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April 26, 2018

Sarah White, Chair
Historic Commission
City of Newburyport
60 Pleasant Street
Newburyport MA 01950

RE: 15 Eagle Street, Newburyport (the "Property")

Dear Chair and Members of the Board:

Reference is made to the above captioned matter. In that connection, this firm represents Jennifer and Michael Pilz ("Applicants") in their application for a release from a demolition delay review by the Commission. As you are aware, the Applicant has appeared before the Commission in the past. Based upon the feedback from the Commission and taking into consideration comments from others, the Applicant has redesigned its proposed renovation of the structure on the Property.

As you are aware, I did not represent the Applicant at the prior meetings of the Commission, however I have reviewed the Commission minutes and spoken with members of the applicant's consultants. To that end, we believe that the proposed revisions reflect the suggested changes and address the concerns expressed at that meeting.

You will note the following:

1. A majority of the renovation takes place in the rear of the Property. We have provided a rendering to show the street scape of the proposed renovated structure.
2. The shed dormers have been replaced with "Nantucket" style dormers thereby reducing the impact on the roof of the original structure.
3. There are dormers on both sides of the main structure to balance out the presentation.
4. The rear addition is now a flat room thereby reducing its profile and impact on the main structure.
5. The Southerly side of the rear structure is in line with the original structure and does not extend further into the Southerly side of the lot than the existing structure.
6. There is a chimney and fireplace now shown with brick facing.
7. The addition will be completed with wood clapboard siding and 2 over 2 windows to match the style of the existing structure.

Millis Office

730 Main Street, Suite 1F
Millis, MA 02054
Phone 508.376.8400

Based upon the foregoing, the Applicant requests that the Commission approve the plan and release the delay to allow construction as proposed.

Respectfully submitted
Michael and Jennifer Pilz
By their attorney,

 Lisa L. Mead

cc: Clients

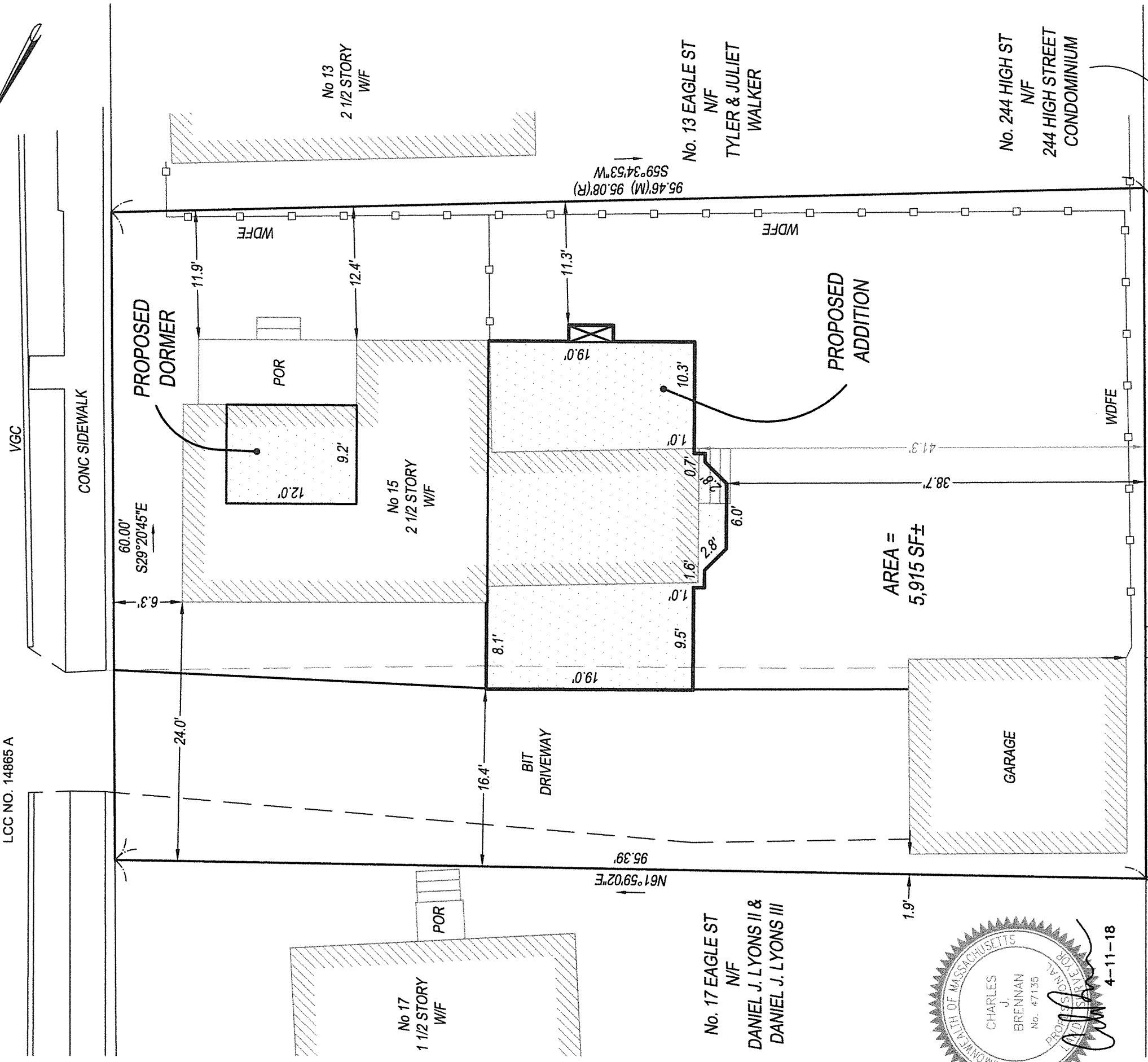
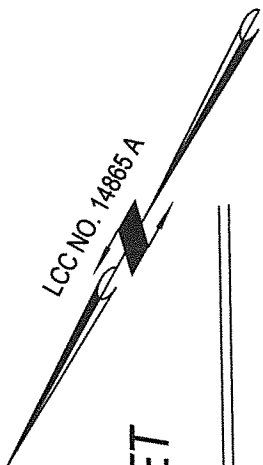
RECORD OWNERS:

MICHAEL & JENNIFER PILZ
15 EAGLE STREET
NEWBURYPORT, MA 01950

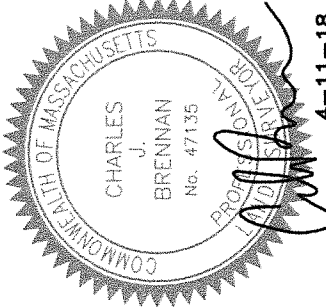
REFERENCES:

DEED BOOK 36487 PAGE 358
PLAN BOOK 200 PLAN 69
PLAN BOOK 436 PLAN 11
PLAN BOOK 429 PLAN 23
LCC NO. 14865 A

EAGLE STREET (PUBLIC - VARIABLE WIDTH)



AREA = 5,915 SF±



No. 246 HIGH ST
N/F
JULIE C. SULLIVAN,
TRUSTEE OF
AUGUSTINIAN REALTY
TRUST

No. 244 HIGH ST
N/F
244 HIGH STREET
CONDOMINIUM

ZONING:
R3 (SINGLE FAMILY)

(REQUIRED)
LOT AREA: 8,000 SF
FRONTAGE: 80'
FRONT OFFSET: 20'
SIDE OFFSET: 10'
REAR OFFSET: 20'
LOT COVERAGE: 30%
OPEN SPACE: 35%

(PROPOSED)
LOT AREA: 5,915 SF
FRONTAGE: 60'
FRONT OFFSET: 6.3'
SIDE OFFSET: 11.3'
REAR OFFSET: 38.7'
LOT COVERAGE: 28.7%
OPEN SPACE: 55.3%

NOTES:

- 1.) THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY PERFORMED ON JANUARY 11 & 12, 2017.
- 2.) SUBSURFACE AND ABOVE GROUND UTILITIES WERE NOT INCLUDED AS PART OF THIS SURVEY, THEY WERE NOT RESEARCHED NOR SHOWN HEREON.
- 3.) A TITLE EXAMINATION WAS NOT PROVIDED FOR THIS SURVEY. AS SUCH OTHER MATTERS OF RECORD MAY EXIST AND NOT BE SHOWN HEREON.

LEGEND:

- BIT BITUMINOUS
- CONC CONCRETE
- L LANDING
- (M) MEASURED
- POR PORCH
- (R) RECORD
- VFE VINYL FENCE
- VGC VERTICAL GRANITE CURB
- WDFE WOOD FENCE
- W/F WOOD FRAME



PLOT PLAN
IN
NEWBURYPORT, MA

AT 15 EAGLE STREET
PREPARED FOR

MICHAEL & JENNIFER PILZ
BY

SUMMIT SURVEYING INC.

4 S. POND STREET, NEWBURYPORT, MA 01950
WWW.SUMMITSURVEYINGINC.COM
TEL. 978-692-7109
APRIL 11, 2018

17-0106

RESIDENTIAL RENOVATION

15 EAGLE ST.

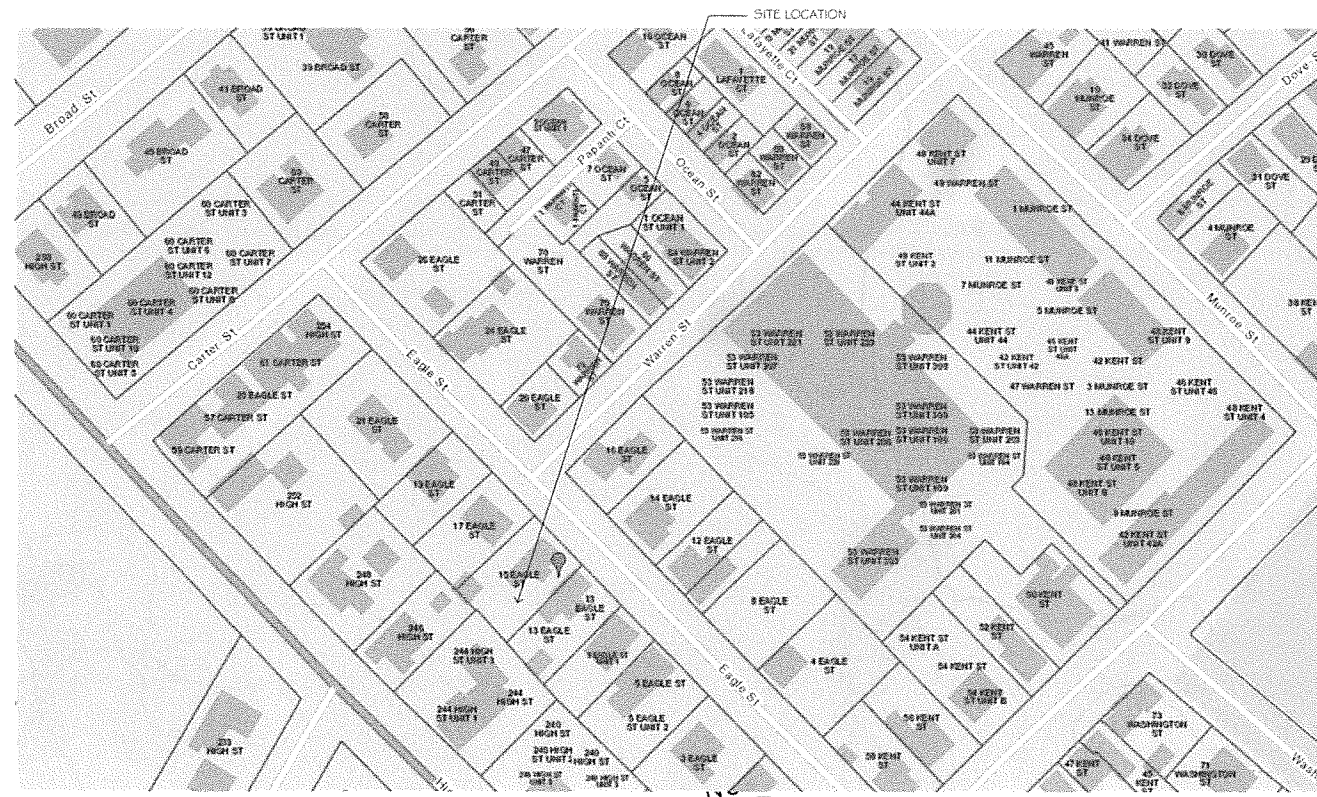
NEWBURYPORT, MA 01950



1 View from Eagle Street
not to scale



2 View from Eagle Street
not to scale



3 Locus Plan
not to scale

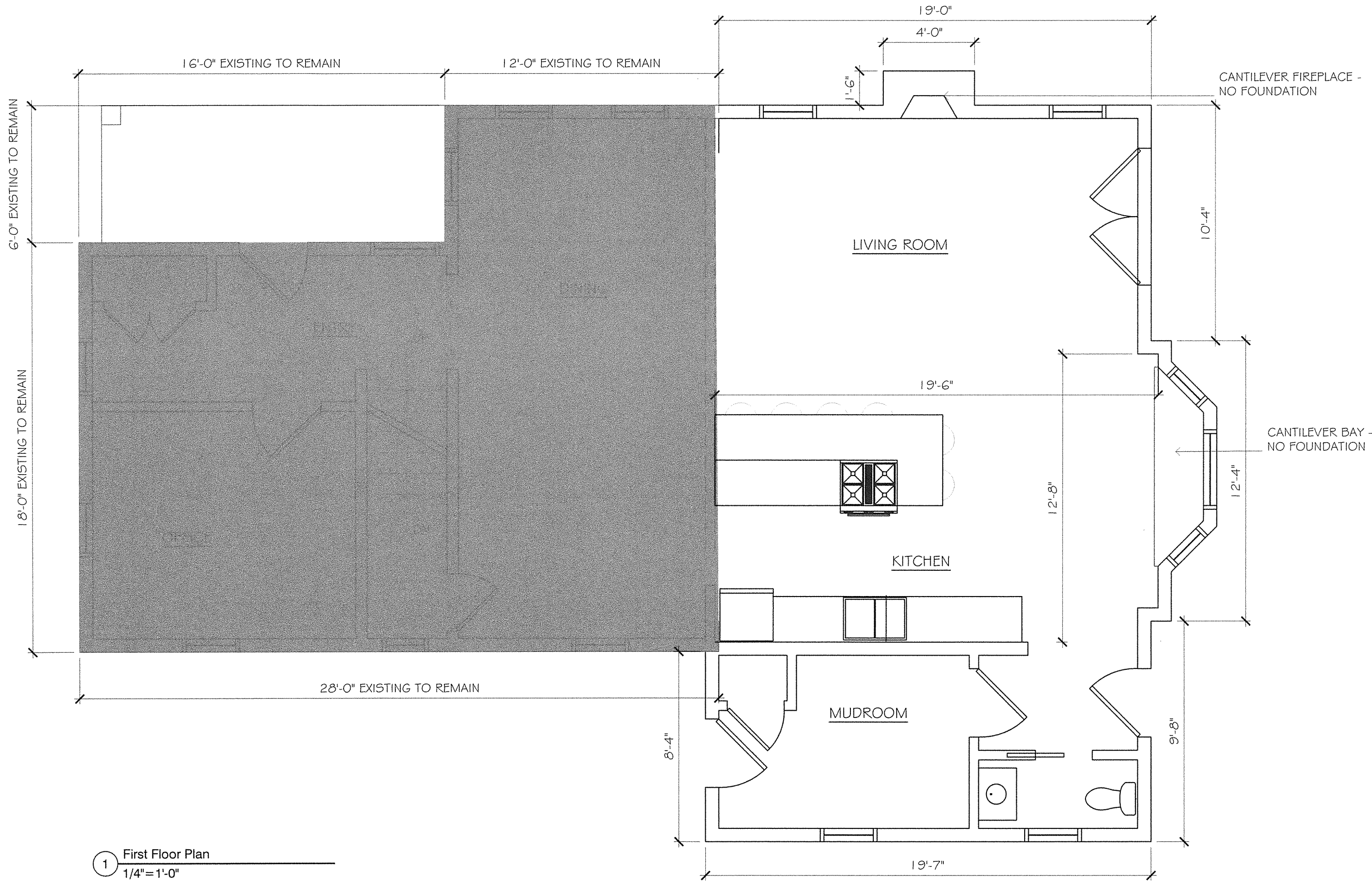


HOUSE RENOVATION
 15 Eagle St.
 Newburyport, MA
L & S CONSTRUCTION
 West Newbury, MA

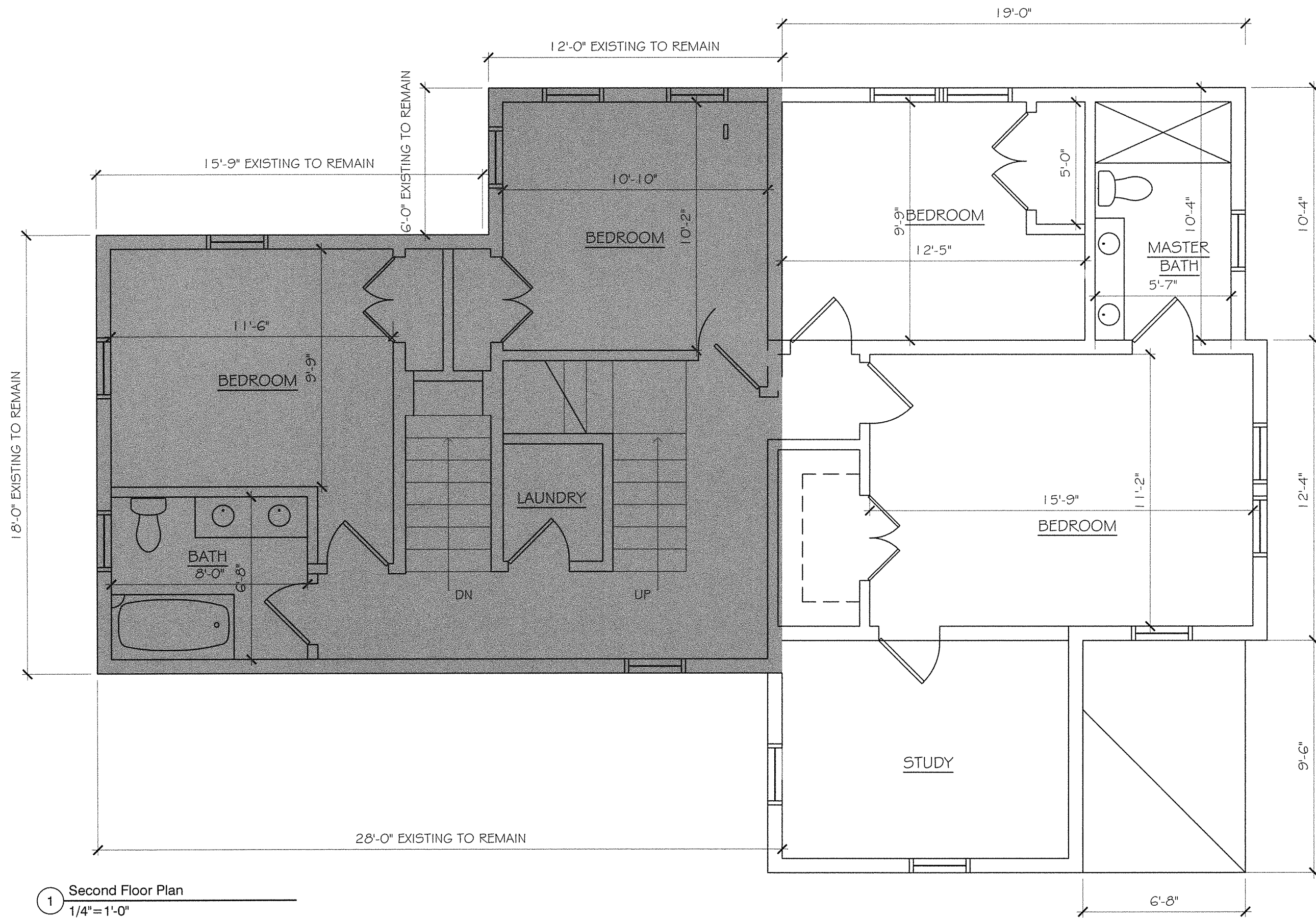
Cover Sheet
 AS NOTED

A-0

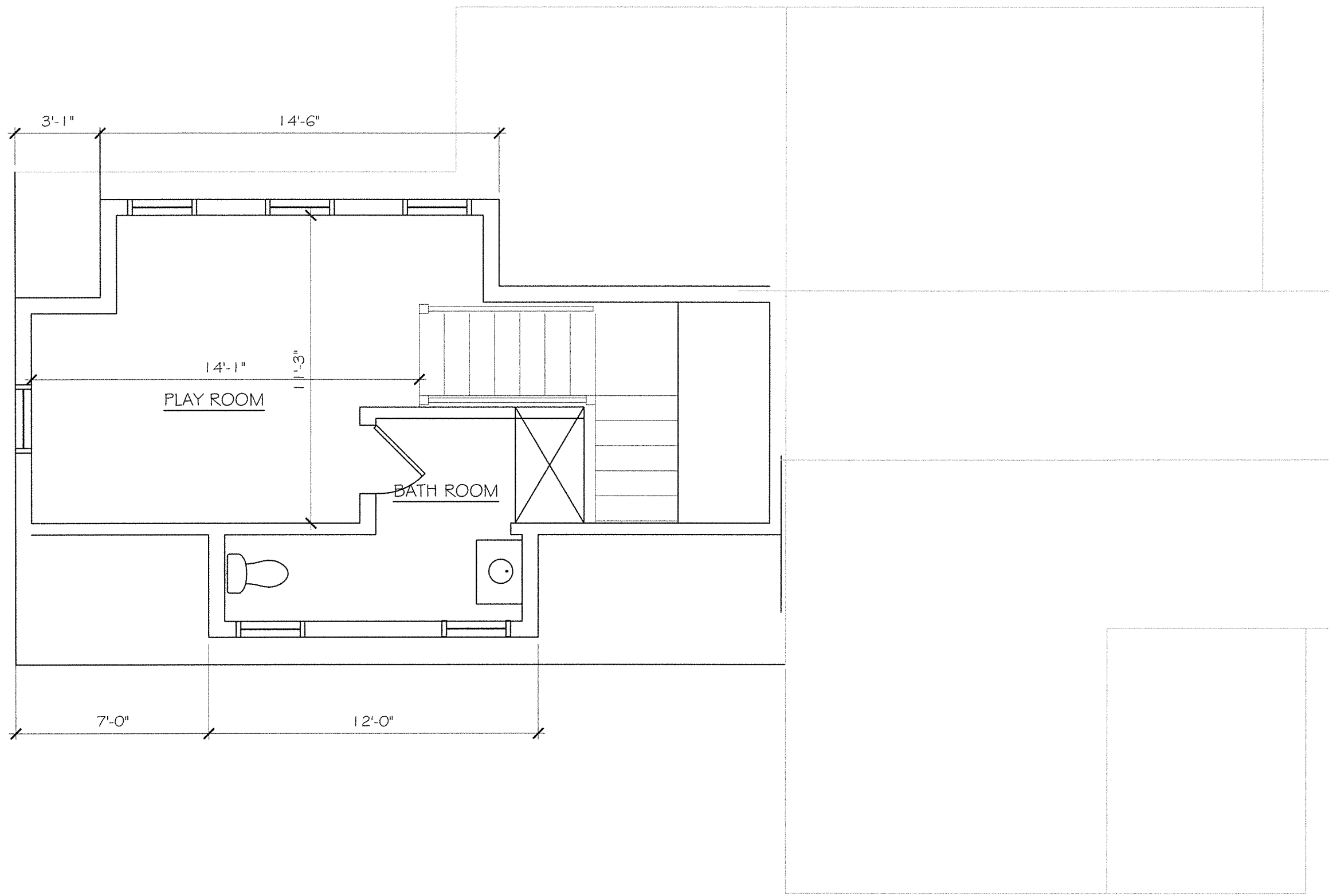
26 APRIL 2018



1 First Floor Plan
 1/4" = 1'-0"



1 Second Floor Plan
1/4" = 1'-0"



1 Third Floor Plan
 1/4" = 1'-0"



EXISTING FRONT WALL AREA: 576 s.f.
 AREA REMOVED: 0 s.f.

EXISTING SIDE WALL AREA: 719 s.f.
 AREA REMOVED: 215 s.f.

EXISTING REAR WALL AREA: 546 s.f.
 AREA REMOVED: 192 s.f.

EXISTING SIDE WALL AREA: 719 s.f.
 AREA REMOVED: 215 s.f.

TOTAL EXISTING WALL AREA: 2560 s.f.
 TOTAL AREA REMOVED: 622 s.f.
 % REMOVED: 24.2%

NEW SIDING AND TRIM TO MATCH EXISTING

EXISTING FRONT WALL AREA: 576 s.f.
 AREA REMOVED: 0 s.f.

1 FRONT ELEVATION
 1/4" = 1'-0"



1 SIDE ELEVATION
1/4" = 1'-0"

Side Elevation
1/4" = 1'-0"

HOUSE RENOVATION
15 Eagle St.
Newburyport, MA
L & S CONSTRUCTION
West Newbury, MA



4 BACK ELEVATION
1/4" = 1'-0"



4 BACK ELEVATION
1/4" = 1'-0"

Existing Back Elevation
1/4" = 1'-0"

26 APRIL 2018

HOUSE RENOVATION
15 Eagle St.
Newburyport, MA
L & S CONSTRUCTION
West Newbury, MA

A-7x



3 SIDE ELEVATION
 1/8" = 1'-0"

EXISTING SIDE WALL AREA: 719 s.f.
 AREA REMOVED: 215 s.f.