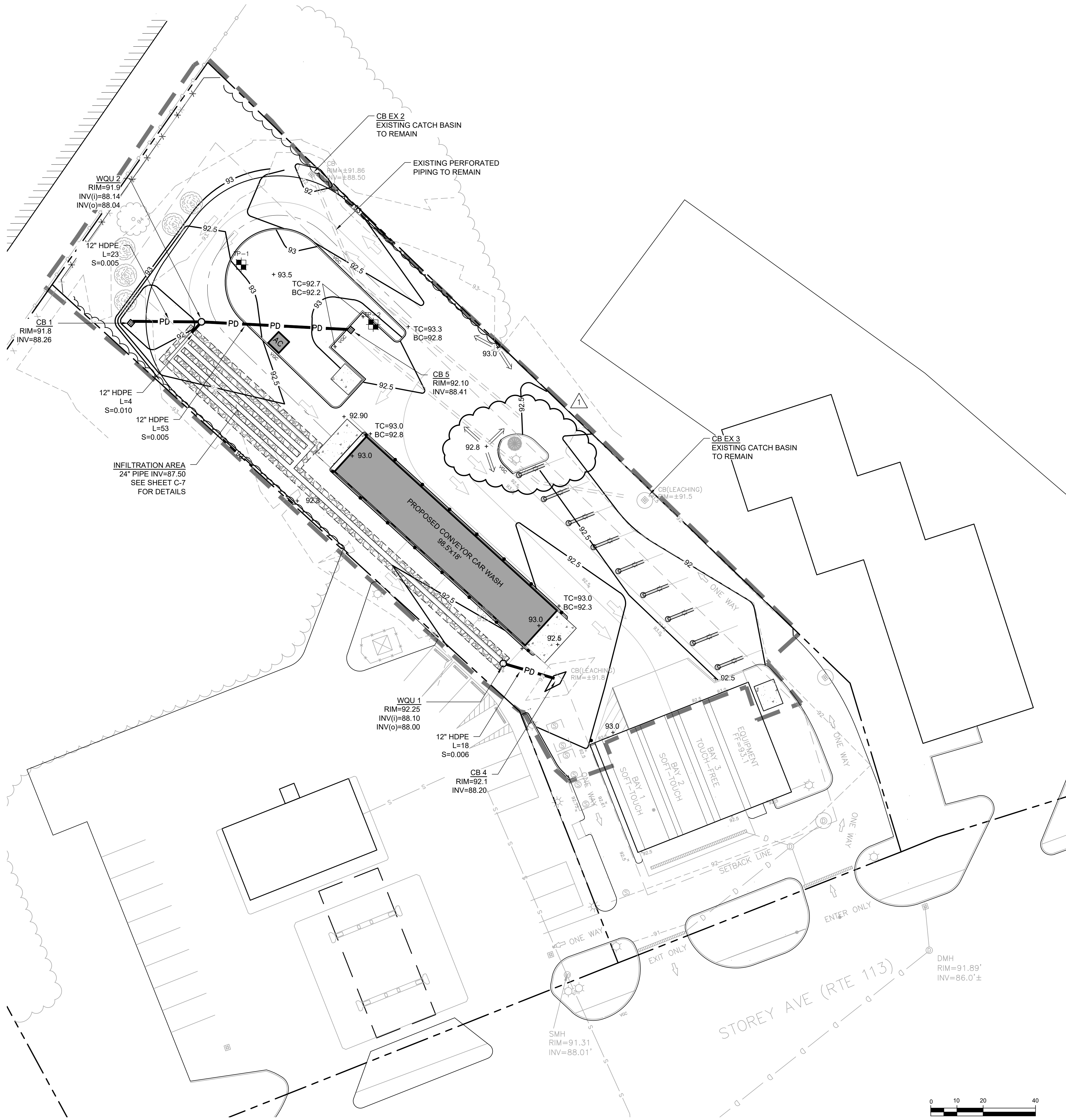
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SITE LAYOUT PLAN

No.	Revision/Issue	Date
1	REDUCED VACUUMS	7/3/18

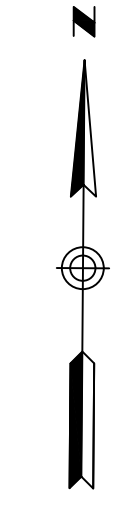
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Project:	Date:
14035	AUGUST 18, 2017

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C-2



LEGEND

- EXISTING**
- PROPERTY LINE
 - - - - 92 - - - - EXISTING CONTOUR
 - S - S - SEWER LINE
 - W - W - WATER LINE
 - D - D - DRAIN LINE
 - GAS - GAS LINE
 - E - E - ELECTRIC LINE
 - ⊙ SEWER MANHOLE
 - ⊙ DRAIN MANHOLE
 - ⊙ CATCH BASIN
 - ☀ LIGHT POLE
 - 92.5 ± SPOT GRADE
- PROPOSED**
- 92 - - - - PROPOSED CONTOUR
 - PD - PD - DRAIN PIPE
 - ⊙ CATCH BASIN
 - WATER QUALITY UNIT
 - ➔ DRAINAGE FLOW DIRECTION
 - + 93.1 SPOT GRADE
 - TP-1 STORMWATER TEST PIT
 - APPROXIMATE LIMIT OF WORK



GRADING & DRAINAGE NOTES:

- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL RECEIVE 6" LOAM AND HYDROSEED.
- ALL STORM DRAIN PIPE SHALL BE SMOOTH INTERIOR WALL HIGH DENSITY POLYETHYLENE UNLESS OTHERWISE NOTED (HANCOR "HQ", ADS "N-12", OR APPROVED EQUAL).
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY AND STATE CODES.
- ADJUST ALL MANHOLES, DRAIN INLET GRATES, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND EXITS AND DRIVEWAYS.
- ALL CATCHBASINS AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER THE UPSTREAM AREA IS STABILIZED.

COMPACTION REQUIREMENTS

LOCATION	MINIMUM DENSITY*
BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%

* ALL PERCENTAGES SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH AASHTO STANDARD 180. METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH AASHTO STANDARD T-191, T-204, OR T-238 AND T-239.

EROSION CONTROL NOTES:

- CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL MEASURES PRIOR TO DISTURBING ANY LAND ON-SITE.
- PROVIDE INLET PROTECTION BARRIERS FOR ALL PROPOSED AND EXISTING STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND IN THOSE IN CLOSE PROXIMITY TO WORK AREAS WHICH MAY RECEIVE RUNOFF FROM CONSTRUCTION AREAS. MAINTAIN INLET PROTECTION BARRIERS IN GOOD CONDITION AND CLEAN AND/OR REPLACE AS NECESSARY FOR THE DURATION OF THE PROJECT UNTIL UPSTREAM AREAS HAVE BEEN STABILIZED.
- INSPECT INLET PROTECTION BARRIERS AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF EROSION CONTROL MEASURES.
- SEE SHEET C-5 FOR ADDITIONAL EROSION CONTROL NOTES AND DETAILS.

CLIPPER CITY CAR WASH
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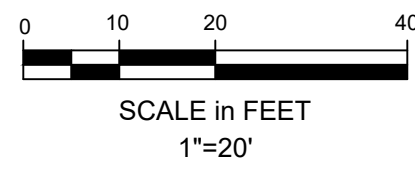
GRADING AND DRAINAGE PLAN

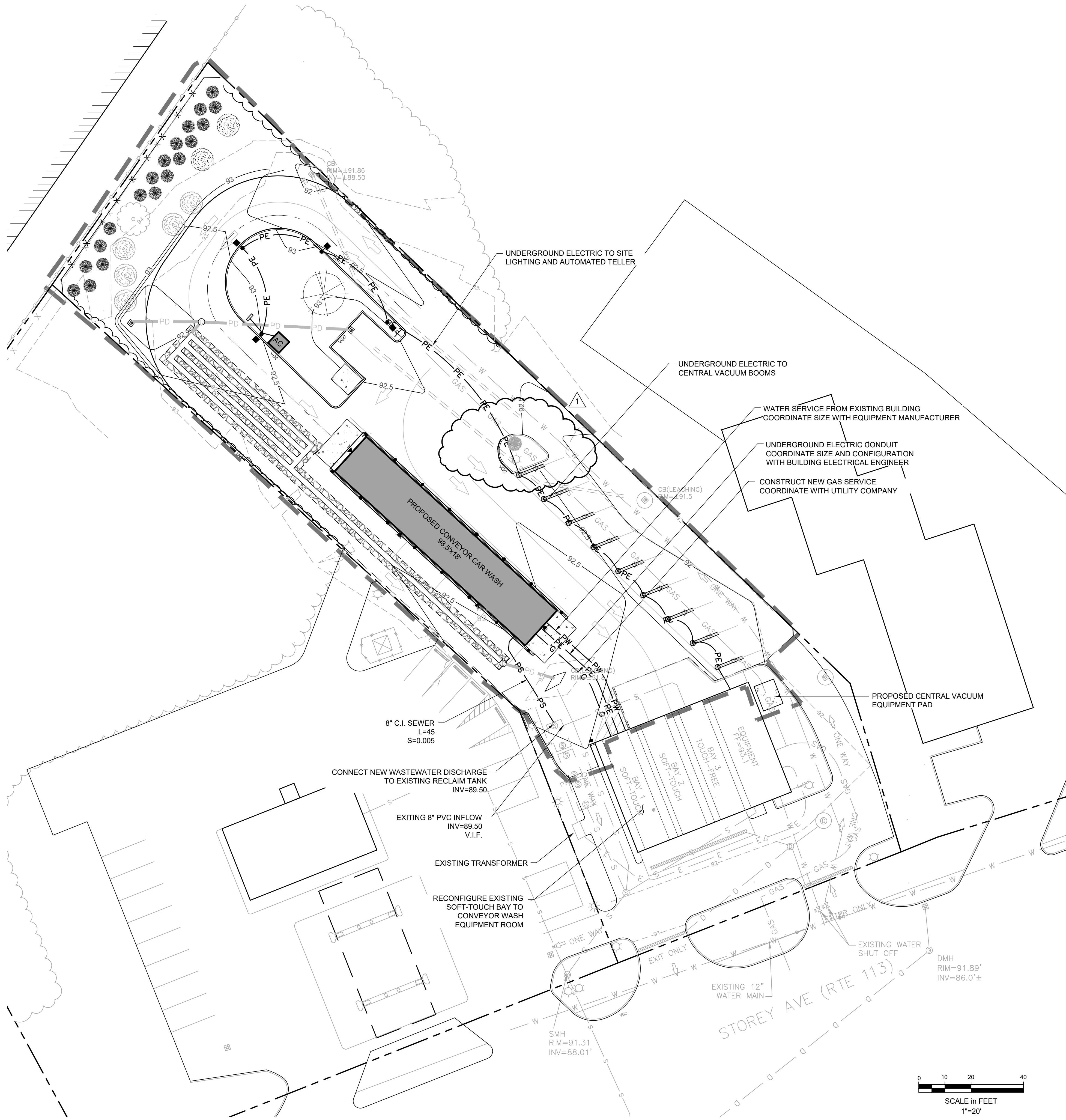
1	REDUCED VACUUMS	7/3/18
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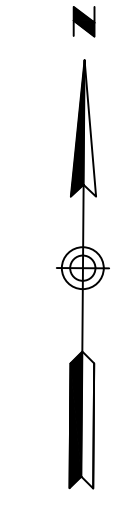
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LEGEND

- EXISTING**
- PROPERTY LINE
 - - - - 92 - - - - EXISTING CONTOUR
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 - E - E - ELECTRIC LINE
 - ⊙ SEWER MANHOLE
 - ⊙ DRAIN MANHOLE
 - ⊙ CATCH BASIN
 - ⊙ LIGHT POLE
 - 92.5 ± SPOT GRADE
- PROPOSED**
- FM - FM - SEWER PIPE
 - PW - PW - WATER PIPE
 - G - G - GAS PIPE
 - PE - PE - UNDERGROUND ELECTRIC
 - PD - PD - DRAIN PIPE
 - APPROXIMATE LIMIT OF WORK



UTILITIES NOTES:

1. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON-SITE AT ALL TIMES.
2. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS THAT MAY AFFECT THE COMPLETION OF WORK.
3. ALL CATCH BASINS AND DRAIN LINES WITHIN AND ADJACENT TO THE WORK AREA SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER THE AREA IS STABILIZED.
4. ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND, UNLESS OTHERWISE INDICATED.
5. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH CURRENT CITY OF NEWBURYPORT DESIGN AND CONSTRUCTION STANDARDS. IN THE EVENT OF CONFLICT BETWEEN THE PROJECT PLANS AND CITY STANDARDS, THE CITY STANDARDS SHALL APPLY.
6. WATER LINES SHALL HAVE A MINIMUM OF 5' COVER OR PER WATER DEPARTMENT STANDARDS, WHICH EVER IS MORE STRINGENT.
7. UNLESS OTHERWISE INDICATED OR SPECIFIED, ALL WATER PIPE SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52.
8. ALL WATER VALVES TO OPEN PER WATER DEPARTMENT STANDARDS.
9. SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING, DRAINAGE SYSTEM INVERTS.
10. UNDERGROUND ELECTRICAL, CONDUIT MATERIAL AND INSTALLATION SHALL CONFORM TO POWER COMPANY STANDARDS. SEE SITE ELECTRICAL PLANS FOR ALL ELECTRIC AND COMMUNICATIONS SERVICE DETAILS.
11. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
12. COORDINATE LEAKAGE AND DISINFECTION TESTING OF WATER CONSTRUCTION WITH CITY OF NEWBURYPORT.
13. CONFIRM LOCATIONS, NUMBER AND TRENCH SECTION OF PROPOSED ELECTRIC AND COMMUNICATIONS CONDUITS AND STRUCTURES WITH SITE ELECTRICAL DRAWINGS.
14. COORDINATE ALL BUILDING UTILITY SERVICES SIZE AND LOCATIONS WITH BUILDING DRAWINGS.
15. ALL WATER AND SEWER PIPES SHALL HAVE A MINIMUM 10' HORIZONTAL SEPARATION. IF A WATER LINE CROSSES A SEWER LINE, THERE SHALL BE A MINIMUM 18" VERTICAL SEPARATION. NEW WATER MAINS AND SERVICES WILL BE CONCRETE-ENCASED WHEN THEY ARE WITHIN 10 FEET OF EACH OTHER.
16. A CONSTRUCTION SCHEDULE WILL BE PROVIDED TO THE NEWBURYPORT SEWER DEPARTMENT 7 DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
17. SEWER PIPE WILL BE BEDDED IN SCREENED GRAVEL, 8 INCHES ON BOTTOM AND AROUND THE PIPE, AND 12 INCHES ON TOP.
18. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AT LEAST 2 WEEKS PRIOR TO CONSTRUCTION. PIPES WILL BE MANDREL-TESTED FOR ACCEPTANCE BY THE SEWER DEPARTMENT.
19. THE CONTRACTOR SHALL PROVIDE THE NEWBURYPORT SEWER DEPARTMENT WITH 2 COPIES OF AS-BUILT DRAWINGS AT THE COMPLETION OF THE PROJECT. WITHIN 30 CALENDAR DAYS OF RECEIVING AN OCCUPANCY PERMIT FROM THE CITY, AN ELECTRONIC COPY OF THE AS-BUILT DRAWINGS WILL BE PROVIDED. AS-BUILTS WILL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION. ANY AND ALL CHANGES FROM PREVIOUSLY AGREED-TO PLANS AND SPECIFICATIONS WILL BE HIGHLIGHTED FOR EASE OF REVIEW.

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SITE UTILITIES PLAN

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1	REDUCED VACUUMS	7/3/18

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