

THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

FOR REGISTRY USE

NEWBURYPORT PLANNING BOARD

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE:	DATE:
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NEWBURYPORT CITY CLERK

NO NOTICE OF APPEAL HAS BEEN RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE:	DATE:
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NEWBURYPORT BOARD OF HEALTH

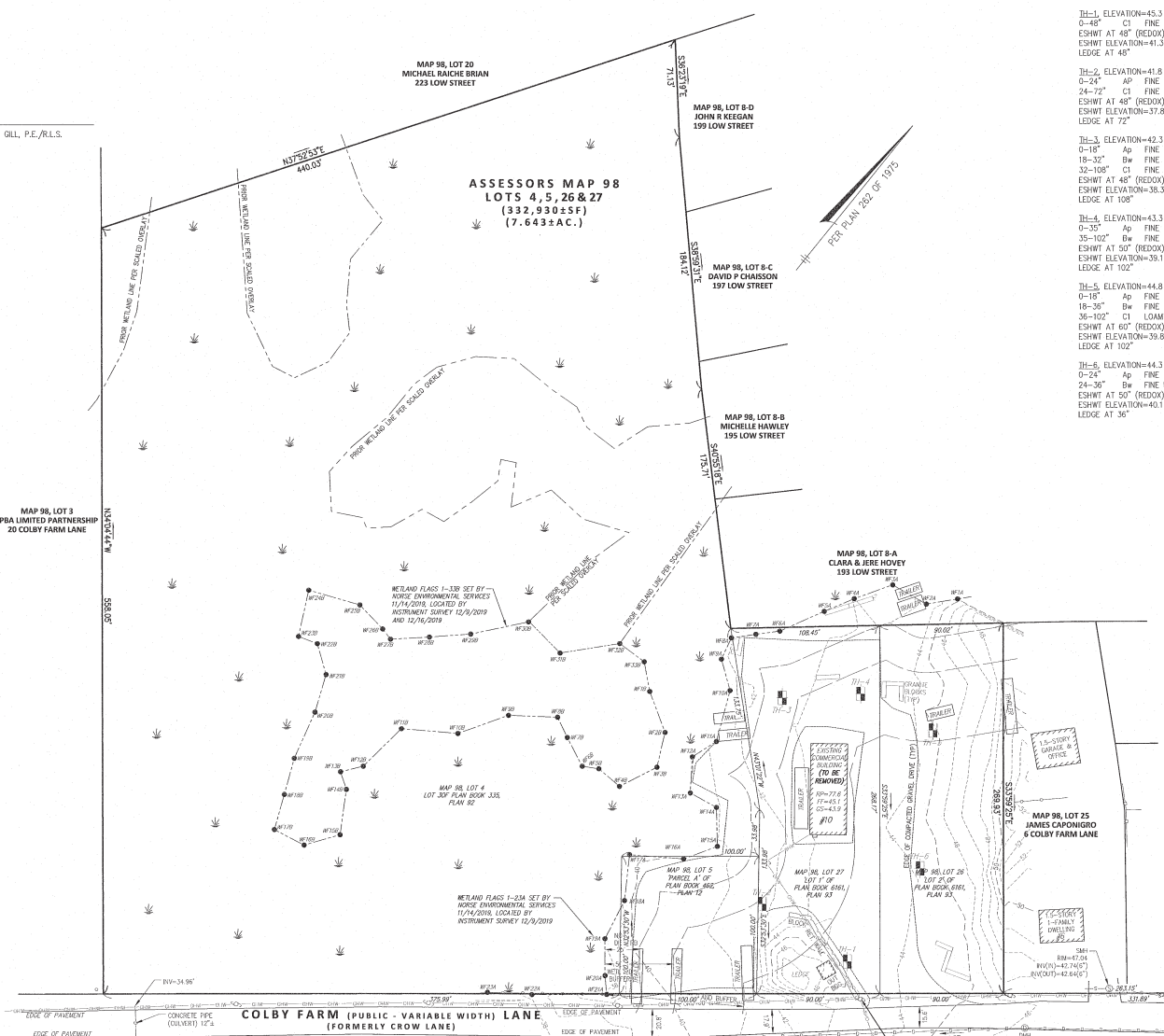
DATE OF APPROVAL:

ABBREVIATIONS

BDL	BUILDING
BIT	BITUMINOUS
CALC.	CALCULATED
CONC.	CONCRETE
DMM	DRAIN MANHOLE
ELEV.	ELEVATION
FF	FIRST FLOOR ELEVATION
GS	GARAGE SLAB ELEVATION
INVT	INVEST
REC.	RECORD
RET.WALL	RETAINING WALL
RF	ROOF PEAK
SF	SQUARE FEET
SMH	SEWER MANHOLE
TYP	TYPICAL
UP	UTILITY POLE

LEGEND

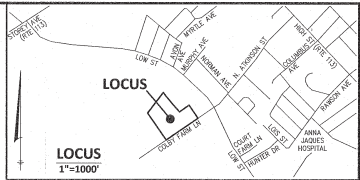
---o---o---o---	STONEWALL
○	SEWER MANHOLE
⊙	DRAIN MANHOLE
⊙	STONE MONUMENT
○	UTILITY POLE
---	WETLAND LINE WITH FLAG
---	UNDERGROUND SEWER LINE
---	UNDERGROUND DRAIN LINE
---	OVERHEAD WIRE LINE
---	2-FOOT CONTOUR



TEST HOLE DATA

DATE: 1/24/2020
SOIL EVALUATOR: STEVE ERIKSEN (NORSE ENVIRONMENTAL)

TH-1, ELEVATION=45.3 0-45" C1 FINE SANDY LOAM, LOOSE ESHWI AT 48" (REDOX) ESHWI ELEVATION=41.3 LEDGE AT 45"	10YR5/4
TH-2, ELEVATION=41.8 0-24" AP FINE SANDY LOAM, LOOSE 24-72" C1 FINE SANDY LOAM, LOOSE ESHWI AT 48" (REDOX) ESHWI ELEVATION=37.8 LEDGE AT 72"	10YR2/2 10YR5/4
TH-3, ELEVATION=42.3 0-18" Ap FINE SANDY LOAM, LOOSE 18-30" Bw FINE SANDY LOAM, LOOSE 32-108" C1 FINE SANDY LOAM, LOOSE ESHWI AT 48" (REDOX) ESHWI ELEVATION=36.3 LEDGE AT 108"	10YR2/2 10YR5/4 10YR5/4
TH-4, ELEVATION=43.3 0-35" Ap FINE SANDY LOAM, LOOSE 35-102" Bw FINE SANDY LOAM, LOOSE ESHWI AT 50" (REDOX) ESHWI ELEVATION=39.1 LEDGE AT 102"	10YR2/2 10YR5/4
TH-5, ELEVATION=44.8 0-18" Ap FINE SANDY LOAM, LOOSE 18-36" Bw FINE SANDY LOAM, LOOSE 36-102" C1 LOAMY SAND, LOOSE ESHWI AT 60" (REDOX) ESHWI ELEVATION=39.8 LEDGE AT 102"	10YR2/2 10YR5/4 10YR5/4
TH-6, ELEVATION=44.3 0-24" Ap FINE SANDY LOAM, LOOSE 24-36" Bw FINE SANDY SAND, LOOSE ESHWI AT 50" (REDOX) ESHWI ELEVATION=40.1 LEDGE AT 36"	10YR2/2 10YR5/4



ASSESSORS

MAP 98, LOT 26 (8 COLBY FARM LANE)
MAP 98, LOT 27 (10 COLBY FARM LANE)
MAP 98, LOT 5 (12 COLBY FARM LANE)
MAP 98, LOT 4 (18 COLBY FARM LANE)

PROPERTY OWNER

ELLSWORTH M. EATON, JR., TRUSTEE
EATON CROW REALTY TRUST
ELLSWORTH M. EATON, JR., TRUSTEE
CROW'S NEST REALTY TRUST

DEED REFERENCES

SOUTHERN ESSEX REGISTRY OF DEEDS
1. PLAN BOOK 473, PLAN 2
2. PLAN BOOK 335, PLAN 92
3. PLAN BOOK 330, PLAN 72
4. PLAN 262 OF 1975
5. PLAN 462 OF 1961.

PLAN REFERENCES

SOUTHERN ESSEX REGISTRY OF DEEDS
1. PLAN BOOK 473, PLAN 2
2. PLAN BOOK 335, PLAN 92
3. PLAN BOOK 330, PLAN 72
4. PLAN 262 OF 1975
5. PLAN 462 OF 1961.

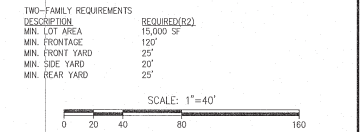
- NOTES**
- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
 - NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARDOUS AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE: JULY 3, 2012.
 - UTILITIES OTHER THAN THOSE SHOWN MAY EXIST; CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
 - ALL EXISTING STRUCTURES, DEBRIS, CONTRACTOR MATERIALS, AND TRAILERS TO BE REMOVED AND DISPOSED OF PER LOCAL AND STATE REGULATED TRASH FACILITIES.

ZONING INFORMATION

RESIDENTIAL DISTRICT: R1, RESIDENTIAL OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT (CFL-ROO), USE R2 ZONING REQUIREMENTS

SINGLE-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIREMENT
MIN. LOT AREA	10,000 SF
MIN. FRONTAGE	90'
MIN. FRONT YARD	25'
MIN. SIDE YARD	10'
MIN. REAR YARD	25'

TWO-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIREMENT
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'



EXISTING CONDITIONS

**8, 10, 12, & 18 COLBY FARM LANE
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: **THE DAILY GROUP**
225 STEDMAN STREET
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY: **LANDPLEX**
CIVIL ENGINEERING - SURVEYING
10 GEORGE STREET, UNIT 200
LOWELL, MASSACHUSETTS 01852
978-851-4339 - LANDPLEX.COM

SHEET: 2 OF 13 SCALE: 1"=40' FEBRUARY 14, 2020

5.	PER REVIEW COMMENTS	5/26/2020
4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE