

THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

'OPEN SPACE RESIDENTIAL DEVELOPMENT' PLAN SET

ROBERT M. GILL, P.E./R.L.S.

FOR REGISTRY USE

NEWBURYPORT PLANNING BOARD

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE _____ DATE _____

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NEWBURYPORT CITY CLERK

NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE _____ DATE _____

NEWBURYPORT BOARD OF HEALTH

DATE OF APPROVAL:

"THE STABLES AT BASHAW FARM"

8, 10, 12, & 18 COLBY FARM LANE
NEWBURYPORT, MASSACHUSETTS

ASSESSORS

MAP 98, LOT 26 (8 COLBY FARM LANE)
MAP 98, LOT 27 (10 COLBY FARM LANE)
MAP 98, LOT 5 (12 COLBY FARM LANE)
MAP 98, LOT 4 (18 COLBY FARM LANE)

PROPERTY OWNER

ELLSWORTH M. EATON, JR., TRUSTEE
EATON CROW REALTY TRUST

ELLSWORTH M. EATON, JR., TRUSTEE
CROW'S NEST REALTY TRUST

DEED REFERENCES

SOUTHERN ESSEX REGISTRY OF DEEDS
1. BOOK 26178, PAGE 1.
2. BOOK 26178, PAGE 3.
3. BOOK 15799, PAGE 31.

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1. PLAN BOOK 473, PLAN 21.
2. PLAN BOOK 335, PLAN 92.
3. PLAN BOOK 138, PLAN 72.
4. PLAN 262 OF 1975.
5. PLAN 462 OF 1961.

NOTES

- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE JULY 3, 2012.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- FOR PROPOSED UTILITY WORK IN COLBY FARM LANE, REFER TO PLAN SET ENTITLED "THE RESERVE AT BASHAW FARM OSRD" PREPARED BY CAMMETT ENGINEERING, AND RECORDED WITH THE SOUTHERN ESSEX REGISTRY OF DEEDS AS PLAN 3 IN PLAN BOOK 474.

SITE BENCHMARK

- THE BENCHMARK IN UTILITY POLE #233/4 WAS SET WITH GLOBAL POSITIONING SATELLITE (GPS) EQUIPMENT BY CAMMETT CONSULTING ENGINEERS & LAND SURVEYORS.
- AS NO RELOCATION OR REMOVAL OF UTILITY POLE #233/4 AND ITS BENCH MARK ARE PROPOSED, THIS BENCHMARK IS INTENDED TO BE PERMANENT FOR THE DEVELOPMENT OF THE SITE.

ABBREVIATIONS

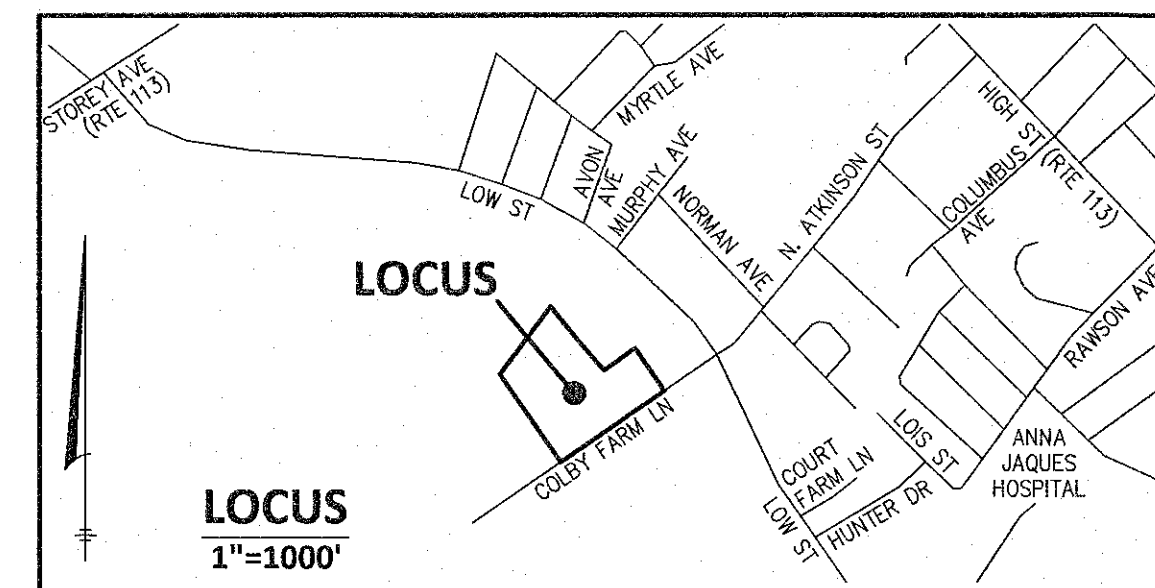
BDG.	BUILDING
BIT.	BITUMINOUS
CALC.	CALCULATED
CONC.	CONCRETE
DMH	DRAIN MANHOLE
ELEV	ELEVATION
FF	FIRST FLOOR ELEVATION
GS	GARAGE SLAB ELEVATION
INV	INVERT
REC.	RECORD
RET.WALL	RETAINING WALL
RP	ROOF PEAK
SF	SQUARE FEET
SMH	SEWER MANHOLE
TYP	TYPICAL
UP	UTILITY POLE

LEGEND

-----○-----	STONEWALL
⊙	SEWER MANHOLE
⊕	DRAIN MANHOLE
⊠	STONE MONUMENT
⊙	UTILITY POLE
-----●-----	WETLAND LINE WITH FLAG
-----S-----	UNDERGROUND SEWER LINE
-----D-----	UNDERGROUND DRAIN LINE
-----W-----	WATER LINE
-----U-----	UNDERGROUND UTILITY LINE
-----+-----	2-FOOT CONTOUR

SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS
- OPEN SPACE RESIDENTIAL DEVELOPMENT 'YIELD' PLAN
- DEFINITIVE SUBDIVISION PLAN OF LAND
- LAYOUT & LIGHTING PLAN
- GRADING & UTILITIES PLAN
- EROSION & SEDIMENTATION CONTROL PLAN
- EMERGENCY VEHICLE SWEEP-PATH ANALYSIS
- DETAILS
- DETAILS



ZONING INFORMATION

UNDERLYING DISTRICT: R1, RESIDENTIAL OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT(CFL-ROD) FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

SINGLE-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	10,000 SF
MIN. FRONTAGE	90'
MIN. FRONT YARD	25'
MIN. SIDE YARD	10'
MIN. REAR YARD	25'

TWO-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'

OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD) ZONING REQUIREMENTS

'OPEN SPACE RESIDENTIAL DEVELOPMENT' (OSRD) ZONING TABLE

DESCRIPTION	REQUIRED	PROPOSED
MIN. TOTAL TRACT AREA	3 ACRES	7.64±ACRES
MIN. SINGLE-FAMILY LOT SIZE	10,000 SF	10,000±SF
MIN. OPEN SPACE OF TOTAL TRACT	60%	82.0%
MIN. PERCENT OPEN SPACE UPLANDS OF TOTAL TRACT UPLANDS	50%	31.4%
MAX. TOTAL TRACT DISTURBED AREAS	50%	17.8%
MIN. OSRD FRONT SETBACK (50% OF UNDERLYING DISTRICT)	12.5'	25.0'
MIN. OSRD SIDE SETBACK (50% OF UNDERLYING DISTRICT)	5'	12.0'
MIN. OSRD REAR SETBACK (50% OF UNDERLYING DISTRICT)	12.5'	37.0'
MIN. PARKING PER UNIT (FOR PROPOSED 8 UNITS)	2 SPACES/UNIT (16 SPACES)	2.625 SPACES/UNIT (21 SPACES)
MIN. PERCENT AFFORDABLE UNITS	12%	12.5% (1 OF 8)

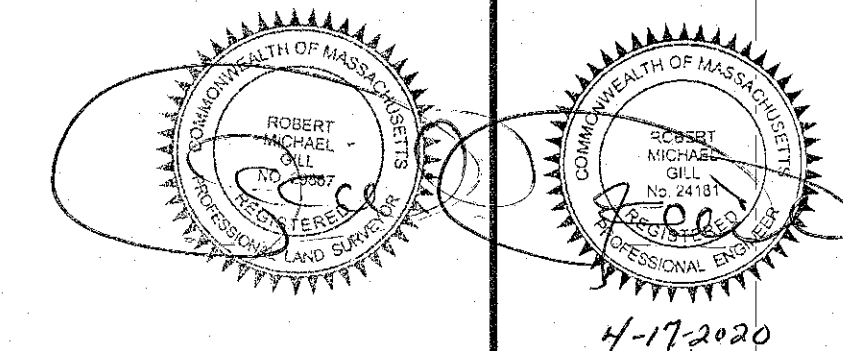
TITLE SHEET

8, 10, 12, & 18 COLBY FARM LANE
NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:
THE DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY:
LANDPLEX
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-9390 - LANDPLEX.COM

SHEET: 1 OF 10 SCALE: 1"=40' FEBRUARY 14, 2020



2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE

4-17-2020

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ROBERT M. GILL, P.E./R.L.S.

FOR REGISTRY USE

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NEWBURYPORT BOARD OF HEALTH

DATE OF APPROVAL: _____

ABBREVIATIONS

- BDG. BUILDING
- BIT. BITUMINOUS
- CALC. CALCULATED
- CONC. CONCRETE
- DMH. DRAIN MANHOLE
- ELEV. ELEVATION
- FF. FIRST FLOOR ELEVATION
- GS. GARAGE SLAB ELEVATION
- INV. INVERT
- REC. RECORD
- RET.WALL. RETAINING WALL
- RP. ROOF PEAK
- SF. SQUARE FEET
- SMH. SEWER MANHOLE
- TYP. TYPICAL
- UP. UTILITY POLE

LEGEND

- STONEWALL
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ STONE MONUMENT
- ⊙ UTILITY POLE
- - - WETLAND LINE WITH FLAG
- - - UNDERGROUND SEWER LINE
- - - UNDERGROUND DRAIN LINE
- - - OVERHEAD WIRE LINE
- - - 2-FOOT CONTOUR

MAP 98, LOT 3
JPBA LIMITED PARTNERSHIP
20 COLBY FARM LANE

MAP 98, LOT 20
MICHAEL RAICHE BRIAN
223 LOW STREET

MAP 98, LOT 8-D
JOHN R KEEGAN
199 LOW STREET

MAP 98, LOT 8-C
DAVID P CHAISSON
197 LOW STREET

MAP 98, LOT 8-B
MICHELLE HAWLEY
195 LOW STREET

MAP 98, LOT 8-A
CLARA & JERE HOVEY
193 LOW STREET

MAP 98, LOT 25
JAMES CAPONIGRO
6 COLBY FARM LANE

**ASSESSORS MAP 98
LOTS 4, 5, 26 & 27
(332,930±SF)
(7.643±AC.)**

COLBY FARM (PUBLIC - VARIABLE WIDTH) LANE
(FORMERLY CROW LANE)

TEST HOLE DATA

DATE: 1/24/2020
SOIL EVALUATOR: STEVE ERIKSEN (NORSE ENVIRONMENTAL)

TH-1, ELEVATION=45.3
0-48" C1 FINE SANDY LOAM, LOOSE 10YR5/4
ESHW AT 48" (REDOX)
ESHW ELEVATION=41.3
LEDGE AT 48"

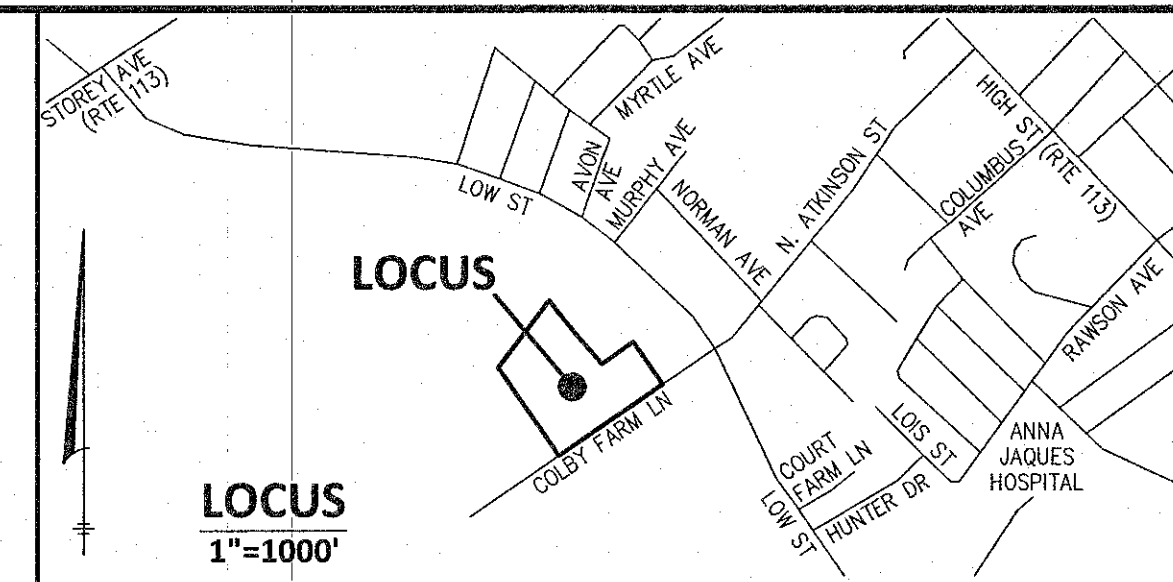
TH-2, ELEVATION=41.8
0-24" AP FINE SANDY LOAM, LOOSE 10YR2/2
24-72" C1 FINE SANDY LOAM, LOOSE 10YR5/4
ESHW AT 48" (REDOX)
ESHW ELEVATION=37.8
LEDGE AT 72"

TH-3, ELEVATION=42.3
0-18" Ap FINE SANDY LOAM, LOOSE 10YR2/2
18-32" Bw FINE SANDY LOAM, LOOSE 10YR5/4
32-108" C1 FINE SANDY LOAM, LOOSE 10YR5/4
ESHW AT 48" (REDOX)
ESHW ELEVATION=38.3
LEDGE AT 108"

TH-4, ELEVATION=43.3
0-35" Ap FINE SANDY LOAM, LOOSE 10YR2/2
35-102" Bw FINE SANDY LOAM, LOOSE 10YR5/4
ESHW AT 50" (REDOX)
ESHW ELEVATION=39.1
LEDGE AT 102"

TH-5, ELEVATION=44.8
0-18" Ap FINE SANDY LOAM, LOOSE 10YR2/2
18-36" Bw FINE SANDY LOAM, LOOSE 10YR5/4
36-102" C1 LOAMY SAND, LOOSE 10YR5/4
ESHW AT 60" (REDOX)
ESHW ELEVATION=39.8
LEDGE AT 102"

TH-6, ELEVATION=44.3
0-24" Ap FINE SANDY LOAM, LOOSE 10YR2/2
24-36" Bw FINE LOAMY SAND, LOOSE 10YR5/4
ESHW AT 50" (REDOX)
ESHW ELEVATION=40.1
LEDGE AT 36"



ASSESSORS

- MAP 98, LOT 26 (8 COLBY FARM LANE)
- MAP 98, LOT 27 (10 COLBY FARM LANE)
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- MAP 98, LOT 4 (18 COLBY FARM LANE)

PROPERTY OWNER

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EATON CROW REALTY TRUST

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DEED REFERENCES

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NOTES

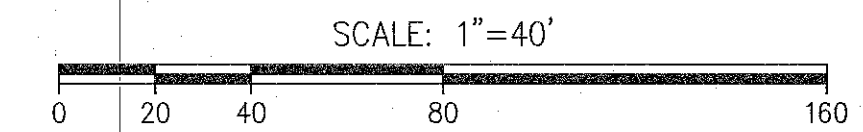
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3. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
4. ALL EXISTING STRUCTURES, DEBRIS, CONTRACTOR MATERIALS, AND TRAILERS TO BE REMOVED AND DISPOSED OF PER LOCAL AND STATE REGULATED TRASH FACILITIES.

ZONING INFORMATION

UNDERLYING DISTRICT: R1, RESIDENTIAL OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT(CFL-ROD) FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

SINGLE-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	10,000 SF
MIN. FRONTAGE	90'
MIN. FRONT YARD	25'
MIN. SIDE YARD	10'
MIN. REAR YARD	25'

TWO-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'



EXISTING CONDITIONS

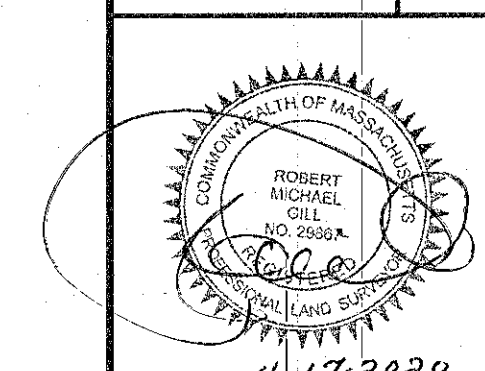
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NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:
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225 STEDMAN STREET
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SHEET: 2 OF 10 SCALE: 1"=40' FEBRUARY 14, 2020

NO.	REVISION DESCRIPTION	DATE
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
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JPBA LIMITED PARTNERSHIP
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JAMES CAPONIGRO
6 COLBY FARM LANE

ASSESSORS MAP 98
LOTS 4, 5, 26 & 27
(332,930±SF)
(7.643±AC.)

PROP. LOT 2
AREA = 5.50±ACRES
FRONT. (PROP. LANE) = 120'

PROP. LOT 3
AREA = 15,530±SF
FRONT. (PROP. LANE) = 120'

PROP. LOT 1
AREA = 1.18±ACRES
FRONT. (COLBY FARM) = 482'

PROP. LOT 4
AREA = 15,010±SF
FRONT. (COLBY FARM) = 127'

ABBREVIATIONS

- CALC. CALCULATED
- REC. RECORD
- SF SQUARE FEET
- TYP TYPICAL
- UP UTILITY POLE
- WF WETLAND FLAG

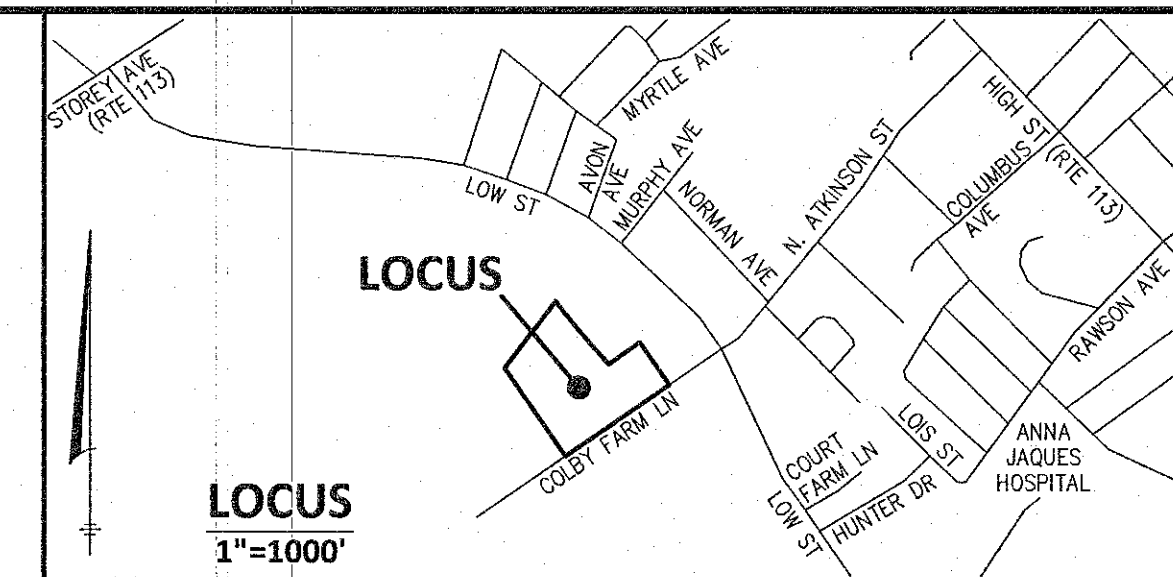
LEGEND

- STONEWALL
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EDGE OF PAVEMENT

COLBY FARM (PUBLIC - VARIABLE WIDTH) LANE
(FORMERLY CROW LANE)

EDGE OF PAVEMENT



ASSESSORS

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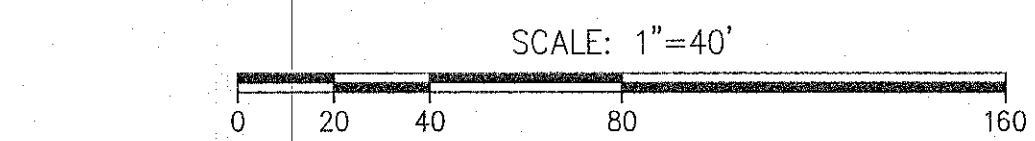
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ZONING

UNDERLYING DISTRICT: R1, RESIDENTIAL OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT(CFL-ROD) FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

DESCRIPTION	REQUIRED(R2)	PROP. LOT 1	PROP. LOT 2	PROP. LOT 3	PROP. LOT 4
MIN. LOT AREA	15,000 SF	1.18±AC.	5.50±AC.	15,530±SF	15,010±SF
MIN. FRONTAGE	120'	482'	120'	120'	127'
MIN. FRONT YARD	25'				
MIN. SIDE YARD	20'				
MIN. REAR YARD	25'				



OPEN SPACE RESIDENTIAL DEVELOPMENT 'YIELD' PLAN

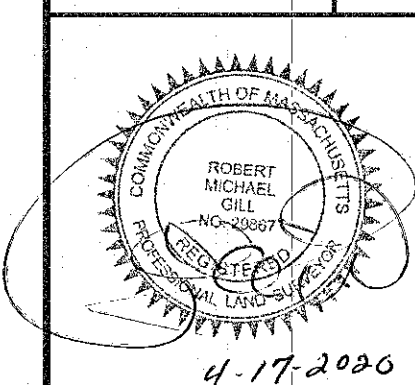
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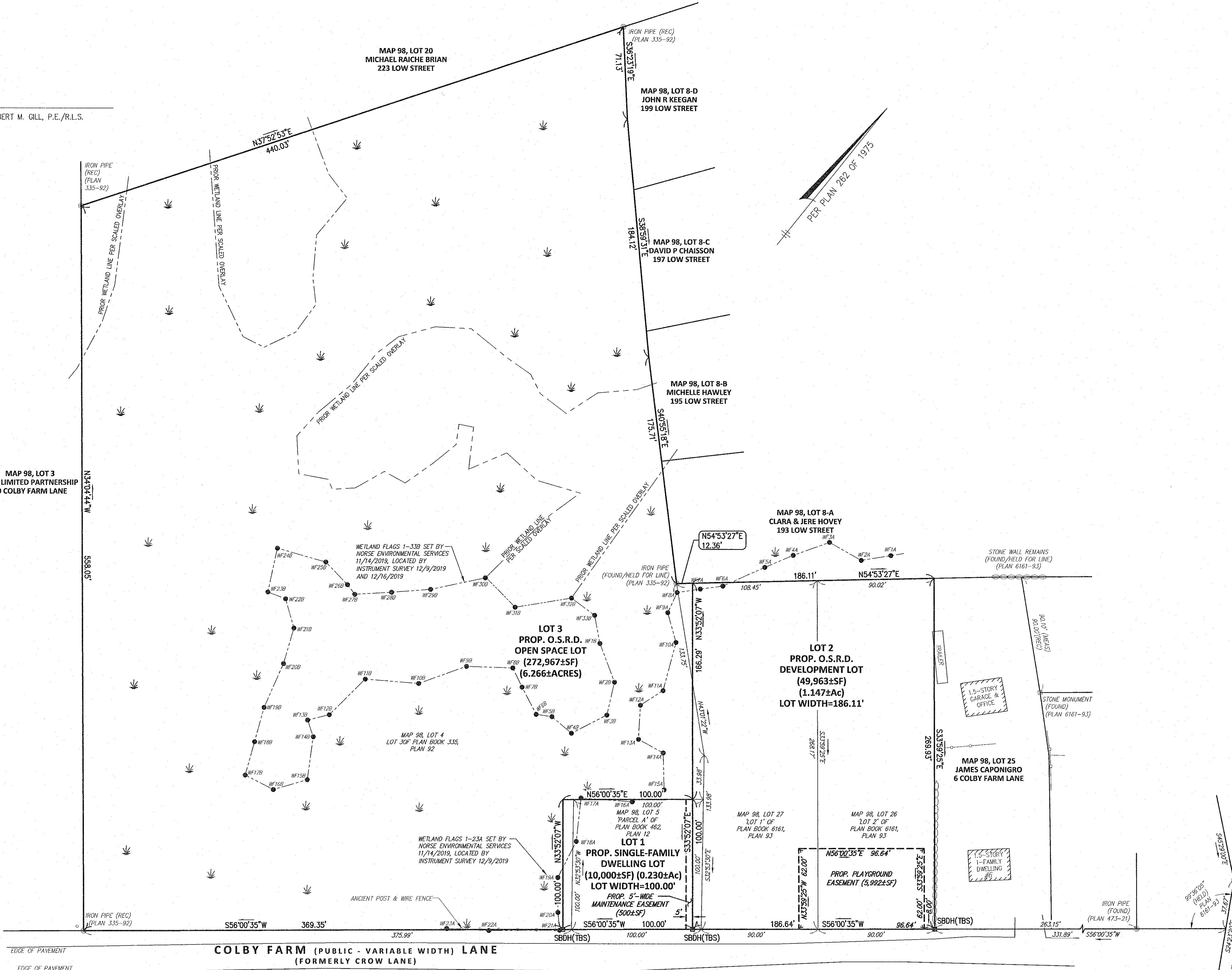
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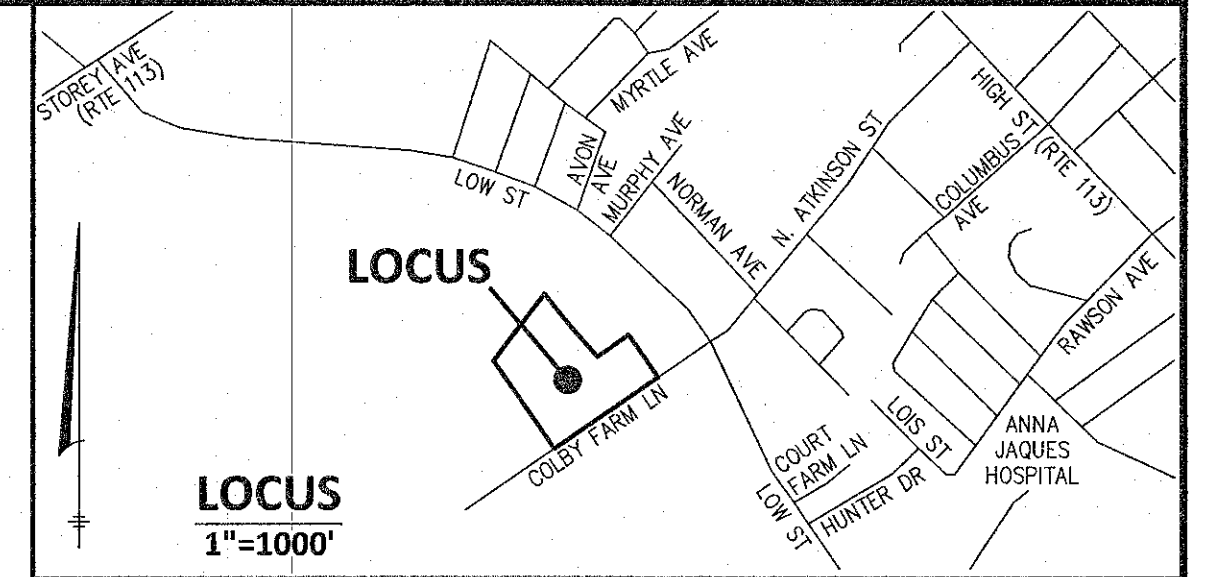
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MAP 98, LOT 3
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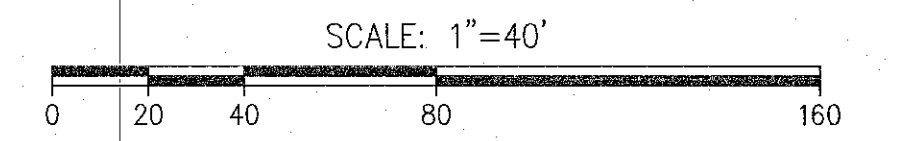
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SINGLE-FAMILY REQUIREMENTS DESCRIPTION	REQUIRED(R2)	PROP. LOT 1	PROP. LOT 2	PROP. LOT 3
		10,000 SF	49,963±SF	272,967±SF
MIN. LOT AREA	90'	100.00'	186.64'	369.04'
MIN. FRONTAGE	25'	25.0'	25.0'	N/A
MIN. FRONT YARD	10'	15.0'	12.0'	N/A
MIN. SIDE YARD	25'	37.0'	76.9'	N/A
MIN. REAR YARD				

TWO-FAMILY REQUIREMENTS DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	120'
MIN. FRONTAGE	25'
MIN. FRONT YARD	20'
MIN. SIDE YARD	25'
MIN. REAR YARD	

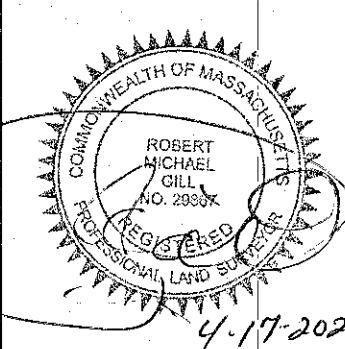


PLAN OF LAND

**8, 10, 12, & 18 COLBY FARM LANE
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: THE DALY GROUP 225 STEDMAN STREET LOWELL, MASSACHUSETTS 01851	PLAN PREPARED BY: LANDPLEX CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-9390 - LANDPLEX.COM
SHEET: 4 OF 10	SCALE: 1"=40'
FEBRUARY 14, 2020	

NO.	REVISION DESCRIPTION	DATE
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE



THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

FOR REGISTRY USE

NEWBURYPORT PLANNING BOARD

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____
 SIGNATURE _____ DATE _____

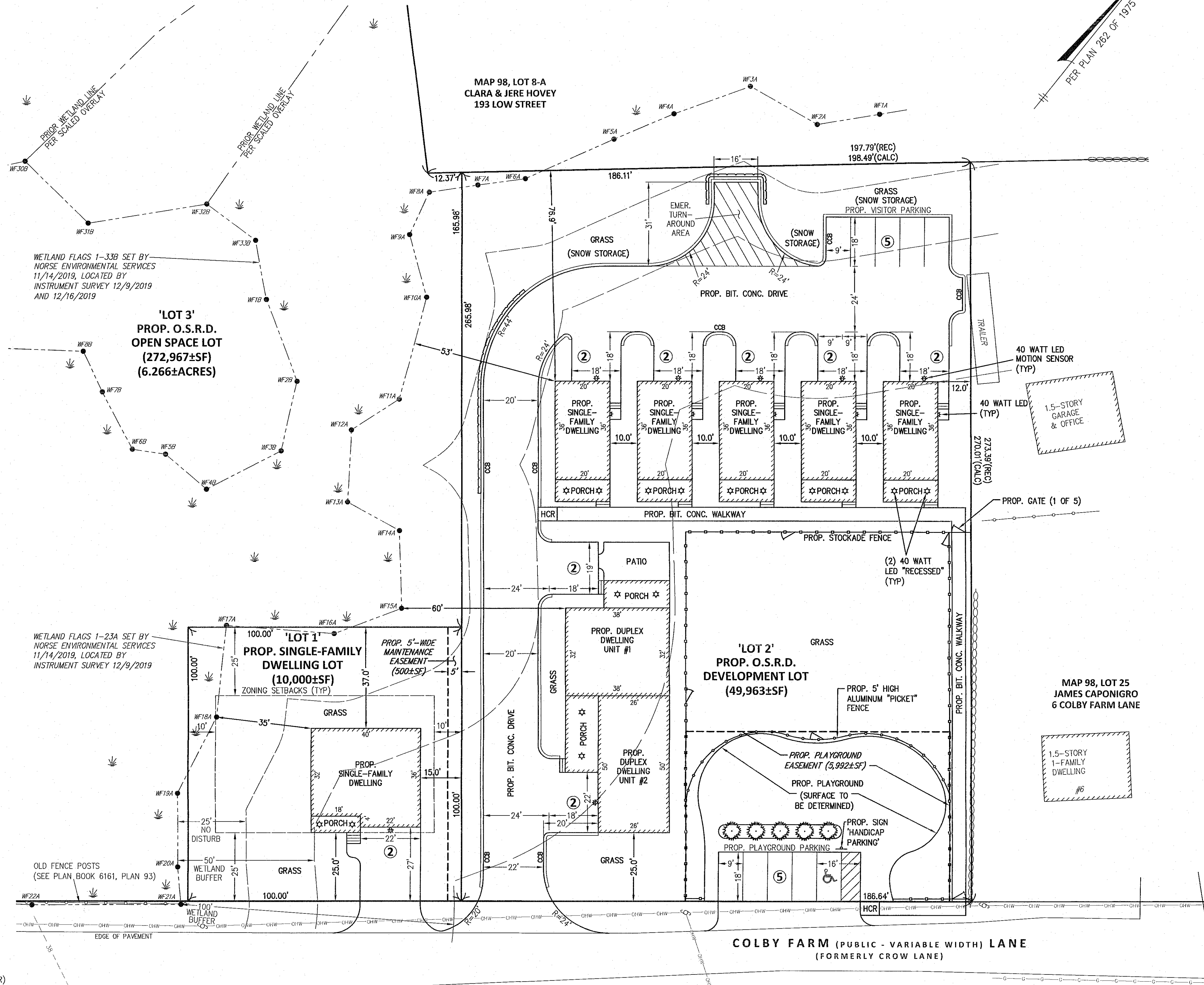
NEWBURYPORT CITY CLERK

NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE _____ DATE _____

NEWBURYPORT BOARD OF HEALTH

DATE OF APPROVAL: _____

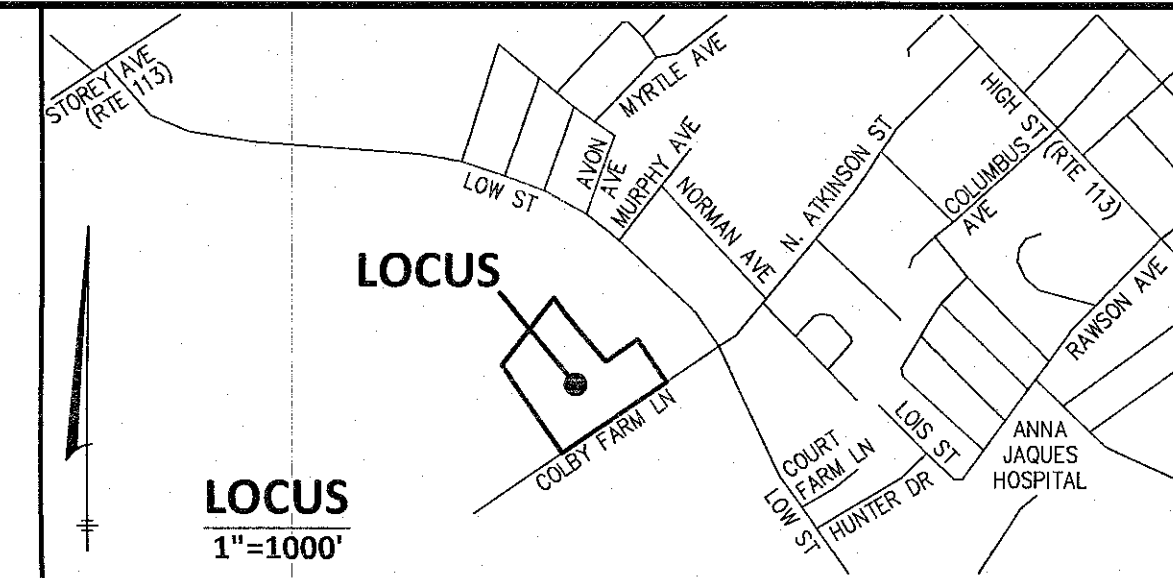


ABBREVIATIONS

- BDC. BUILDING
- BIT. BITUMINOUS
- CALC. CALCULATED
- CONC. CONCRETE
- REC. RECORD
- SF SQUARE FEET
- TYP TYPICAL

LEGEND

- STONEWALL
- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊞ STONE MONUMENT
- ⊚ UTILITY POLE
- - - WETLAND LINE WITH FLAG
- ⊛ 40 WATT LED
- ⊛ 40 WATT LED "RECESSED"
- ⊛ 40 WATT LED (MOTION SENSOR)



ASSESSORS

- MAP 98, LOT 26 (8 COLBY FARM LANE)
- MAP 98, LOT 27 (10 COLBY FARM LANE)
- MAP 98, LOT 5 (12 COLBY FARM LANE)
- MAP 98, LOT 4 (18 COLBY FARM LANE)

PROPERTY OWNER

ELLSWORTH M. EATON, JR., TRUSTEE
 EATON CROW REALTY TRUST
 ELLSWORTH M. EATON, JR., TRUSTEE
 CROW'S NEST REALTY TRUST

DEED REFERENCES

- SOUTHERN ESSEX REGISTRY OF DEEDS
- 1. BOOK 26178, PAGE 1.
- 2. BOOK 26178, PAGE 3.
- 3. BOOK 15799, PAGE 31.

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- 3. PLAN BOOK 138, PLAN 72.
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- 5. PLAN 462 OF 1961.

NOTES

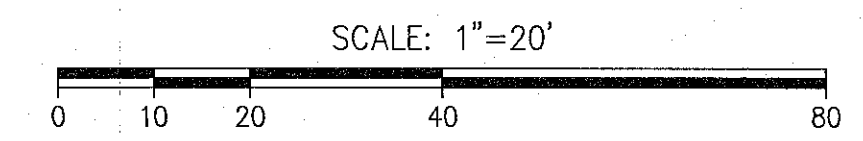
1. EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
2. NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 250900109F, EFFECTIVE DATE JULY 3, 2012.
3. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
4. ALL LANDSCAPING PLANTS AND PLANT SPECIES TO BE NATIVE, DROUGHT-TOLERANT, AND NON-INVASIVE.

ZONING INFORMATION

UNDERLYING DISTRICT: R1, RESIDENTIAL OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT(CFL-ROD) FOR CFL-ROD; USE R2 ZONING REQUIREMENTS

DESCRIPTION	REQUIRED(R2)	PROP. LOT 1	PROP. LOT 2	PROP. LOT 3
MIN. LOT AREA	10,000 SF	10,000 SF	49,963±SF	272,967±SF
MIN. FRONTAGE	90'	100.00'	186.64'	369.04'
MIN. FRONT YARD	25'	25.0'	25.0'	N/A
MIN. SIDE YARD	10'	15.0'	12.0'	N/A
MIN. REAR YARD	25'	37.0'	76.9'	N/A

DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'

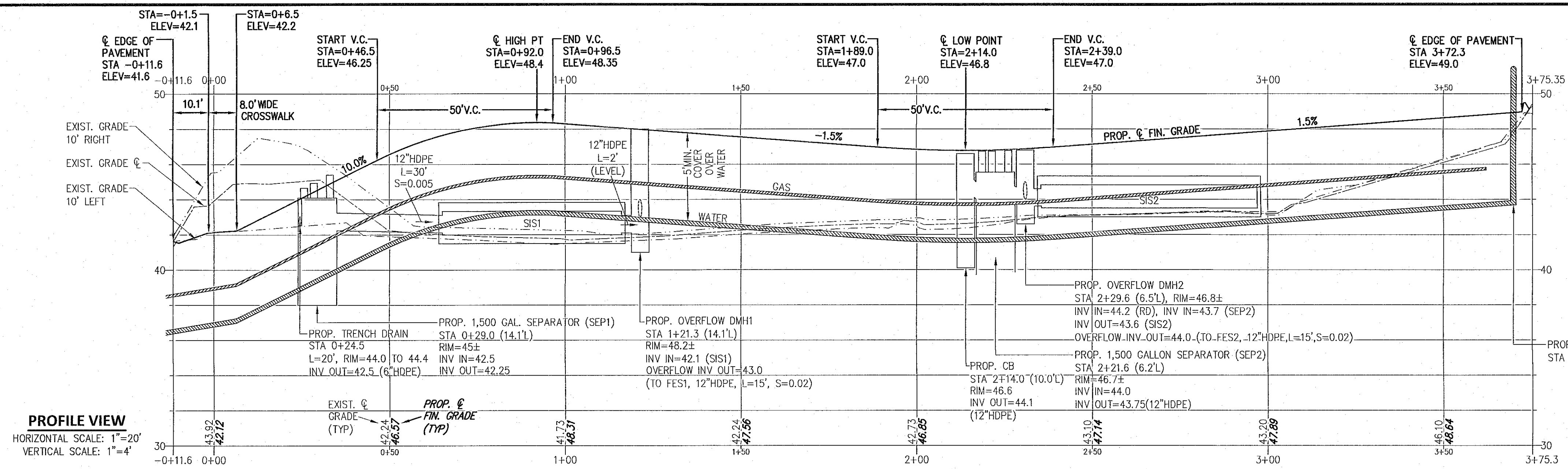


LAYOUT & LIGHTING PLAN

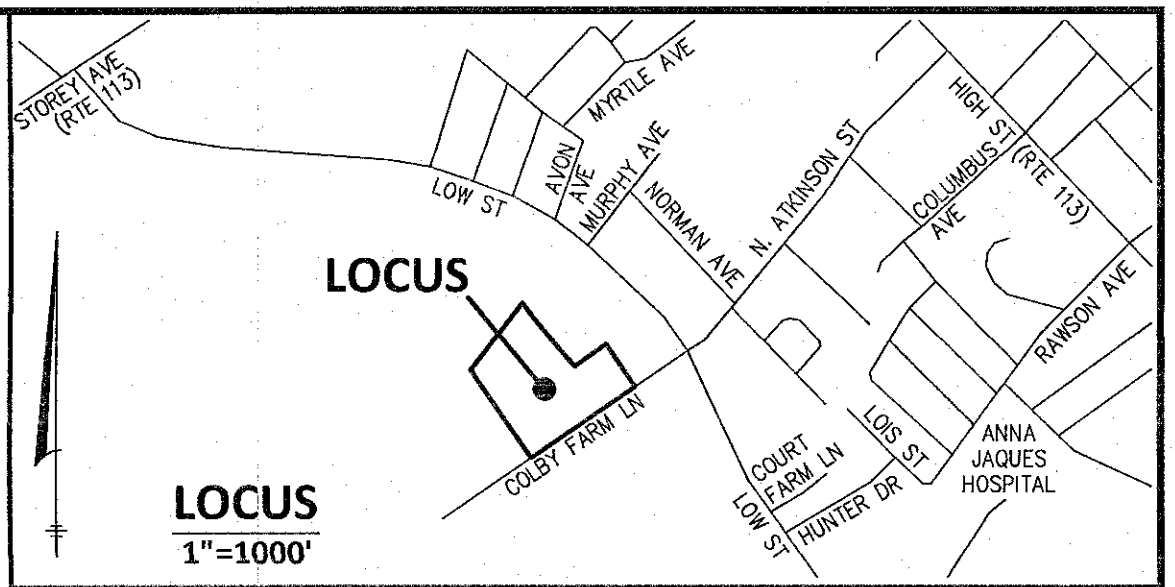
**8, 10, 12, & 18 COLBY FARM LANE
 NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: THE DALY GROUP 229 STEDMAN STREET LOWELL, MASSACHUSETTS 01851	PLAN PREPARED BY: LANDPLEX CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-9390 - LANDPLEX.COM
SHEET: 5 OF 10	SCALE: 1"=20' FEBRUARY 14, 2020

NO.	REVISION DESCRIPTION	DATE
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1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE



PROFILE VIEW
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=4'



ASSESSORS
MAP 98, LOT 26 (8 COLBY FARM LANE)
MAP 98, LOT 27 (10 COLBY FARM LANE)
MAP 98, LOT 5 (12 COLBY FARM LANE)
MAP 98, LOT 4 (18 COLBY FARM LANE)

DEED REFERENCES
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- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- FOR PROPOSED UTILITY WORK IN COLBY FARM LANE, REFER TO PLAN SET ENTITLED "THE RESERVE AT BASHAW FARM OSRD" PREPARED BY GAMMETT ENGINEERING, AND RECORDED WITH THE SOUTHERN ESSEX REGISTRY OF DEEDS AS PLAN 3 IN PLAN BOOK 474.
- REFER TO TITLE SHEET 1 FOR LEGEND.

TEST HOLE DATA
DATE: 1/24/2020
SOIL EVALUATOR: STEVE ERIKSEN (NORSE ENVIRONMENTAL)

TH	ELEVATION	SOIL TYPE	REMARKS
TH-1	ELEVATION=45.3	0-48" C1 FINE SANDY LOAM, LOOSE	10YR5/4
		ESHWIT AT 48" (REDOX)	ESHWIT ELEVATION=41.3
		LEDGE AT 48"	
TH-2	ELEVATION=41.8	0-24" Ap FINE SANDY LOAM, LOOSE	10YR2/2
		24-72" C1 FINE SANDY LOAM, LOOSE	10YR5/4
		ESHWIT AT 48" (REDOX)	ESHWIT ELEVATION=37.8
		LEDGE AT 72"	
TH-3	ELEVATION=42.3	0-18" Ap FINE SANDY LOAM, LOOSE	10YR2/2
		18-32" Bw FINE SANDY LOAM, LOOSE	10YR5/4
		32-108" C1 FINE SANDY LOAM, LOOSE	10YR5/4
		ESHWIT AT 48" (REDOX)	ESHWIT ELEVATION=38.3
		LEDGE AT 108"	
TH-4	ELEVATION=43.3	0-35" Ap FINE SANDY LOAM, LOOSE	10YR2/2
		35-102" Bw FINE SANDY LOAM, LOOSE	10YR5/4
		ESHWIT AT 50" (REDOX)	ESHWIT ELEVATION=39.1
		LEDGE AT 102"	
TH-5	ELEVATION=44.8	0-18" Ap FINE SANDY LOAM, LOOSE	10YR2/2
		18-36" Bw FINE SANDY LOAM, LOOSE	10YR5/4
		36-102" C1 LOAMY SAND, LOOSE	10YR5/4
		ESHWIT AT 60" (REDOX)	ESHWIT ELEVATION=39.8
		LEDGE AT 102"	
TH-6	ELEVATION=44.3	0-24" Ap FINE SANDY LOAM, LOOSE	10YR2/2
		24-38" Bw FINE LOAMY SAND, LOOSE	10YR5/4
		ESHWIT AT 50" (REDOX)	ESHWIT ELEVATION=40.1
		LEDGE AT 36"	

FOR REGISTRY USE
THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

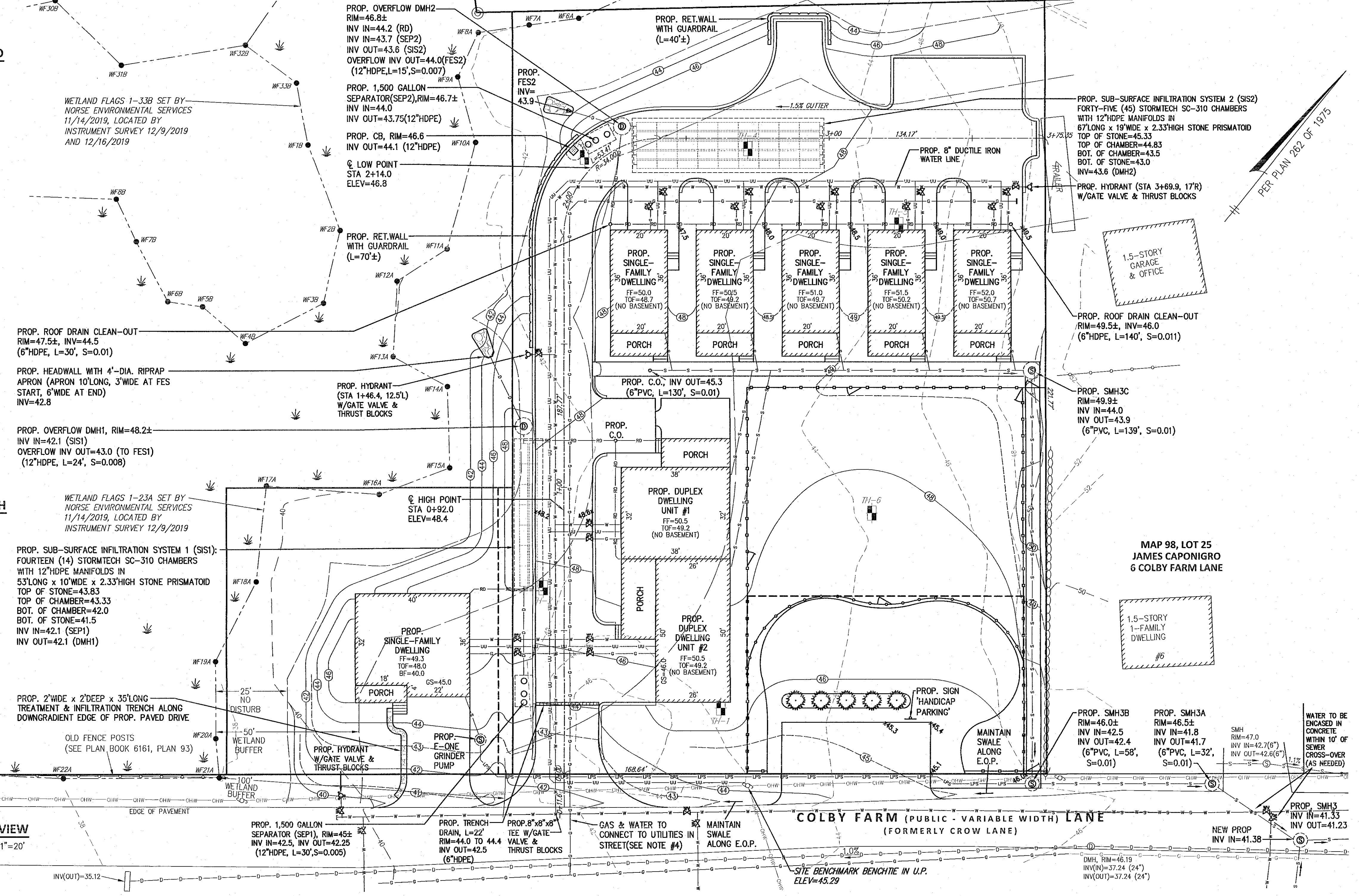
NEWBURYPORT PLANNING BOARD
NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE	DATE

NEWBURYPORT CITY CLERK
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SIGNATURE	DATE

NEWBURYPORT BOARD OF HEALTH
DATE OF APPROVAL:



PLAN VIEW
SCALE: 1"=20'

GRADING & UTILITIES PLAN

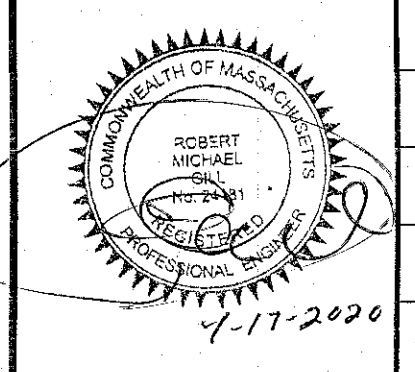
8, 10, 12, & 18 COLBY FARM LANE
NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:
THE DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY:
LANDPLEX
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-9390 - LANDPLEX.COM

SHEET: 6 OF 10 SCALE: 1"=20' FEBRUARY 14, 2020

NO.	REVISION DESCRIPTION	DATE
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE



THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

RESOURCE AREA BUFFER ZONE ALTERATION CHART (FOR PROPOSED SITE DEVELOPMENT)

BUFFER ZONES	EXISTING DISTURBANCE	PROPOSED DISTURBANCE		
		GRADING	IMPERVIOUS	BUFFER ZONE RESTORATION
25' "NO DISTURB"	9,891±SF	4,478±SF(45.3%)	116±SF(1.1%)	5,297±SF(53.6%)
50' "WETLAND BUFFER"	21,192±SF	10,292±SF(48.5%)	5,603±SF(26.4%)	5,297±SF(25.0%)
100' "WETLAND BUFFER"	40,451±SF	14,625±SF(36.1%)	20,528±SF(50.7%)	5,297±SF(13.1%)

ROBERT M. GILL, P.E./R.L.S.

FOR REGISTRY USE

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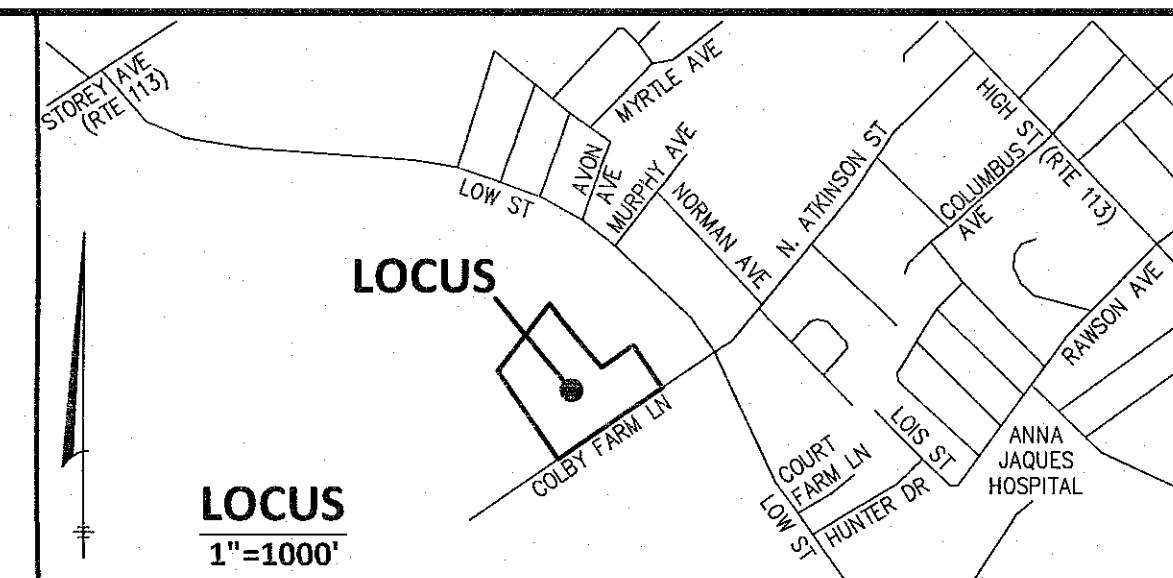
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NEWBURYPORT BOARD OF HEALTH

DATE OF APPROVAL: _____



ASSESSORS

MAP 98, LOT 26 (8 COLBY FARM LANE)
 MAP 98, LOT 27 (10 COLBY FARM LANE)
 MAP 98, LOT 5 (12 COLBY FARM LANE)
 MAP 98, LOT 4 (18 COLBY FARM LANE)

DEED REFERENCES

SOUTHERN ESSEX REGISTRY OF DEEDS
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PROPERTY OWNER

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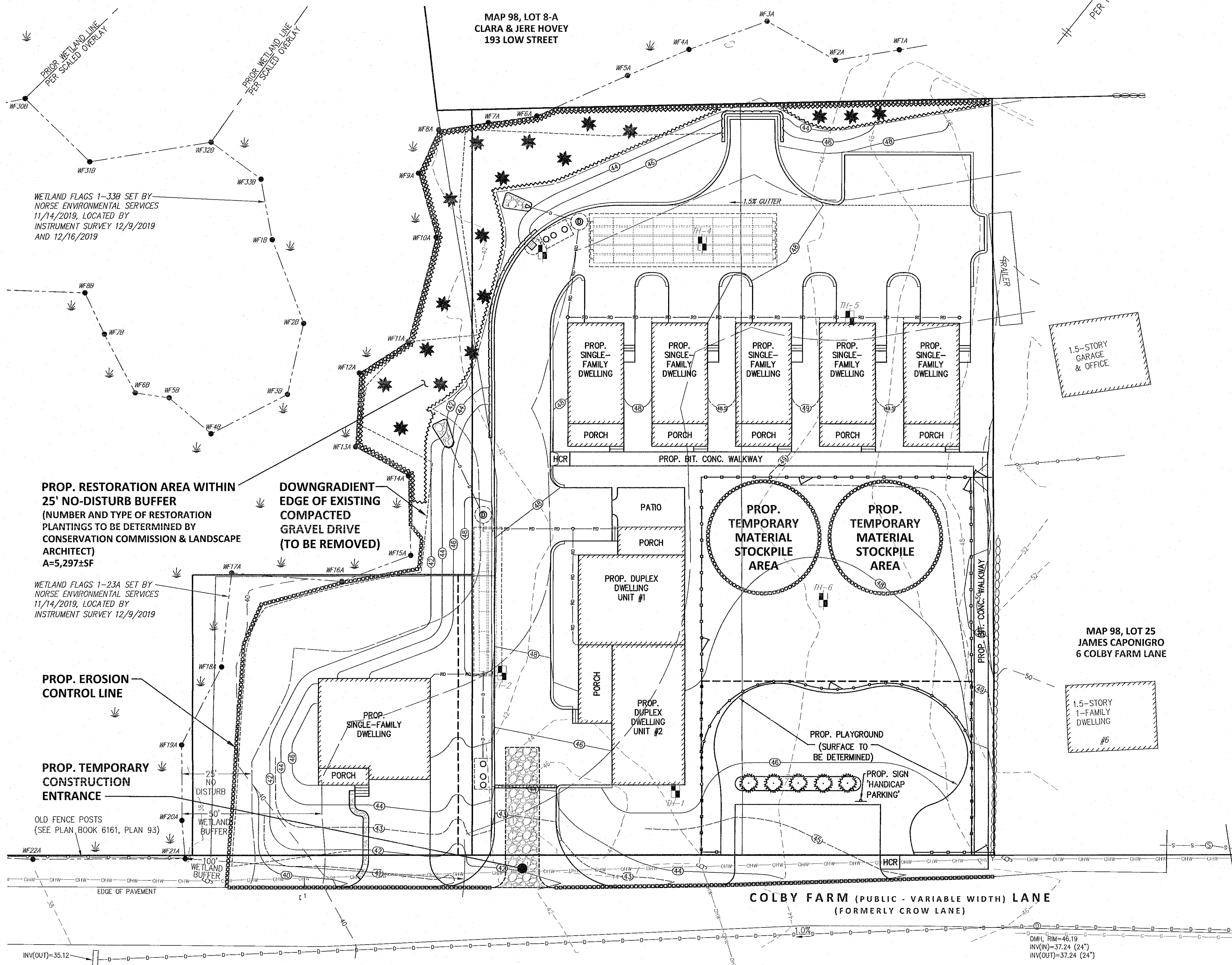
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EROSION CONTROL NOTES

- ALL DRAINAGE AND STORMWATER FACILITIES SHOULD BE PROTECTED WITH THE USE OF SILT SACKS OR DIVERSION OF WATER UNTIL FINAL PAVING IS IN PLACE.
- EXPOSED OR DISTURBED AREAS DUE TO STRIPPING OF VEGETATION, SOIL REMOVAL, AND RE-GRADING SHALL BE PERMANENTLY STABILIZED WITHIN SIX MONTHS OF OCCUPANCY OF A STRUCTURE.
- DURING CONSTRUCTION, TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT EXPOSED AREA FROM EROSION. UNTIL A DISTURBED AREA IS PERMANENTLY STABILIZED, SEDIMENT IN RUN-OFF WATER SHALL BE TRAPPED BY USING STAKED HAY BALES OR SEDIMENTATION TRAPS.
- ALL SLOPES EXCEEDING FIFTEEN (15) PERCENT RESULTING FROM SITE GRADING SHALL BE BOTH COVERED WITH FOUR (4) INCHES OF TOPSOIL AND PLANTED WITH A VEGETATIVE COVER SUFFICIENT TO PREVENT EROSION OR TO BE STABILIZED BY A RETAINING WALL.
- DUST CONTROL SHALL BE USED DURING GRADING OPERATIONS IF THE GRADING IS TO OCCUR WITHIN TWO HUNDRED (200) FEET OF AN OCCUPIED RESIDENCE OR PLACE OF BUSINESS. DUST CONTROL METHODS MAY CONSIST OF GRADING FINE SOILS ON CALM DAYS ONLY OR DAMPENING THE GROUND WITH WATER.
- NO NET EARTH IS TO BE REMOVED FROM THE SITE.
- APPROXIMATE FILL TO BE OBTAINED OFF-SITE TO BE 5,035±CU.YD., INCLUDING APPROXIMATELY 570±CU.YD. OF GRAVEL AND OTHER MATERIALS NECESSARY FOR THE CONSTRUCTION OF THE STREETS, SIDEWALKS, AND DRIVEWAYS.
- NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACED ON ANY LOT WITHOUT A PERMIT FROM THE HEALTH DEPARTMENT, IF SUCH A PERMIT IS REQUIRED.

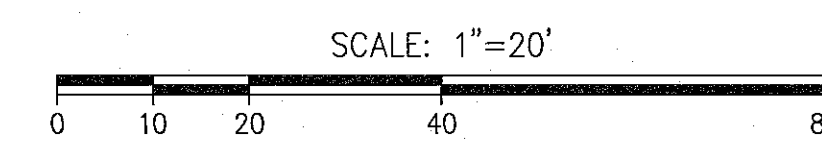


ABBREVIATIONS

- BDC. BUILDING
- BIT. BITUMINOUS
- CALC. CALCULATED
- CONC. CONCRETE
- DMH. DRAIN MANHOLE
- ELEV. ELEVATION
- FF. FIRST FLOOR ELEVATION
- GS. GARAGE SLAB ELEVATION
- INV. INVERT
- REC. RECORD
- RET.WALL. RETAINING WALL
- RP. ROOF PEAK
- SF. SQUARE FEET
- SMH. SEWER MANHOLE
- TYP. TYPICAL
- UP. UTILITY POLE

LEGEND

- STONEMASS
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ STONE MONUMENT
- ⊙ UTILITY POLE
- - - WETLAND LINE WITH FLAG
- - - UNDERGROUND SEWER LINE
- - - UNDERGROUND DRAIN LINE
- - - OVERHEAD WIRE LINE
- - - 2-FOOT CONTOUR



RESTORATION & EROSION CONTROL PLAN

8, 10, 12, & 18 COLBY FARM LANE
 NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:
THE DALY GROUP
 229 STEDMAN STREET
 LOWELL, MASSACHUSETTS 01851

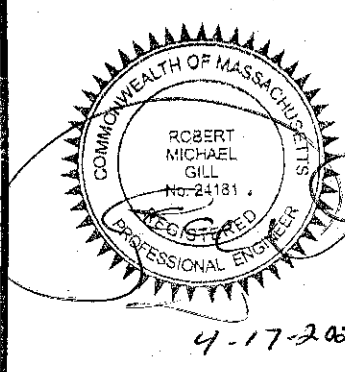
PLAN PREPARED BY:
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 CIVIL ENGINEERING - SURVEYING
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 LOWELL, MASSACHUSETTS 01852
 978-201-9390 - LANDPLEX.COM

SHEET: 7 OF 10

SCALE: 1"=20'

FEBRUARY 14, 2020

NO.	2.	PER MUNICIPAL COMMENTS	4/13/2020
	1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE	



THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

FOR REGISTRY USE

NEWBURYPORT PLANNING BOARD

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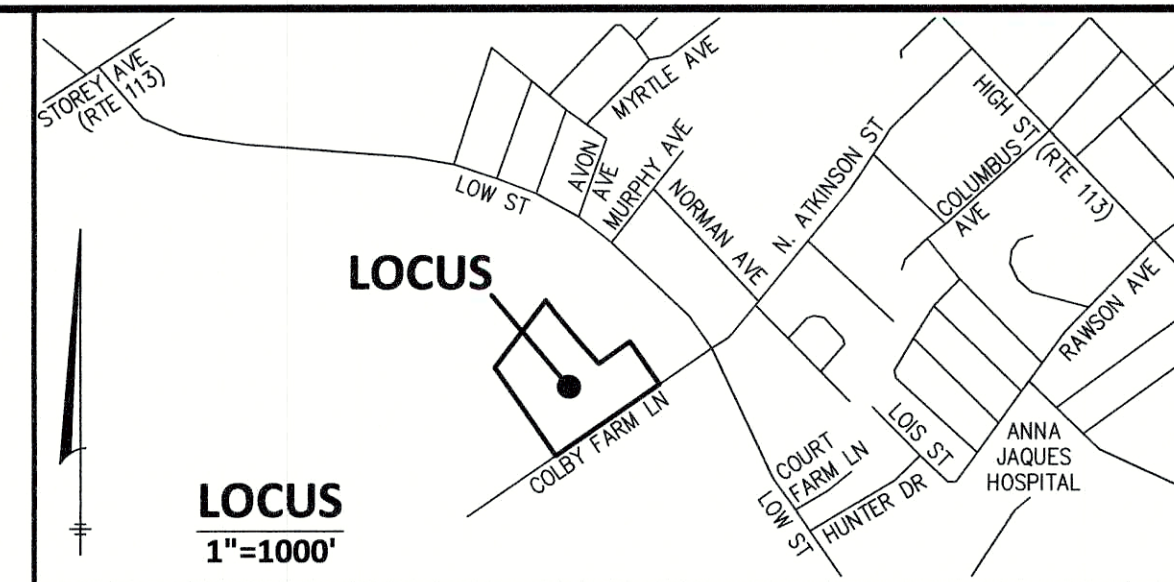
NEWBURYPORT CITY CLERK

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NEWBURYPORT BOARD OF HEALTH

DATE OF APPROVAL: _____



ASSESSORS

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- MAP 98, LOT 27 (10 COLBY FARM LANE)
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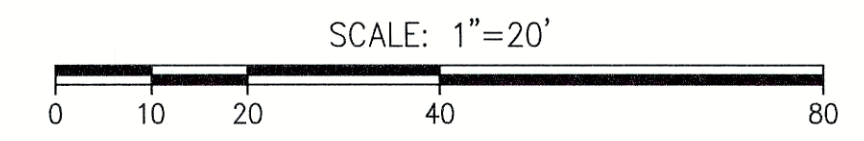
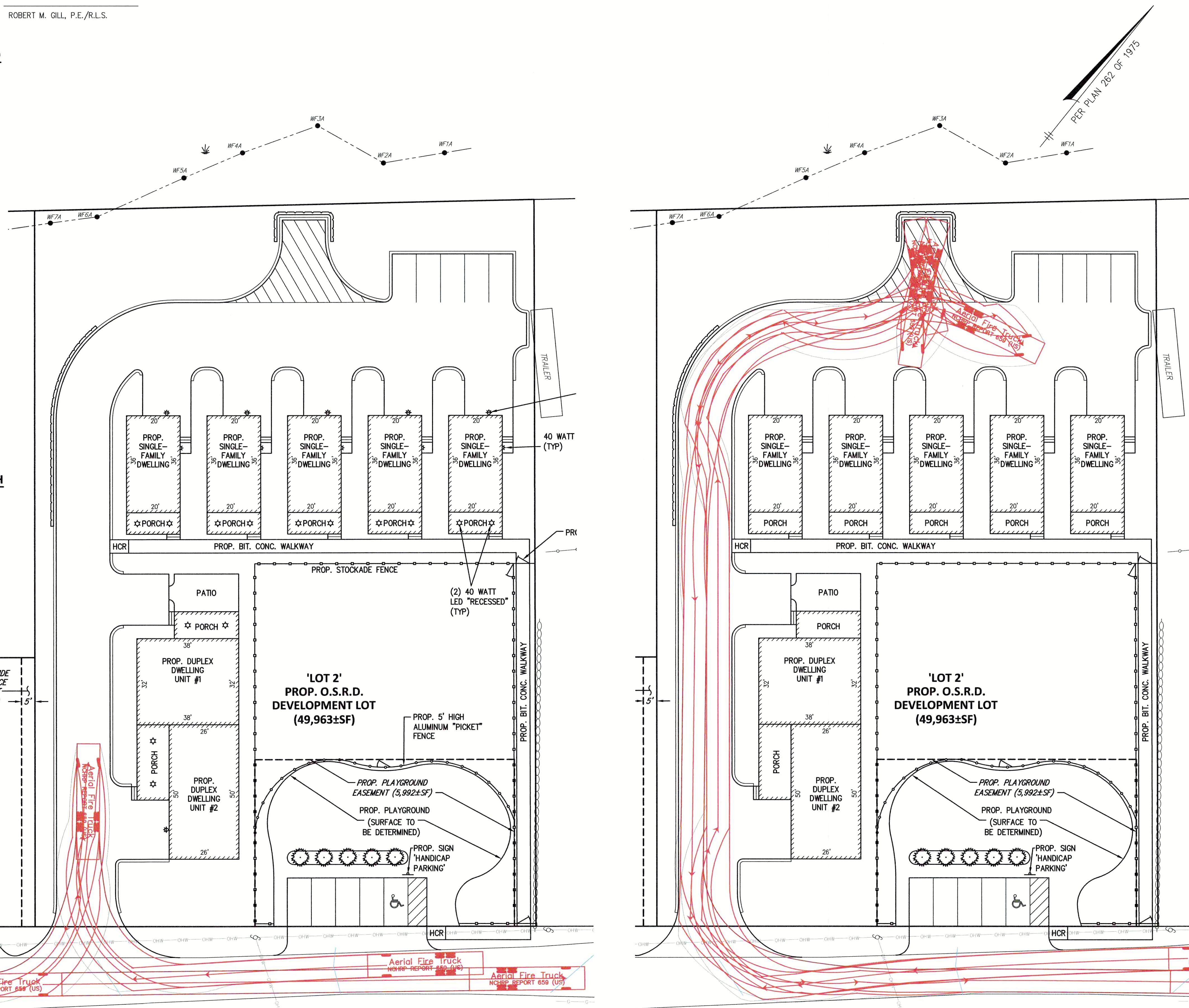
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EMERGENCY VEHICLE SWEEP-PATH ANALYSIS

**8, 10, 12, & 18 COLBY FARM LANE
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: THE DALY GROUP 229 STEDMAN STREET LOWELL, MASSACHUSETTS 01851	PLAN PREPARED BY: LANDPLEX CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-9390 - LANDPLEX.COM
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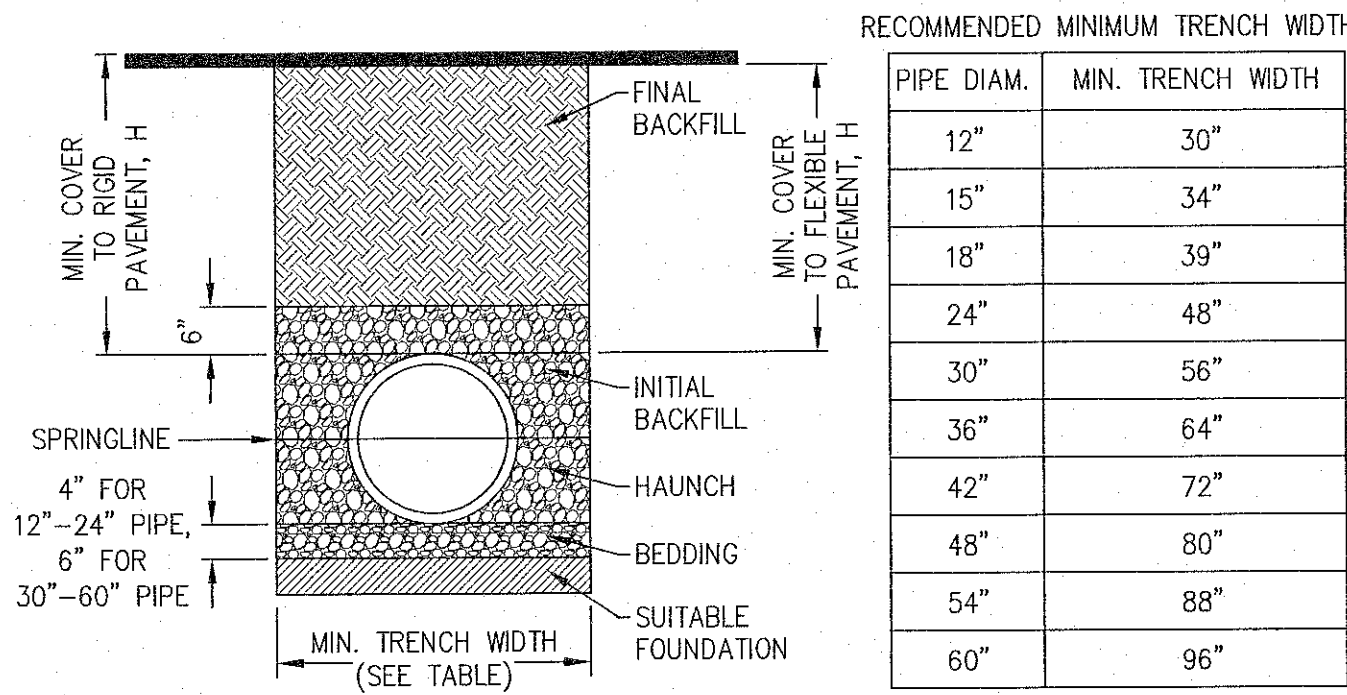
SHEET: 8 OF 10 SCALE: 1"=20' FEBRUARY 14, 2020

	2.	PER MUNICIPAL COMMENTS	4/13/2020
	1.	UPDATE ZONING INFO	2/26/2020
	NO.	REVISION DESCRIPTION	DATE

4-17-2020

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ROBERT M. GILL, P.E./R.L.S.



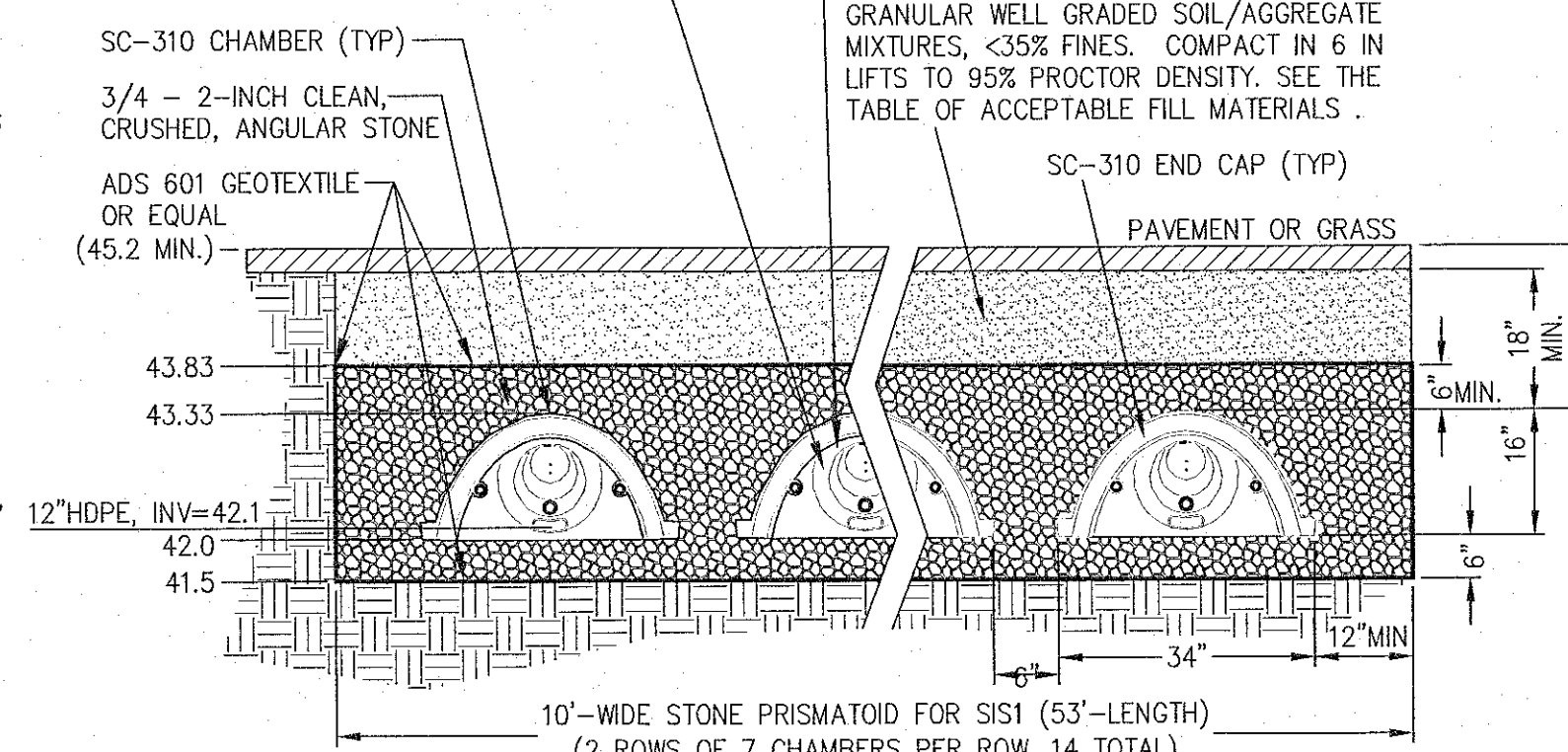
PIPE DIAM.	MIN. TRENCH WIDTH
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

TYPICAL PIPE TRENCH DETAIL
CROSS SECTION NOT TO SCALE

- NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL WHEN REQUIRED.
 - FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 12"-24", 6" FOR 30"-60".
 - INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 - MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 36" MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.

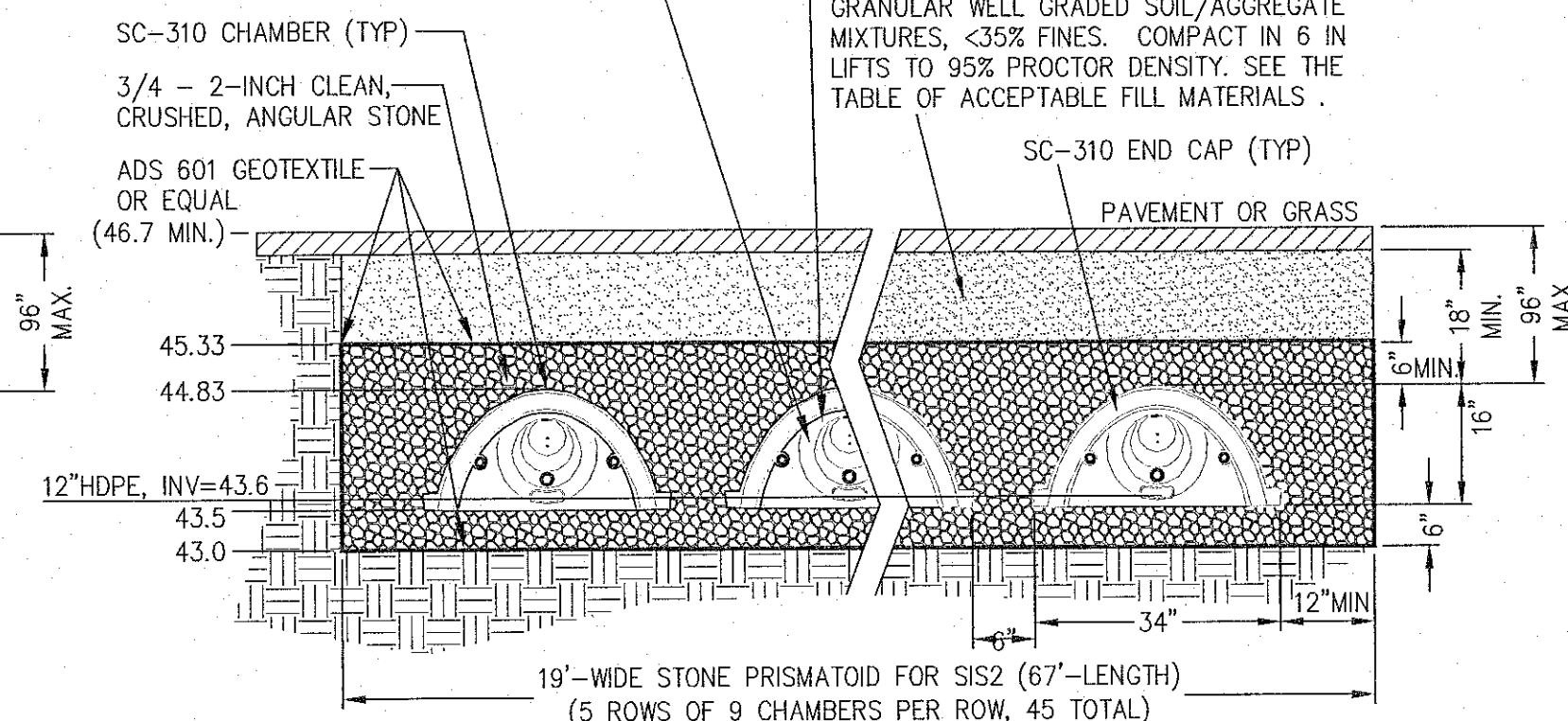
CHAMBERS SHALL MEET ASTM F 2418-05 STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.



SUB-SURFACE INFILTRATION SYSTEM 1 (SIS1)
(STORMTECH SC-310 OR APPROVED EQUAL)
CROSS SECTION NOT TO SCALE

THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.

CHAMBERS SHALL MEET ASTM F 2418-05 STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.



SUB-SURFACE INFILTRATION SYSTEM 2 (SIS2)
(STORMTECH SC-310 OR APPROVED EQUAL)
CROSS SECTION NOT TO SCALE

NEWBURYPORT PLANNING BOARD

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

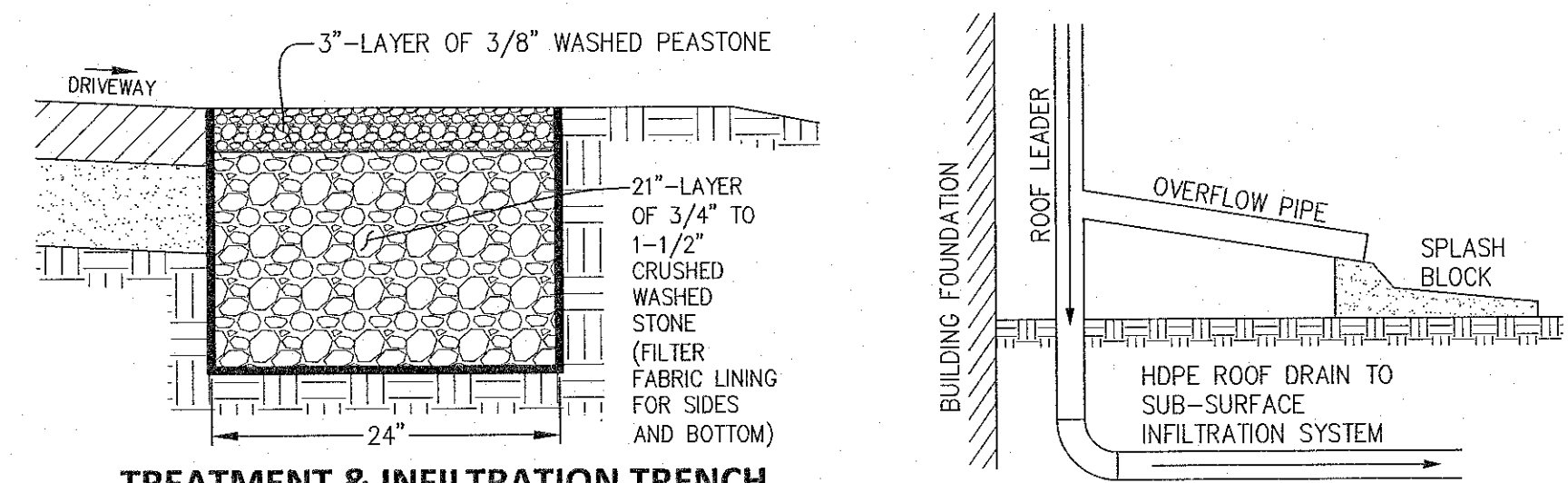
- SIGNATURE _____ DATE _____
- SIGNATURE _____ DATE _____
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- SIGNATURE _____ DATE _____

NEWBURYPORT CITY CLERK

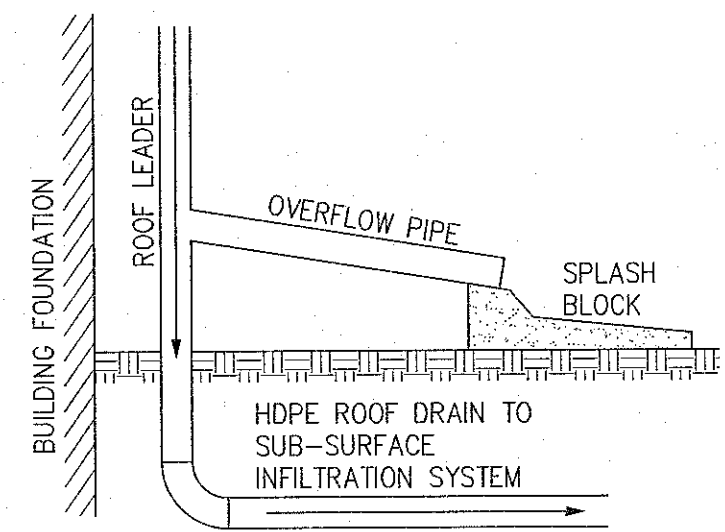
NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

NEWBURYPORT BOARD OF HEALTH

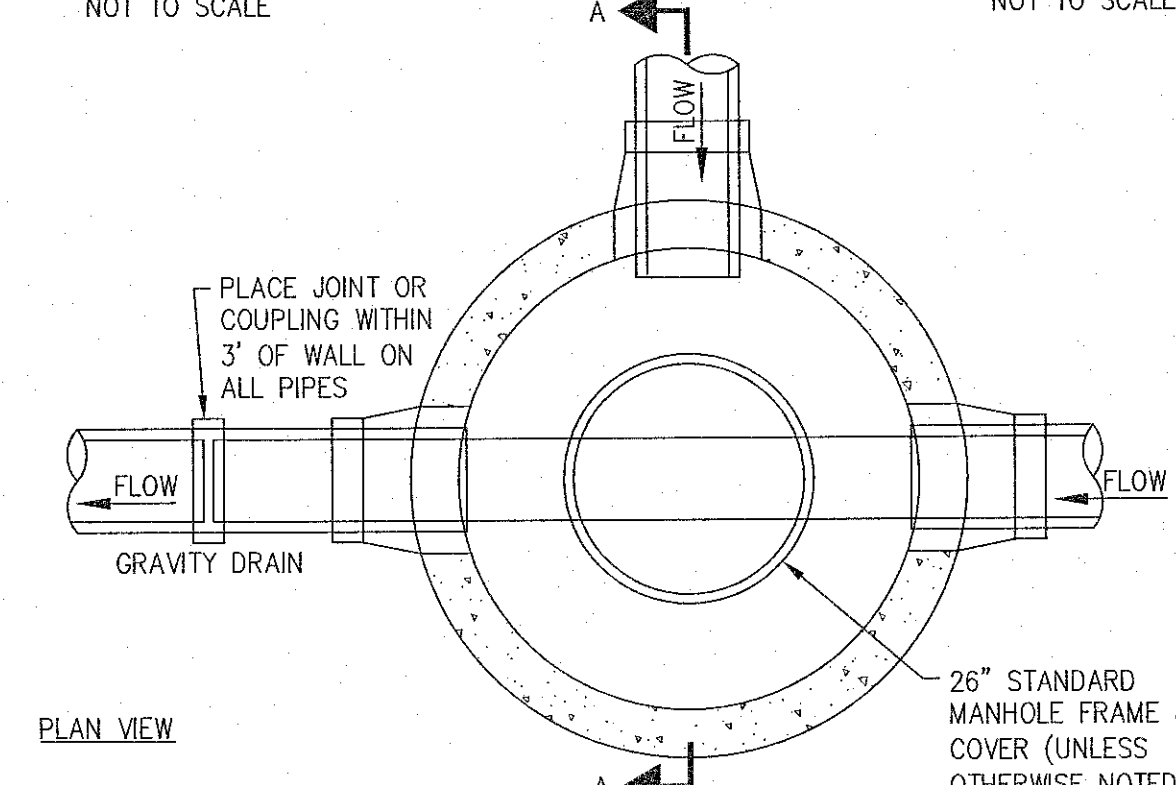
DATE OF APPROVAL: _____



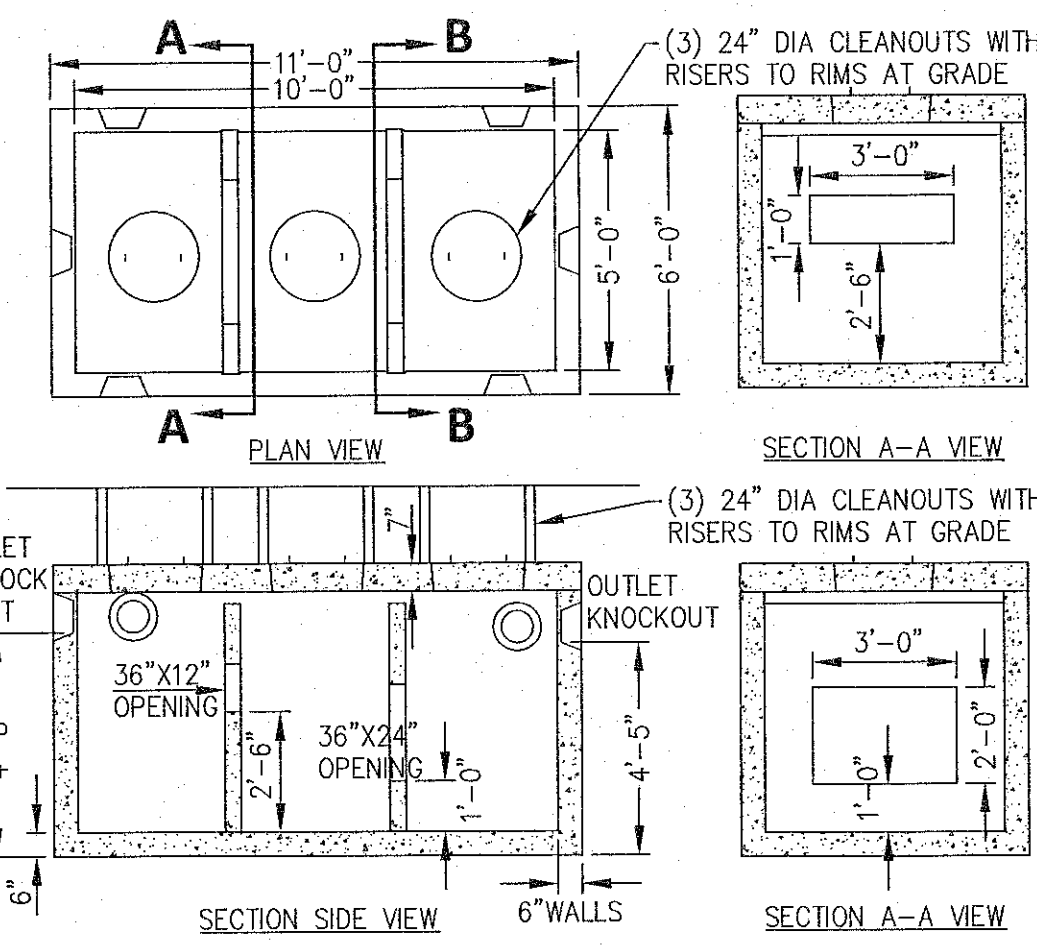
TREATMENT & INFILTRATION TRENCH CROSS SECTION
NOT TO SCALE



ROOF DRAIN DETAIL
NOT TO SCALE



PLAN VIEW

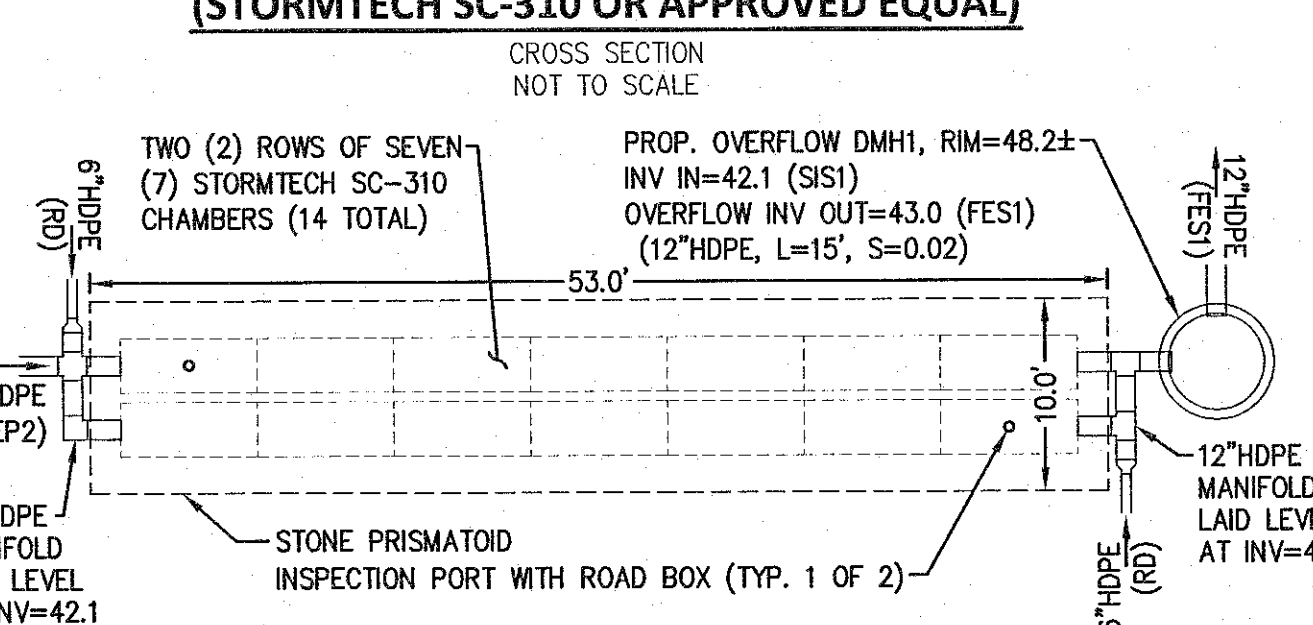


SECTION A-A VIEW

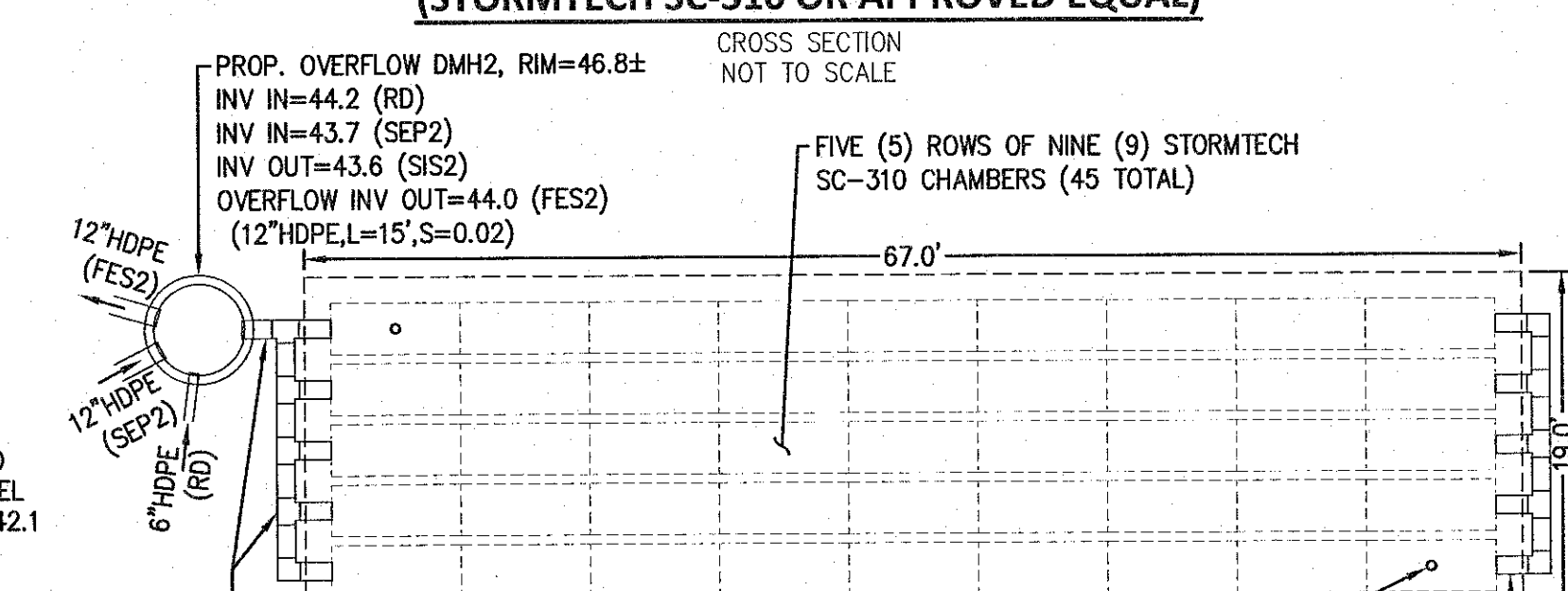
- NOTES:**
- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 - DESIGNED FOR H-20 LOADING.
 - TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 - SHEA CONCRETE ITEM TK-M1500CSEP OR APPROVED EQUAL FOR SEPARATORS WITH PIPE INLETS, OR SHEA CONCRETE ITEM TK-1500CSEP OR APPROVED EQUAL FOR SEPARATORS WITH CATCH BASIN INLETS.

SEDIMENT & OIL SEPARATOR 1500 GALLON TANK

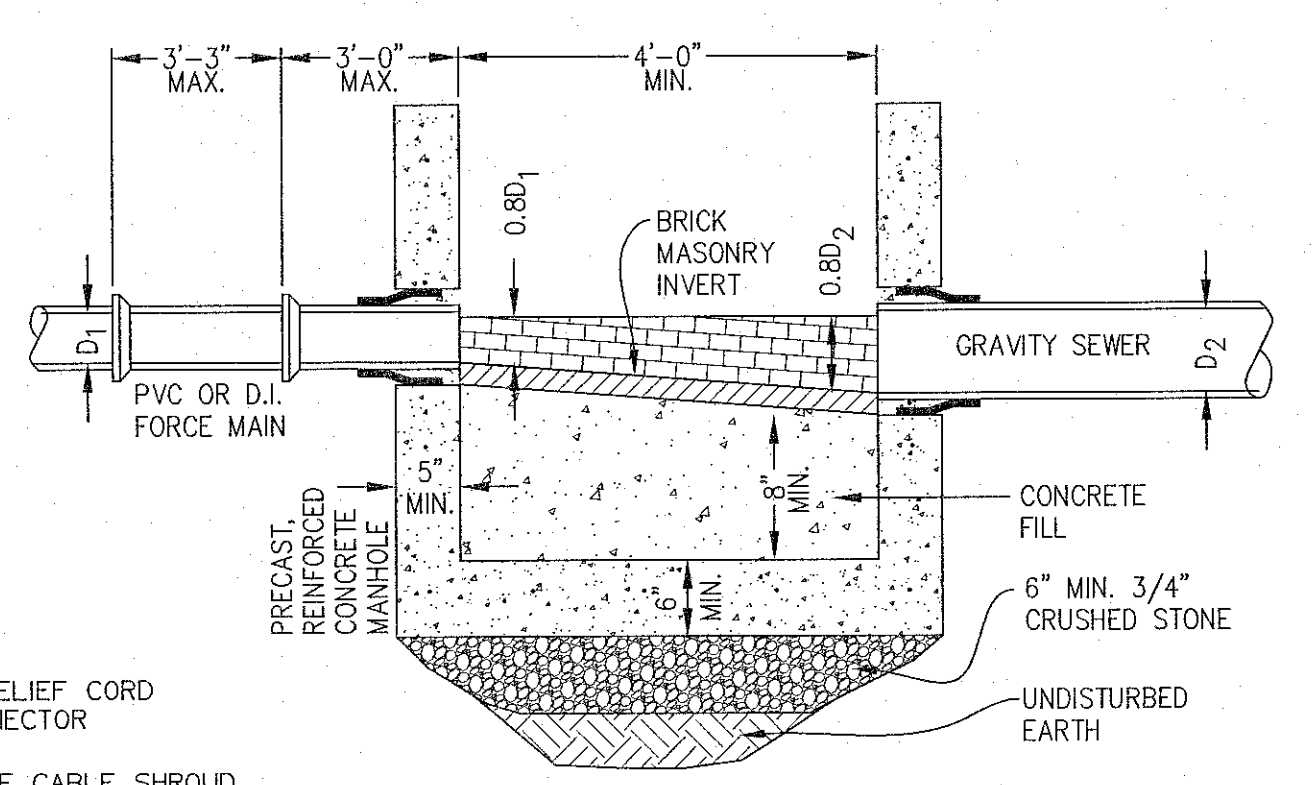
TYPICAL SCALE: 1"=4'



SUB-SURFACE INFILTRATION SYSTEM 1 (SIS1)
PLAN VIEW SCALE: 1"=10'



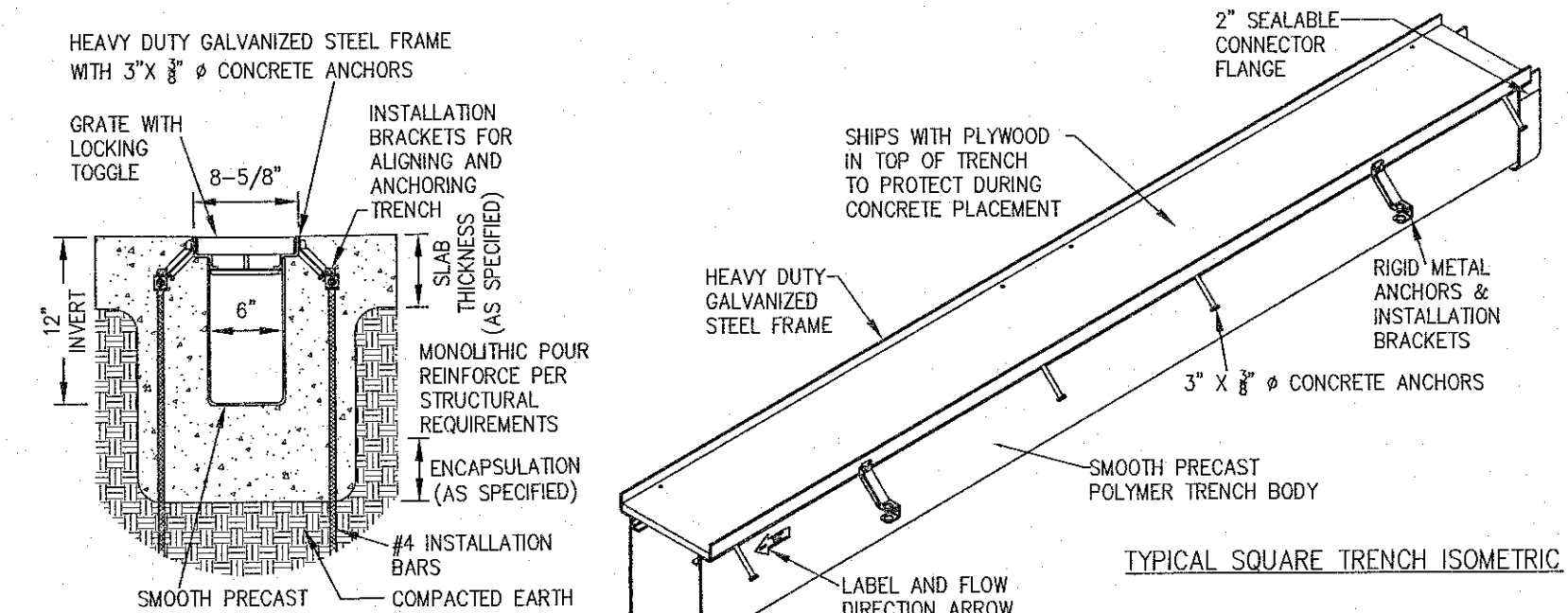
SUB-SURFACE INFILTRATION SYSTEM 2 (SIS2)
PLAN VIEW SCALE: 1"=10'



FORCE MAIN MANHOLE

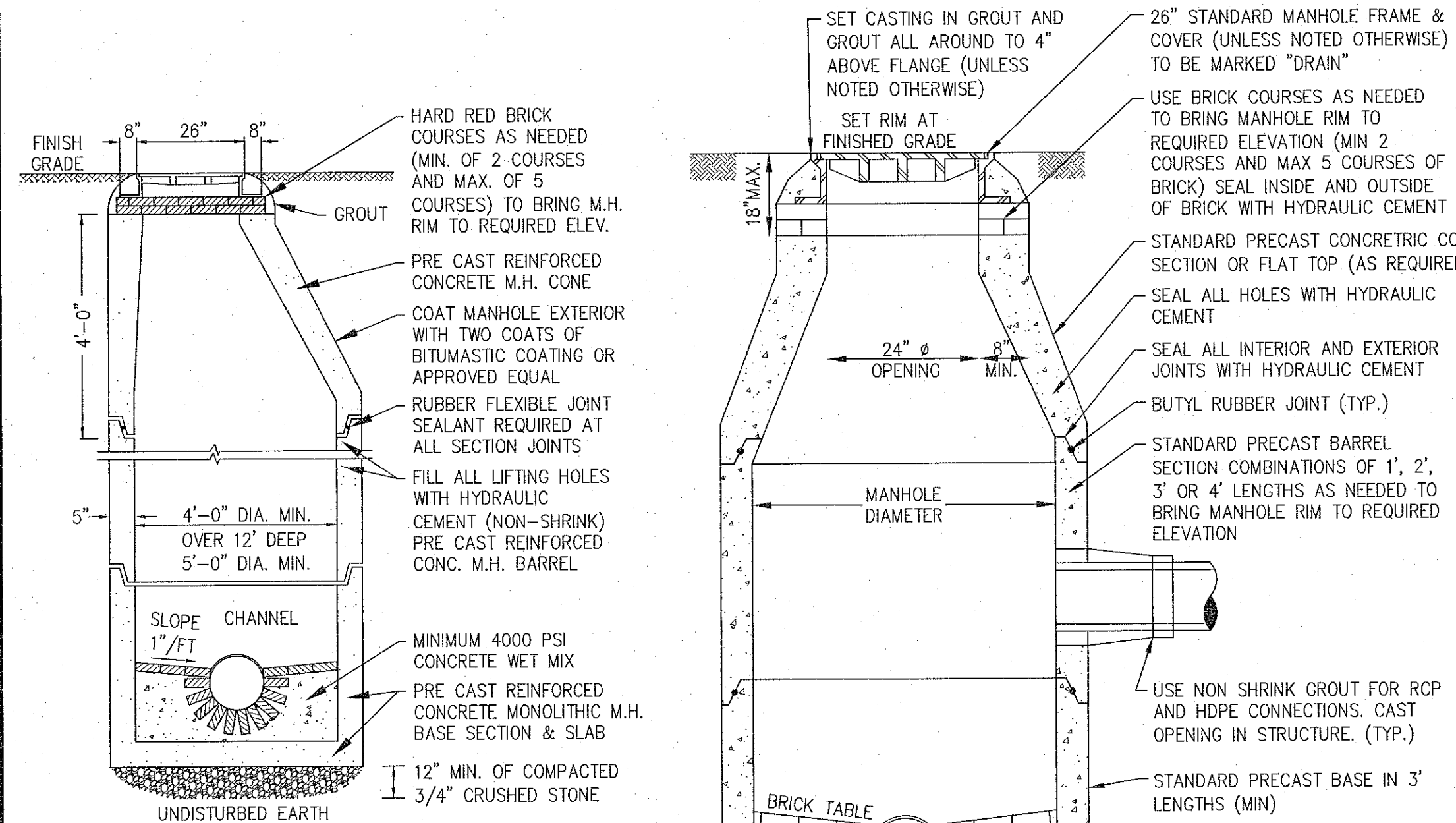
CROSS SECTION NOT TO SCALE

NOTE: CONTRACTOR TO CONFIRM WITH SEWER DIVISION ON PREFERRED FORCE MAIN TO MANHOLE METHOD.

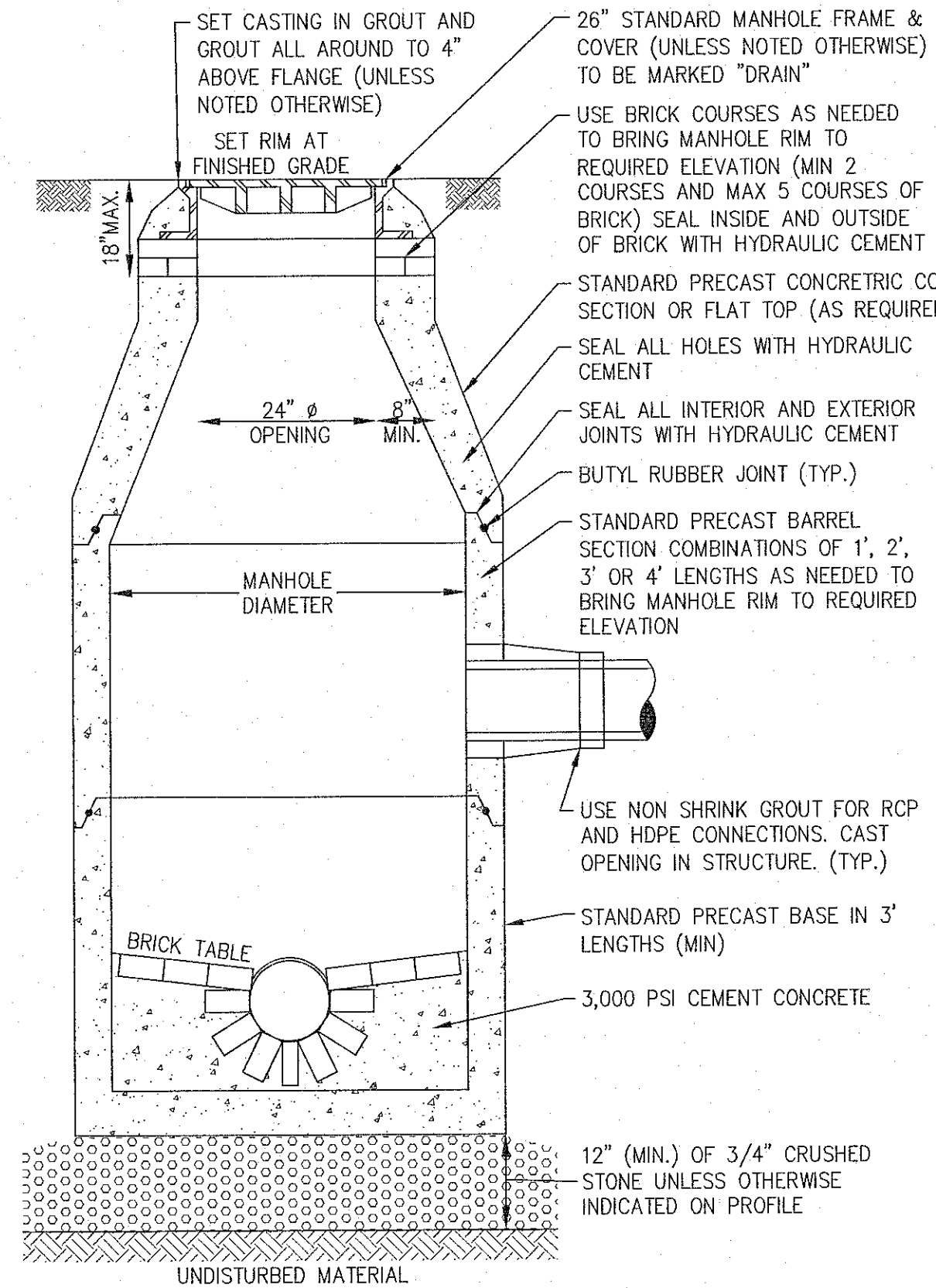


PRE-FABRICATED 6" MIN.-WIDE TRENCH DRAIN DETAIL (DURA TRENCH OR APPROVED EQUAL)

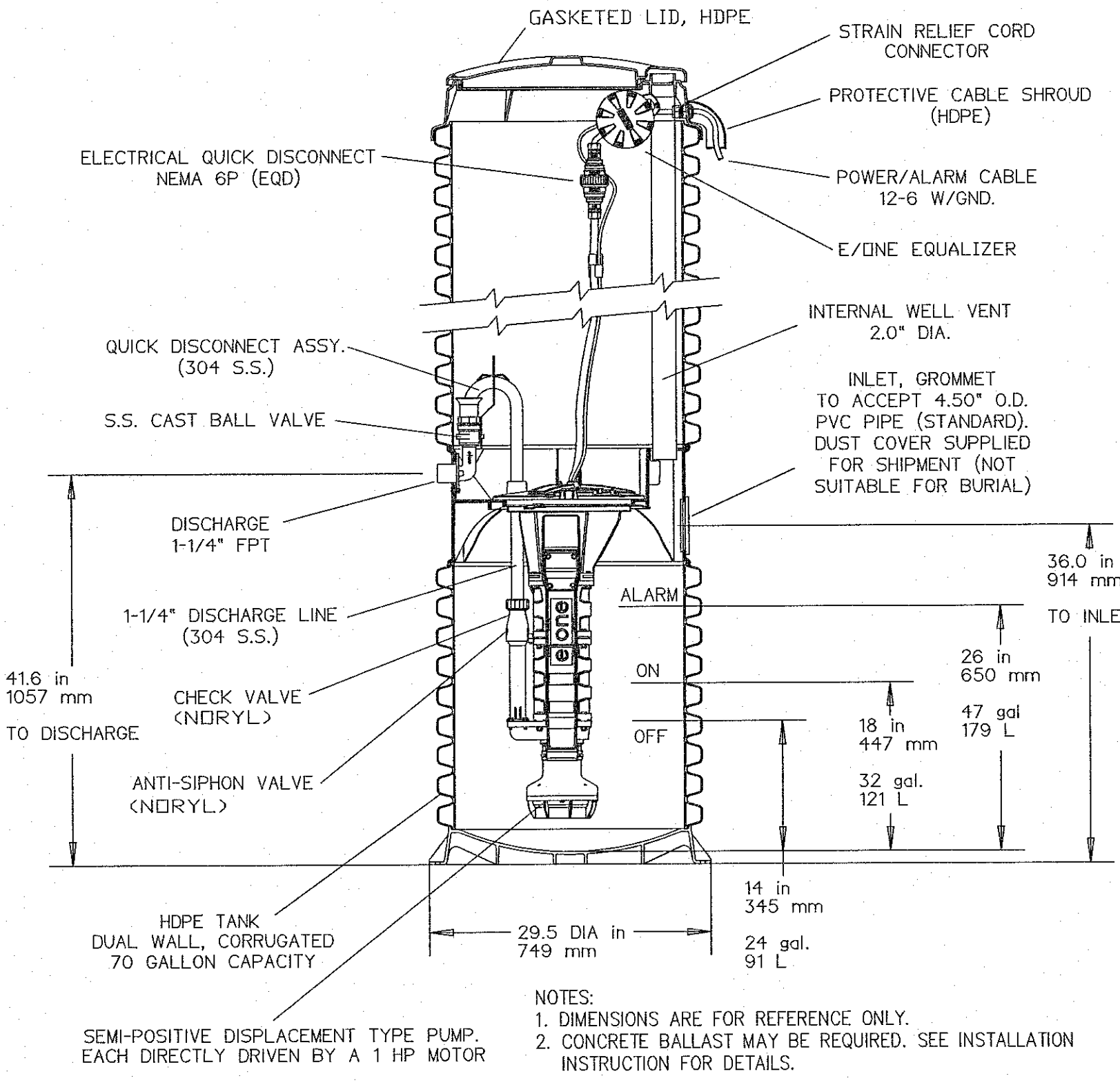
NOT TO SCALE



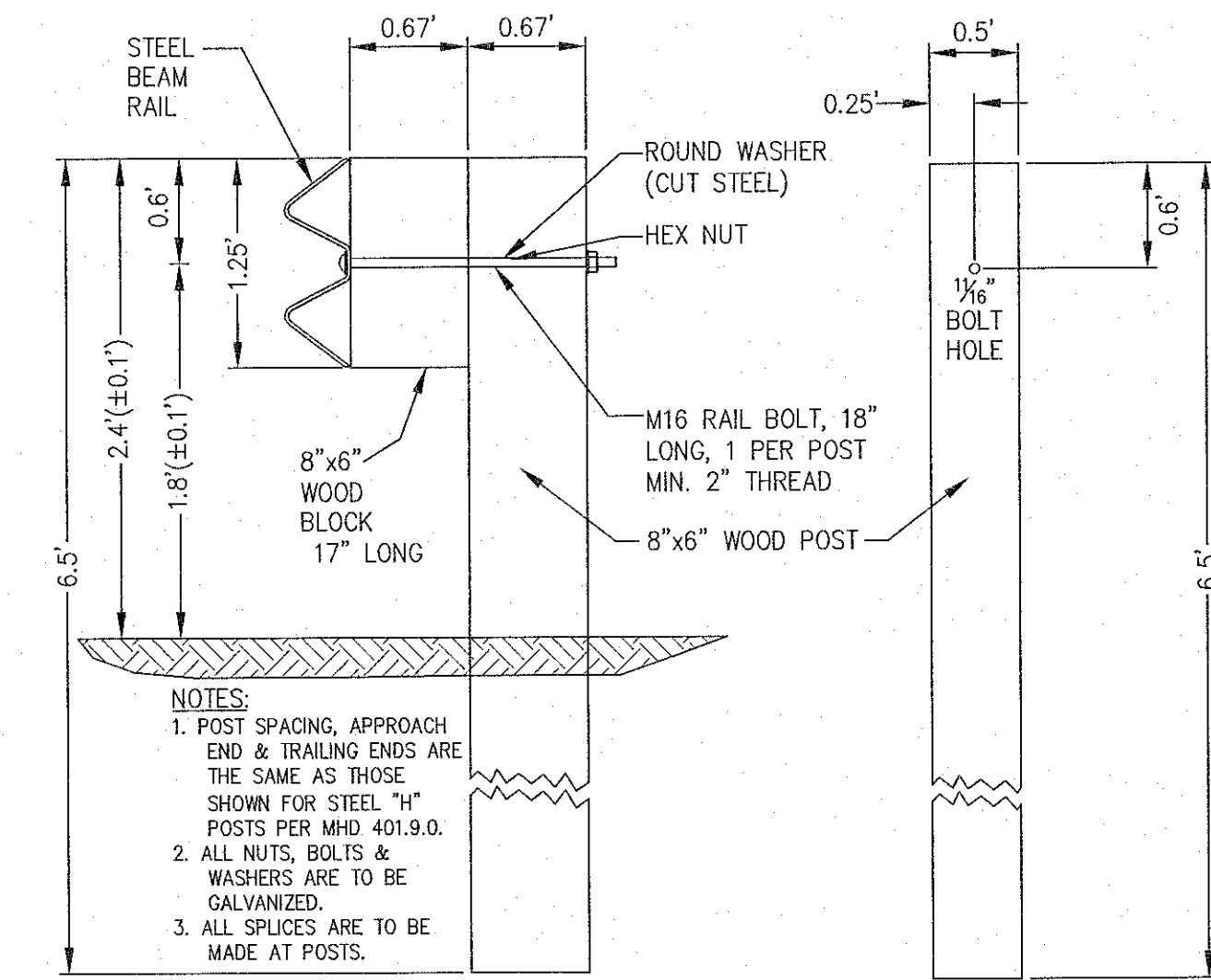
TYPICAL SEWER MANHOLE DETAIL
CROSS SECTION NOT TO SCALE



DRAIN MANHOLE DETAIL
NOT TO SCALE



E-ONE GRINDER PUMP - MODEL DH071
CROSS SECTION NOT TO SCALE



GUARDRAIL DETAIL
NOT TO SCALE

DETAILS

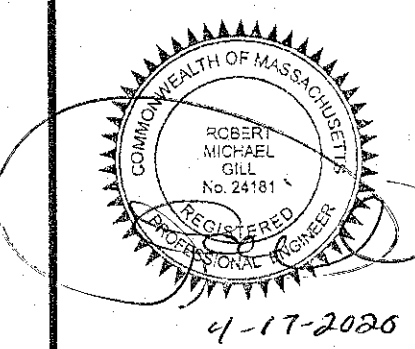
8, 10, 12, & 18 COLBY FARM LANE
NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:
THE DALY GROUP
229 STEDMAN STREET
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY:
LANDPLEX
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 208
LOWELL, MASSACHUSETTS 01852
978-201-9390 - LANDPLEX.COM

SHEET: 9 OF 10 SCALE: 1"=40' FEBRUARY 14, 2020

NO.	REVISION DESCRIPTION	DATE
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE



THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

FOR REGISTRY USE
NEWBURYPORT PLANNING BOARD
 NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

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SIGNATURE _____ DATE _____

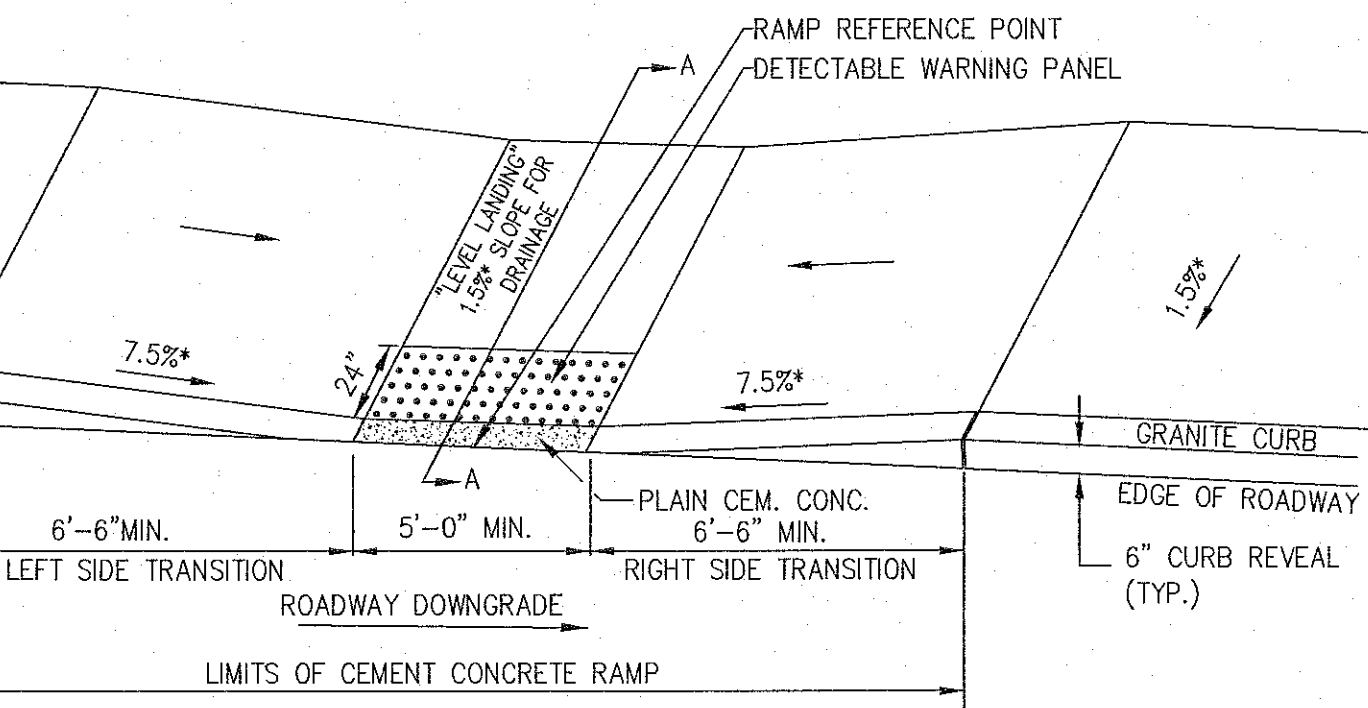
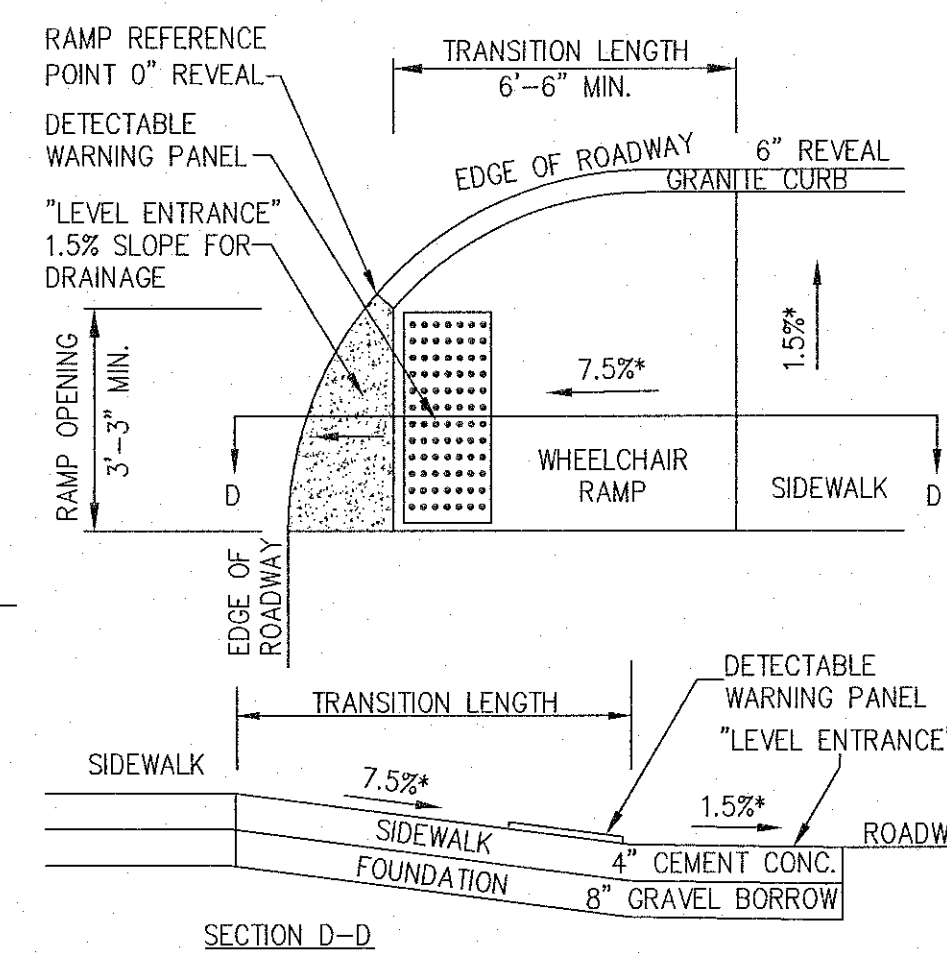
NEWBURYPORT CITY CLERK

NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE _____ DATE _____

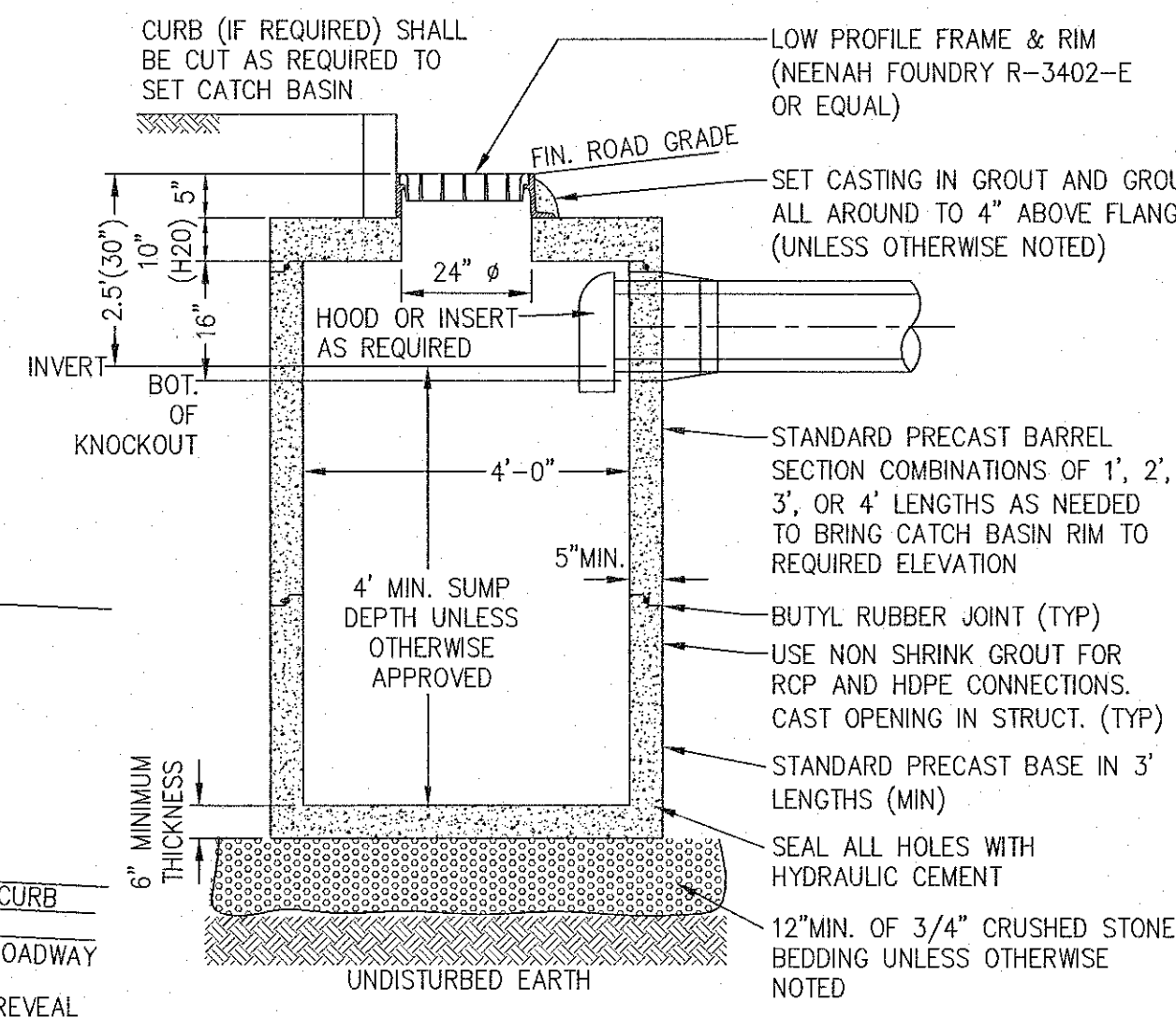
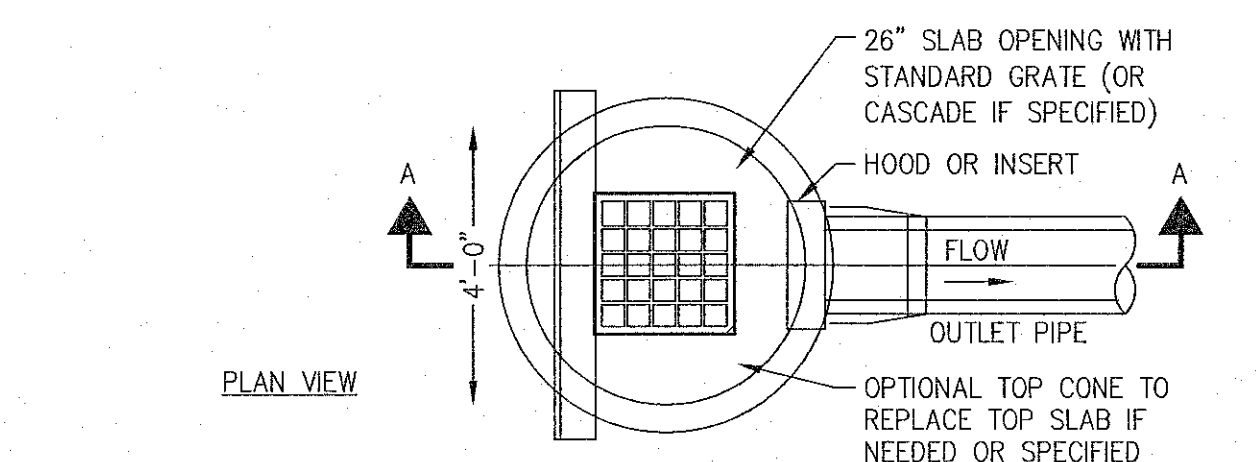
NEWBURYPORT BOARD OF HEALTH

DATE OF APPROVAL: _____

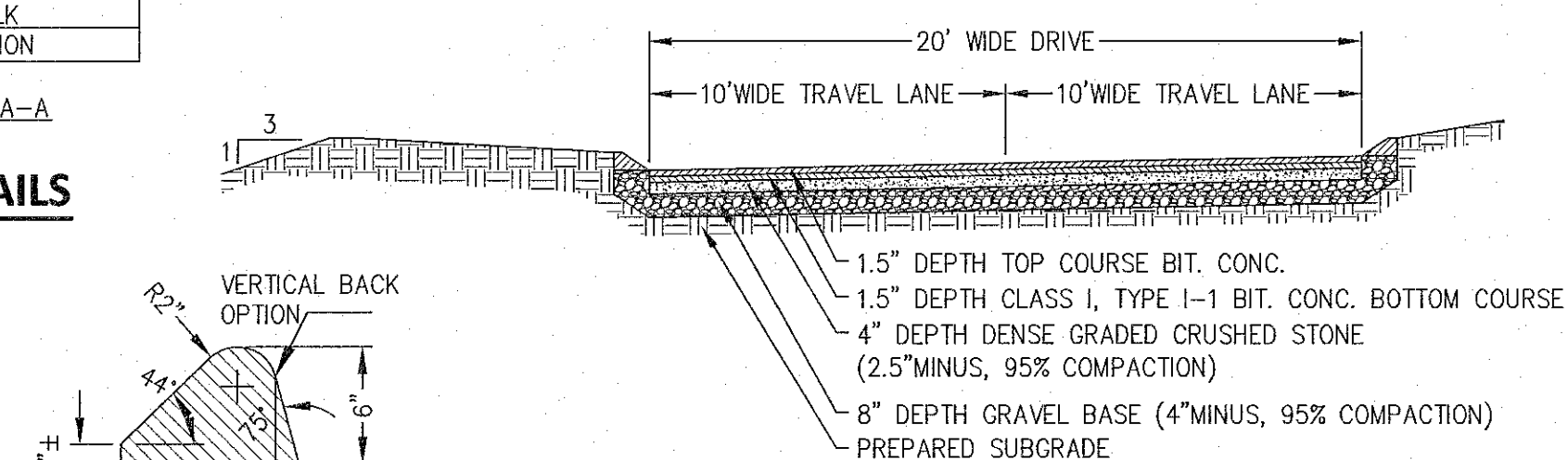


LEGEND:
 HSL = HIGH SIDE TRANSITION LENGTH
 W = SIDEWALK WIDTH
 Wc = CURB WIDTH
 * = TOLERANCE FOR CONSTRUCTION ±0.5%
 W-Wc = USABLE SIDEWALK WIDTH PER AAB
 USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0"

WHEEL CHAIR RAMP DETAILS
 NOT TO SCALE



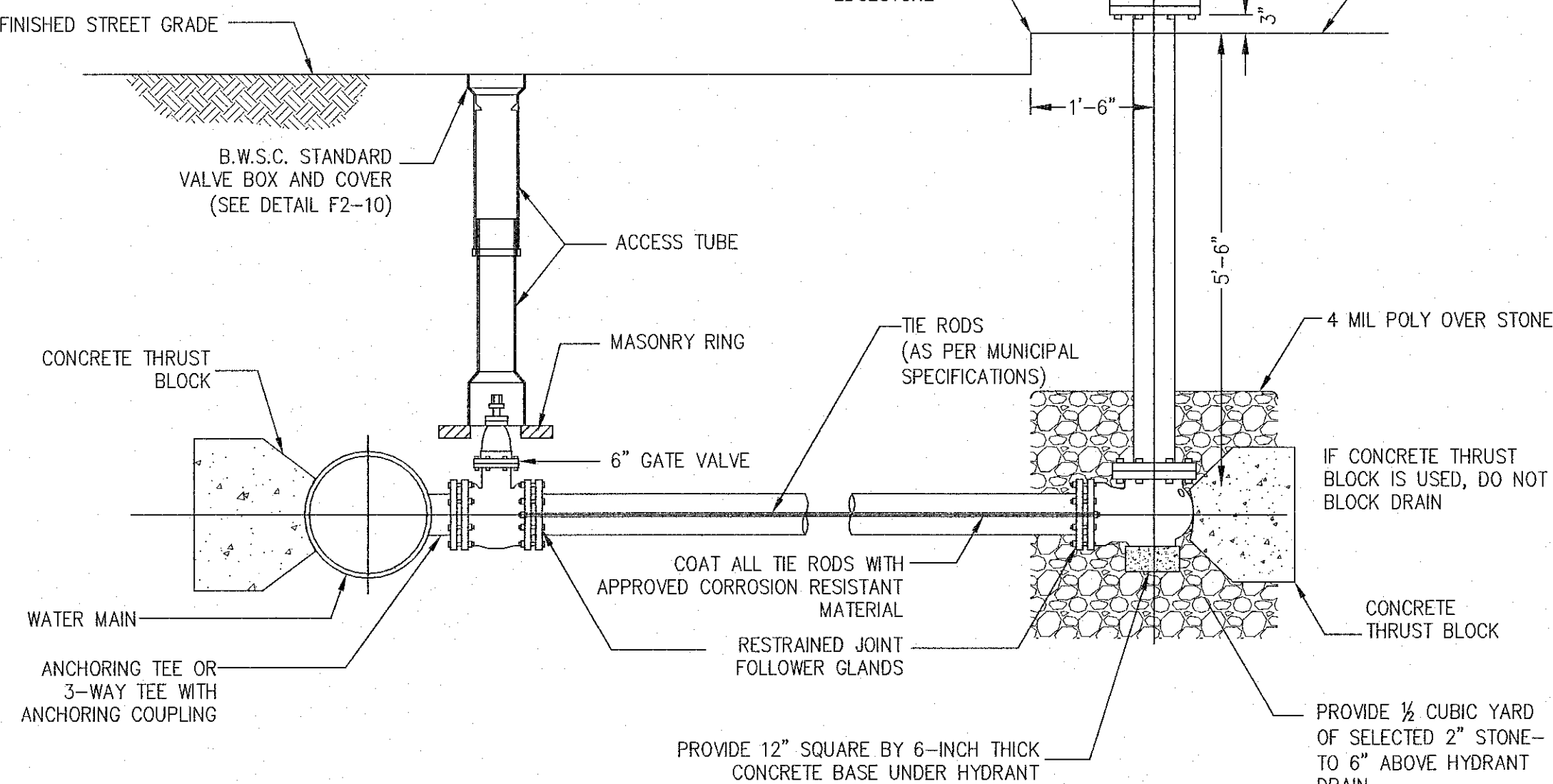
SINGLE GRATE CATCH BASIN (LOW PROFILE)
 NOT TO SCALE



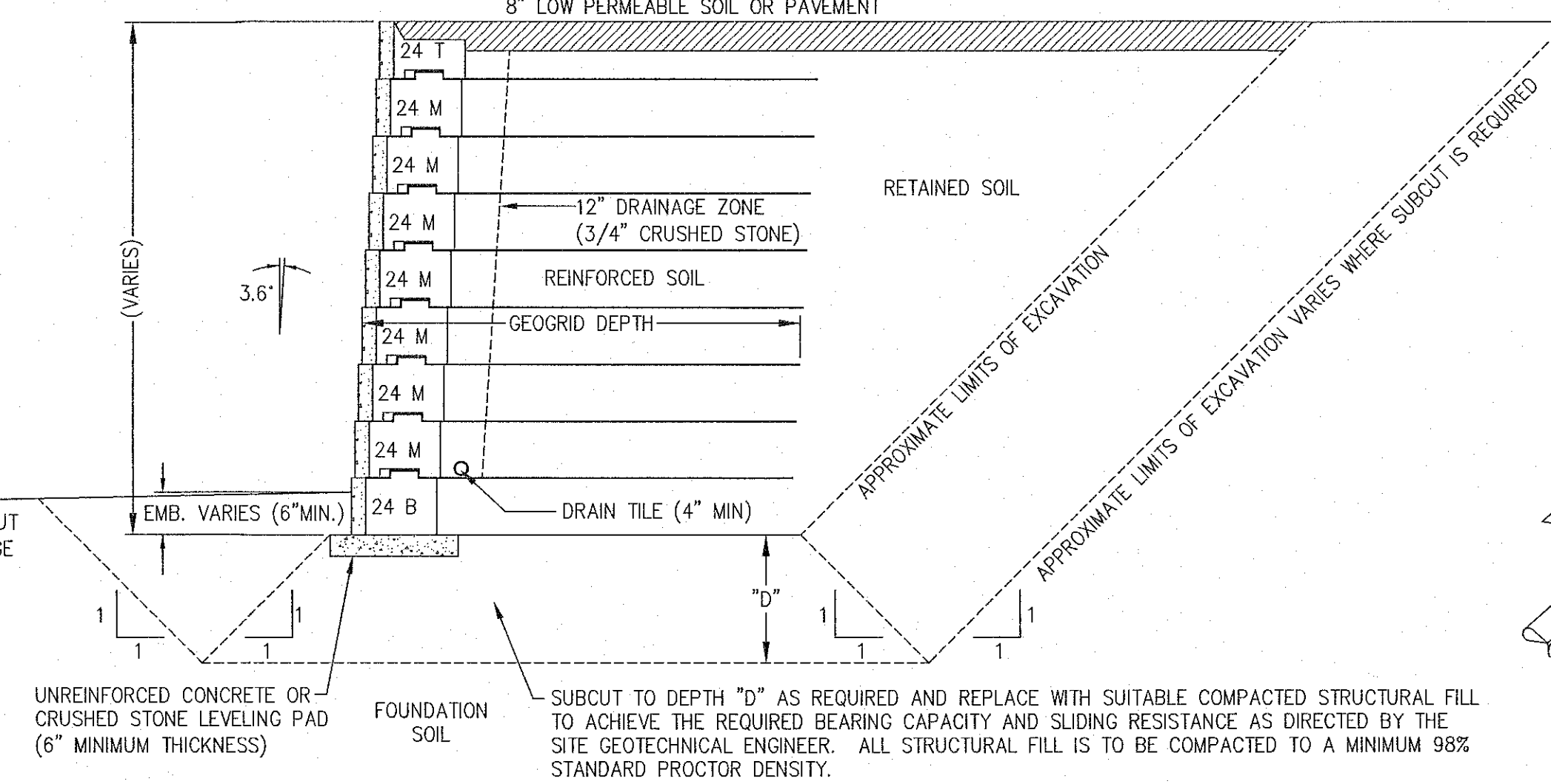
TYPICAL DRIVE CROSS-SECTION
 NOT TO SCALE

CAPE COD BERM DETAIL
 CROSS SECTION NOT TO SCALE

- NOTES:
 1. ANY DEVIATIONS OF THIS TYPICAL CONNECTION TO MEET FIELD CONDITIONS SHALL BE APPROVED BY THE ENGINEER.
 2. USE RESTRAINED JOINT FOLLOWER GLANDS, OR THE RODS IN ACCORDANCE WITH SECTION C-1 OF BWSG SPECIFICATIONS, WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE TO THE ENGINEER.
 3. CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH AND WHERE APPROVED BY THE ENGINEER.
 4. SIZE OF BLOCK OR FITTING TO BE DESIGNED FOR SPECIFIC CONDITIONS, OR ANY NECESSARY BENDS.

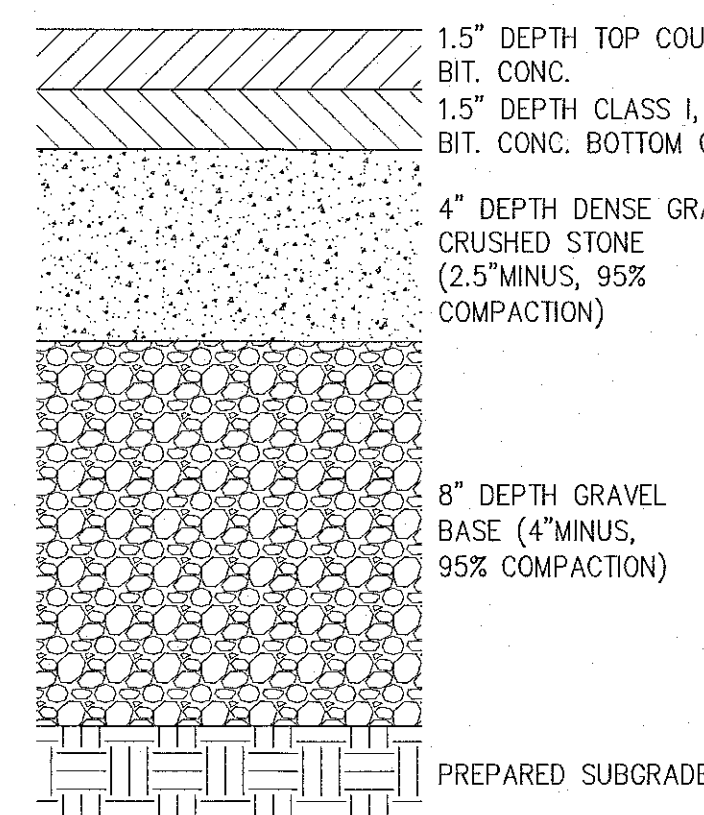


TYPICAL FIRE HYDRANT CONNECTION
 CROSS SECTION NOT TO SCALE

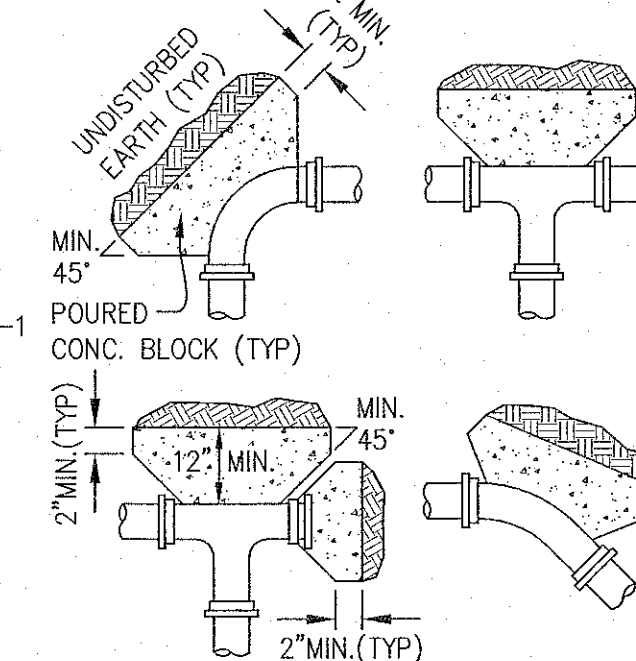


TYPICAL GEO-GRID WALL CROSS SECTION
 NOT TO SCALE

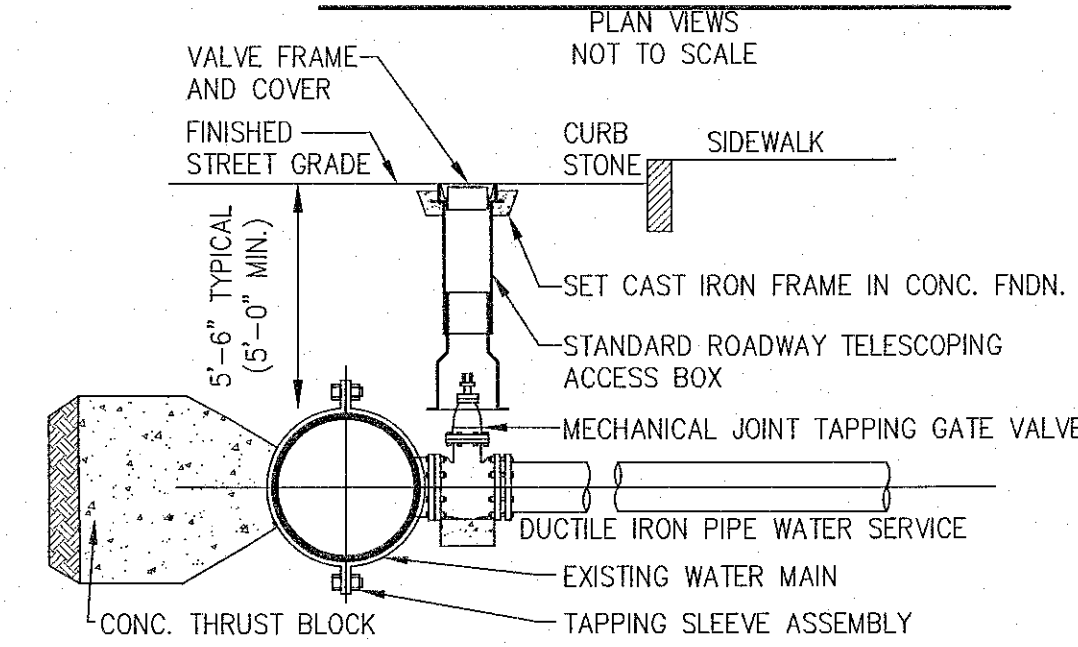
NOTE: DESIGN IS FOR INTERNAL STABILITY OF THE WALL STRUCTURE ONLY (E.F. SHEA OR EQUIVALENT). EXTERNAL STABILITY, INCLUDING BUT NOT LIMITED TO FOUNDATION AND SLOPE STABILITY IS THE RESPONSIBILITY OF THE OWNER. THE DESIGN IS BASED ON THE ASSUMPTION THAT THE MATERIALS WITHIN THE RETAINED MASS, METHODS OF CONSTRUCTION, AND QUALITY OF MATERIALS CONFORM TO E.F. SHEA'S (OR EQUIVALENT) SPECIFICATION FOR THIS PROJECT.



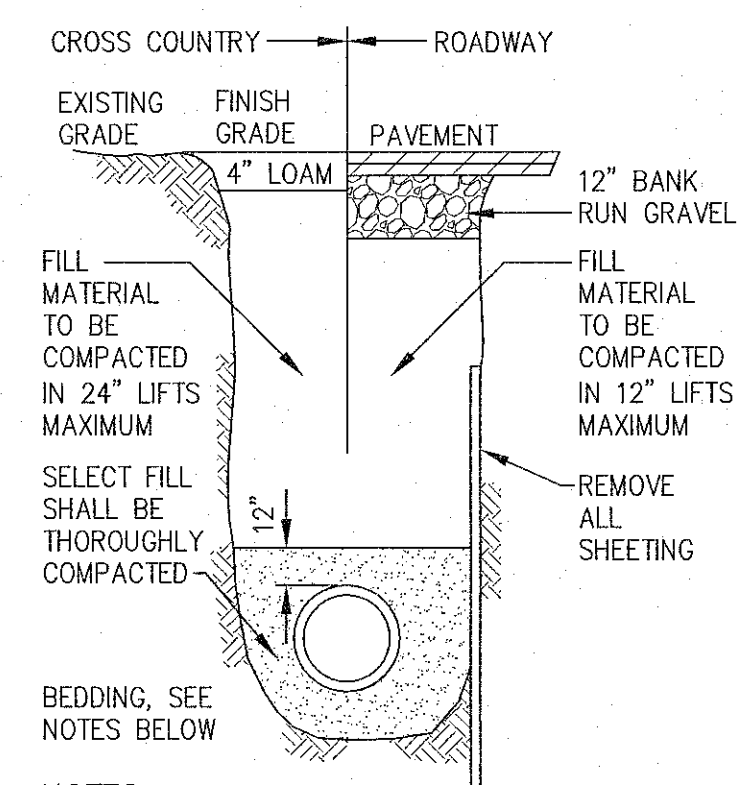
TYPICAL BIT. CONC. PAVEMENT
 CROSS SECTION NOT TO SCALE



TYPICAL THRUST BLOCK DETAIL
 PLAN VIEWS NOT TO SCALE

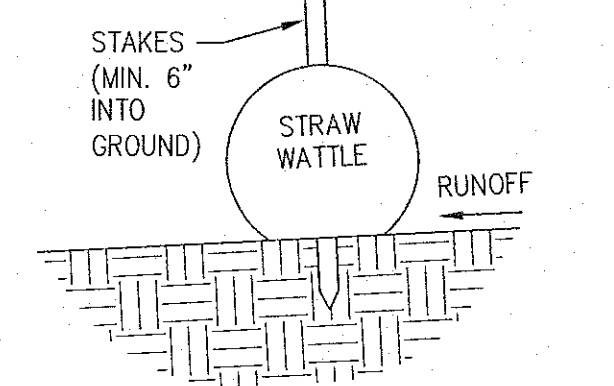


TAPPING SLEEVE DETAIL
 CROSS SECTION NOT TO SCALE

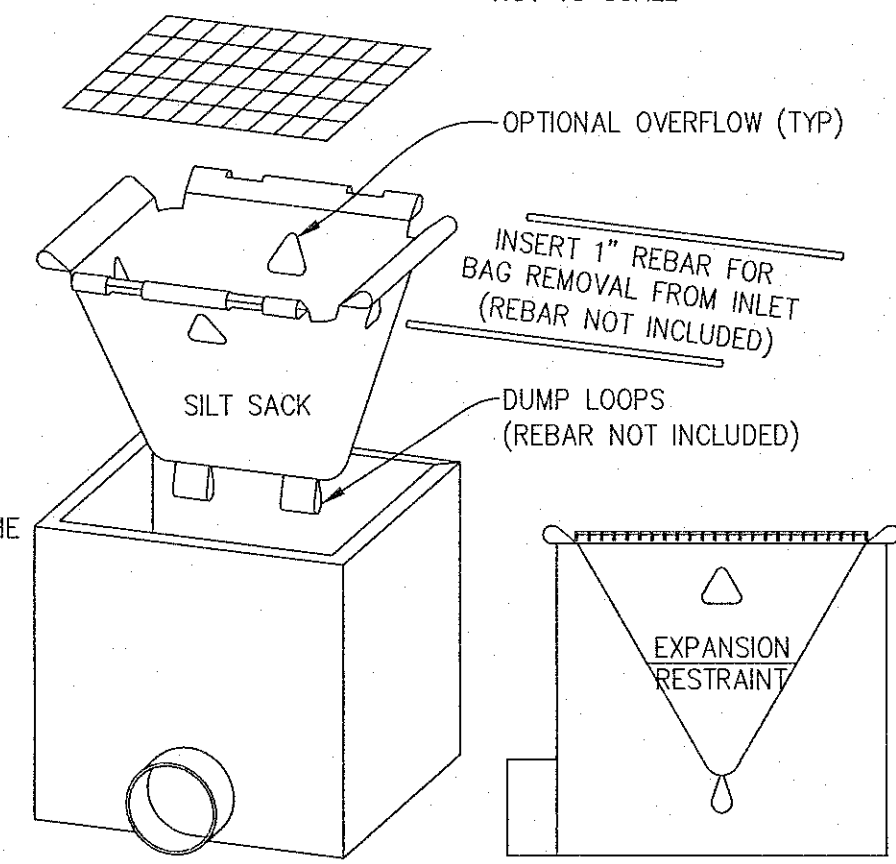


- NOTES:
 1. 5'-0" MINIMUM COVER.
 2. MUNICIPALITY MAY REQUIRE FLOWABLE FILL AT ITS DISCRETION.
 3. FOR LOCATIONS WHERE LEDGE IS NOT ENCOUNTERED IN TRENCH, PIPE CAN LAY ON UNDISTURBED EARTH, OR ON SAND BEDDING CONSISTENT WITH AWWA GUIDELINES.
 4. FOR LOCATIONS WHERE LEDGE IS ENCOUNTERED, SAND BEDDING SHALL BE MINIMUM OF 12" THICK UNDER PIPE.
 5. FILL MATERIAL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.

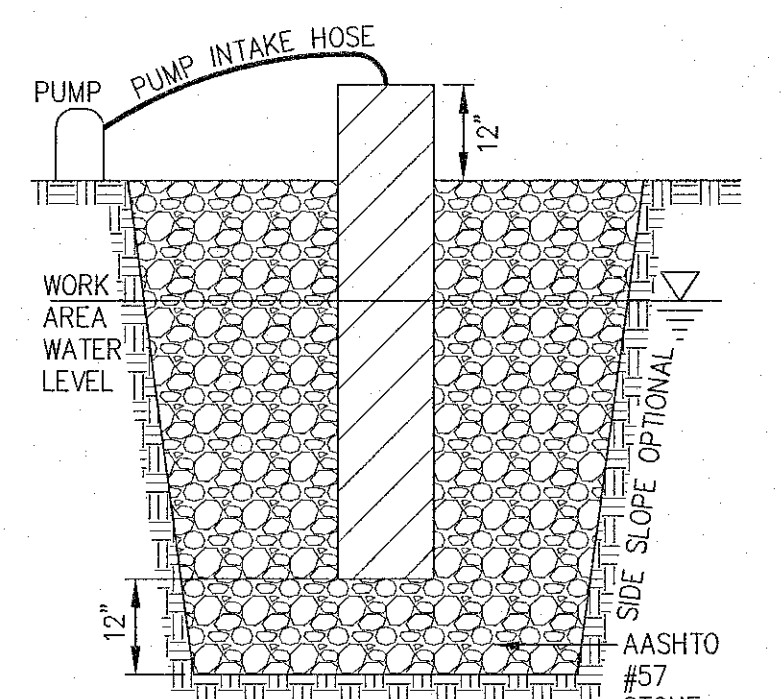
WATER MAIN TRENCH DETAIL
 CROSS SECTION NOT TO SCALE



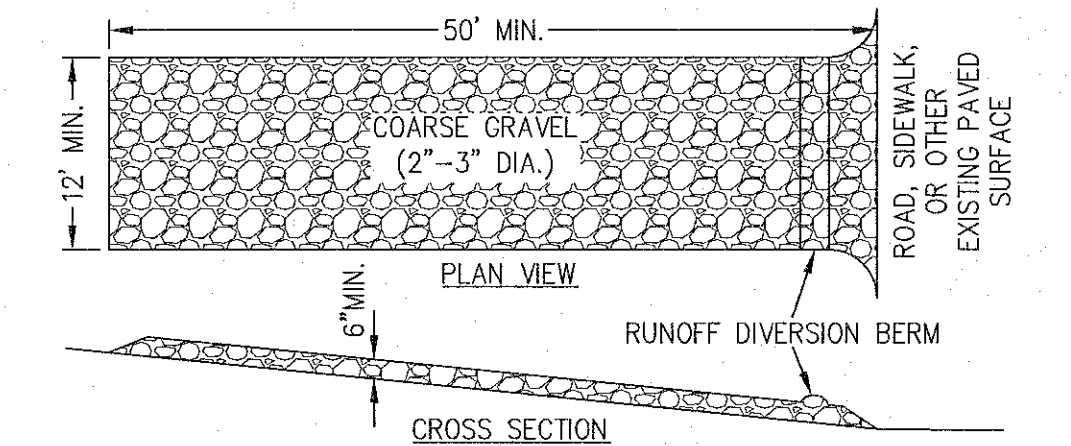
STRAW WATTLE EROSION CONTROL DETAIL
 CROSS SECTION NOT TO SCALE



SILT SACK DETAIL
 NOT TO SCALE



DEWATERING PUMP & SUMP DETAIL
 CROSS SECTION NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE
 CROSS SECTION NOT TO SCALE

DETAILS

8, 10, 12, & 18 COLBY FARM LANE
 NEWBURYPORT, MASSACHUSETTS

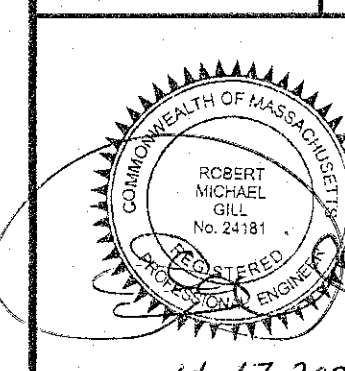
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SHEET: 10 OF 10

SCALE: 1" = 40'

FEBRUARY 14, 2020



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4-17-2020