

THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

# 'OPEN SPACE RESIDENTIAL DEVELOPMENT' PLAN SET

ROBERT M. GILL, P.E./R.L.S.

FOR REGISTRY USE

**NEWBURYPORT PLANNING BOARD**

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

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SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

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**NEWBURYPORT CITY CLERK**

NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**NEWBURYPORT BOARD OF HEALTH**

DATE OF APPROVAL: \_\_\_\_\_

## "THE STABLES AT BASHAW FARM"

8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS

**ASSESSORS**

MAP 98, LOT 26 (8 COLBY FARM LANE)  
MAP 98, LOT 27 (10 COLBY FARM LANE)  
MAP 98, LOT 5 (12 COLBY FARM LANE)  
MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST

ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST

**DEED REFERENCES**

SOUTHERN ESSEX REGISTRY OF DEEDS  
1. BOOK 26178, PAGE 1.  
2. BOOK 26178, PAGE 3.  
3. BOOK 15799, PAGE 31.

**PLAN REFERENCES**

SOUTHERN ESSEX REGISTRY OF DEEDS  
1. PLAN BOOK 473, PLAN 21.  
2. PLAN BOOK 335, PLAN 92.  
3. PLAN BOOK 138, PLAN 72.  
4. PLAN 262 OF 1975.  
5. PLAN 462 OF 1961.

**NOTES**

- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE JULY 3, 2012.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- FOR PROPOSED UTILITY WORK IN COLBY FARM LANE, REFER TO PLAN SET ENTITLED "THE RESERVE AT BASHAW FARM OSRD" PREPARED BY CAMMETT ENGINEERING, AND RECORDED WITH THE SOUTHERN ESSEX REGISTRY OF DEEDS AS PLAN 3 IN PLAN BOOK 474.

**SITE BENCHMARK**

- THE BENCHMARK IN UTILITY POLE #233/4 WAS SET WITH GLOBAL POSITIONING SATELLITE (GPS) EQUIPMENT BY CAMMETT CONSULTING ENGINEERS & LAND SURVEYORS.
- AS NO RELOCATION OR REMOVAL OF UTILITY POLE #233/4 AND ITS BENCH MARK ARE PROPOSED, THIS BENCHMARK IS INTENDED TO BE PERMANENT FOR THE DEVELOPMENT OF THE SITE.

**ABBREVIATIONS**

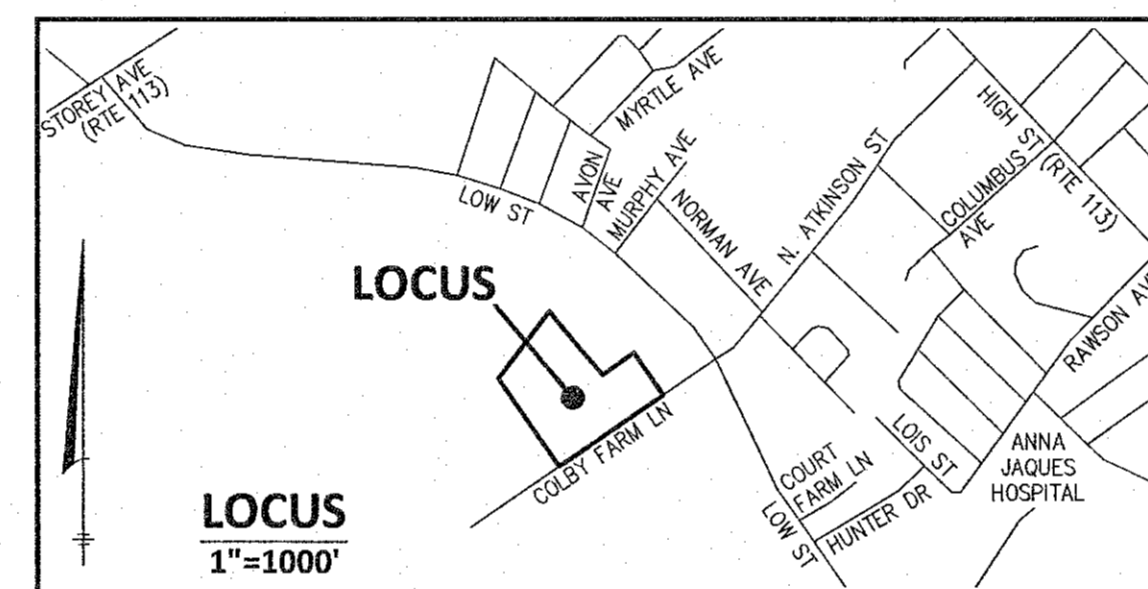
BDG.	BUILDING
BIT.	BITUMINOUS
CALC.	CALCULATED
CONC.	CONCRETE
DMH	DRAIN MANHOLE
ELEV	ELEVATION
FF	FIRST FLOOR ELEVATION
GS	GARAGE SLAB ELEVATION
INV	INVERT
REC.	RECORD
RET.WALL	RETAINING WALL
RP	ROOF PEAK
SF	SQUARE FEET
SMH	SEWER MANHOLE
TYP	TYPICAL
UP	UTILITY POLE

**LEGEND**

-----o-----	STONEWALL
⊙	SEWER MANHOLE
⊕	DRAIN MANHOLE
⊞	STONE MONUMENT
⊙	UTILITY POLE
-----●-----	WETLAND LINE WITH FLAG
-----S-----	UNDERGROUND SEWER LINE
-----D-----	UNDERGROUND DRAIN LINE
-----O-----	OVERHEAD WIRE LINE
-----W-----	WATER LINE
-----U-----	UNDERGROUND UTILITY LINE
-----44-----	2-FOOT CONTOUR

**SHEET INDEX**

- TITLE SHEET
- EXISTING CONDITIONS
- OPEN SPACE RESIDENTIAL DEVELOPMENT 'YIELD' PLAN
- DEFINITIVE SUBDIVISION PLAN OF LAND
- LAYOUT & LIGHTING PLAN
- GRADING & UTILITIES PLAN
- EROSION & SEDIMENTATION CONTROL PLAN
- EMERGENCY VEHICLE SWEEP-PATH ANALYSIS
- DETAILS
- DETAILS
- LANDSCAPING
- LANDSCAPING
- LANDSCAPING



**ZONING INFORMATION**

UNDERLYING DISTRICT: R1, RESIDENTIAL  
OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT(CFL-ROD)  
FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

SINGLE-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	10,000 SF
MIN. FRONTAGE	90'
MIN. FRONT YARD	25'
MIN. SIDE YARD	10'
MIN. REAR YARD	25'

TWO-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'

**OPEN SPACE RESIDENTIAL DEVELOPMENT (OSRD) ZONING REQUIREMENTS**

"OPEN SPACE RESIDENTIAL DEVELOPMENT" (OSRD) ZONING TABLE

DESCRIPTION	REQUIRED	PROPOSED
MIN. TOTAL TRACT AREA	3 ACRES	7.643±ACRES
MIN. SINGLE-FAMILY LOT SIZE	10,000 SF	10,000±SF
MIN. OPEN SPACE OF TOTAL TRACT	60%	82.0%
MIN. PERCENT OPEN SPACE UPLANDS OF TOTAL TRACT UPLANDS	50%	31.4%
MAX. TOTAL TRACT DISTURBED AREAS	50%	17.8%
MIN. OSRD FRONT SETBACK (50% OF UNDERLYING DISTRICT)	12.5'	25.0'
MIN. OSRD SIDE SETBACK (50% OF UNDERLYING DISTRICT)	5'	12.0'
MIN. OSRD REAR SETBACK (50% OF UNDERLYING DISTRICT)	12.5'	37.0'
MIN. PARKING PER UNIT (FOR PROPOSED 8 UNITS)	2 SPACES/UNIT (16 SPACES)	2.625 SPACES/UNIT (21 SPACES)
MIN. PERCENT AFFORDABLE UNITS	12%	12.5% (1 OF 8)

**TITLE SHEET**

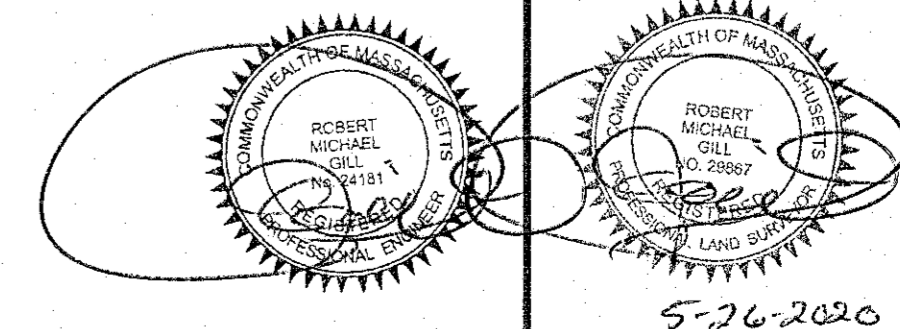
8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:  
**THE DALY GROUP**  
229 STEDMAN STREET  
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY:  
**LANDPLEX**  
CIVIL ENGINEERING - SURVEYING  
10 GEORGE STREET, UNIT 208  
LOWELL, MASSACHUSETTS 01852  
978-201-6390 - LANDPLEX.COM

SHEET: 1 OF 13    SCALE: 1"=40'    FEBRUARY 14, 2020

5.	PER REVIEW COMMENTS	5/26/2020
4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE



THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

**NEWBURYPORT PLANNING BOARD**

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**NEWBURYPORT BOARD OF HEALTH**

DATE OF APPROVAL:

MAP 98, LOT 3  
JPBA LIMITED PARTNERSHIP  
20 COLBY FARM LANE

MAP 98, LOT 20  
MICHAEL RAICHE BRIAN  
223 LOW STREET

MAP 98, LOT 8-D  
JOHN R. KEEGAN  
199 LOW STREET

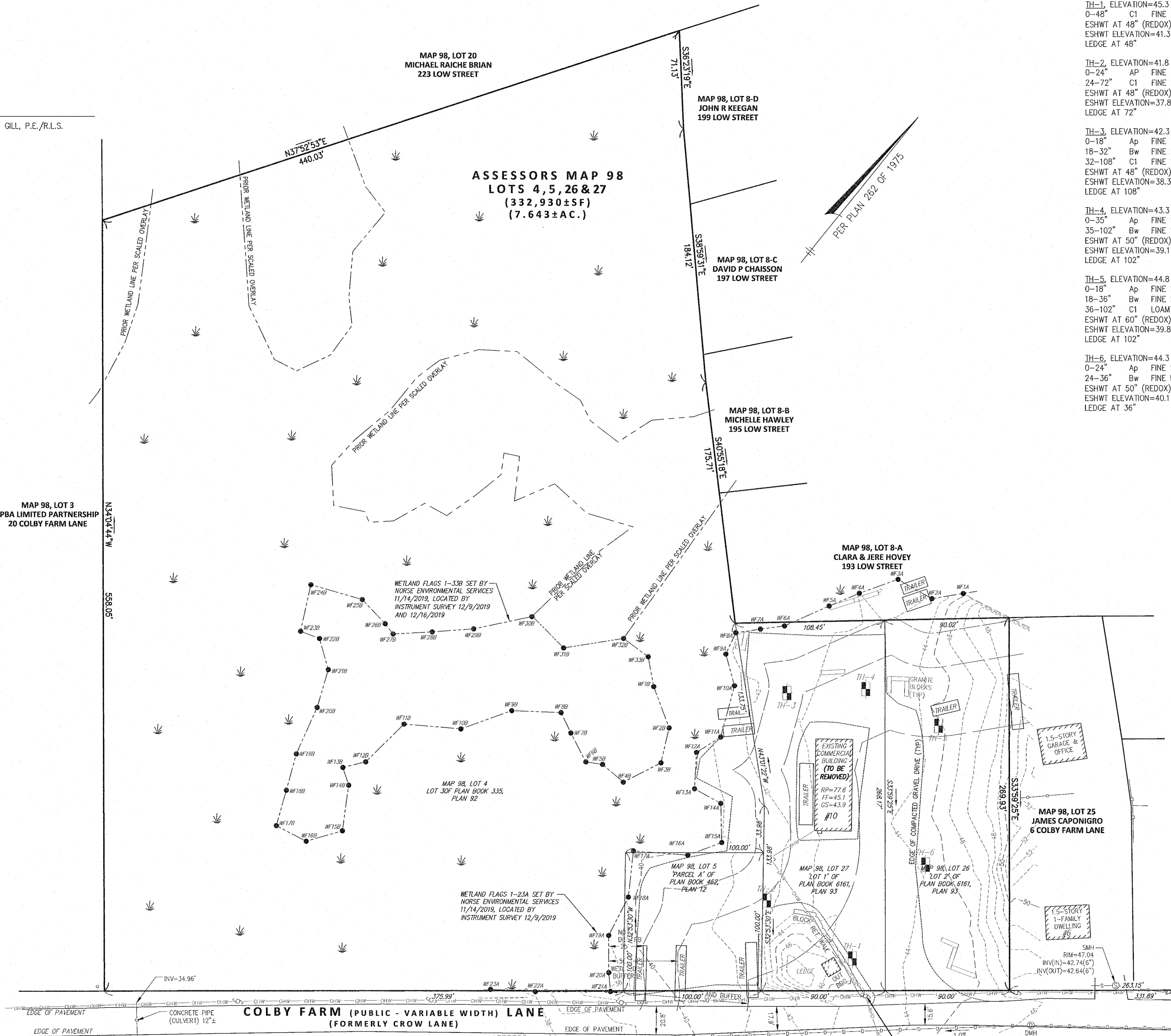
MAP 98, LOT 8-C  
DAVID P. CHAISSON  
197 LOW STREET

MAP 98, LOT 8-B  
MICHELLE HAWLEY  
195 LOW STREET

MAP 98, LOT 8-A  
CLARA & JERE HOVEY  
193 LOW STREET

MAP 98, LOT 25  
JAMES CAPONIGRO  
6 COLBY FARM LANE

**ASSESSORS MAP 98  
LOTS 4, 5, 26 & 27  
(332,930±SF)  
(7.643±AC.)**



- ABBREVIATIONS**
- BDG. BUILDING
  - BIT. BITUMINOUS
  - CALC. CALCULATED
  - CONC. CONCRETE
  - DMH DRAIN MANHOLE
  - ELEV. ELEVATION
  - FF FIRST FLOOR ELEVATION
  - GS GARAGE SLAB ELEVATION
  - INV. INVERT
  - REC. RECORD
  - RET.WALL RETAINING WALL
  - RP ROOF PEAK
  - SF SQUARE FEET
  - SMH SEWER MANHOLE
  - TYP. TYPICAL
  - UP UTILITY POLE

- LEGEND**
- STONEWALL
  - ⊙ SEWER MANHOLE
  - ⊙ DRAIN MANHOLE
  - ⊙ STONE MONUMENT
  - ⊙ UTILITY POLE
  - - - WETLAND LINE WITH FLAG
  - - - UNDERGROUND SEWER LINE
  - - - UNDERGROUND DRAIN LINE
  - - - OVERHEAD WIRE LINE
  - - - 2-FOOT CONTOUR

**TEST HOLE DATA**

DATE: 1/24/2020  
SOIL EVALUATOR: STEVE ERIKSEN (NORSE ENVIRONMENTAL)

TH-1, ELEVATION=45.3  
0-48" C1 FINE SANDY LOAM, LOOSE 10YR5/4  
ESHW AT 48" (REDOX)  
ESHW ELEVATION=41.3  
LEDGE AT 48"

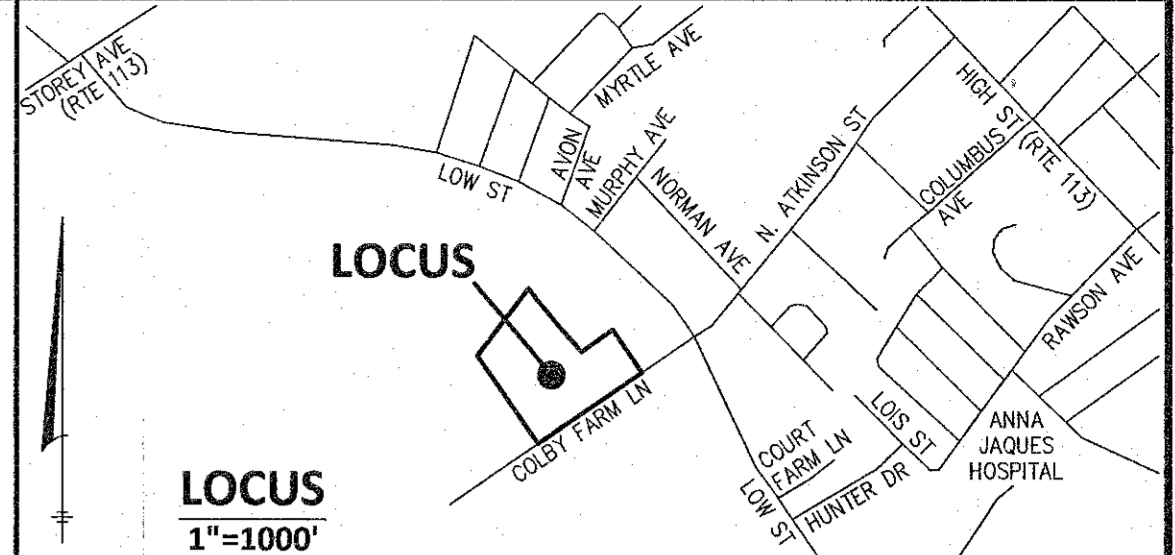
TH-2, ELEVATION=41.8  
0-24" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
24-72" C1 FINE SANDY LOAM, LOOSE 10YR5/4  
ESHW AT 48" (REDOX)  
ESHW ELEVATION=37.8  
LEDGE AT 72"

TH-3, ELEVATION=42.3  
0-18" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
18-32" Bw FINE SANDY LOAM, LOOSE 10YR5/4  
32-108" C1 FINE SANDY LOAM, LOOSE 10YR5/4  
ESHW AT 48" (REDOX)  
ESHW ELEVATION=38.3  
LEDGE AT 108"

TH-4, ELEVATION=43.3  
0-35" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
35-102" Bw FINE SANDY LOAM, LOOSE 10YR5/4  
ESHW AT 50" (REDOX)  
ESHW ELEVATION=39.1  
LEDGE AT 102"

TH-5, ELEVATION=44.8  
0-18" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
18-36" Bw FINE SANDY LOAM, LOOSE 10YR5/4  
36-102" C1 LOAMY SAND, LOOSE 10YR5/4  
ESHW AT 60" (REDOX)  
ESHW ELEVATION=39.8  
LEDGE AT 102"

TH-6, ELEVATION=44.3  
0-24" Ap FINE SANDY LOAM, LOOSE 10YR2/2  
24-36" Bw FINE LOAMY SAND, LOOSE 10YR5/4  
ESHW AT 50" (REDOX)  
ESHW ELEVATION=40.1  
LEDGE AT 36"



**ASSESSORS**

- MAP 98, LOT 26 (8 COLBY FARM LANE)
- MAP 98, LOT 27 (10 COLBY FARM LANE)
- MAP 98, LOT 5 (12 COLBY FARM LANE)
- MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

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**DEED REFERENCES**

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3. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
4. ALL EXISTING STRUCTURES, DEBRIS, CONTRACTOR MATERIALS, AND TRAILERS TO BE REMOVED AND DISPOSED OF PER LOCAL AND STATE REGULATED TRASH FACILITIES.

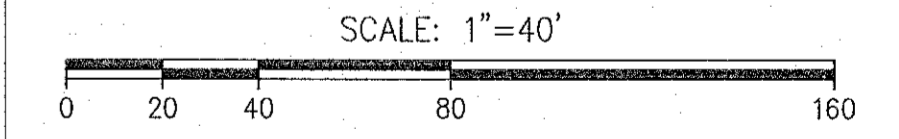
**ZONING INFORMATION**

UNDERLYING DISTRICT: R1, RESIDENTIAL  
OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT(CFL-ROD)  
FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

SINGLE-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	10,000 SF
MIN. FRONTAGE	90'
MIN. FRONT YARD	25'
MIN. SIDE YARD	10'
MIN. REAR YARD	25'

TWO-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
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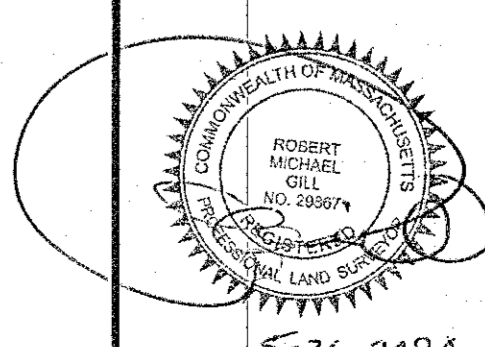


**EXISTING CONDITIONS**

**8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: <b>THE DALY GROUP 225 STEDMAN STREET LOWELL, MASSACHUSETTS 01851</b>	PLAN PREPARED BY: <b>LANDPLEX CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-9390 - LANDPLEX.COM</b>
SHEET: 2 OF 13	SCALE: 1"=40'
FEBRUARY 14, 2020	

NO.	PER REVIEW COMMENTS	DATE
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4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
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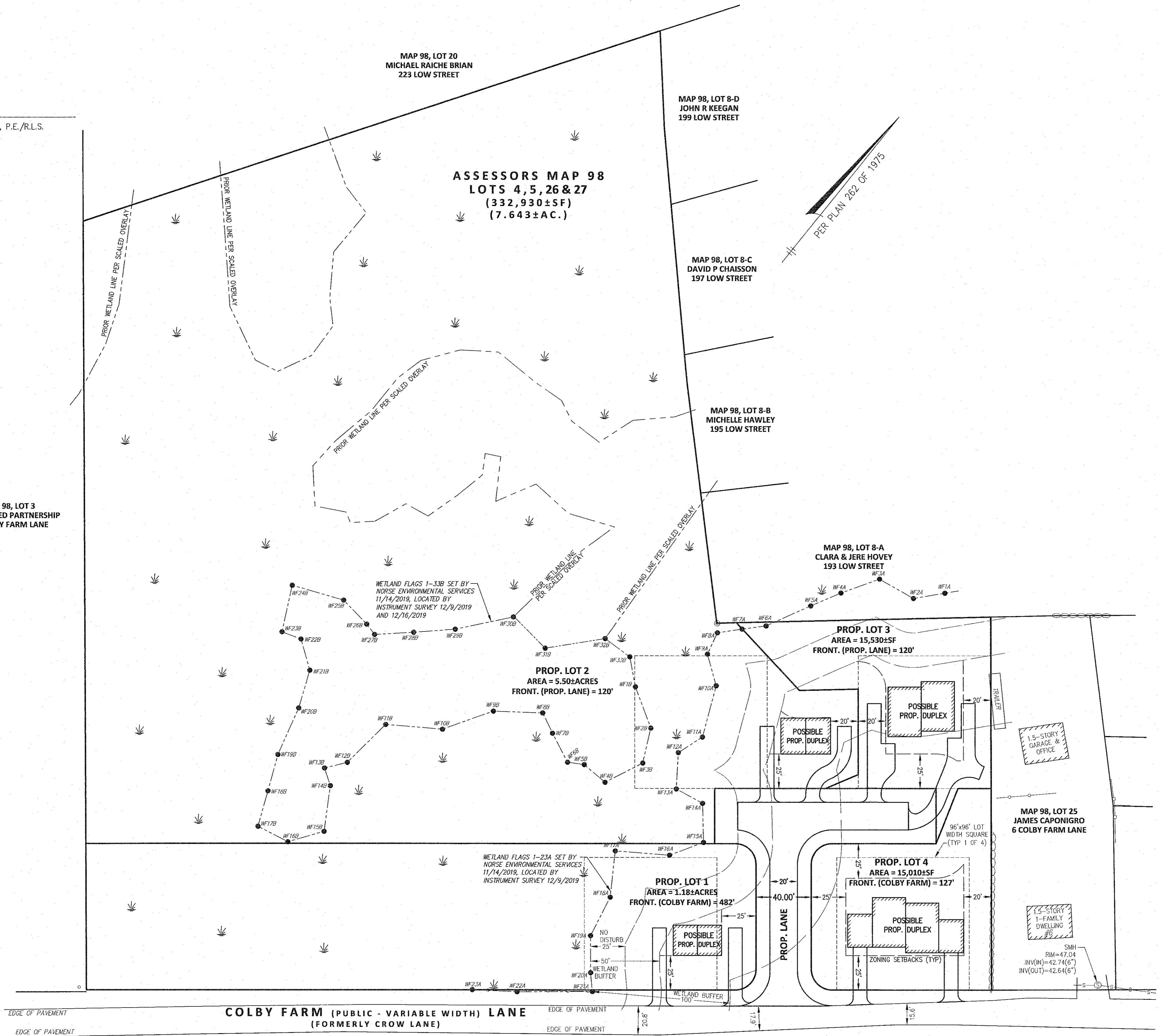
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MAP 98, LOT 3  
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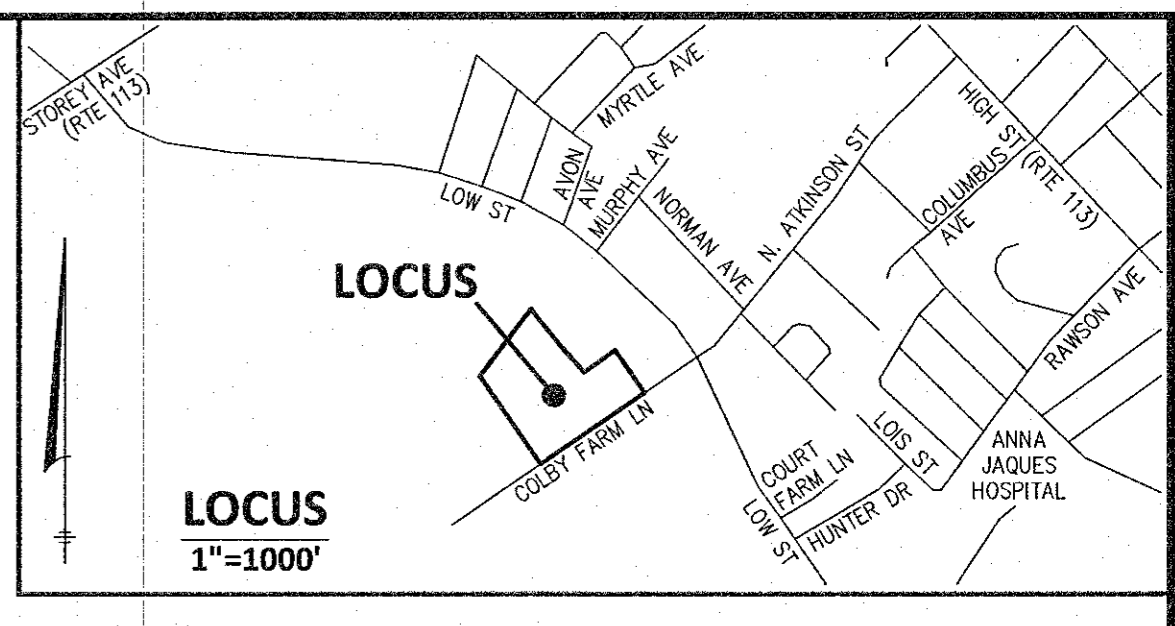


**ABBREVIATIONS**

CALC.	CALCULATED
REC.	RECORD
SF	SQUARE FEET
TYP	TYPICAL
UP	UTILITY POLE
WF	WETLAND FLAG

**LEGEND**

—○—○—○—	STONEWALL
□	STONE MONUMENT
—●—	WETLAND LINE WITH FLAG



**ASSESSORS**

- MAP 98, LOT 26 (8 COLBY FARM LANE)
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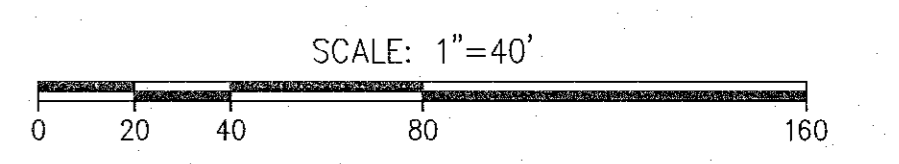
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**ZONING**

UNDERLYING DISTRICT: R1, RESIDENTIAL  
OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT (CFL-ROD)  
FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

TWO-FAMILY REQUIREMENTS

DESCRIPTION	REQUIRED (R2)	PROP. LOT 1	PROP. LOT 2	PROP. LOT 3	PROP. LOT 4
MIN. LOT AREA	15,000 SF	1.18±AC.	5.50±AC.	15,530±SF	15,010±SF
MIN. FRONTAGE	120'	482'	120'	120'	127'
MIN. FRONT YARD	25'				
MIN. SIDE YARD	20'				
MIN. REAR YARD	25'				



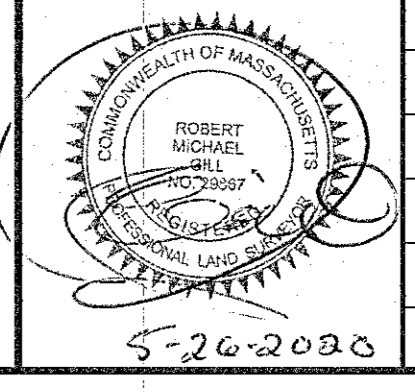
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8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS

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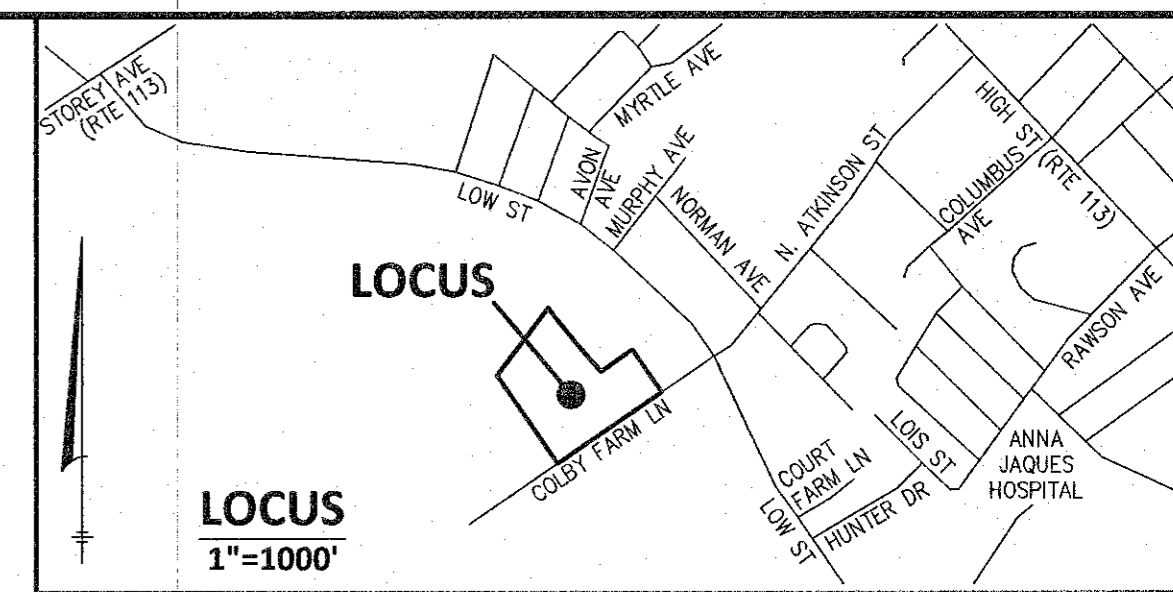
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**NEWBURYPORT CITY CLERK**

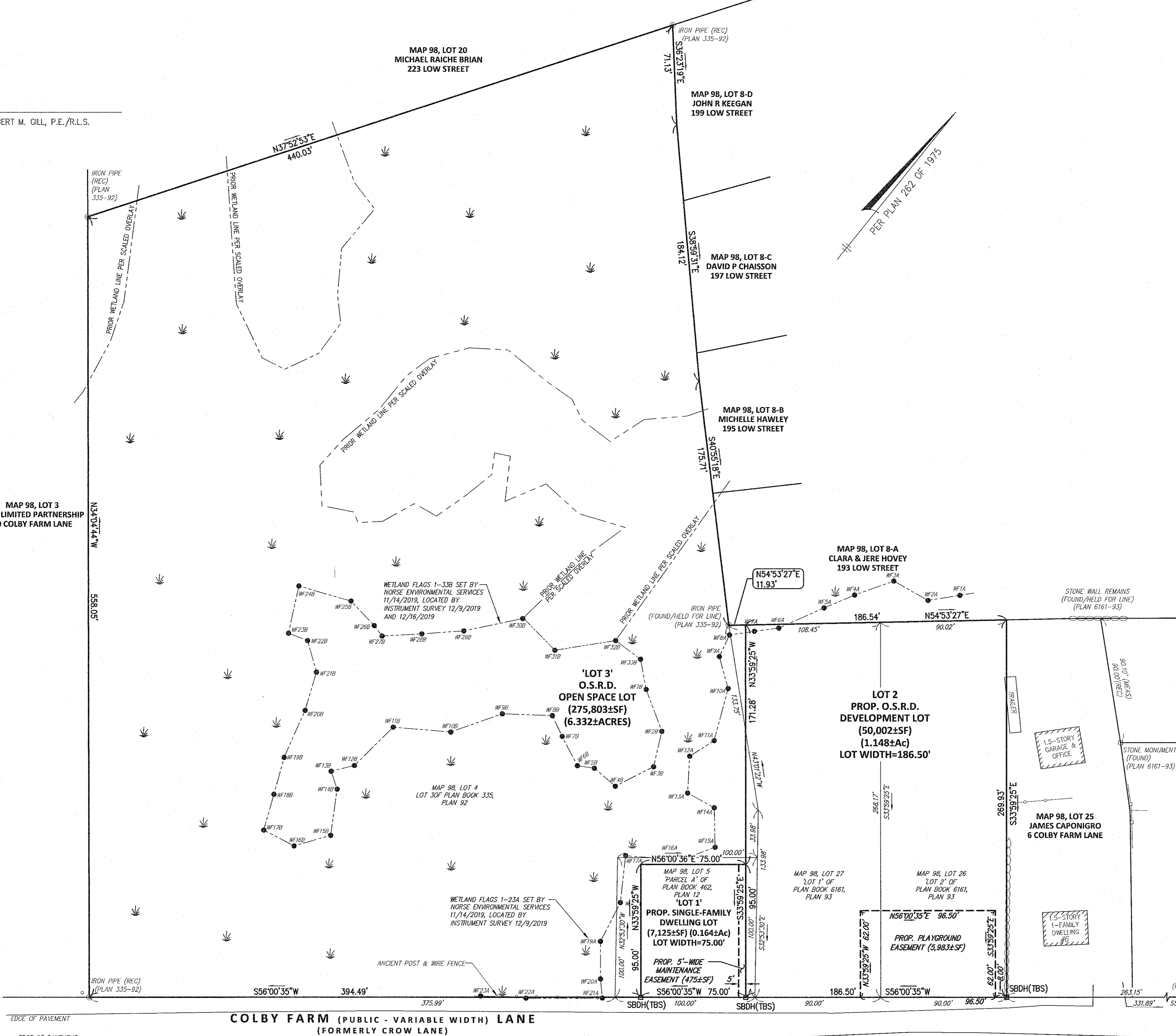
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SIGNATURE	DATE

**NEWBURYPORT BOARD OF HEALTH**

DATE OF APPROVAL:

MAP 98, LOT 3  
JPBA LIMITED PARTNERSHIP  
20 COLBY FARM LANE



**ASSESSORS**

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- MAP 98, LOT 27 (10 COLBY FARM LANE)
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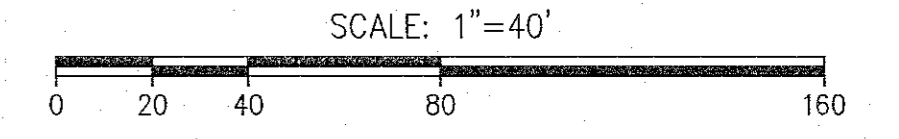
**ZONING INFORMATION**

UNDERLYING DISTRICT: R1, RESIDENTIAL OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT(CFL-ROD) FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

SINGLE-FAMILY REQUIREMENTS	REQUIRED(R2)	PROP. LOT 1	PROP. LOT 2	PROP. LOT 3
MIN. LOT AREA	10,000 SF	7,125 SF	50,002±SF	275,803±SF
MIN. FRONTAGE	90'	75.00'	186.50'	394.49'
MIN. FRONT YARD	25'	25.0'	27.0'	N/A
MIN. SIDE YARD	10'	15.0'	12.0'	N/A
MIN. REAR YARD	25'	32.0'	76.9'	N/A

**TWO-FAMILY REQUIREMENTS**

DESCRIPTION	REQUIRED(R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'



**ABBREVIATIONS**

CALC.	CALCULATED
REC.	RECORD
SF	SQUARE FEET
TYP	TYPICAL
UP	UTILITY POLE
WF	WETLAND FLAG

**LEGEND**

- STONEWALL
- STONE MONUMENT
- WETLAND LINE WITH FLAG

**PLAN OF LAND**

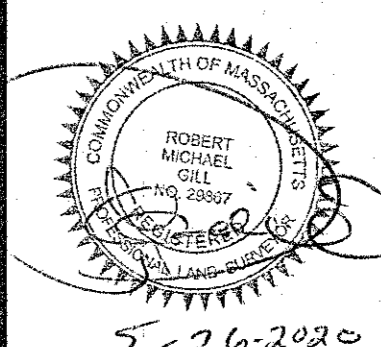
**8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: **THE DALY GROUP**  
225 STEDMAN STREET  
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY: **LANDPLEX**  
CIVIL ENGINEERING - SURVEYING  
10 GEORGE STREET, UNIT 208  
LOWELL, MASSACHUSETTS 01852  
978-201-9390 - LANDPLEX.COM

SHEET: 4 OF 13    SCALE: 1"= 40'    FEBRUARY 14, 2020

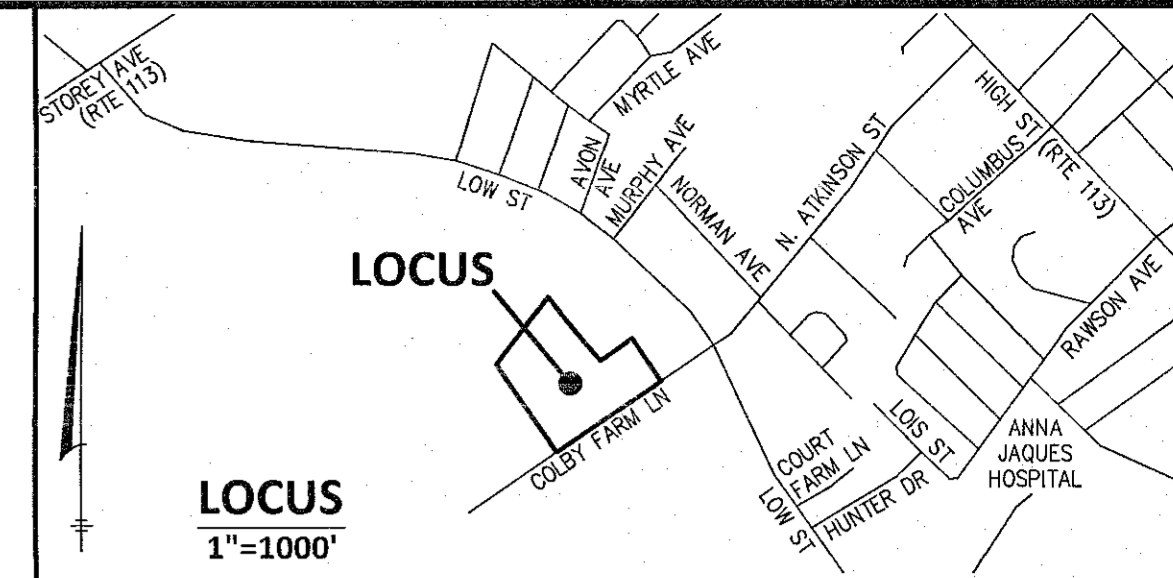
5.	PER REVIEW COMMENTS	5/26/2020
4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE



5-26-2020

THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.



**ASSESSORS**

- MAP 98, LOT 26 (8 COLBY FARM LANE)
- MAP 98, LOT 27 (10 COLBY FARM LANE)
- MAP 98, LOT 5 (12 COLBY FARM LANE)
- MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST

ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST

**DEED REFERENCES**

- SOUTHERN ESSEX REGISTRY OF DEEDS
- 1. BOOK 26178, PAGE 1.
- 2. BOOK 26178, PAGE 3.
- 3. BOOK 15799, PAGE 31.

**PLAN REFERENCES**

- SOUTHERN ESSEX REGISTRY OF DEEDS
- 1. PLAN BOOK 473, PLAN 21.
- 2. PLAN BOOK 335, PLAN 92.
- 3. PLAN BOOK 138, PLAN 72.
- 4. PLAN 262 OF 1975.
- 5. PLAN 462 OF 1961.

**NOTES**

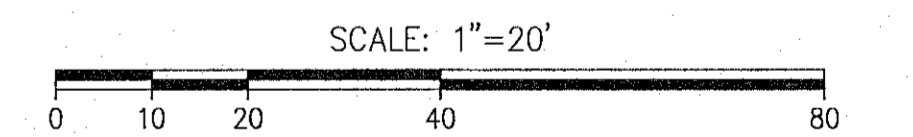
- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25090C0109F, EFFECTIVE DATE JUNE 3, 2012.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- ALL LANDSCAPING PLANTS AND PLANT SPECIES TO BE NATIVE, DROUGHT-TOLERANT, AND NON-INVASIVE.

**ZONING INFORMATION**

UNDERLYING DISTRICT: R1, RESIDENTIAL OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT (CFL-ROD) FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

SINGLE-FAMILY REQUIREMENTS		PROP. LOT 1	PROP. LOT 2	PROP. LOT 3
DESCRIPTION	REQUIRED (R2)			
MIN. LOT AREA	10,000 SF	7,125±SF	50,002±SF	275,803±SF
MIN. FRONTAGE	90'	75.00'	186.50'	394.49'
MIN. FRONT YARD	25'	25.0'	27.0'	N/A
MIN. SIDE YARD	10'	15.0'	12.0'	N/A
MIN. REAR YARD	25'	32.0'	76.9'	N/A

TWO-FAMILY REQUIREMENTS	
DESCRIPTION	REQUIRED (R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'



**LAYOUT & LIGHTING PLAN**

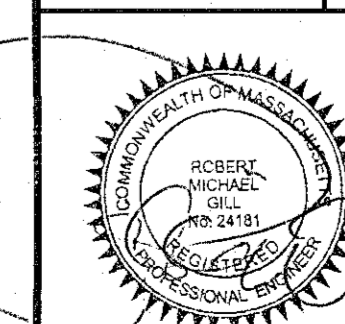
8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:  
**THE DALY GROUP**  
229 STEDMAN STREET  
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY:  
**LANDPLEX**  
CIVIL ENGINEERING - SURVEYING  
10 GEORGE STREET, UNIT 208  
LOWELL, MASSACHUSETTS 01852  
978-201-9390 - LANDPLEX.COM

SHEET: 5 OF 13 | SCALE: 1"=20' | FEBRUARY 14, 2020

NO.	REVISION DESCRIPTION	DATE
5.	PER REVIEW COMMENTS	5/26/2020
4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE



5-26-2020

**NEWBURYPORT PLANNING BOARD**

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

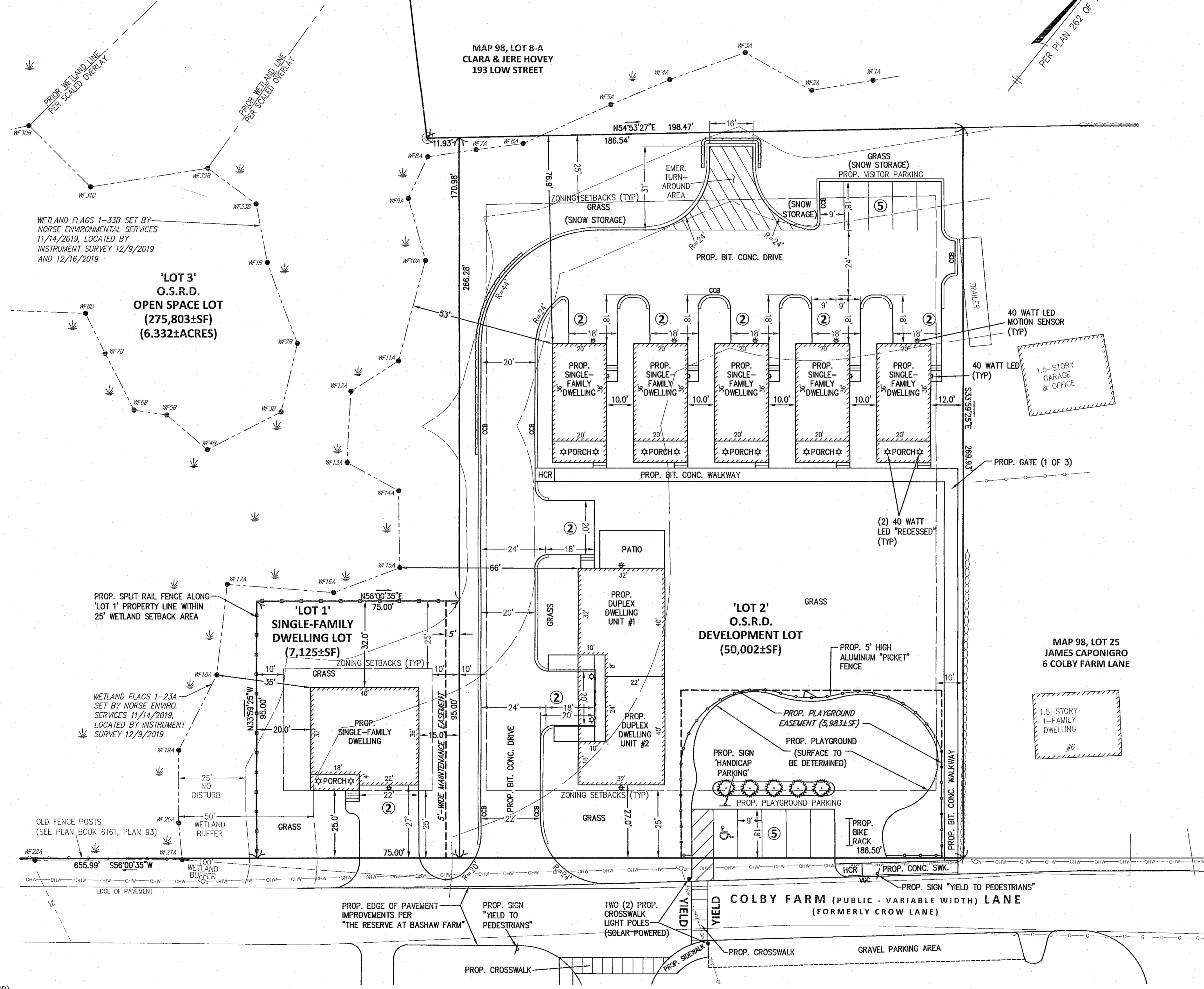
**NEWBURYPORT CITY CLERK**

NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**NEWBURYPORT BOARD OF HEALTH**

DATE OF APPROVAL: \_\_\_\_\_

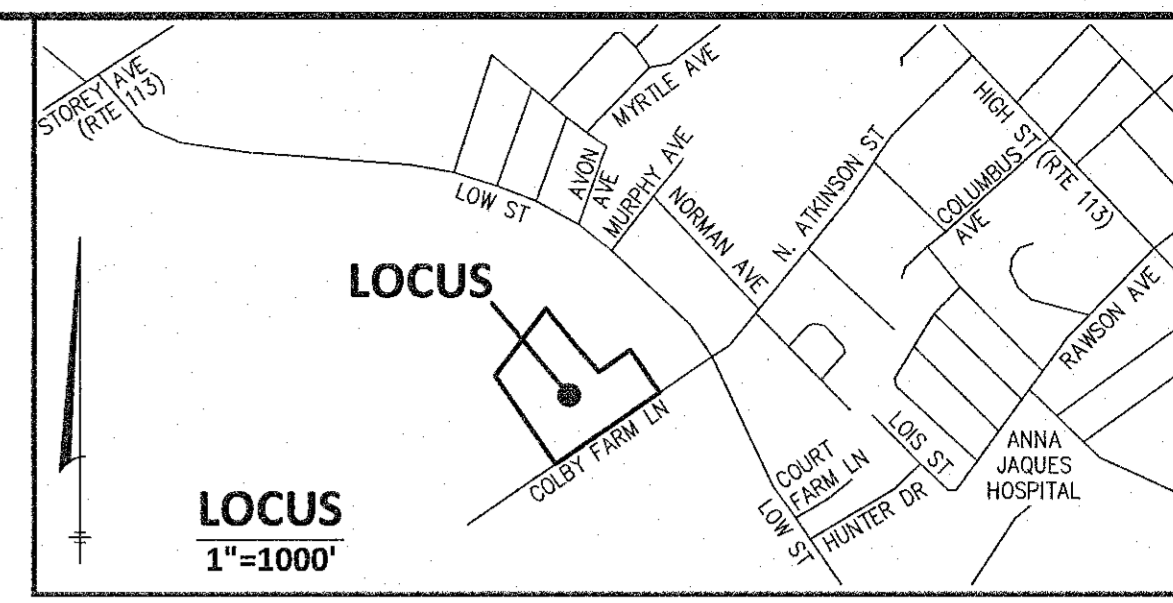
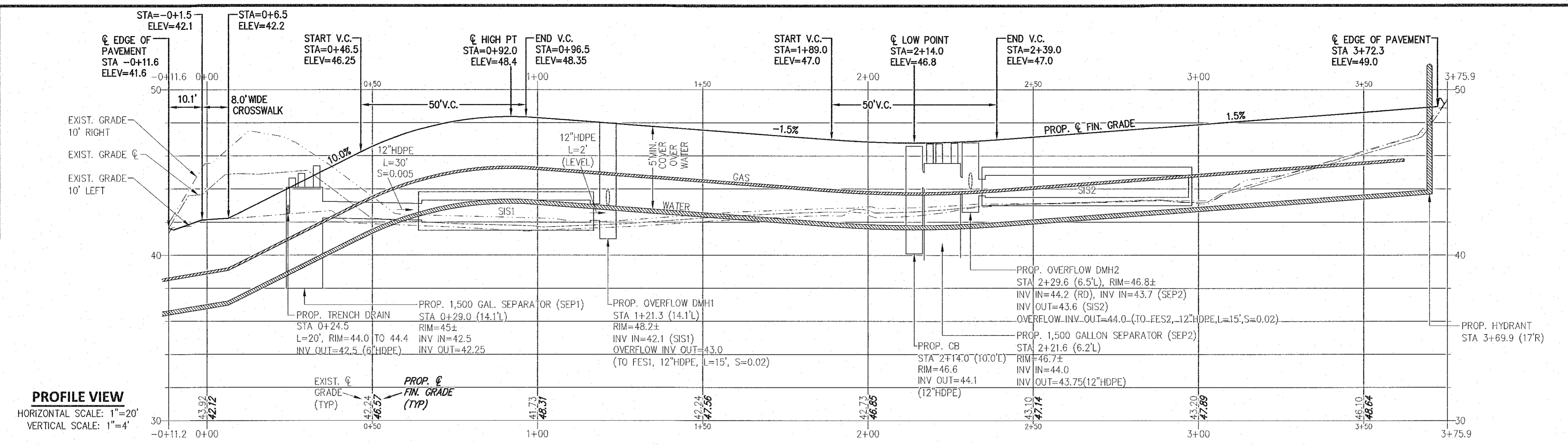


**ABBREVIATIONS**

- BDG. BUILDING
- BIT. BITUMINOUS
- CALC. CALCULATED
- CONC. CONCRETE
- REC. RECORD
- SF SQUARE FEET
- TYP TYPICAL

**LEGEND**

- STONEWALL
- SEWER MANHOLE
- DRAIN MANHOLE
- STONE MONUMENT
- UTILITY POLE
- WETLAND LINE WITH FLAG
- 40 WATT LED
- 40 WATT LED "RECESSED"
- 40 WATT LED (MOTION SENSOR)



- ASSESSORS**
- MAP 98, LOT 26 (8 COLBY FARM LANE)
  - MAP 98, LOT 27 (10 COLBY FARM LANE)
  - MAP 98, LOT 5 (12 COLBY FARM LANE)
  - MAP 98, LOT 4 (18 COLBY FARM LANE)
- DEED REFERENCES**
- SOUTHERN ESSEX REGISTRY OF DEEDS
  - 1. BOOK 26178, PAGE 1.
  - 2. BOOK 26178, PAGE 3.
  - 3. BOOK 15799, PAGE 31.
- PLAN REFERENCES**
- SOUTHERN ESSEX REGISTRY OF DEEDS
  - 1. PLAN BOOK 473, PLAN 21.
  - 2. PLAN BOOK 335, PLAN 92.
  - 3. PLAN BOOK 138, PLAN 72.
  - 4. PLAN 262 OF 1975.
  - 5. PLAN 462 OF 1961.

FOR REGISTRY USE

THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

- PROPERTY OWNER**
- ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST
- ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST
- NOTES**
- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
  - NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE JULY 3, 2012.
  - UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
  - FOR PROPOSED UTILITY WORK IN COLBY FARM LANE, REFER TO PLAN SET ENTITLED "THE RESERVE AT BASHAW FARM OSRD" PREPARED BY GAMMETT ENGINEERING AND RECORDED WITH THE SOUTHERN ESSEX REGISTRY OF DEEDS AS PLAN 3 IN PLAN BOOK 474.
  - REFER TO TITLE SHEET 1 FOR LEGEND.

**PROFILE VIEW**

HORIZONTAL SCALE: 1"=20'

VERTICAL SCALE: 1"=4'

ROBERT M. GILL, P.E./R.L.S.

**NEWBURYPORT PLANNING BOARD**

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE	DATE

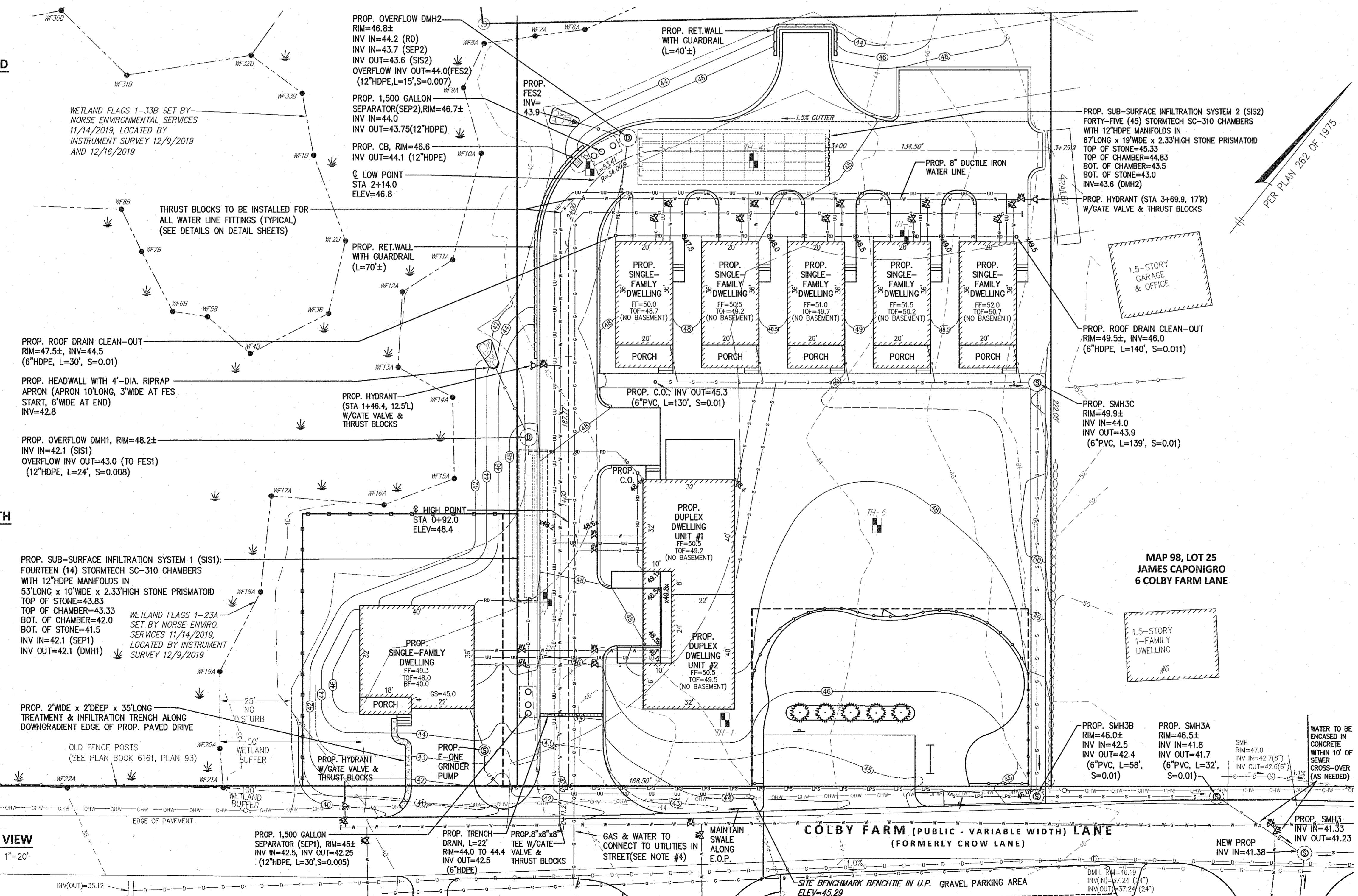
**NEWBURYPORT CITY CLERK**

NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE	DATE

**NEWBURYPORT BOARD OF HEALTH**

DATE OF APPROVAL:



SCALE: 1"=20'

0 10 20 40

**PLAN VIEW**

SCALE: 1"=20'

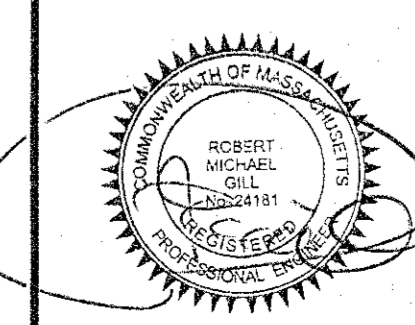
**GRADING & UTILITIES PLAN**

**8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR:	PLAN PREPARED BY:
<b>THE DALY GROUP</b> 229 STEDMAN STREET LOWELL, MASSACHUSETTS 01851	<b>LANDPLEX</b> CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-8390 - LANDPLEX.COM

SHEET: 6 OF 13	SCALE: 1"=20'	FEBRUARY 14, 2020
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NO.	REVISION DESCRIPTION	DATE
5.	PER REVIEW COMMENTS	5/26/2020
4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE



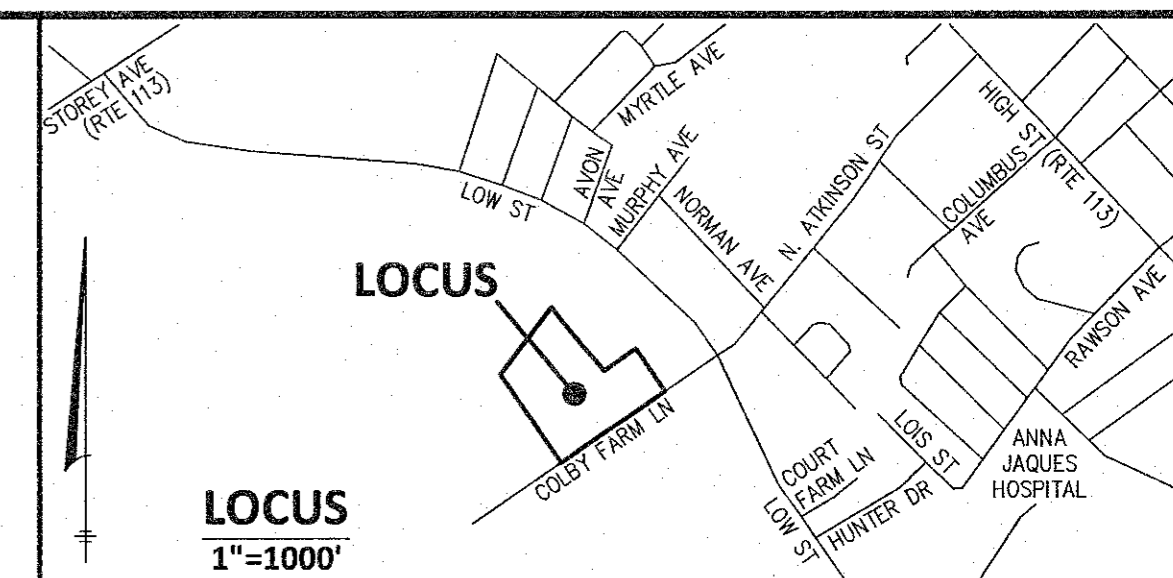
5-26-2020

THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

**RESOURCE AREA BUFFER ZONE ALTERATION CHART (FOR PROPOSED SITE DEVELOPMENT)**

BUFFER ZONES	EXISTING DISTURBANCE	PROPOSED DISTURBANCE		
		GRADING	IMPERVIOUS	BUFFER ZONE RESTORATION
25' "NO DISTURB"	9,891±SF	4,478±SF(45.3%)	116±SF(1.1%)	5,297±SF(53.6%)
50' "WETLAND BUFFER"	21,192±SF	10,292±SF(48.5%)	5,603±SF(26.4%)	5,297±SF(25.0%)
100' "WETLAND BUFFER"	40,451±SF	14,625±SF(36.1%)	20,528±SF(50.7%)	5,297±SF(13.1%)



- ASSESSORS**  
 MAP 98, LOT 26 (8 COLBY FARM LANE)  
 MAP 98, LOT 27 (10 COLBY FARM LANE)  
 MAP 98, LOT 5 (12 COLBY FARM LANE)  
 MAP 98, LOT 4 (18 COLBY FARM LANE)
- DEED REFERENCES**  
 SOUTHERN ESSEX REGISTRY OF DEEDS  
 1. BOOK 26178, PAGE 1.  
 2. BOOK 26178, PAGE 3.  
 3. BOOK 15799, PAGE 31.
- PROPERTY OWNER**  
 ELLSWORTH M. EATON, JR., TRUSTEE  
 EATON CROW REALTY TRUST  
 ELLSWORTH M. EATON, JR., TRUSTEE  
 CROW'S NEST REALTY TRUST
- PLAN REFERENCES**  
 SOUTHERN ESSEX REGISTRY OF DEEDS  
 1. PLAN BOOK 473, PLAN 21.  
 2. PLAN BOOK 335, PLAN 92.  
 3. PLAN BOOK 138, PLAN 72.  
 4. PLAN 282 OF 1975.  
 5. PLAN 462 OF 1961.

**NEWBURYPORT PLANNING BOARD**

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

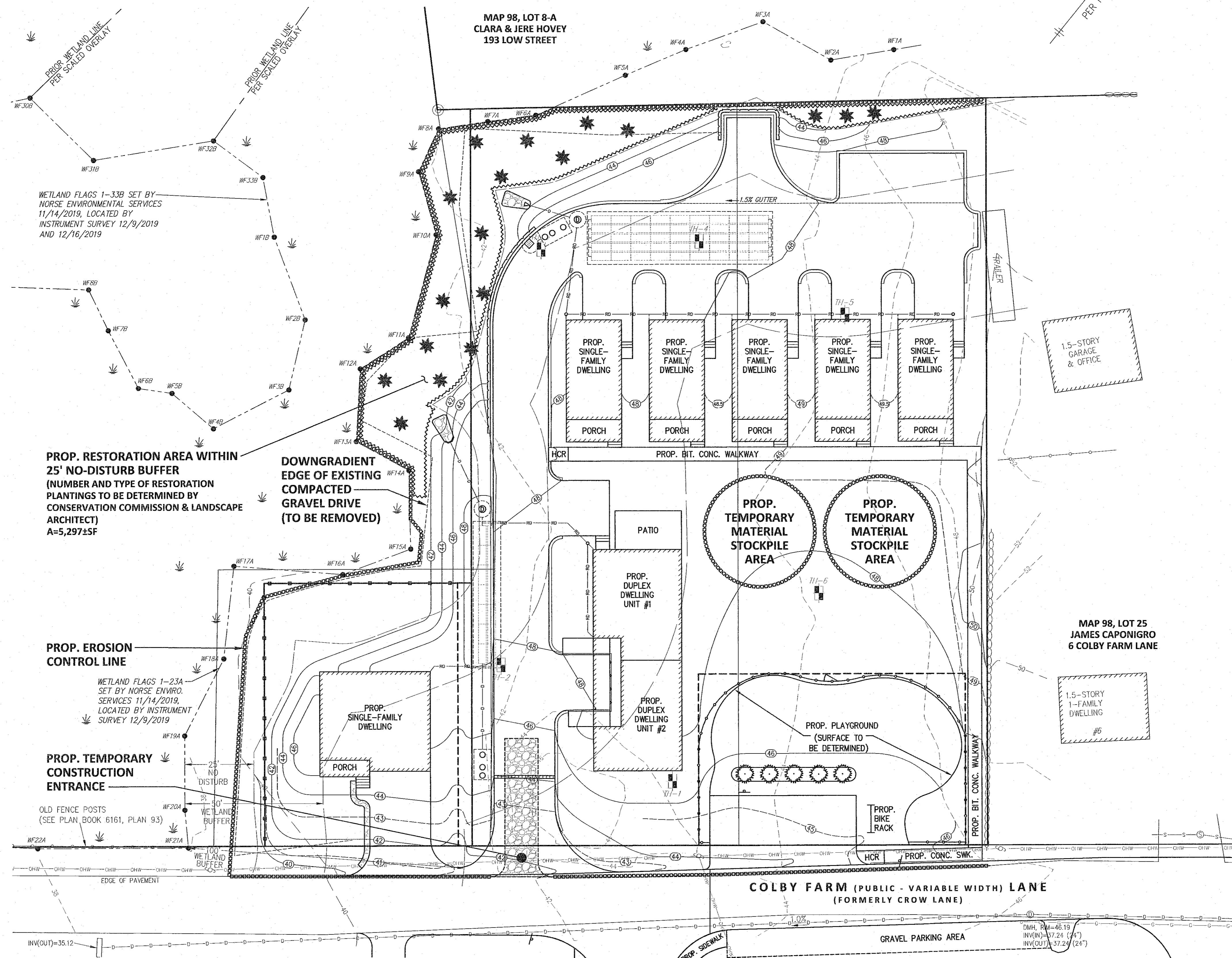
**NEWBURYPORT CITY CLERK**

NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**NEWBURYPORT BOARD OF HEALTH**

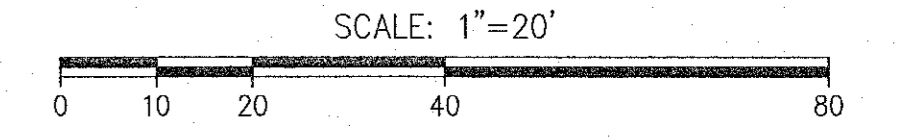
DATE OF APPROVAL: \_\_\_\_\_



- NOTES**
- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
  - NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE JULY 3, 2012.
  - UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

**EROSION CONTROL NOTES**

- ALL DRAINAGE AND STORMWATER FACILITIES SHOULD BE PROTECTED WITH THE USE OF SILT SACKS OR DIVERSION OF WATER UNTIL FINAL PAVING IS IN PLACE.
- EXPOSED OR DISTURBED AREAS DUE TO STRIPPING OF VEGETATION, SOIL REMOVAL, AND RE-GRADING SHALL BE PERMANENTLY STABILIZED WITHIN SIX MONTHS OF OCCUPANCY OF A STRUCTURE.
- DURING CONSTRUCTION, TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT EXPOSED AREA FROM EROSION. UNTIL A DISTURBED AREA IS PERMANENTLY STABILIZED, SEDIMENT IN RUN-OFF WATER SHALL BE TRAPPED BY USING STAKED HAY BALES OR SEDIMENTATION TRAPS.
- ALL SLOPES EXCEEDING FIFTEEN (15) PERCENT RESULTING FROM SITE GRADING SHALL BE BOTH COVERED WITH FOUR (4) INCHES OF TOPSOIL AND PLANTED WITH A VEGETATIVE COVER SUFFICIENT TO PREVENT EROSION OR TO BE STABILIZED BY A RETAINING WALL.
- DUST CONTROL SHALL BE USED DURING GRADING OPERATIONS IF THE GRADING IS TO OCCUR WITHIN TWO HUNDRED (200) FEET OF AN OCCUPIED RESIDENCE OR PLACE OF BUSINESS. DUST CONTROL METHODS MAY CONSIST OF GRADING FINE SOILS ON CALM DAYS ONLY OR DAMPENING THE GROUND WITH WATER.
- NO NET EARTH IS TO BE REMOVED FROM THE SITE.
- APPROXIMATE FILL TO BE OBTAINED OFF-SITE TO BE 5,035±CU.YD., INCLUDING APPROXIMATELY 570±CU.YD. OF GRAVEL AND OTHER MATERIALS NECESSARY FOR THE CONSTRUCTION OF THE STREETS, SIDEWALKS, AND DRIVEWAYS.
- NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACED ON ANY LOT WITHOUT A PERMIT FROM THE HEALTH DEPARTMENT, IF SUCH A PERMIT IS REQUIRED.



**RESTORATION & EROSION CONTROL PLAN**

8, 10, 12, & 18 COLBY FARM LANE  
 NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR: **THE DALY GROUP**  
 229 STEDMAN STREET  
 LOWELL, MASSACHUSETTS 01851

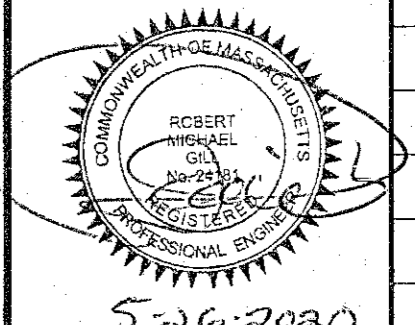
PLAN PREPARED BY: **LANDPLEX**  
 CIVIL ENGINEERING - SURVEYING  
 10 GEORGE STREET, UNIT 208  
 LOWELL, MASSACHUSETTS 01852  
 978-201-9390 - LANDPLEX.COM

SHEET: 7 OF 13    SCALE: 1"=20'    FEBRUARY 14, 2020

NO.	REVISION DESCRIPTION	DATE
5.	PER REVIEW COMMENTS	5/26/2020
4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020
NO.	REVISION DESCRIPTION	DATE

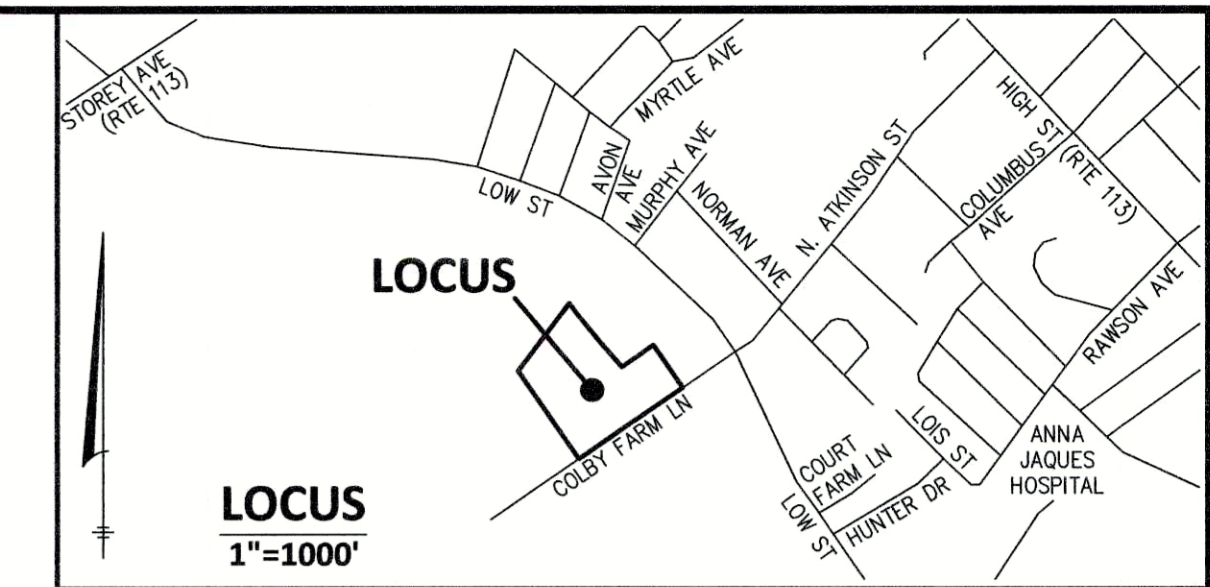
- ABBREVIATIONS**
- BDC. BUILDING
  - BIT. BITUMINOUS
  - CALC. CALCULATED
  - CONC. CONCRETE
  - DMH DRAIN MANHOLE
  - ELEV ELEVATION
  - FF FIRST FLOOR ELEVATION
  - GS GARAGE SLAB ELEVATION
  - INV INVERT
  - REC. RECORD
  - RET.WALL RETAINING WALL
  - RP ROOF PEAK
  - SF SQUARE FEET
  - SMH SEWER MANHOLE
  - TYP TYPICAL
  - UP UTILITY POLE

- LEGEND**
- STONEWALL
  - ⊙ SEWER MANHOLE
  - ⊙ DRAIN MANHOLE
  - ⊙ STONE MONUMENT
  - ⊙ UTILITY POLE
  - WETLAND LINE WITH FLAG
  - UNDERGROUND SEWER LINE
  - UNDERGROUND DRAIN LINE
  - OVERHEAD WIRE LINE
  - 2-FOOT CONTOUR



THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.



FOR REGISTRY USE

**NEWBURYPORT PLANNING BOARD**

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

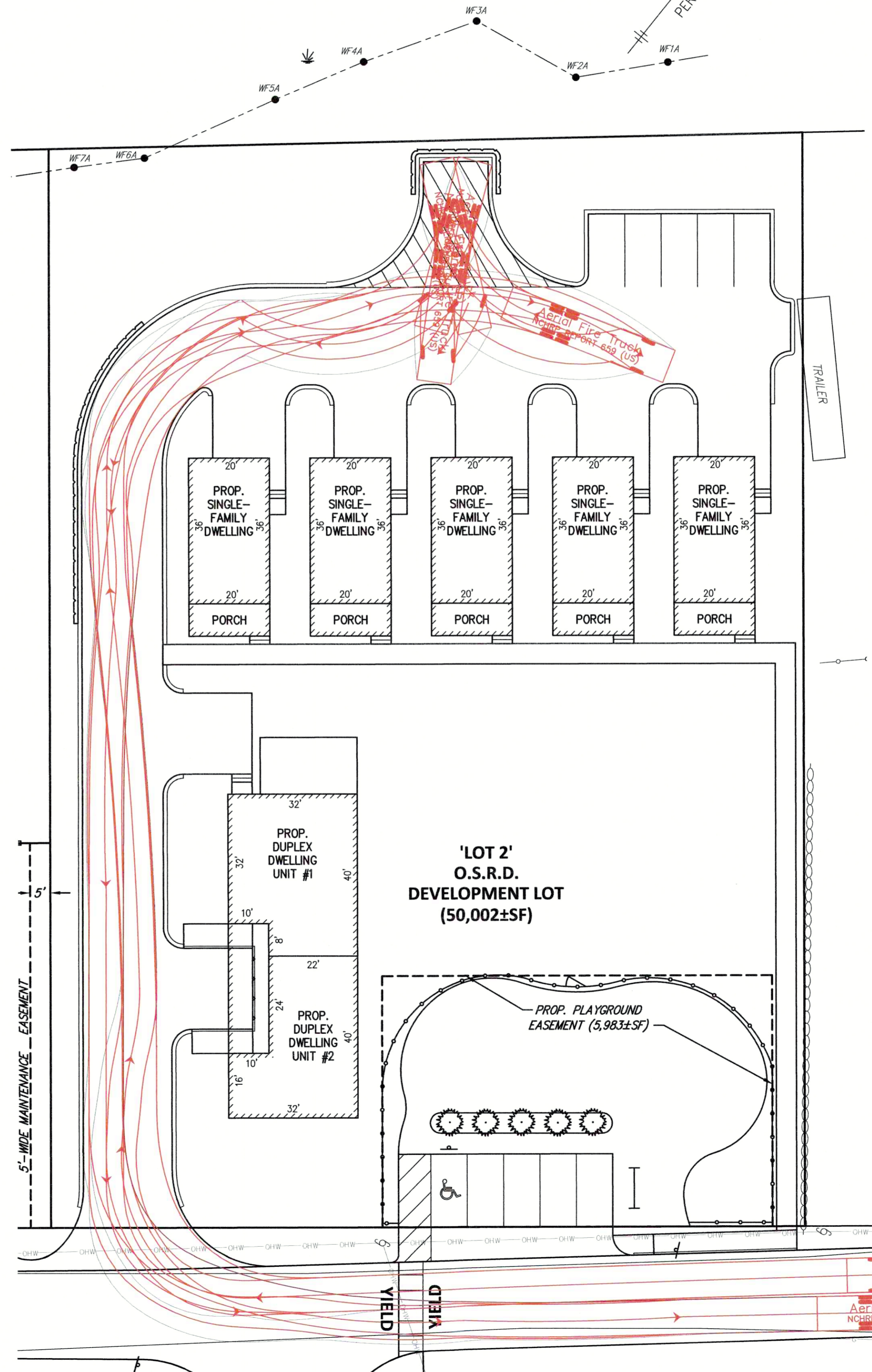
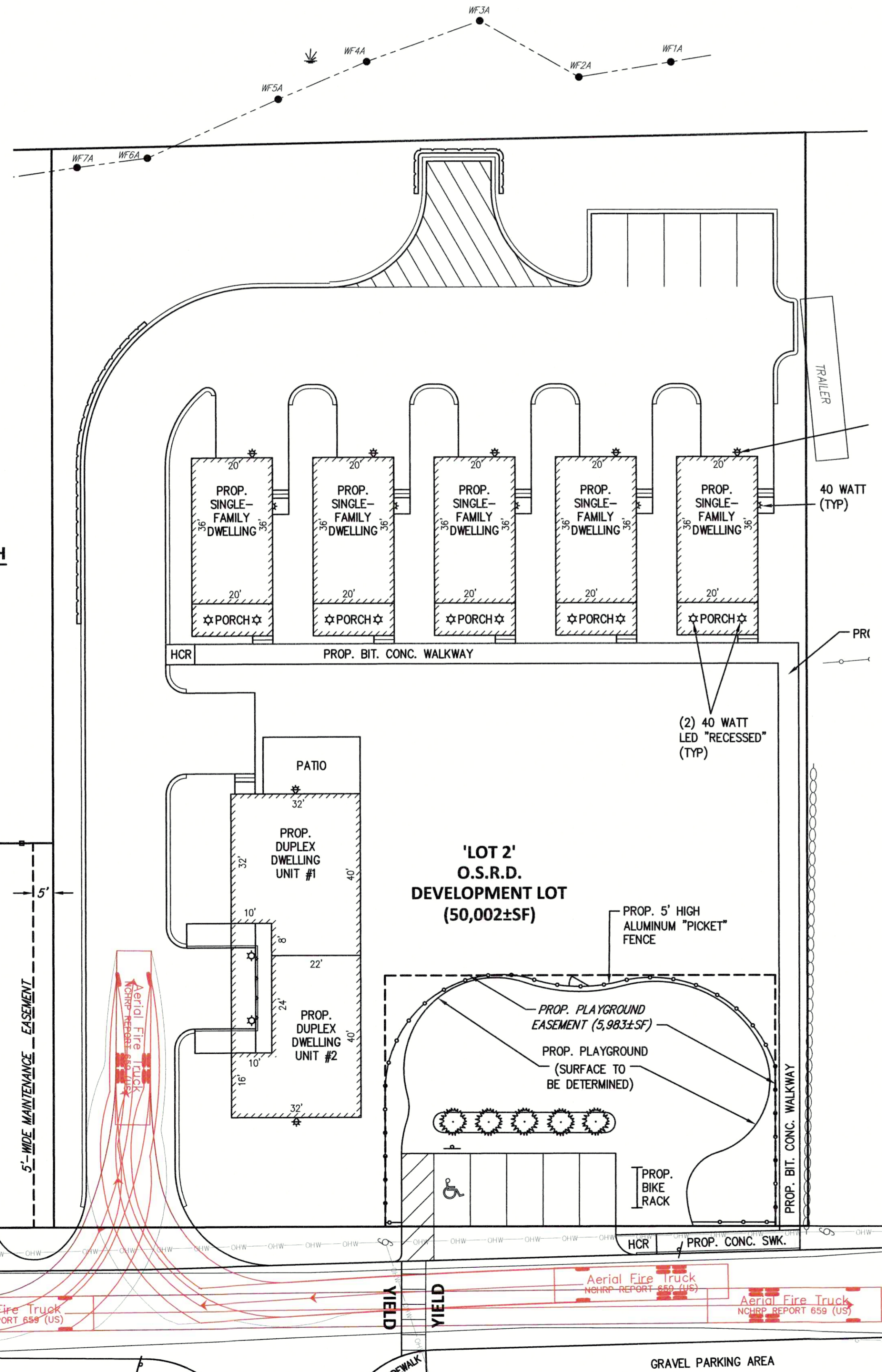
**NEWBURYPORT CITY CLERK**

NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**NEWBURYPORT BOARD OF HEALTH**

DATE OF APPROVAL: \_\_\_\_\_



**ASSESSORS**

- MAP 98, LOT 26 (8 COLBY FARM LANE)
- MAP 98, LOT 27 (10 COLBY FARM LANE)
- MAP 98, LOT 5 (12 COLBY FARM LANE)
- MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST

ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST

**DEED REFERENCES**

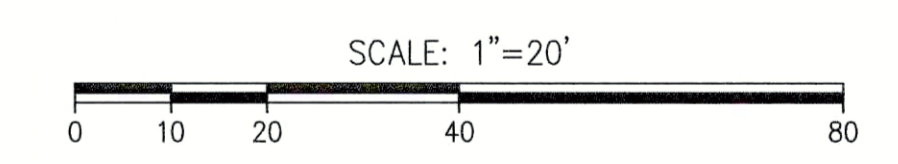
- SOUTHERN ESSEX REGISTRY OF DEEDS
- 1. BOOK 26178, PAGE 1.
- 2. BOOK 26178, PAGE 3.
- 3. BOOK 15799, PAGE 31.

**PLAN REFERENCES**

- SOUTHERN ESSEX REGISTRY OF DEEDS
- 1. PLAN BOOK 473, PLAN 21.
- 2. PLAN BOOK 335, PLAN 92.
- 3. PLAN BOOK 138, PLAN 72.
- 4. PLAN 262 OF 1975.
- 5. PLAN 462 OF 1961.

**NOTES**

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- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.



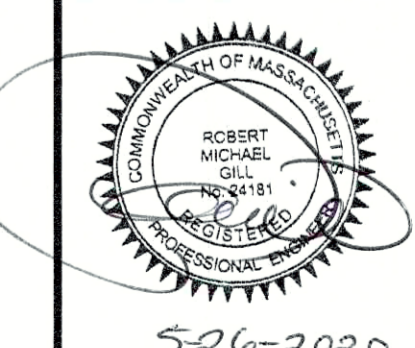
**EMERGENCY VEHICLE SWEPT-PATH ANALYSIS**

**8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR:  
**THE DALY GROUP**  
229 STEDMAN STREET  
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY:  
**LANDPLEX**  
CIVIL ENGINEERING - SURVEYING  
10 GEORGE STREET, UNIT 208  
LOWELL, MASSACHUSETTS 01852  
978-201-9390 - LANDPLEX.COM

SHEET: 8 OF 13    SCALE: 1"=20'    FEBRUARY 14, 2020



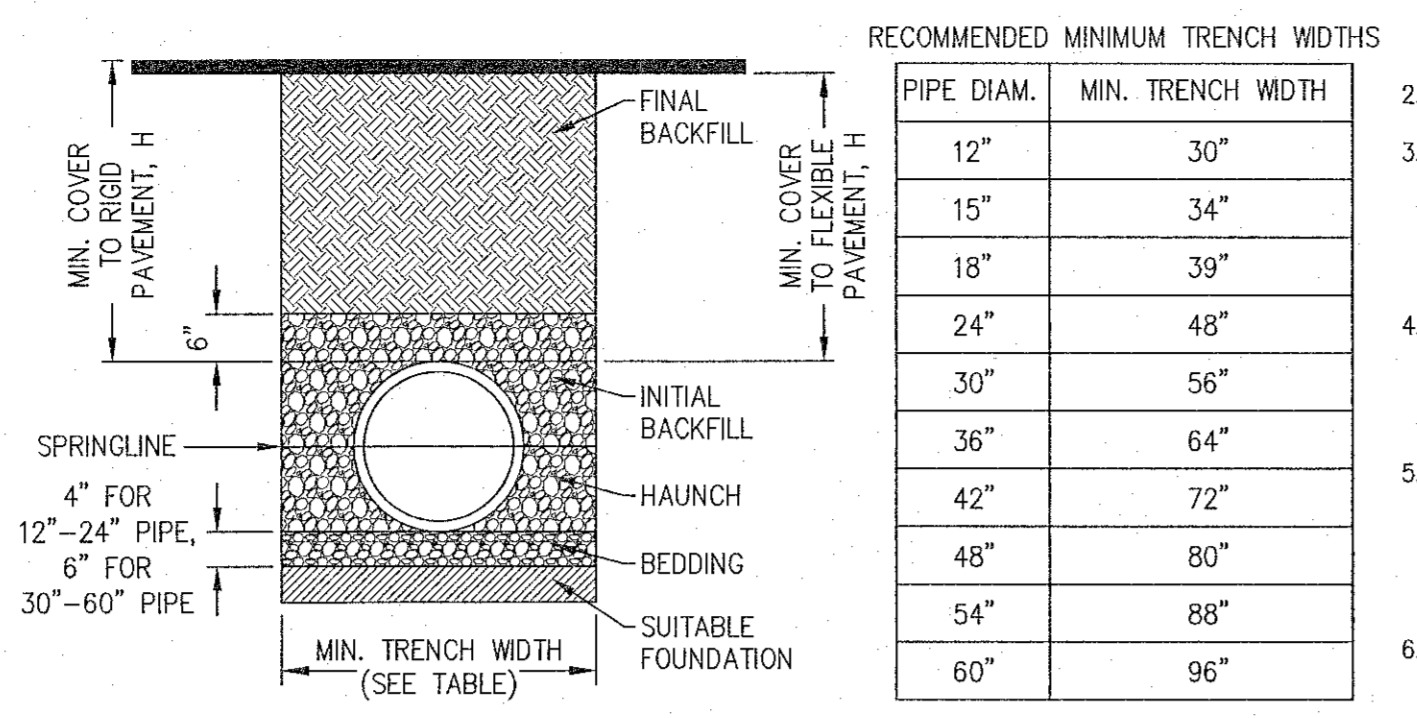
NO.	REVISION DESCRIPTION	DATE
5.	PER REVIEW COMMENTS	5/26/2020
4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020

5-26-2020



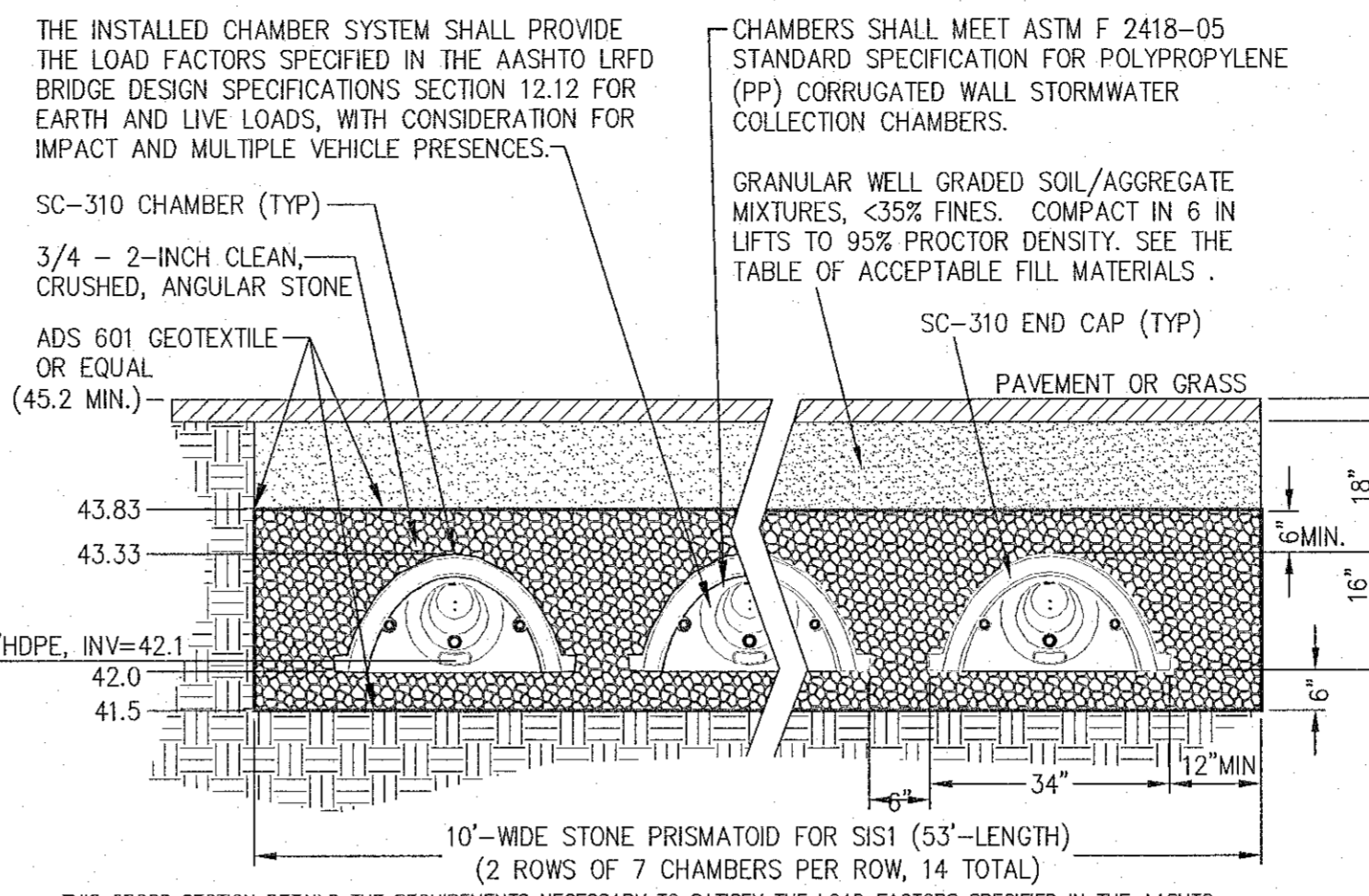
THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

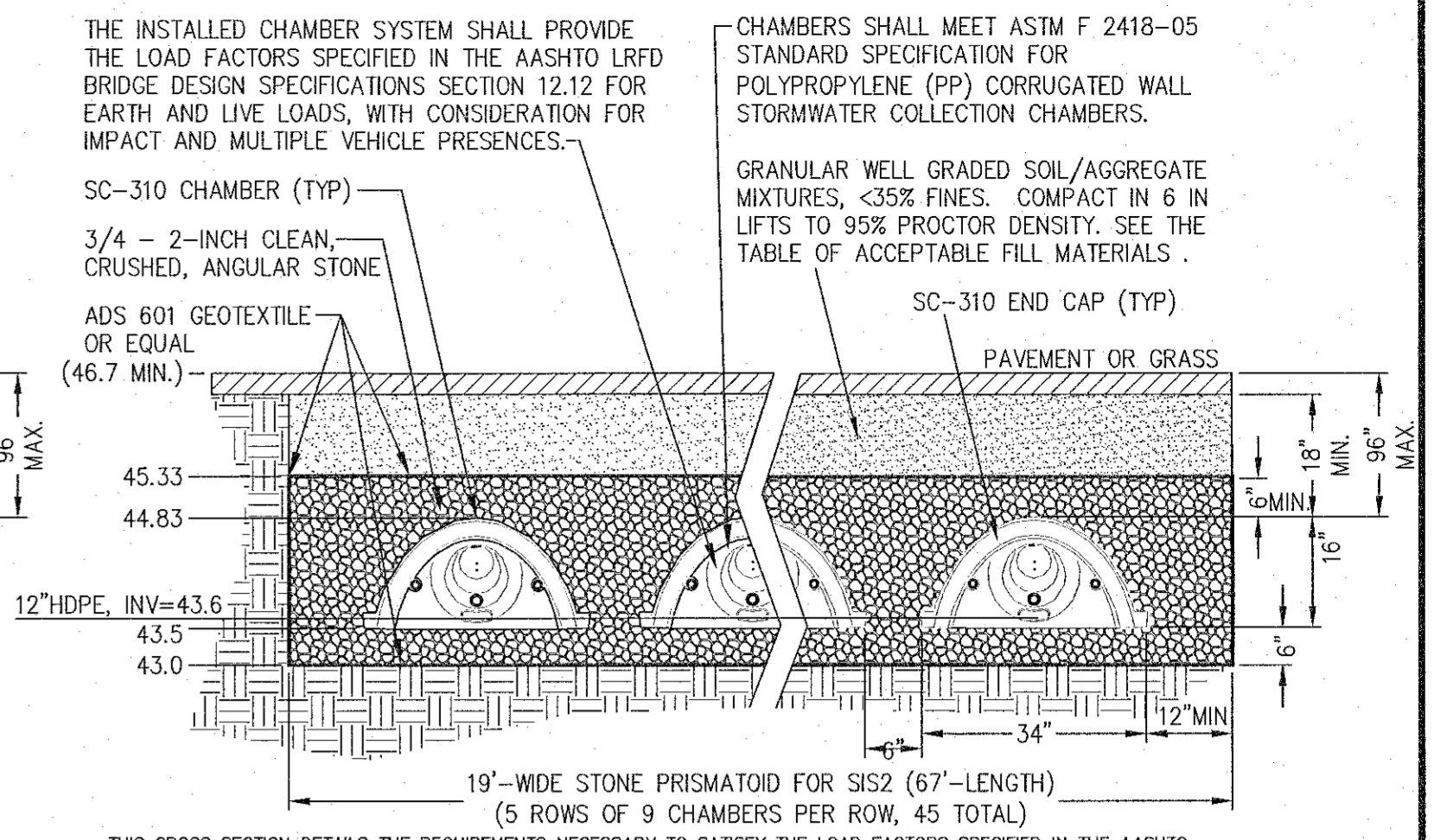


**TYPICAL PIPE TRENCH DETAIL**  
CROSS SECTION NOT TO SCALE

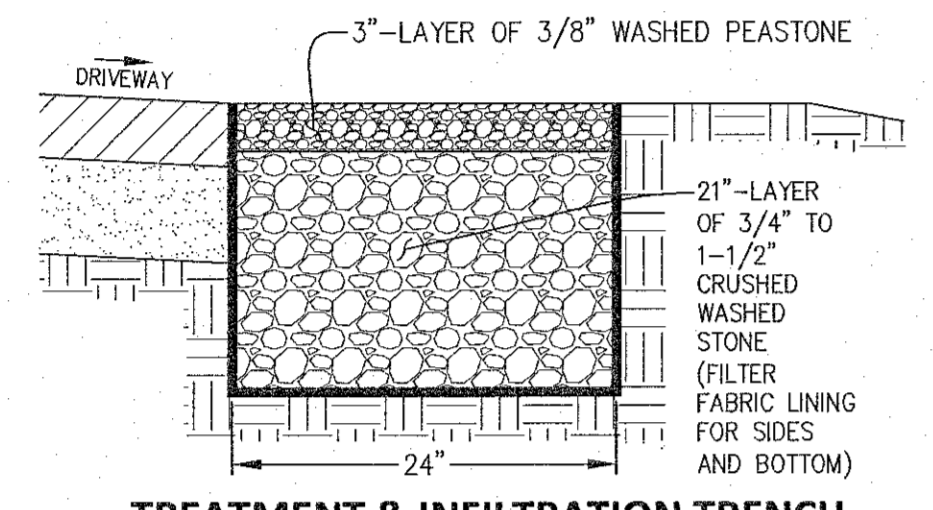
- NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDINGS: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 12"-24", 6" FOR 30"-60".
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 36" MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



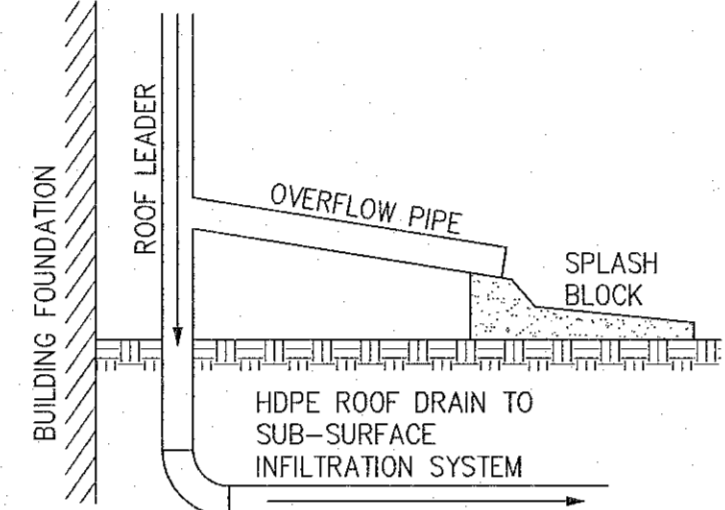
**SUB-SURFACE INFILTRATION SYSTEM 1 (SIS1)**  
(STORMTECH SC-310 OR APPROVED EQUAL)  
CROSS SECTION NOT TO SCALE



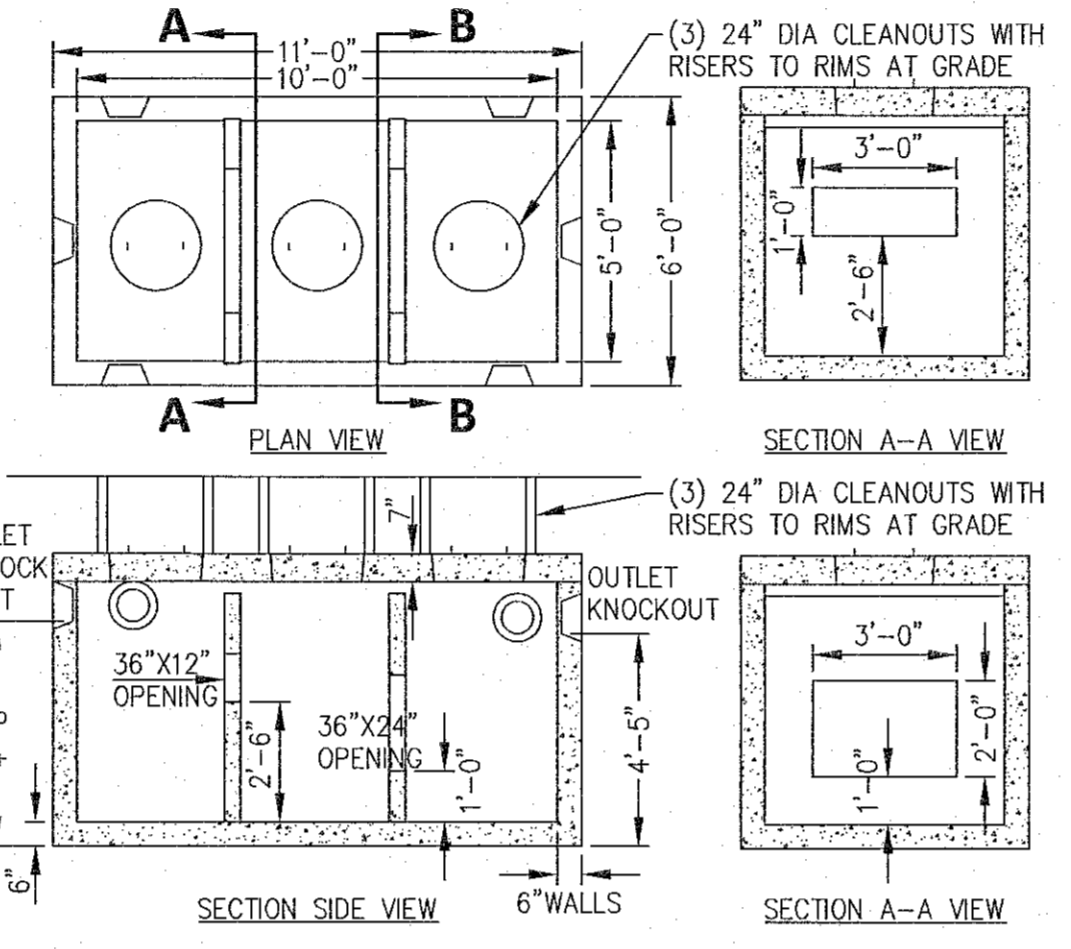
**SUB-SURFACE INFILTRATION SYSTEM 2 (SIS2)**  
(STORMTECH SC-310 OR APPROVED EQUAL)  
CROSS SECTION NOT TO SCALE



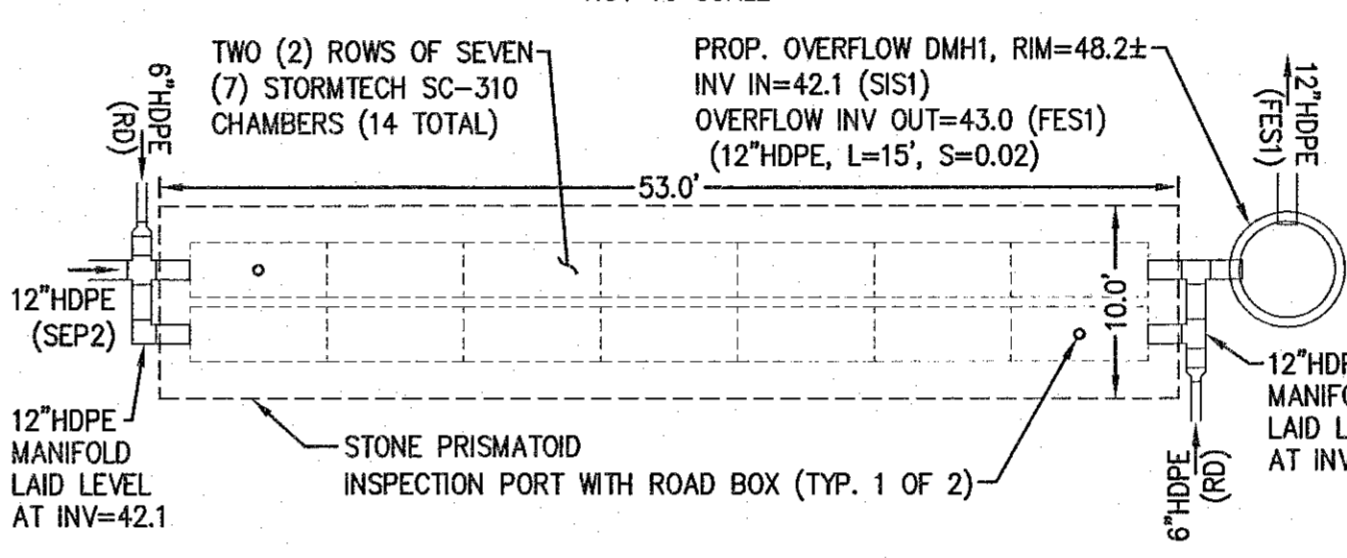
**TREATMENT & INFILTRATION TRENCH CROSS SECTION**  
NOT TO SCALE



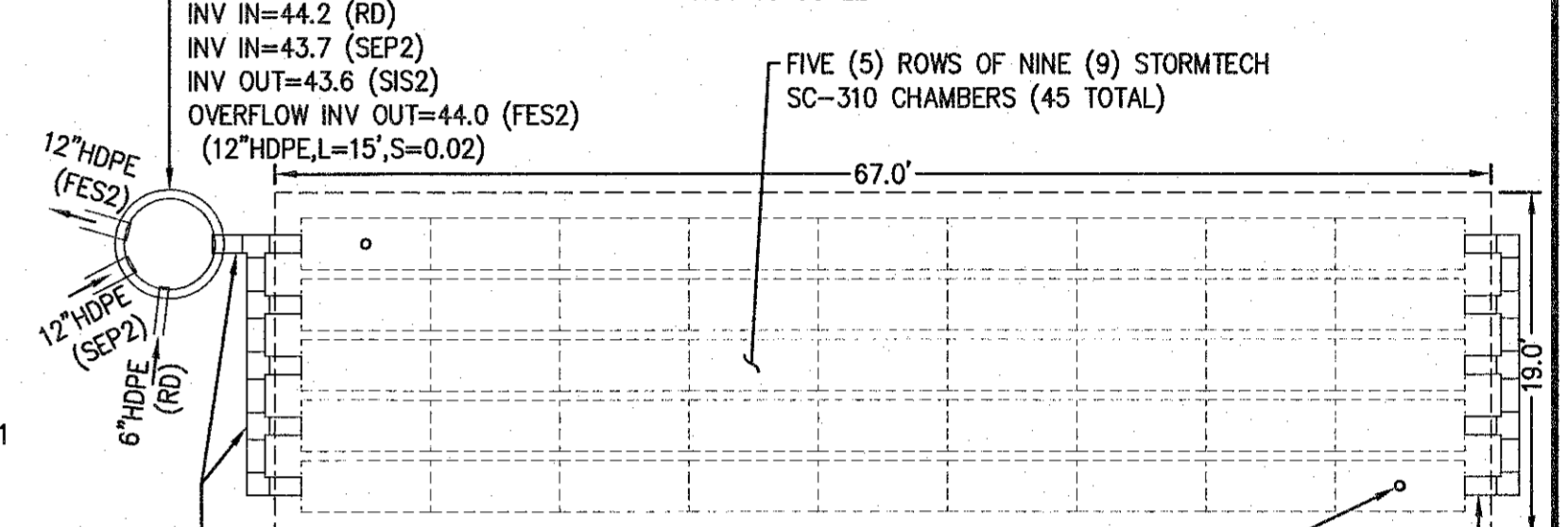
**ROOF DRAIN DETAIL**  
NOT TO SCALE



**SECTION A-A VIEW**  
SECTION SIDE VIEW



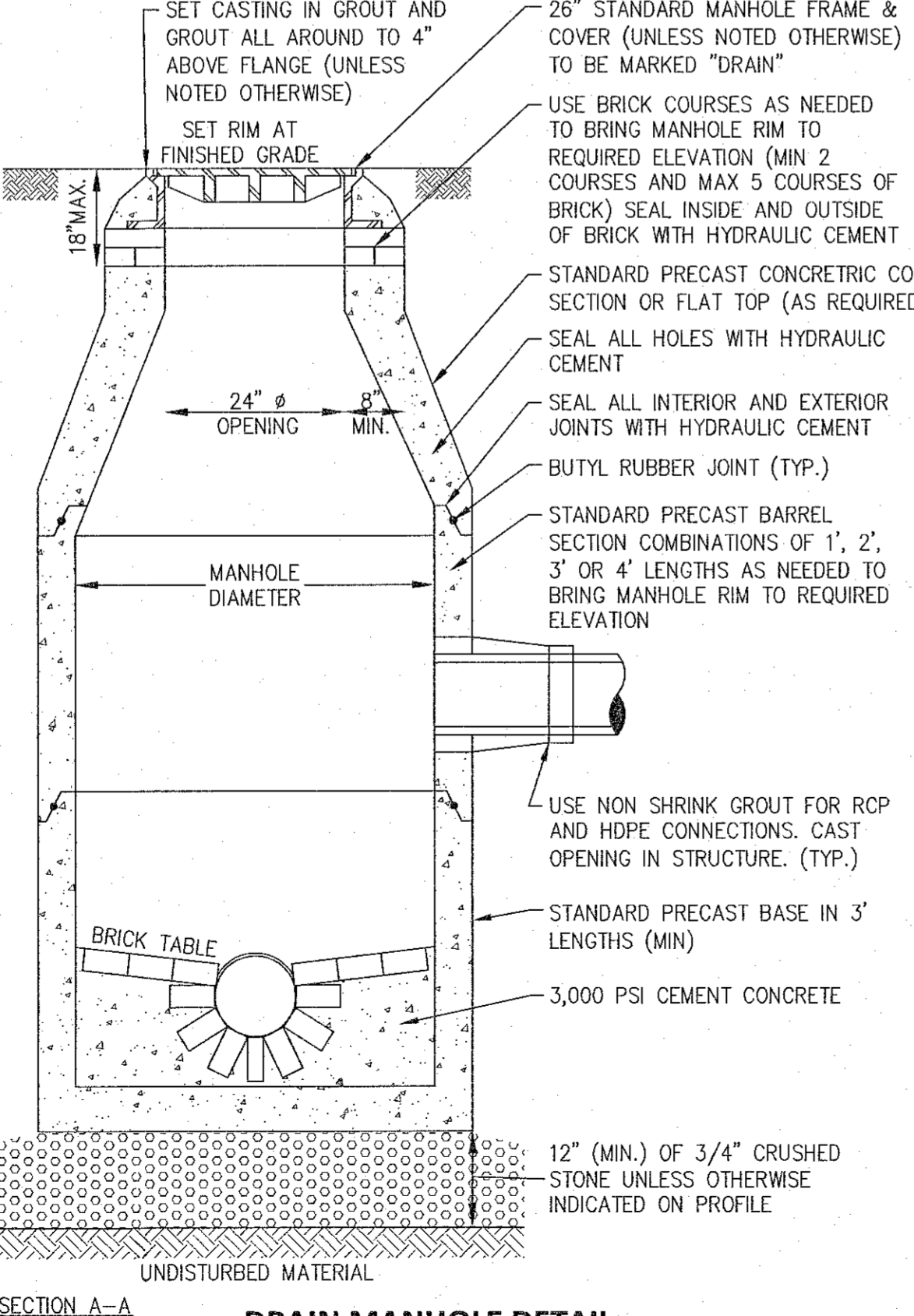
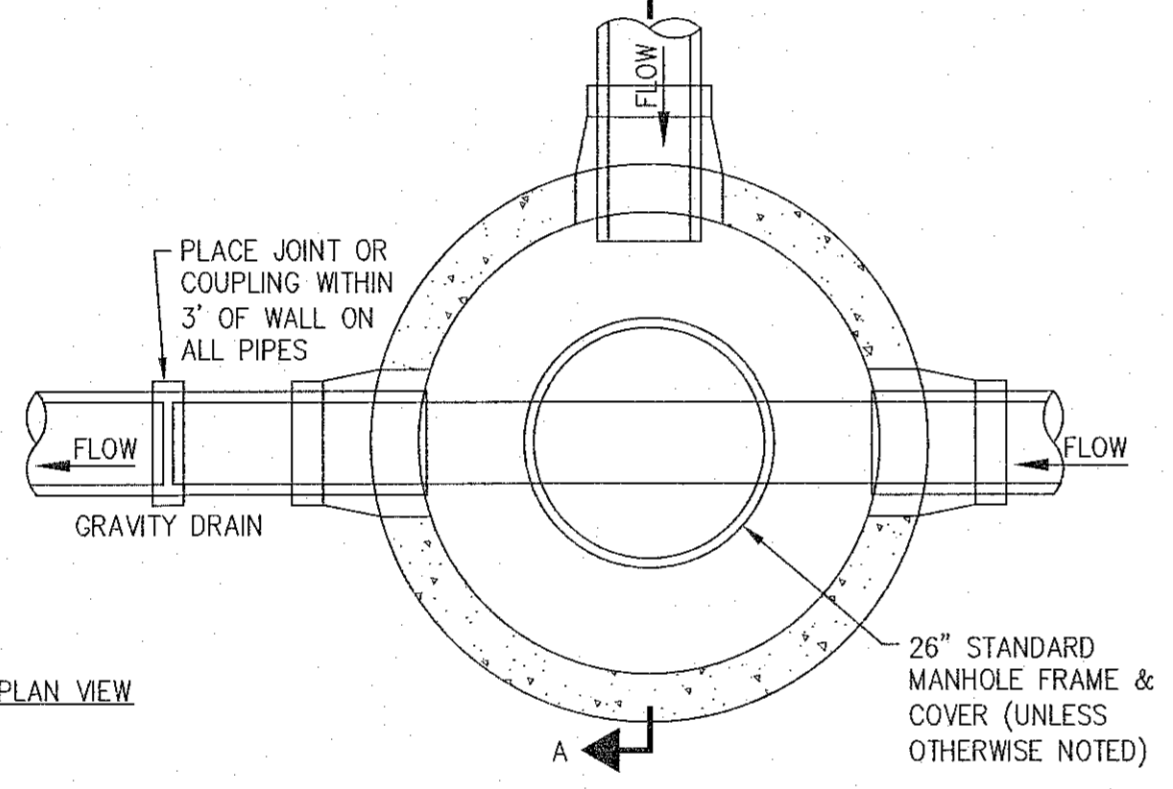
**SUB-SURFACE INFILTRATION SYSTEM 1 (SIS1)**  
PLAN VIEW SCALE: 1"=10'



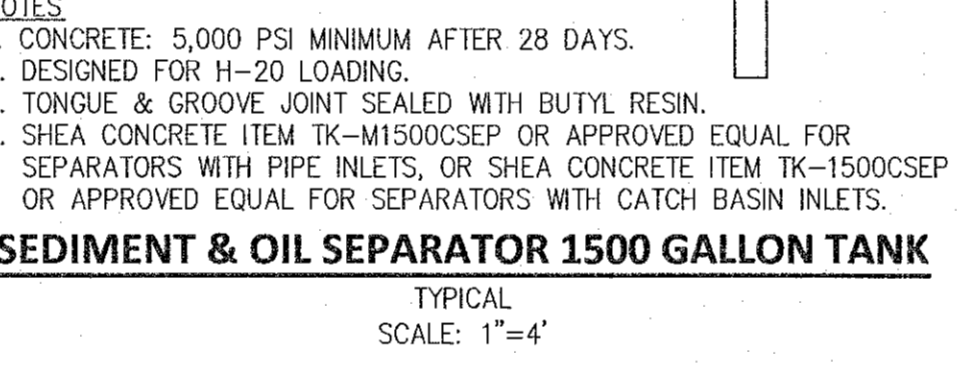
**SUB-SURFACE INFILTRATION SYSTEM 2 (SIS2)**  
PLAN VIEW SCALE: 1"=10'

**NEWBURYPORT CITY CLERK**  
NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

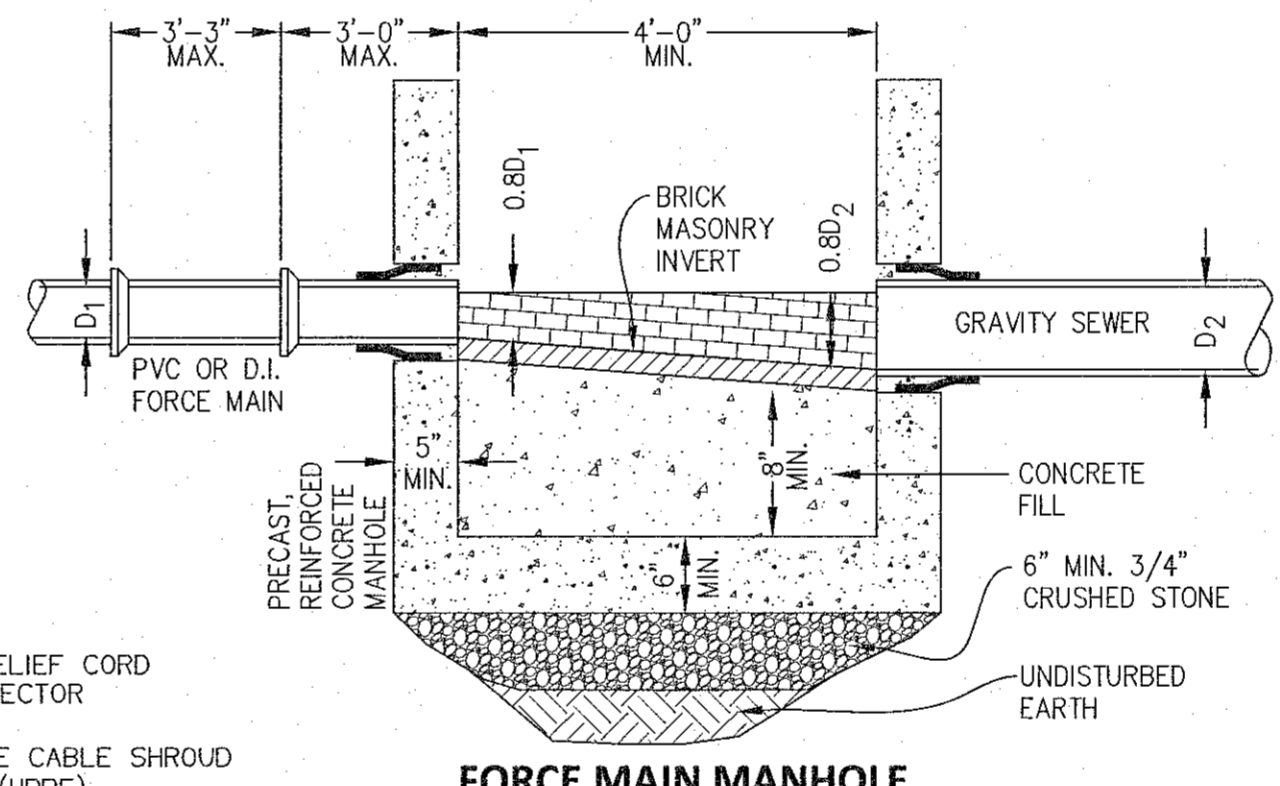
**NEWBURYPORT BOARD OF HEALTH**  
DATE OF APPROVAL:



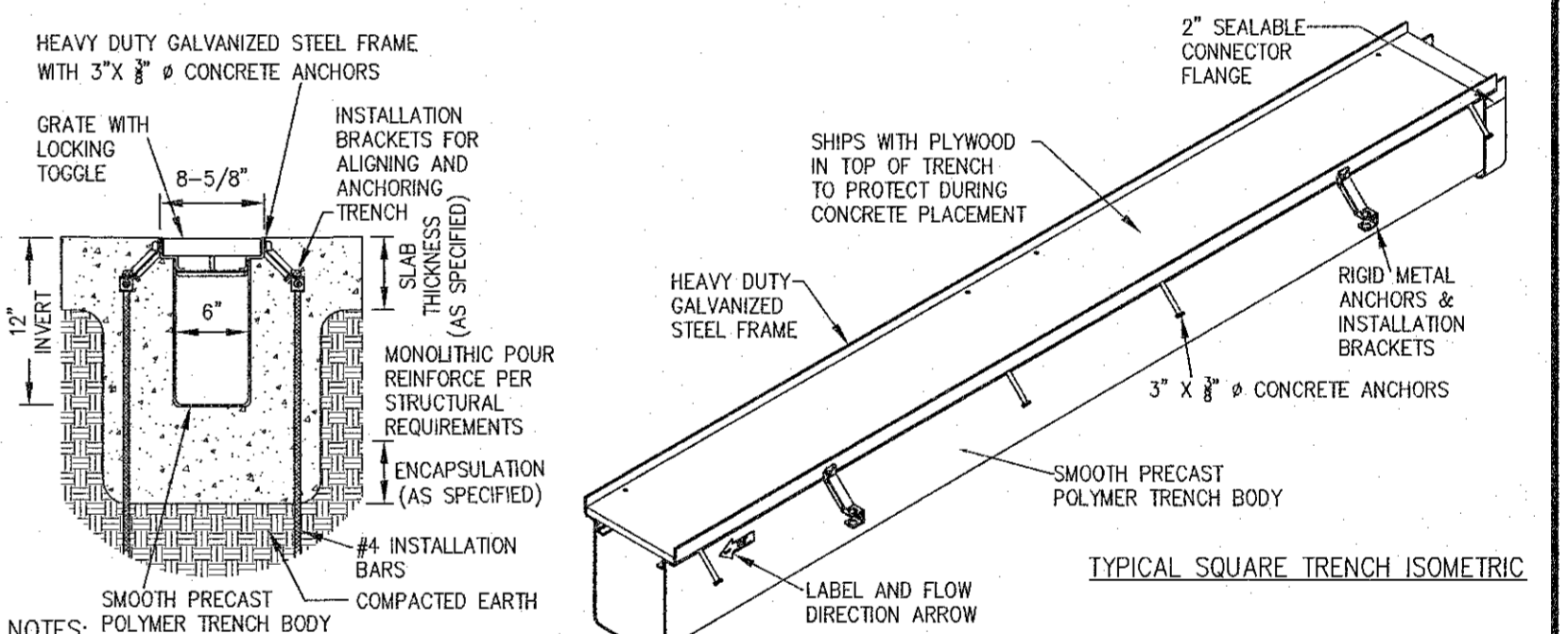
**DRAIN MANHOLE DETAIL**  
NOT TO SCALE



**SEDIMENT & OIL SEPARATOR 1500 GALLON TANK**  
TYPICAL SCALE: 1"=4'



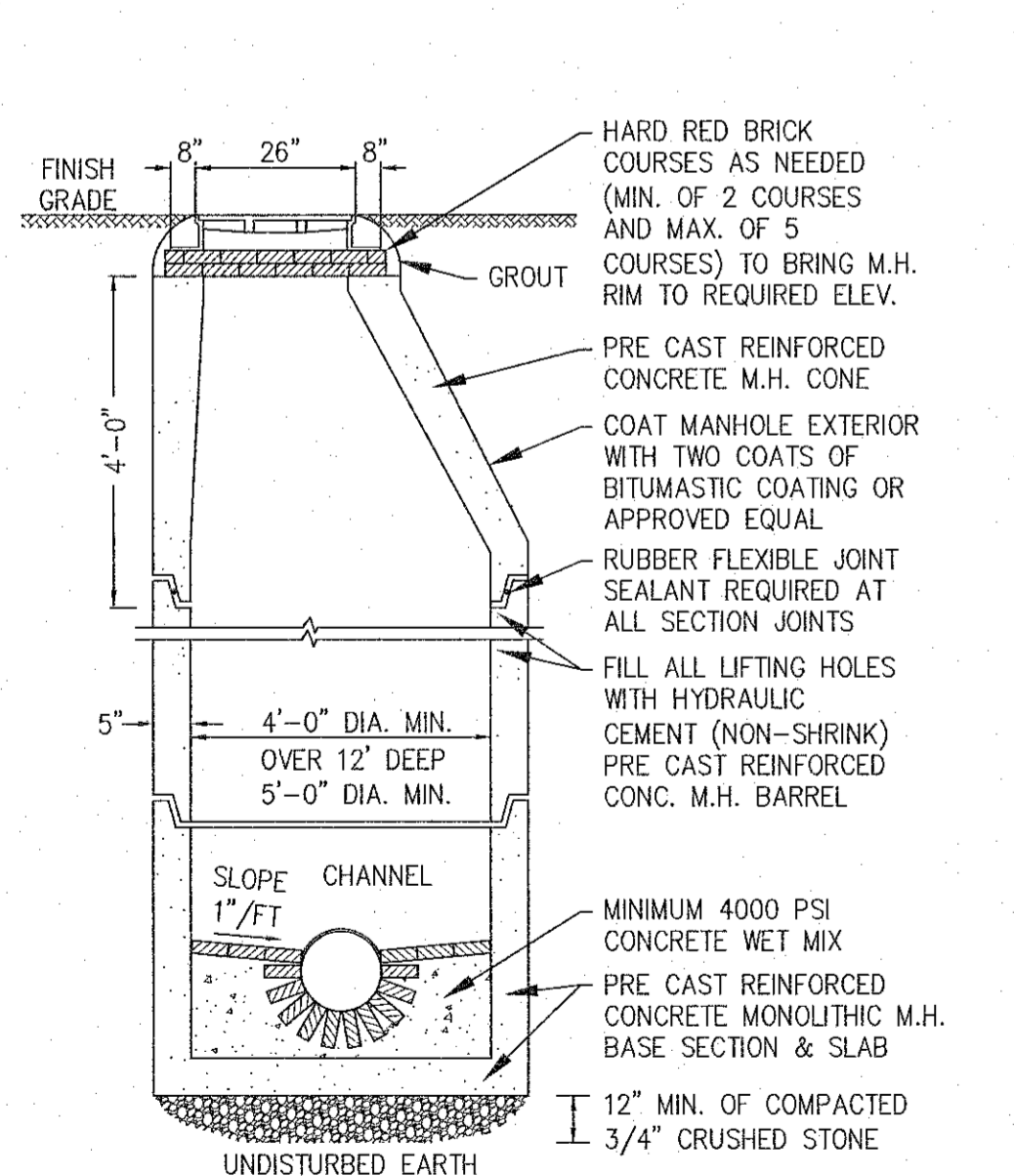
**FORCE MAIN MANHOLE**  
CROSS SECTION NOT TO SCALE



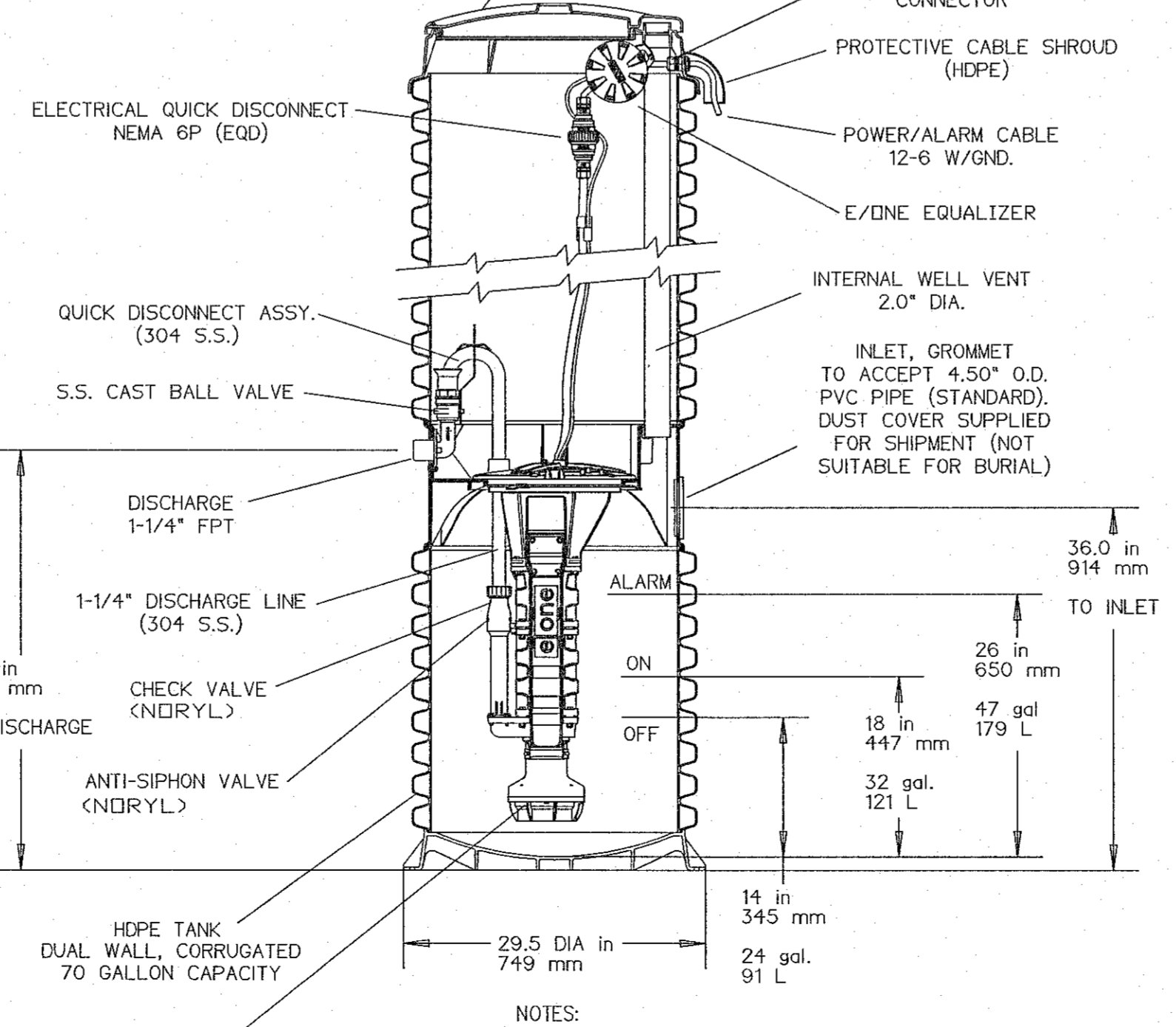
**PRE-FABRICATED 6\"/>**

FOR REGISTRY USE  
**NEWBURYPORT PLANNING BOARD**  
NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

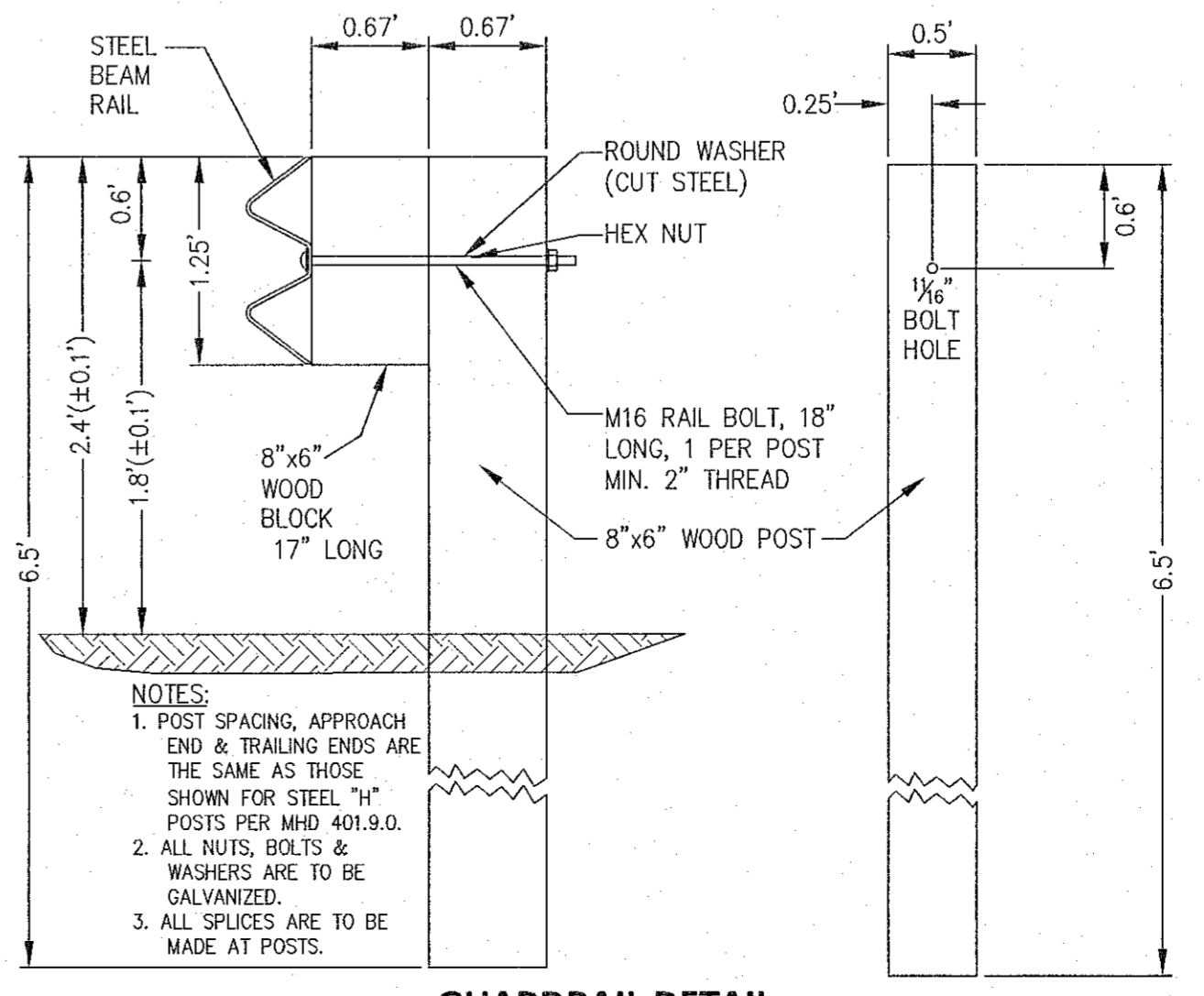
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**TYPICAL SEWER MANHOLE DETAIL**  
CROSS SECTION NOT TO SCALE

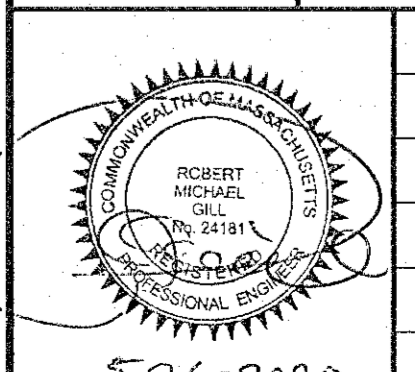


**E-ONE GRINDER PUMP - MODEL DH071**  
CROSS SECTION NOT TO SCALE



**GUARDRAIL DETAIL**  
NOT TO SCALE

8, 10, 12, & 18 COLBY FARM LANE NEWBURYPORT, MASSACHUSETTS		
PLAN PREPARED FOR:	PLAN PREPARED BY:	
<b>THE DALY GROUP</b> 229 STEDMAN STREET LOWELL, MASSACHUSETTS 01851	<b>LANDPLEX</b> CIVIL ENGINEERING - SURVEYING 10 GEORGE STREET, UNIT 208 LOWELL, MASSACHUSETTS 01852 978-201-9390 - LANDPLEX.COM	
SHEET: 9 OF 13	SCALE: 1"=40'	FEBRUARY 14, 2020
NO.	REVISION DESCRIPTION	DATE
5.	PER REVIEW COMMENTS	5/26/2020
4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020



THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.

**NEWBURYPORT PLANNING BOARD**

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
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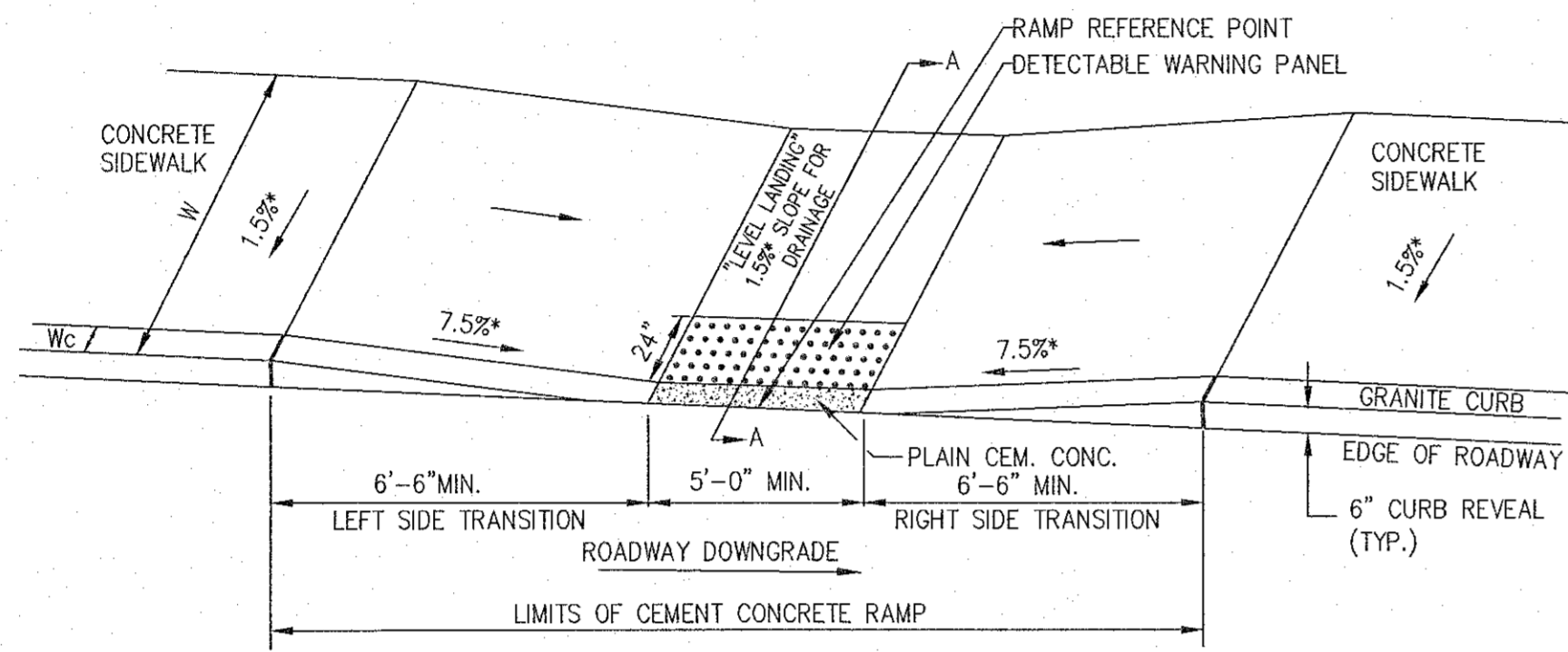
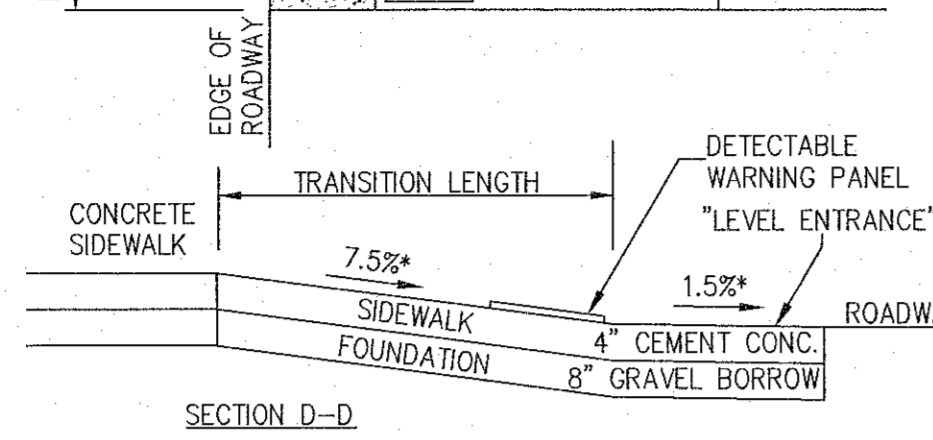
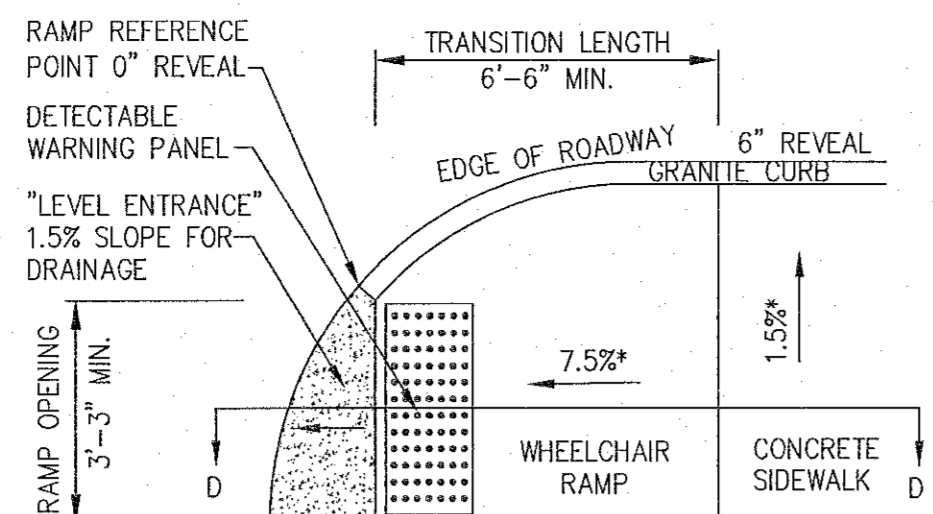
**NEWBURYPORT CITY CLERK**

NO NOTICE OF APPEAL WAS RECEIVED DURING THE 20 DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD APPROVAL OF THE PLAN.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

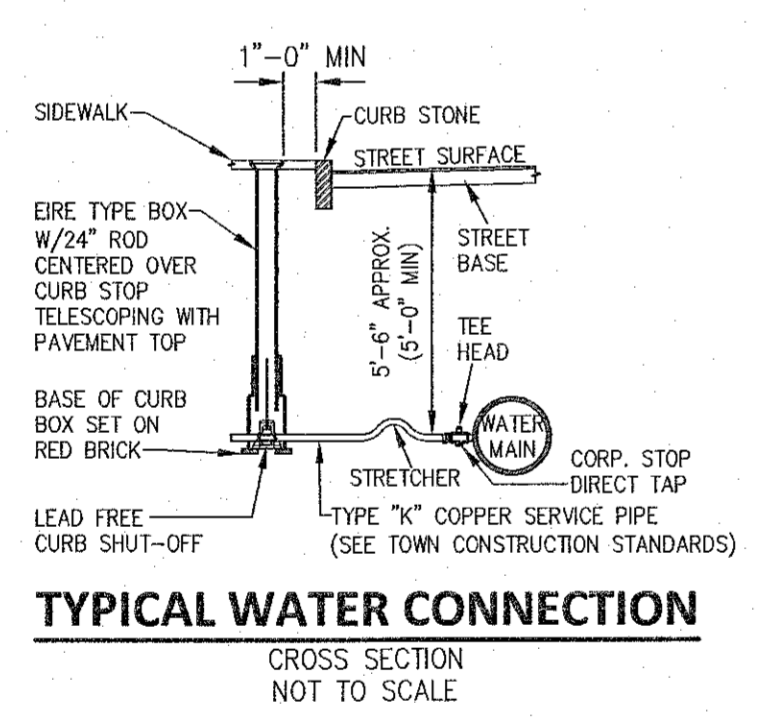
**NEWBURYPORT BOARD OF HEALTH**

DATE OF APPROVAL: \_\_\_\_\_



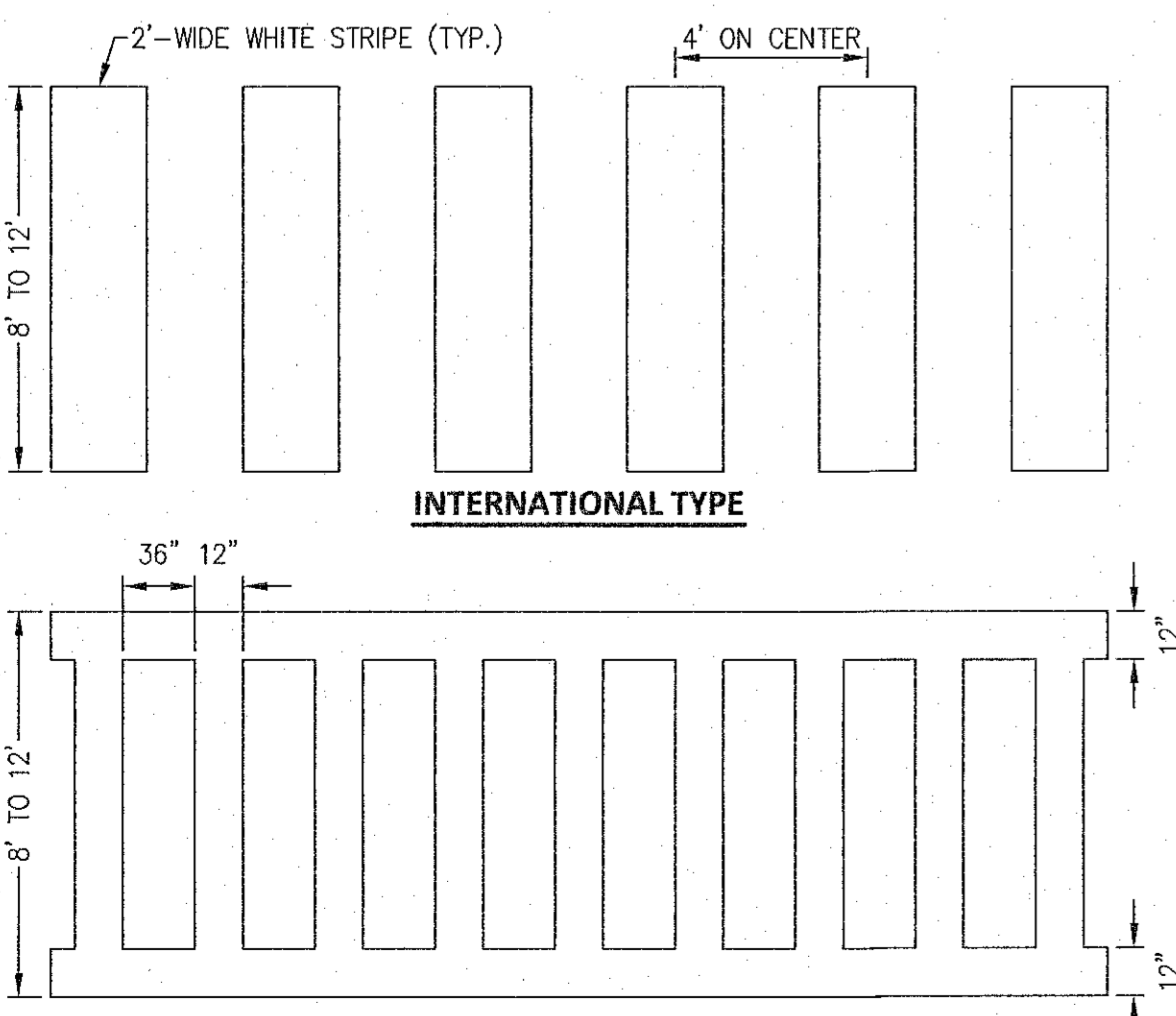
**LEGEND:**  
 HSL = HIGH SIDE TRANSITION LENGTH  
 W = SIDEWALK WIDTH  
 Wc = CURB WIDTH  
 W-Wc = USABLE SIDEWALK WIDTH PER AAB  
 USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0"

**WHEEL CHAIR RAMP DETAILS**



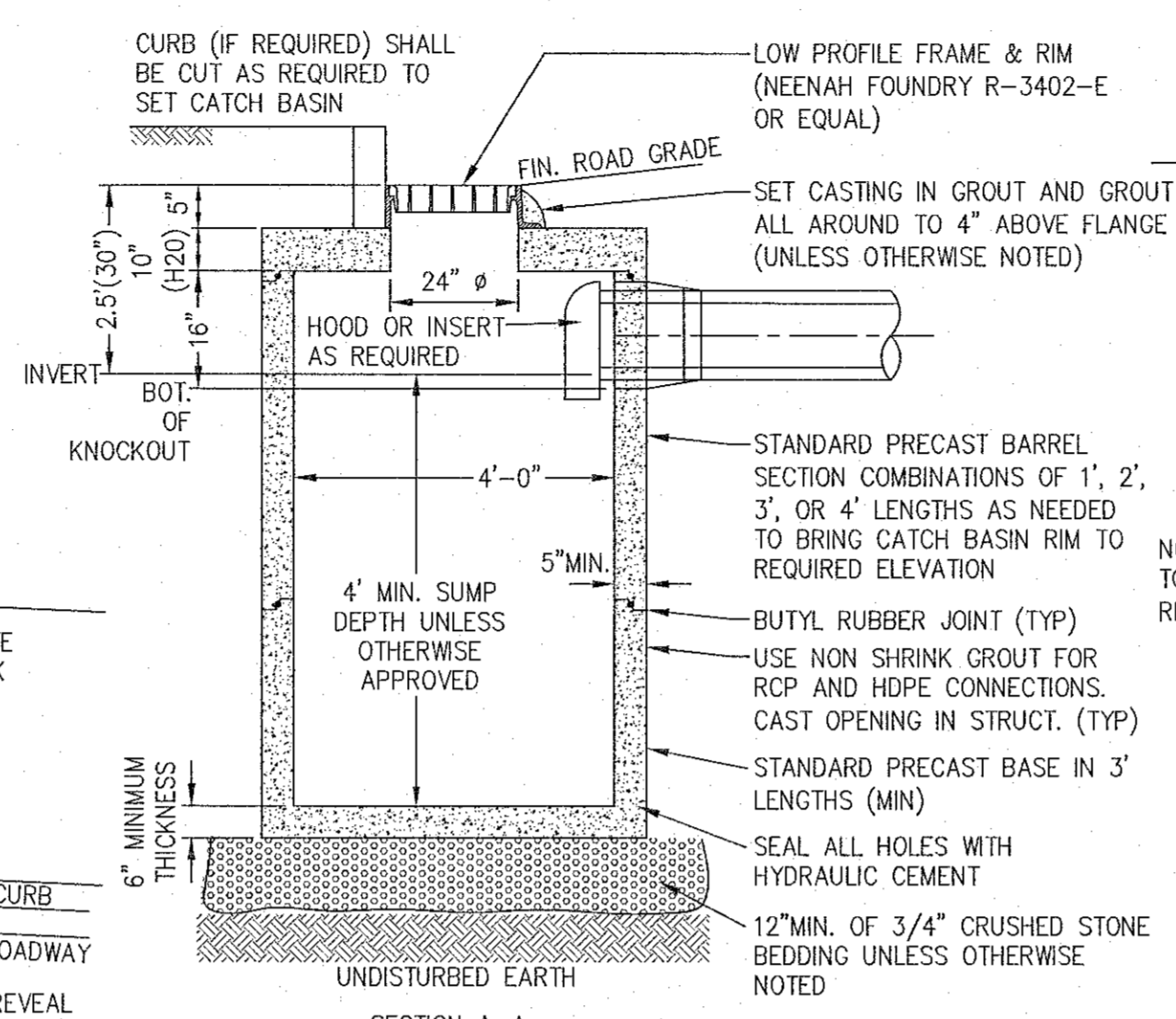
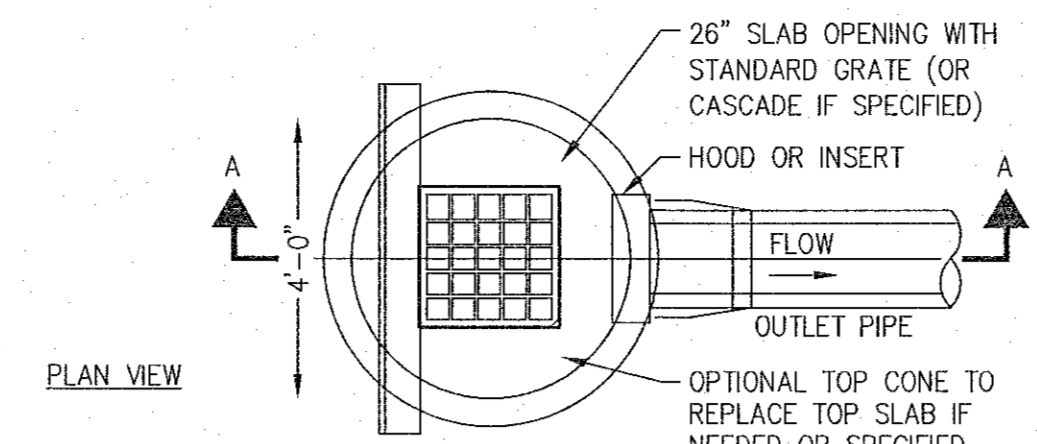
**TYPICAL WATER CONNECTION**

CROSS SECTION NOT TO SCALE



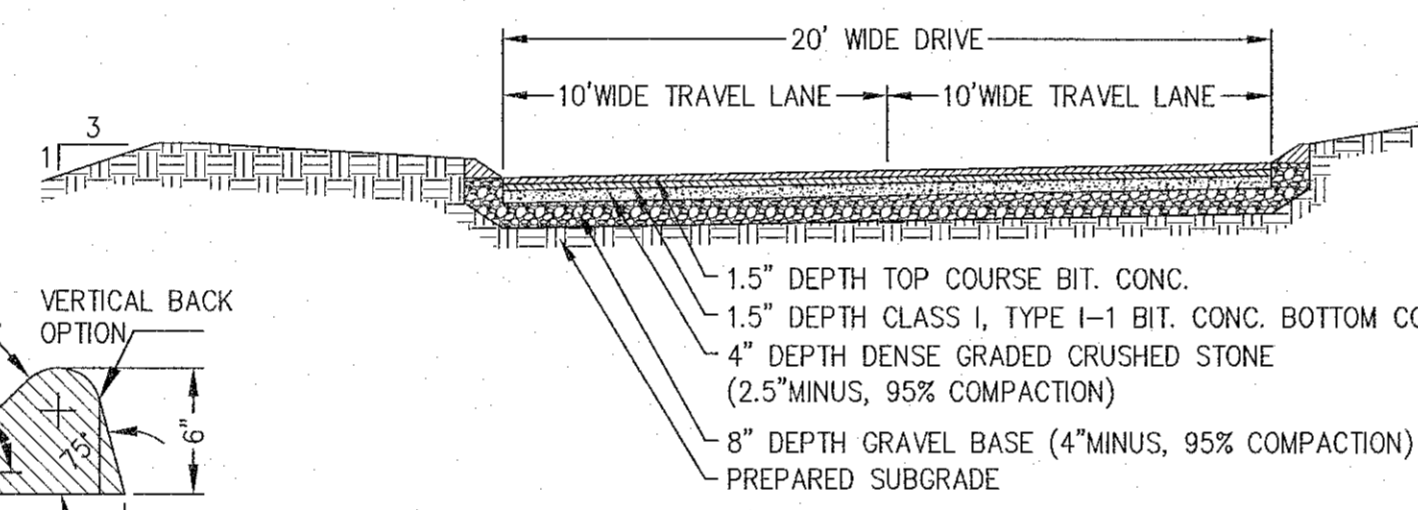
**NEWBURYPORT CROSSWALK DETAILS**

NOT TO SCALE



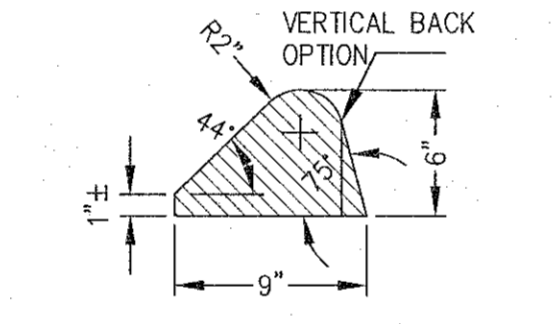
**SINGLE GRATE CATCH BASIN (LOW PROFILE)**

NOT TO SCALE



**TYPICAL DRIVE CROSS-SECTION**

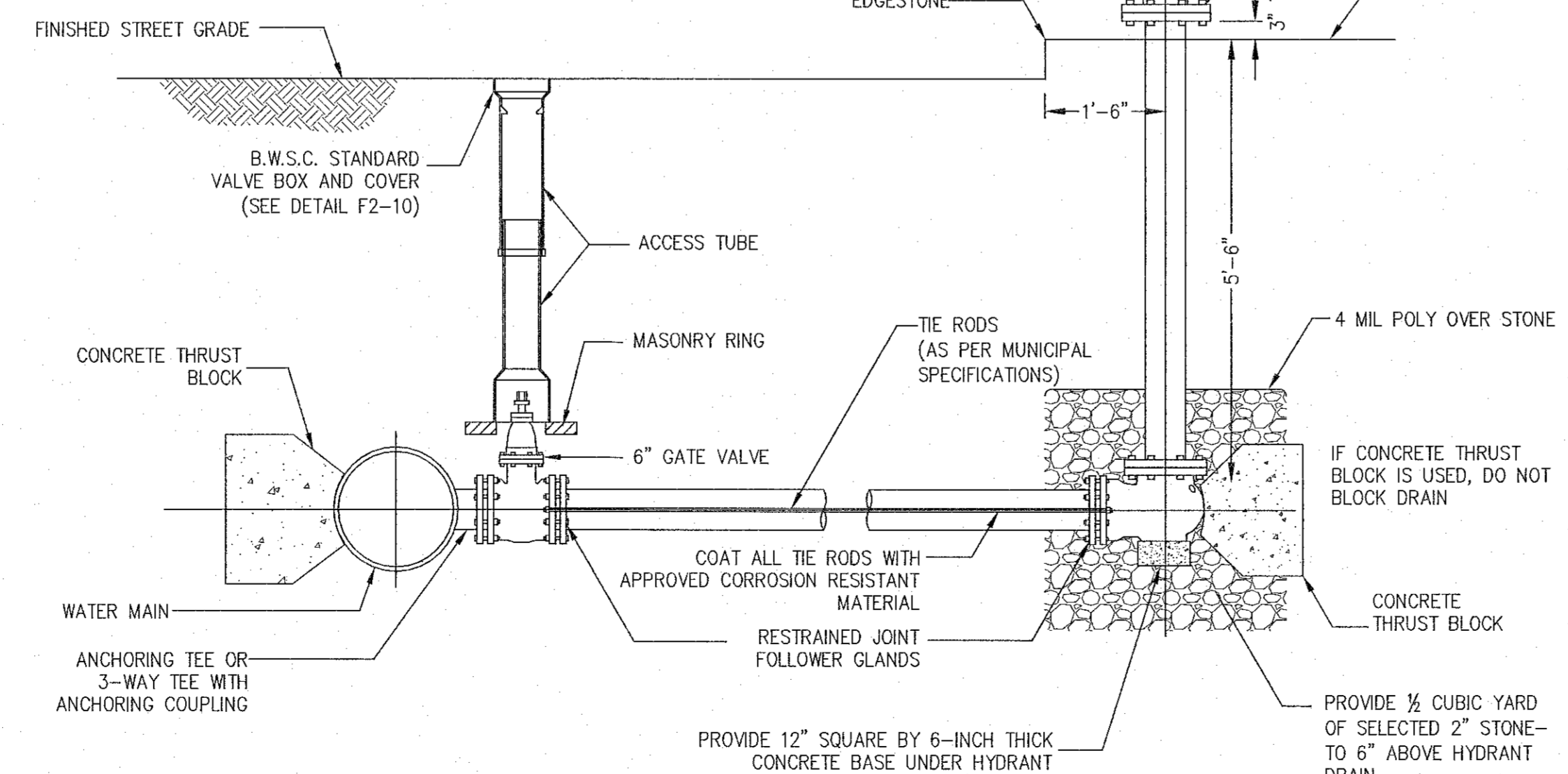
NOT TO SCALE



**CAPE COD BERM DETAIL**

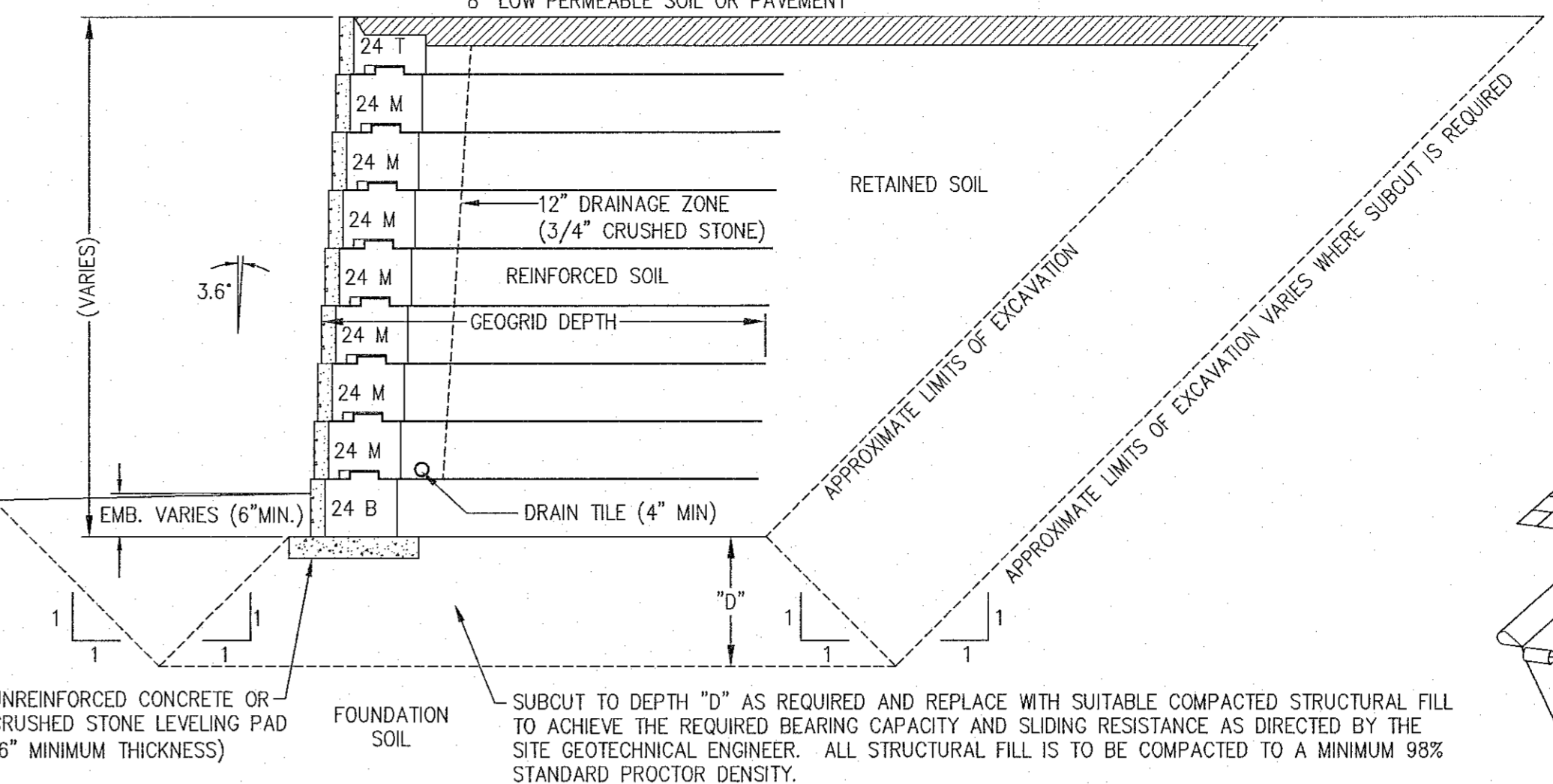
CROSS SECTION NOT TO SCALE

- NOTES:**
1. ANY DEVIATIONS OF THIS TYPICAL CONNECTION TO MEET FIELD CONDITIONS SHALL BE APPROVED BY THE ENGINEER.
  2. USE RESTRAINED JOINT FOLLOWER GLANDS, OR TIE RODS IN ACCORDANCE WITH SECTION C-1 OF BWSG SPECIFICATIONS, WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE TO THE ENGINEER.
  3. CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH AND WHERE APPROVED BY THE ENGINEER.
  4. SIZE OF BLOCK OR FITTING TO BE DESIGNED FOR SPECIFIC CONDITIONS, OR ANY NECESSARY BENDS.



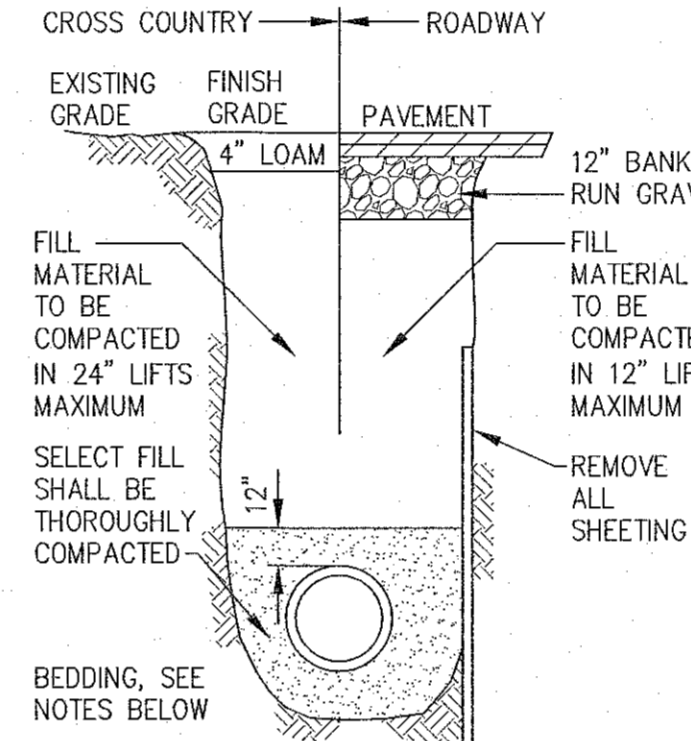
**TYPICAL FIRE HYDRANT CONNECTION**

CROSS SECTION NOT TO SCALE



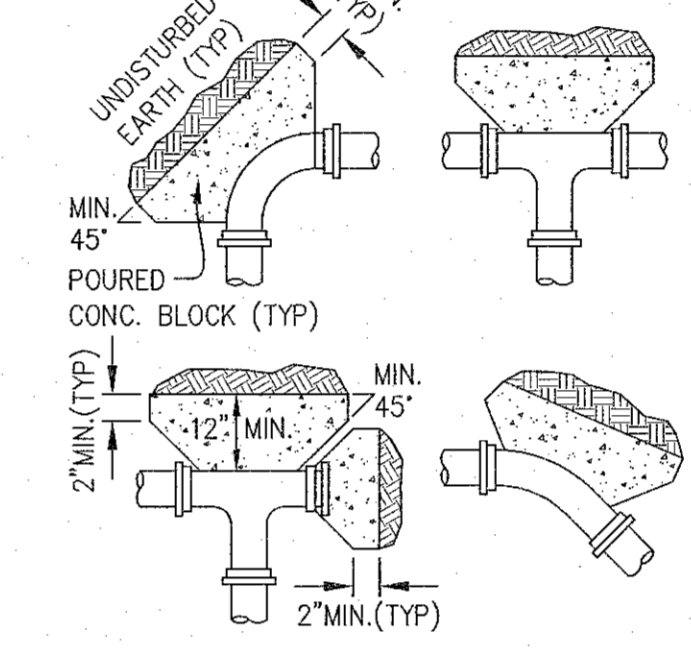
**TYPICAL GEO-GRID WALL CROSS SECTION**

NOT TO SCALE



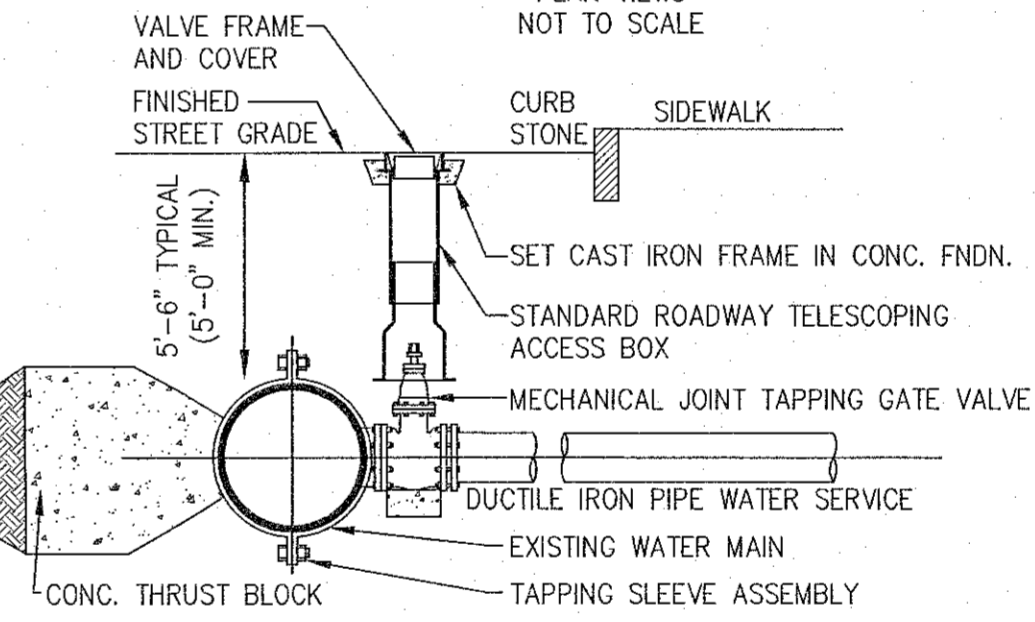
**WATER MAIN TRENCH DETAIL**

CROSS SECTION NOT TO SCALE



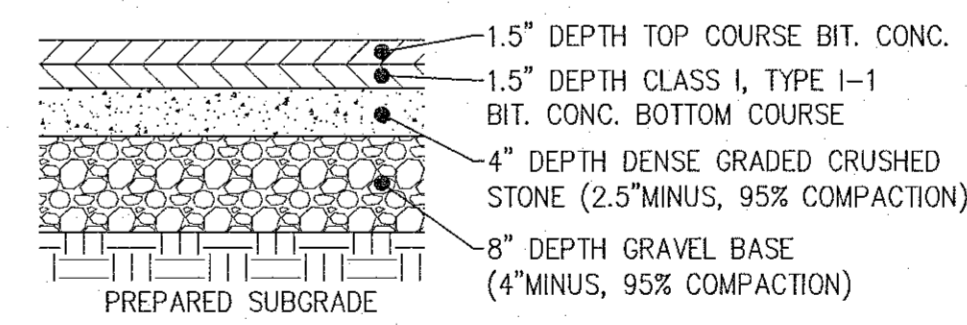
**TYPICAL THRUST BLOCK DETAIL**

NOT TO SCALE



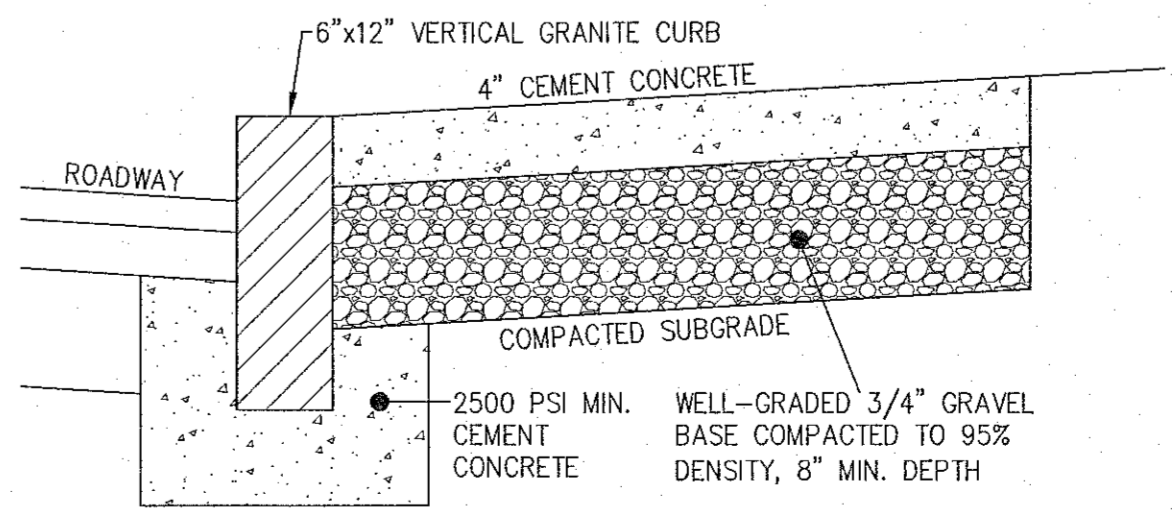
**TAPPING SLEEVE DETAIL**

CROSS SECTION NOT TO SCALE



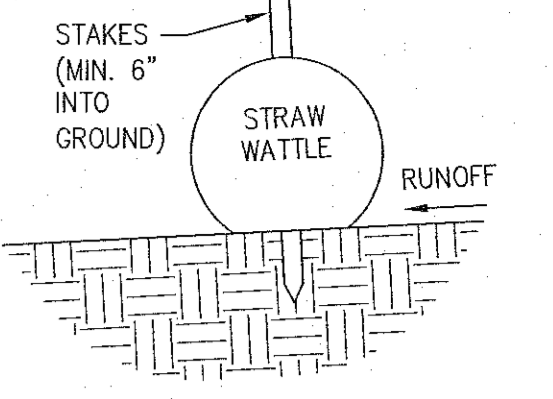
**TYPICAL BIT. CONC. PAVEMENT**

CROSS SECTION NOT TO SCALE



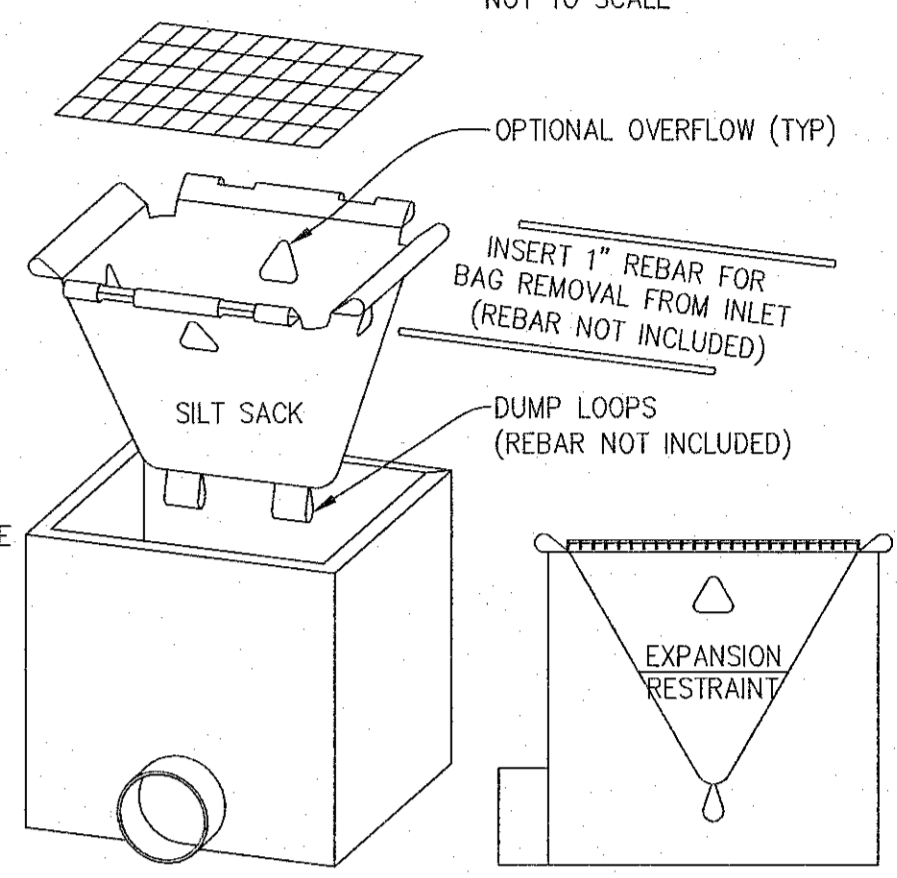
**VERTICAL GRANITE CURB WITH CEMENT CONCRETE SIDEWALK DETAIL**

CROSS SECTION NOT TO SCALE



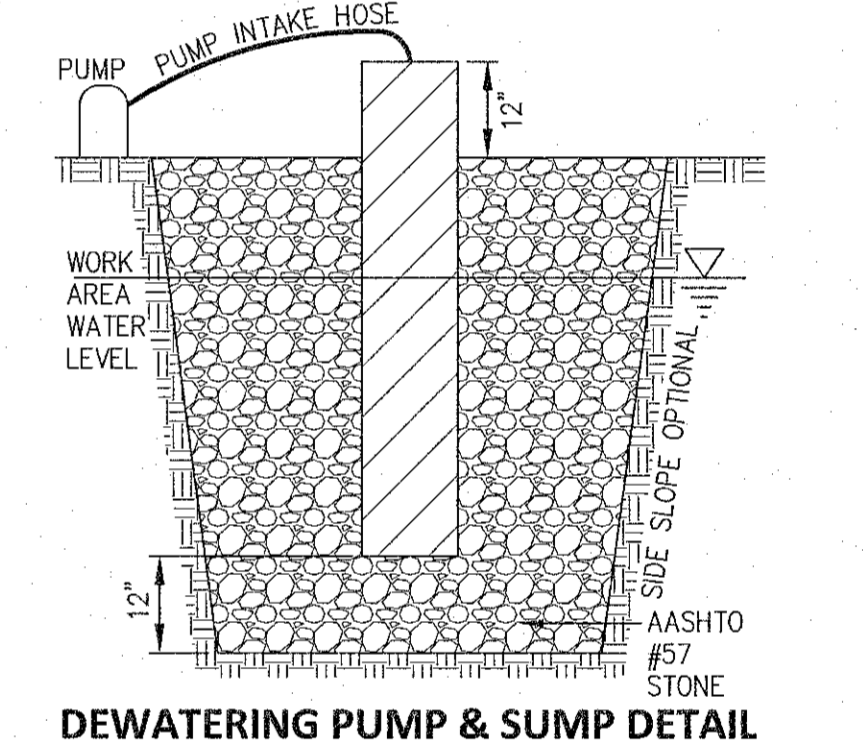
**STRAW WATTLE EROSION CONTROL DETAIL**

CROSS SECTION NOT TO SCALE



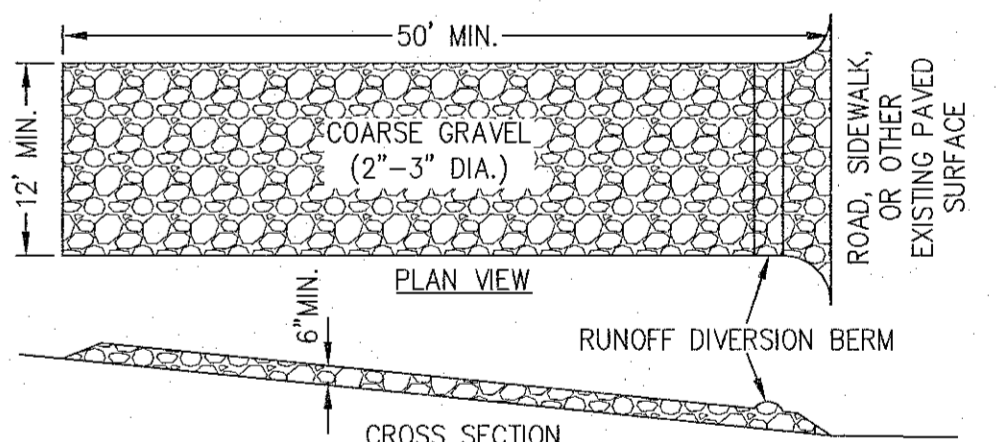
**SILT SACK DETAIL**

NOT TO SCALE



**DEWATERING PUMP & SUMP DETAIL**

CROSS SECTION NOT TO SCALE



**TEMPORARY CONSTRUCTION ENTRANCE**

NOT TO SCALE

**DETAILS**

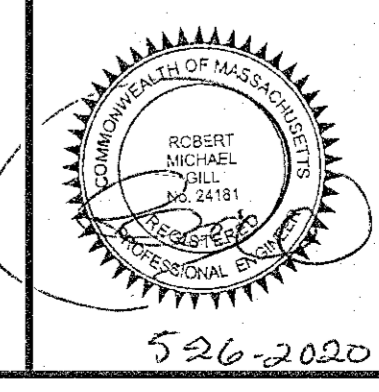
**8, 10, 12, & 18 COLBY FARM LANE NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR: **THE DALY GROUP**  
 229 STEDMAN STREET  
 LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY: **LANDPLEX**  
 CIVIL ENGINEERING - SURVEYING  
 10 GEORGE STREET, UNIT 208  
 LOWELL, MASSACHUSETTS 01852  
 978-201-9390 - LANDPLEX.COM

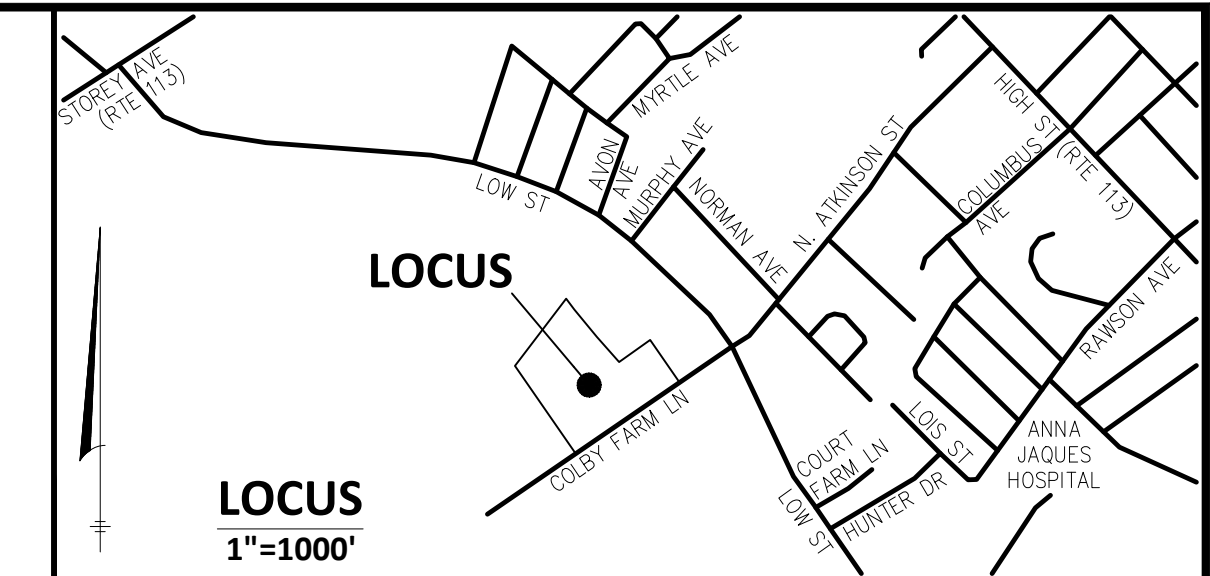
SHEET: 10 OF 13 SCALE: 1" = 40' FEBRUARY 14, 2020

NO.	REVISION DESCRIPTION	DATE
5.	PER REVIEW COMMENTS	5/26/2020
4.	PER REVIEW COMMENTS	5/12/2020
3.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
2.	PER MUNICIPAL COMMENTS	4/13/2020
1.	UPDATE ZONING INFO	2/26/2020



THE PREPARATION OF THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

ROBERT M. GILL, P.E./R.L.S.



**NEWBURYPORT PLANNING BOARD**

NO DETERMINATION OF COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR IS INTENDED.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
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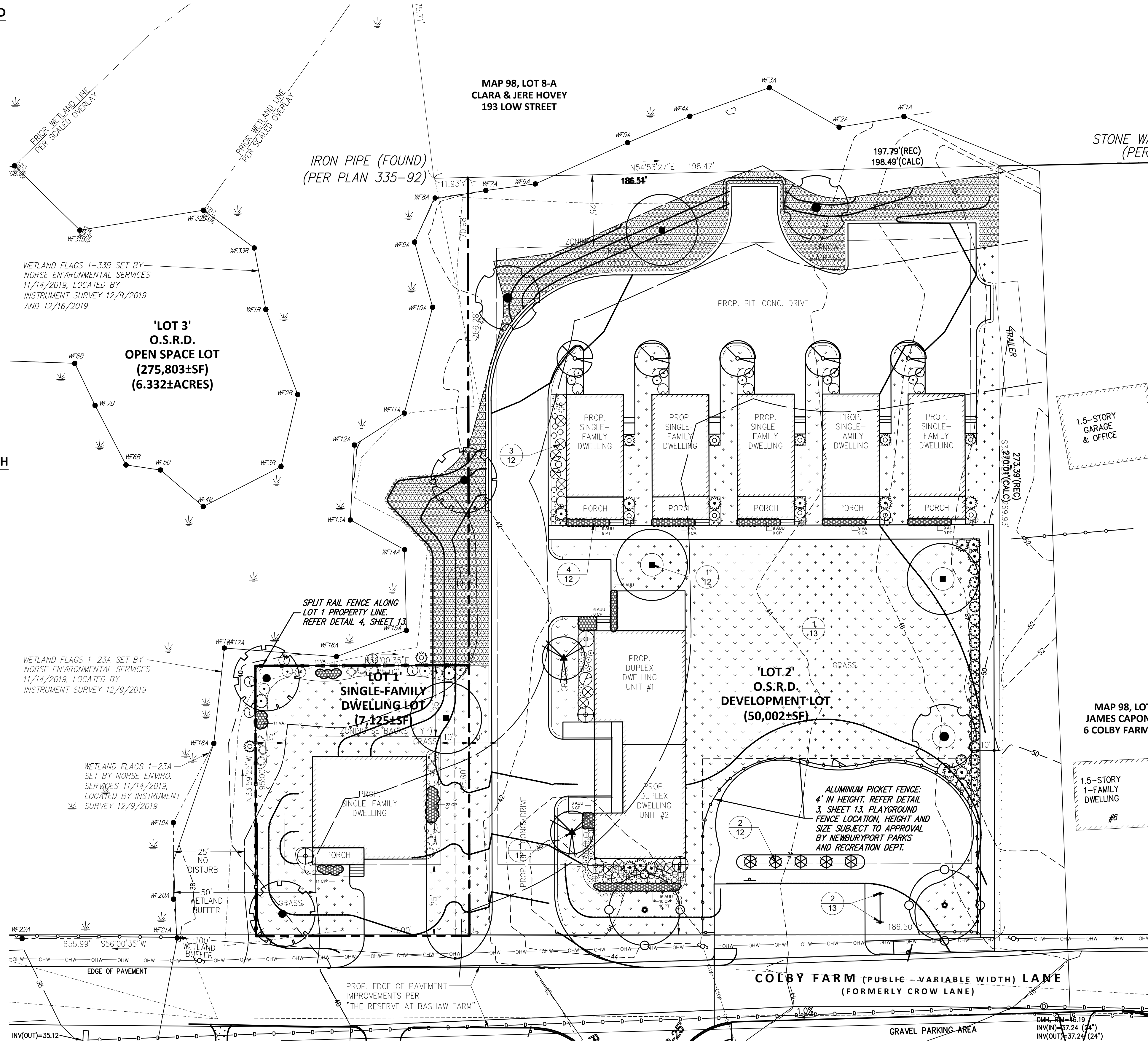
**NEWBURYPORT CITY CLERK**

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SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**NEWBURYPORT BOARD OF HEALTH**

DATE OF APPROVAL: \_\_\_\_\_



**PLANT MATERIAL LEGEND**

SYMB	SPECIES	WETLAND STATUS	ZONE	SIZE	QTY.
<b>DECIDUOUS TREES</b>					
⊙	Acer rubrum 'October Glory' Red Maple	FAC	5	2'-3' Cal.	3
⊙	Amelanchier x grandiflora 'Autumn Brilliance' Serviceberry	UPL	4	2'-3' Cal.	5
⊙	Nyssa sylvatica Blackgum	FAC	3	2'-3' Cal.	3
⊙	Oxydendrum arboreum Sourwood	FAC	5	2'-3' Cal.	2
⊙	Quercus palustris 'Sovereign' Pin Oak	FACW	4	2'-3' Cal.	4
⊙	Ulmus americana 'Valley Forge' American Elm	FACW	5	2'-3' Cal.	2
<b>CONIFER TREES</b>					
⊙	Picea abies 'Cupressina' Columbian Norway Spruce	UPL	2	6'-8' Ht.	5
<b>EVERGREEN SHRUB</b>					
⊙	Ilex opaca 'Clarendon' American Holly - Clarendon variety	UPL	2	2 gal.	17
⊙	Ilex verticillata Winterberry Holly	FACW+	2	2 gal.	2
⊙	Taxus canadensis Canada Yew	FACU	2	2 gal.	5
<b>DECIDUOUS SHRUBS</b>					
⊙	Aronia melanocarpa Black Chokeberry	FAC	5	2 gal.	5
⊙	Baccharis halimifolia Groundseltree	FACW	4	2 gal.	-
⊙	Callicarpa americana American Beauty Bush	UPL	4	2 gal.	7
⊙	Ceanothus americanus New Jersey Tea	FACU-	5	2 gal.	7
⊙	Clethra alnifolia Sweet Pepperbush	FAC+	3	2 gal.	11
⊙	Diervilla lonicera Northern Bush Honeysuckle	UPL	4	2 gal.	1
⊙	Fothergilla gardenii Dwarf Fothergilla	UPL	3	2 gal.	9
⊙	Rosa blanda Smooth Rose	FACU	3	2 gal.	19
⊙	Viburnum acerifolium Mapleleaf Viburnum	UPL	4	2 gal.	6
<b>WILDFLOWERS</b>					
⊙	Aquilegia canadensis Wild Columbine	FACU	3	#SP4	27
⊙	Andropogon gerardii Big Bluestem	FACU	3	#SP4	34
⊙	Liatris spicata Marsh Blazing Star	FAC+	3	#SP4	24
⊙	Aster novae-angliae New England Aster	FACW-	3	#SP3	10
⊙	Rudbeckia fulgida Eastern Coneflower	OBL	3	#SP3	3
<b>GROUNDCOVERS</b>					
⊙	Arctostaphylos uva-ursi Kinnikinnick	UPL	2	#SP2 / 18" o.c.	54
⊙	Coreopsis pubescens Star Tickseed Coreopsis	FACU	3	#SP2 / 18" o.c.	58
⊙	Cornus canadensis Bunchberry	FAC	3	#SP2 / 12" o.c.	18
⊙	Potentilla tridentata Three-Toothed Cinquefoil	UPL	3	#SP2 / 18" o.c.	28
⊙	Vaccinium angustifolium Low Bush Blueberry	FACU	3	#SP2 / 18" o.c.	40
<b>TURF AND SEED MIXES</b>					
⊙	Lawn				29,865 SQ. FT.
⊙	Seed areas disturbed by construction (Not in planting bed areas)				4,620 SQ. FT.
⊙	Pollinator/Wildflower Seed Mix (New England Plants, Inc.)				4,620 SQ. FT.
⊙	Disturbed areas and slopes within 50' wetland setback areas				2,415 SQ. FT.
<b>LANDSCAPE MATERIALS</b>					
⊙	Organic Mulch (All tree and planting beds)				2,415 SQ. FT.
⊙	Stevied tree bark, dark brown, 3" depth				
<b>NOTES:</b>					
1. Not all plant material may be used and some may be added prior to final review and approval by jurisdictional agencies.					
2. All plant material shall conform to latest ANA standards.					

**ASSESSORS**

MAP 98, LOT 26 (8 COLBY FARM LANE)  
 MAP 98, LOT 27 (10 COLBY FARM LANE)  
 MAP 98, LOT 5 (12 COLBY FARM LANE)  
 MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

ELLSWORTH M. EATON, JR., TRUSTEE  
 EATON CROW REALTY TRUST

ELLSWORTH M. EATON, JR., TRUSTEE  
 CROW'S NEST REALTY TRUST

**DEED REFERENCES**

SOUTHERN ESSEX REGISTRY OF DEEDS  
 1. BOOK 26178, PAGE 1.  
 2. BOOK 26178, PAGE 3.  
 3. BOOK 15799, PAGE 31.

**PLAN REFERENCES**

SOUTHERN ESSEX REGISTRY OF DEEDS  
 1. PLAN BOOK 473, PLAN 21.  
 2. PLAN BOOK 335, PLAN 92.  
 3. PLAN BOOK 138, PLAN 72.  
 4. PLAN 262 OF 1975.  
 5. PLAN 462 OF 1961.

**NOTES**

1. EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.  
 2. NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE JULY 3, 2012.  
 3. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

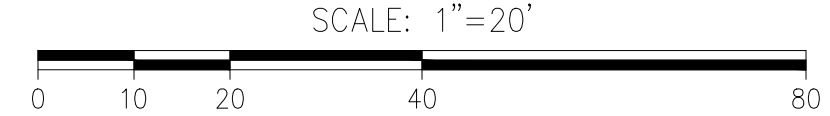
**ZONING INFORMATION**

UNDERLYING DISTRICT: R1, RESIDENTIAL OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT (CFL-ROD) FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

DESCRIPTION	REQUIRED (R2)	PROP. LOT 1	PROP. LOT 2	PROP. LOT 3
MIN. LOT AREA	10,000 SF	10,000 SF	49,942±SF	272,462±SF
MIN. FRONTAGE	90'	100.00'	186.64'	369.04'
MIN. FRONT YARD	25'	25.0'	25.0'	N/A
MIN. SIDE YARD	10'	15.0'	12.0'	N/A
MIN. REAR YARD	25'	37.0'	76.9'	N/A

**TWO-FAMILY REQUIREMENTS**

DESCRIPTION	REQUIRED (R2)
MIN. LOT AREA	15,000 SF
MIN. FRONTAGE	120'
MIN. FRONT YARD	25'
MIN. SIDE YARD	20'
MIN. REAR YARD	25'



**PLANTING PLAN**

**8, 10, 12, & 18 COLBY FARM LANE  
 NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR:

**THE DALY GROUP**  
 225 STEDMAN STREET  
 LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY:

**LANDPLEX**  
 CIVIL ENGINEERING - SURVEYING  
 10 GEORGE STREET, UNIT 208  
 LOWELL, MASSACHUSETTS 01852  
 978-201-9390 - LANDPLEX.COM

SHEET: 11 OF 13

SCALE: 1" = 20'

APRIL 23, 2020

NO.	REVISION DESCRIPTION	DATE
4.	PLANNING BOARD REVIEW	5/26/2020
3.	CONSERVATION COMMISSION REVIEW	5/20/2020
2.	PER REVIEW COMMENTS	5/12/2020
1.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
NO.	REVISION DESCRIPTION	DATE

**ABBREVIATIONS**

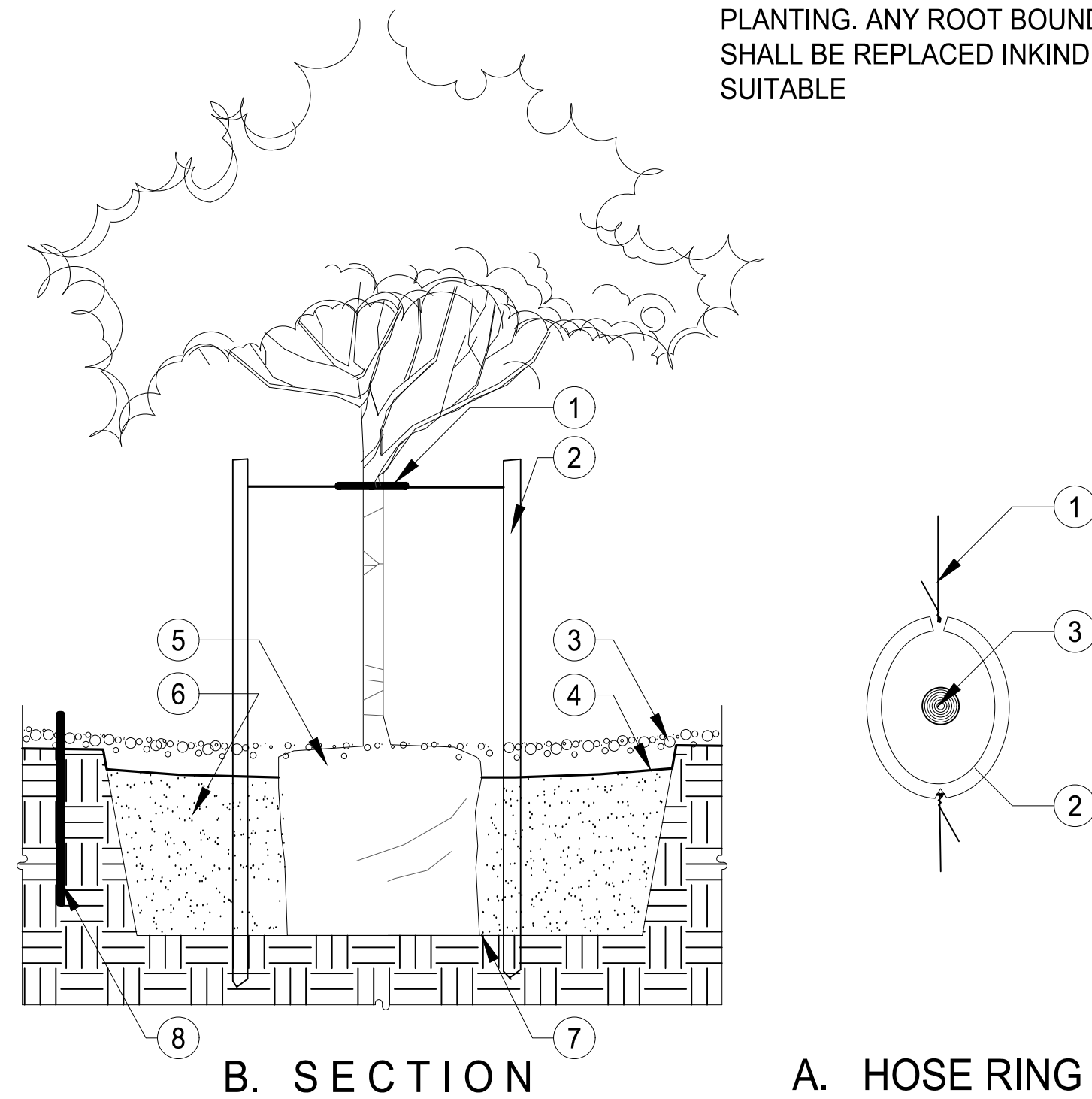
BDC	BUILDING
BIT.	BITUMINOUS
CALC.	CALCULATED
CONC.	CONCRETE
REC.	RECORD
SF	SQUARE FEET
TYP	TYPICAL

**LEGEND**

---	STONEWALL
⊙	SEWER MANHOLE
⊙	DRAIN MANHOLE
⊙	STONE MONUMENT
⊙	UTILITY POLE
⊙	WETLAND LINE WITH FLAG

**NOTES:**

- PLANTS SHALL BE INSPECTED FOR ROOT BOUND CONDITIONS BEFORE PLANTING. ANY ROOT BOUND PLANT SHALL BE REPLACED INKIND WITH SUITABLE



**LEGENDS:**

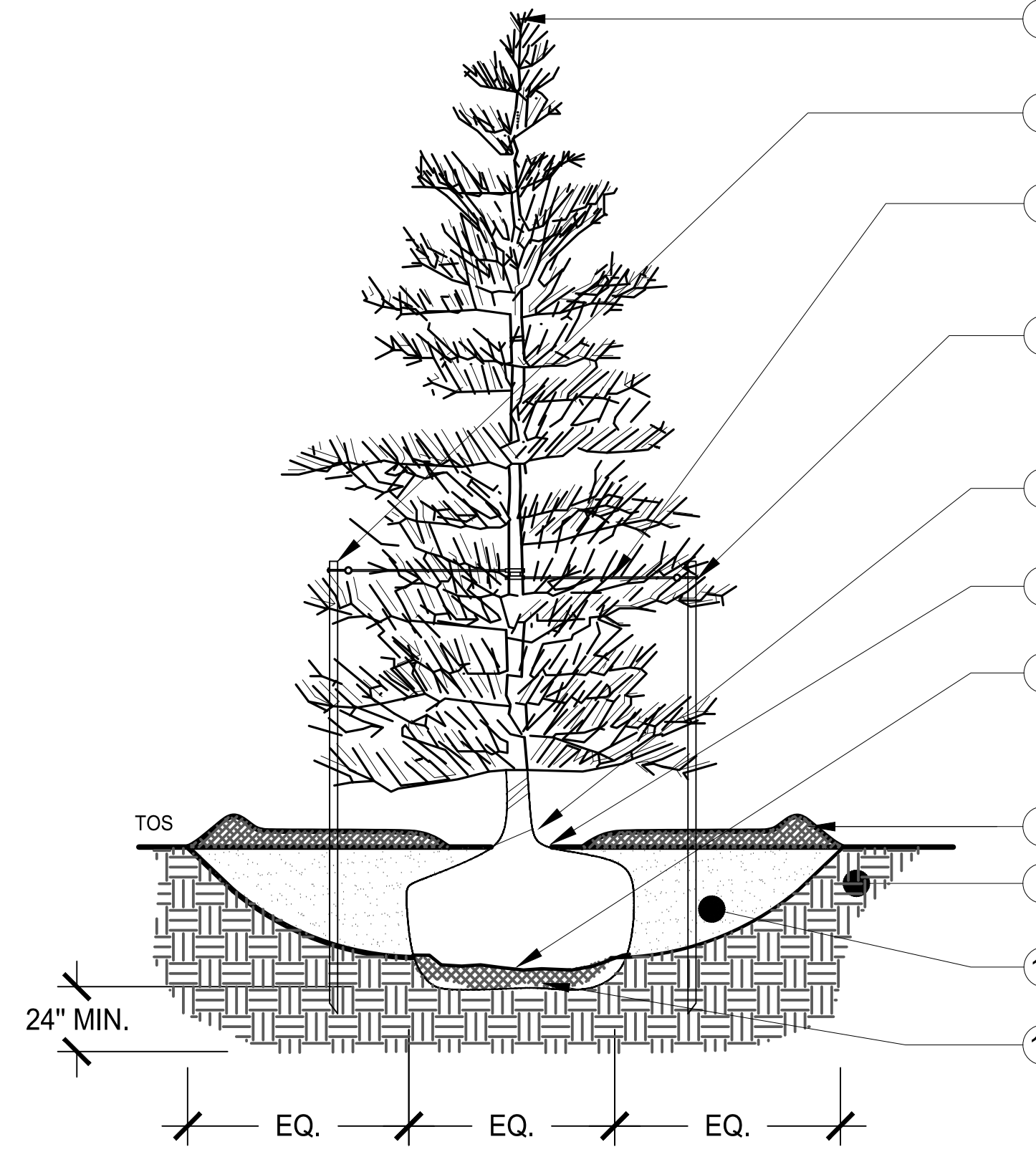
- (1) 8" DIA. "HOSE RING"/ WIRE TIES. PLACE TIES 6" ABOVE THE TREE'S TRUNK BENDING POINT.
- (2) 2" DIA. TREE STAKES. HAMMER 6" MIN. PAST UNDISTURBED SOIL TRIM STAKES TO 6" ABOVE TIE POINTS (ORIENT STAKES TOWARD PREVAILING WINDS).
- (3) LIGHTLY SPREAD BARK MULCH OVER ROOTBALL.
- (4) CREATE GENTLE SWALE DEPRESSION. DO NOT FORM RAISED BASIN.
- (5) DO NOT BURY OR COVER ROOT FLAIR.
- (6) PLANTING SOIL BACKFILL MIX: 1 PART MULCH TO 3 PARTS TOPSOIL  
PLANTING PIT SIZES: DEPTH-2X WIDTH OF ROOTBALL  
FERTILIZER / AGRIFORM TABLETS DOWN ALONG PLANT ROOTBALL  
1 PER 1 GAL.,  
2 PER 2 GAL.,  
3 PER 15 GAL.,  
4 PER 24"BOX OR LARGER
- (7) PIT WIDTH: 3x DIA. OF CONTAINER  
PIT DEPTH: TO EQUAL ROOTBALL.
- (8) 18"x6'-0" ROOT BARRIER. INSTALL AT ALL TREES PLACED 5'-0" FROM BLDGS. OR HARDSCAPE.

\* TOS TOP OF SOIL REFER TO CIVIL PLANS.

**1 TREE PLANTING AND STAKING**  
SCALE: N T S

**LEGEND:**

- (1) INSTALL TREE PLUMB.
- (2) 2" x 3" x 10' FIR POSTS, 3 PER TREE, ALL POSTS SHALL BE PLUMB AND HAVE SAME HEIGHT ABOVE FINISH GRADE, ORIENT 3", DIMENSION PERPENDICULAR TO TRUNK
- (3) 13 GAUGE GALV. MALLEABLE WIRE CABLE LOOPED AROUND TRUNK AND THROUGH EYEBOLT, ENCASE WIRE AROUND TRUNK IN REINFORCED RUBBER HOSE, SECURE BY TWIST TAUTLY.
- (4) BORE 3/8" HOLE THROUGH 2" DIMENSION OF EACH POST, 6" FROM TOP OF POST, TO ACCEPT 1/4" X 4" GALVANIZED STEEL EYEBOLT, PROVIDE GALV. STEEL WASHER AND 2 BOLTS FOR EACH EYEBOLT.
- (5) TOP OF ROOTBALL SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS TO PREVIOUS EXISTING GRADE
- (6) ROOT FLARE SHALL BE EXPOSED; MULCH NOT WITHIN 4" OF TREE TRUNK.
- (7) PLACE BALL ON SUBSOIL. REMOVE AND DISCARD BURLAP EXCEPT UNDER BALL. REMOVE ALL SYNTHETIC SOIL WRAPPING MATERIALS (TREATED BURLAP, NYLON TWINE, WIRE BASKETS, ETC.) AND DISCARD
- (8) 3" ORGANIC BARK MULCH, AS SPECIFIED.
- (9) COMPACTED OR UNDISTURBED SUBGRADE
- (10) EXCAVATE HOLE TO DIAMETER 3X WIDER THAN ROOTBALL. BACKFILL HOLE WITH PLANTINGSOIL MIX AS SPECIFIED. EXCAVATE SUBSOIL AS REQUIRED TO PLACE ROOTBALL TO PROPER ELEVATION. PLACE ROOTBALL DIRECTLY ON SUBSOIL
- (11) TOS TOP OF SOIL: REFER CIVIL PLANS FOR GRADES.



**2 CONIFER PLANTING**  
SCALE: N T S

**LEGEND:**

- (1) PLANT MATERIAL: REFER TO PLANT LIST.
- (2) ORGANIC MULCH MATERIAL.
- (3) WEED BARRIER.
- (4) BACKFILL SOIL; UNCOMPACTED.
- (5) PLANTING SOIL BACKFILL MIX: 1 PART MULCH TO 3 PARTS TOPSOIL  
PLANTING PIT SIZES: DEPTH-2X WIDTH OF ROOTBALL  
FERTILIZER / AGRIFORM TABLETS DOWN ALONG PLANT ROOTBALL  
1 PER 1 GAL.,  
2 PER 2 GAL.,  
3 PER 15 GAL.,  
4 PER 24"ROOTBALL OR LARGER
- (6) NATIVE, UNDISTURBED SOIL.

TOS TOP OF SOIL: REFER CIVIL PLANS FOR GRADES.

**NOTE:**

- PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED INKIND WITH SUITABLE PLANT.

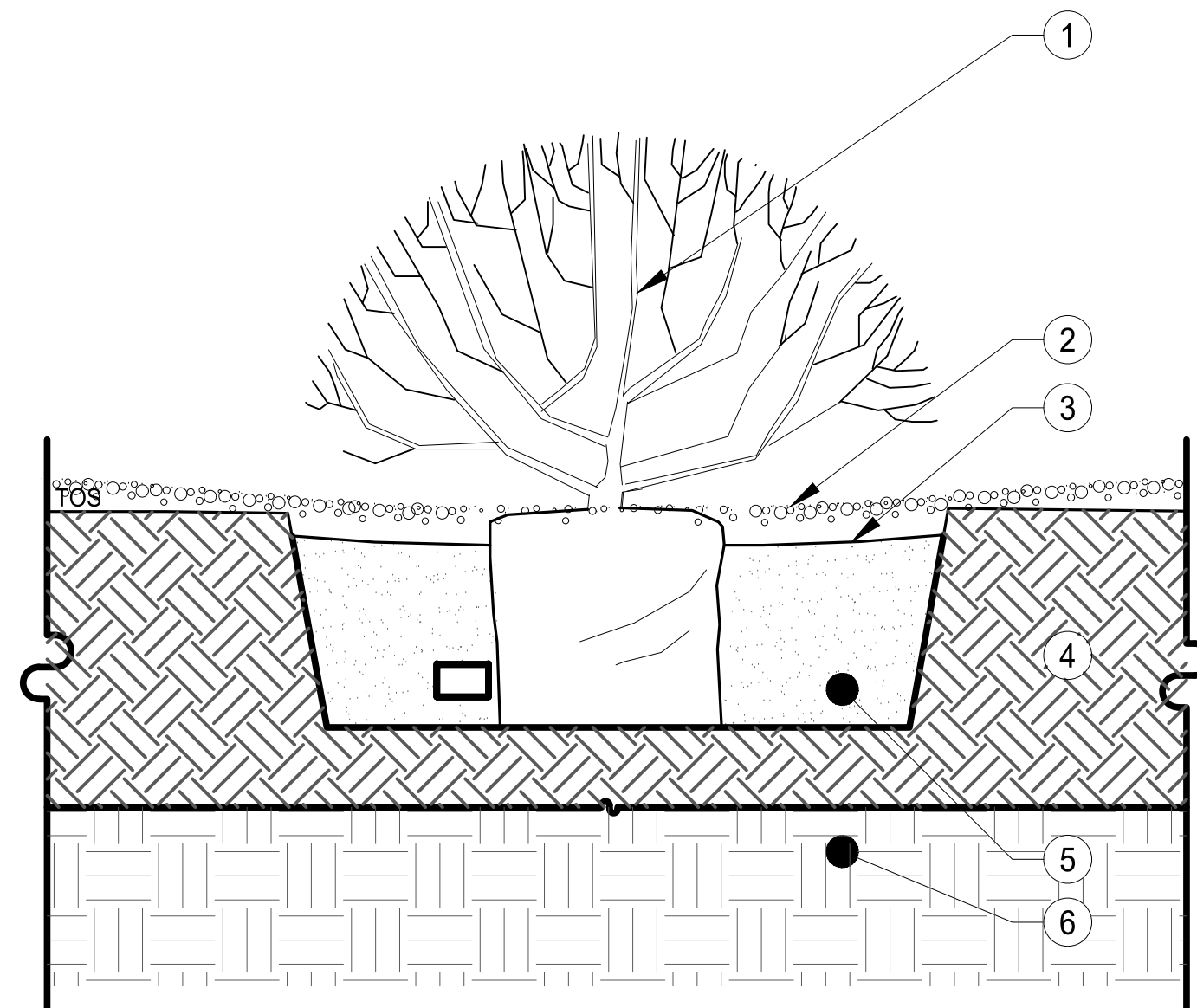
**LEGEND:**

- (1) BULB: REFER TO PLANT LIST
- (2) PERENNIAL: REFER TO PLANT LIST
- (3) ORGANIC MULCH MATERIAL.
- (4) WEED BARRIER.
- (5) PLANTING SOIL BACKFILL MIX: 1 PART MULCH TO 3 PARTS TOPSOIL  
PLANTING PIT SIZES: DEPTH-2X WIDTH OF ROOTBALL  
FERTILIZER / AGRIFORM TABLETS DOWN ALONG PLANT ROOTBALL  
1 PER 1 GAL.,  
2 PER 2 GAL.,  
3 PER 15 GAL.,  
4 PER 24" ROOTBALL OR LARGER
- (6) BACKFILL SOIL; UNCOMPACTED.
- (7) NATIVE UNDISTURBED SOIL.

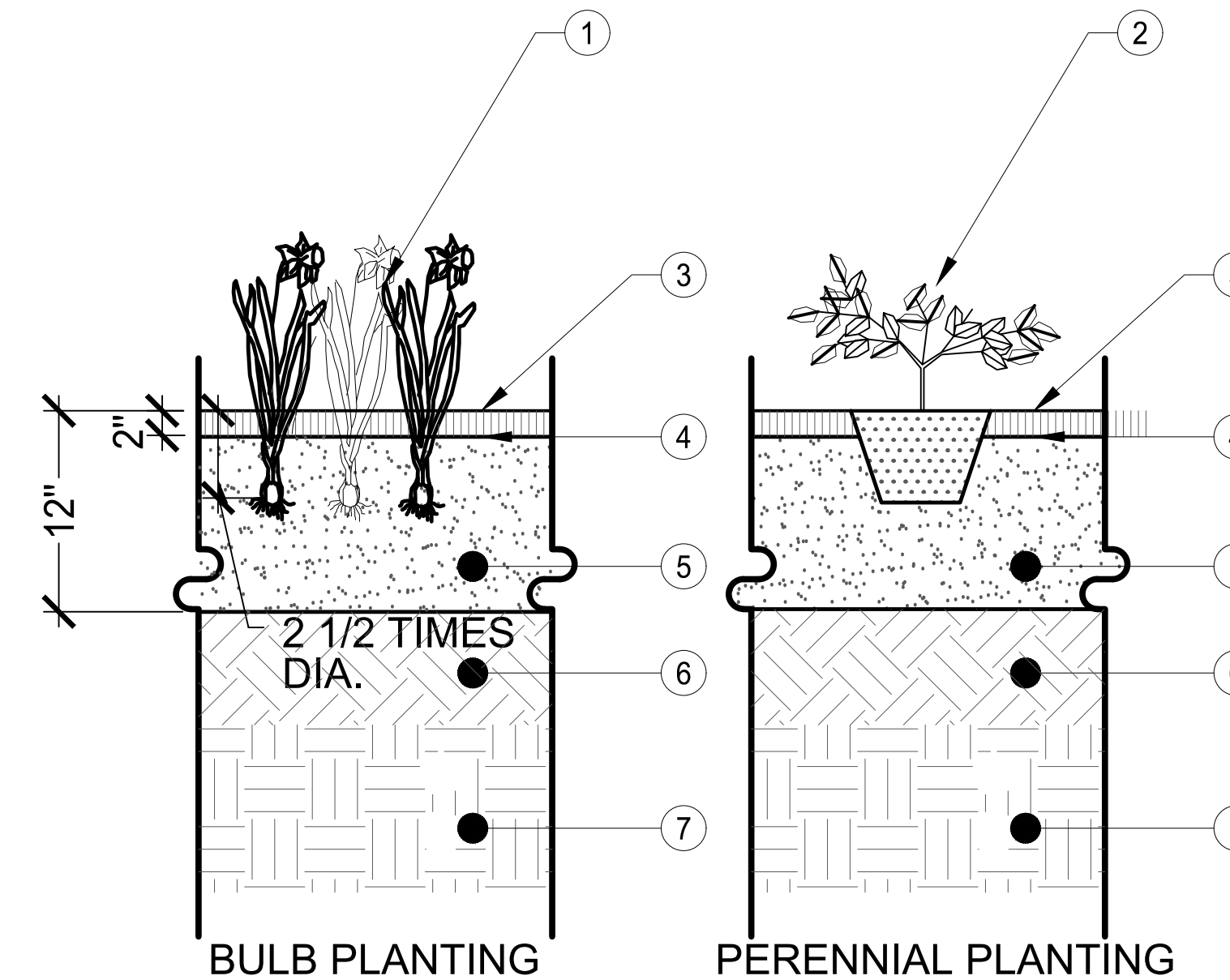
TOS TOP OF SOIL: REFER CIVIL PLANS FOR GRADES.

**NOTES:**

- PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED IN KIND WITH SUITABLE PLANT.



**3 SHRUB PLANTING**  
SCALE: N T S



**4 BULB AND PERENNIAL PLANTING**  
SCALE: N T S

**PLANTING DETAILS**

8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR:

**THE DALY GROUP**  
225 STEDMAN STREET  
LOWELL, MASSACHUSETTS 01851

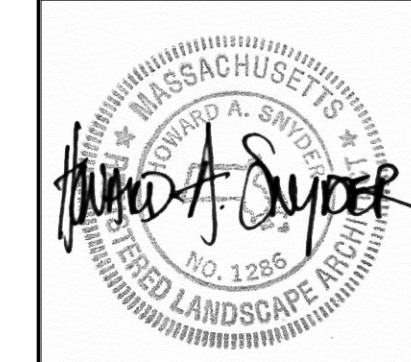
PLAN PREPARED BY:

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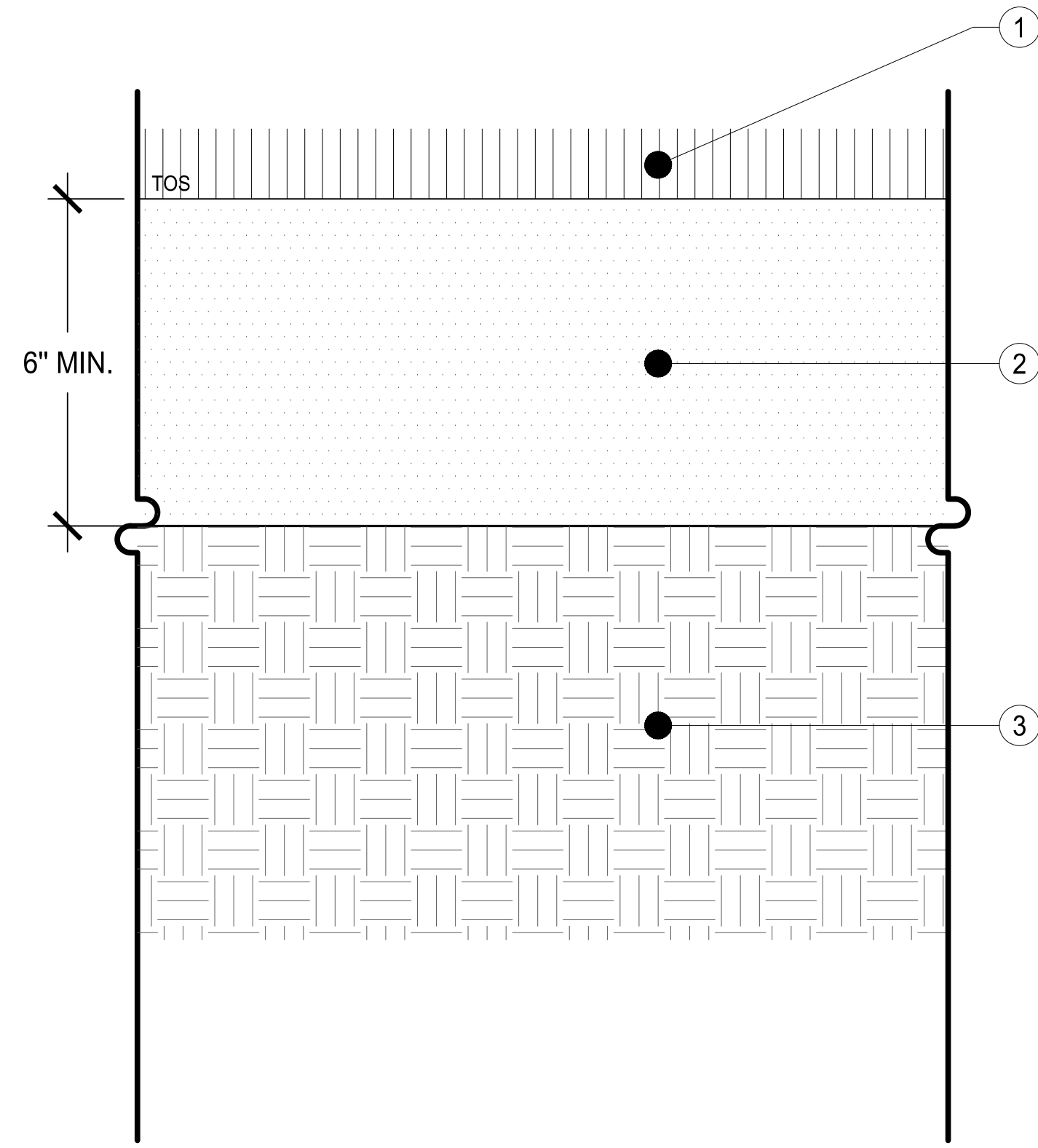
SHEET: 12 OF 13

SCALE: NTS

APRIL 23, 2020



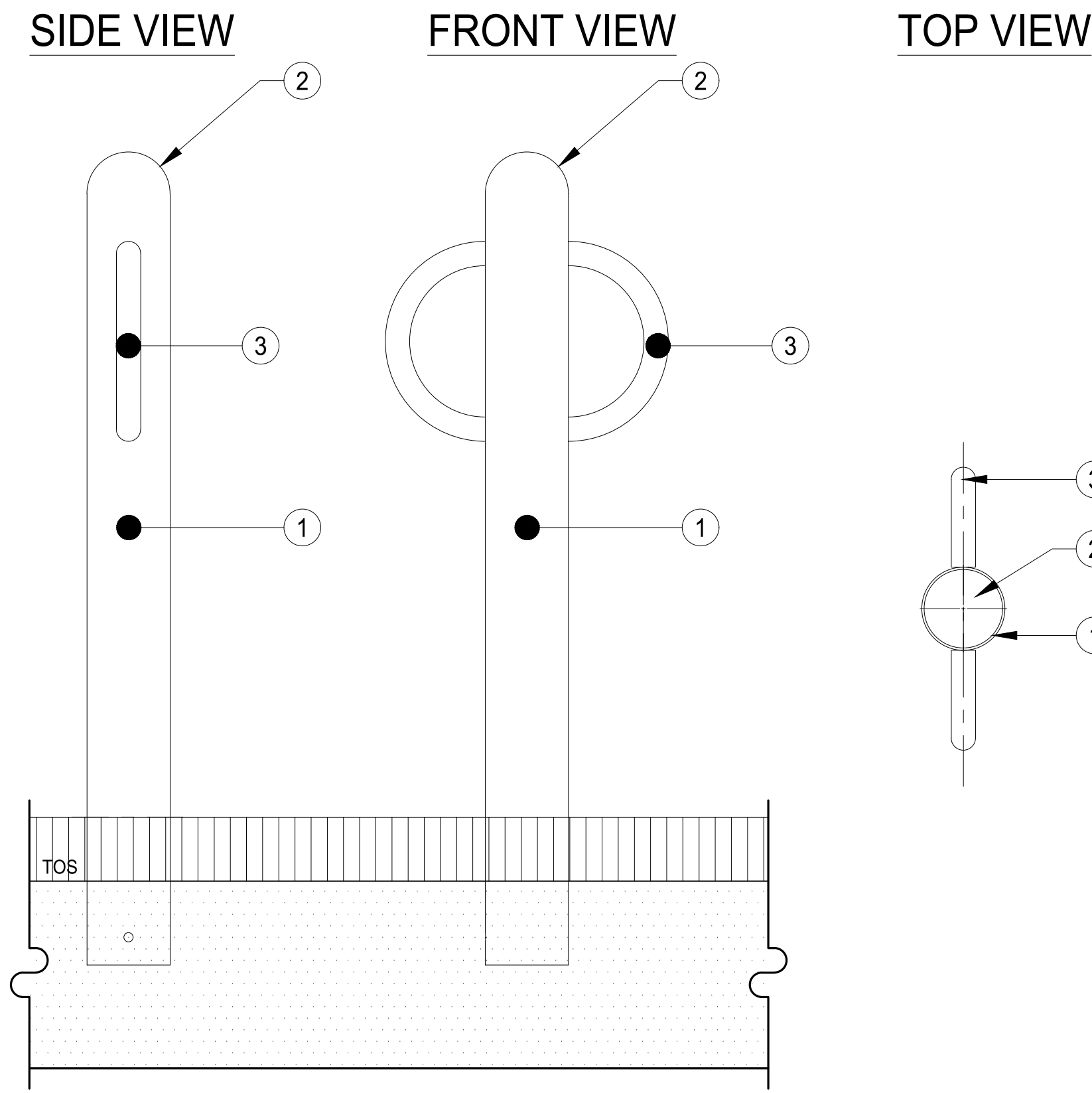
NO.	REVISION DESCRIPTION	DATE
3.	PLANNING BOARD REVIEW	5/26/2020
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1.	DUPLEX ARCHITECTURALS REVISED	4/28/2020
NO.	REVISION DESCRIPTION	DATE



- LEGEND:**
- ① SEED TYPE VARIES: REFER TO PLANTING PLANS
  - ② LOAM
  - ③ UNDISTURBED SUBGRADE OF NATIVE SOIL OR CLEAN FILL FREE OF PLANT MATERIAL, SEEDS OR DEBRIS.

TOS TOP OF SOIL: REFER CIVIL PLANS FOR GRADES.

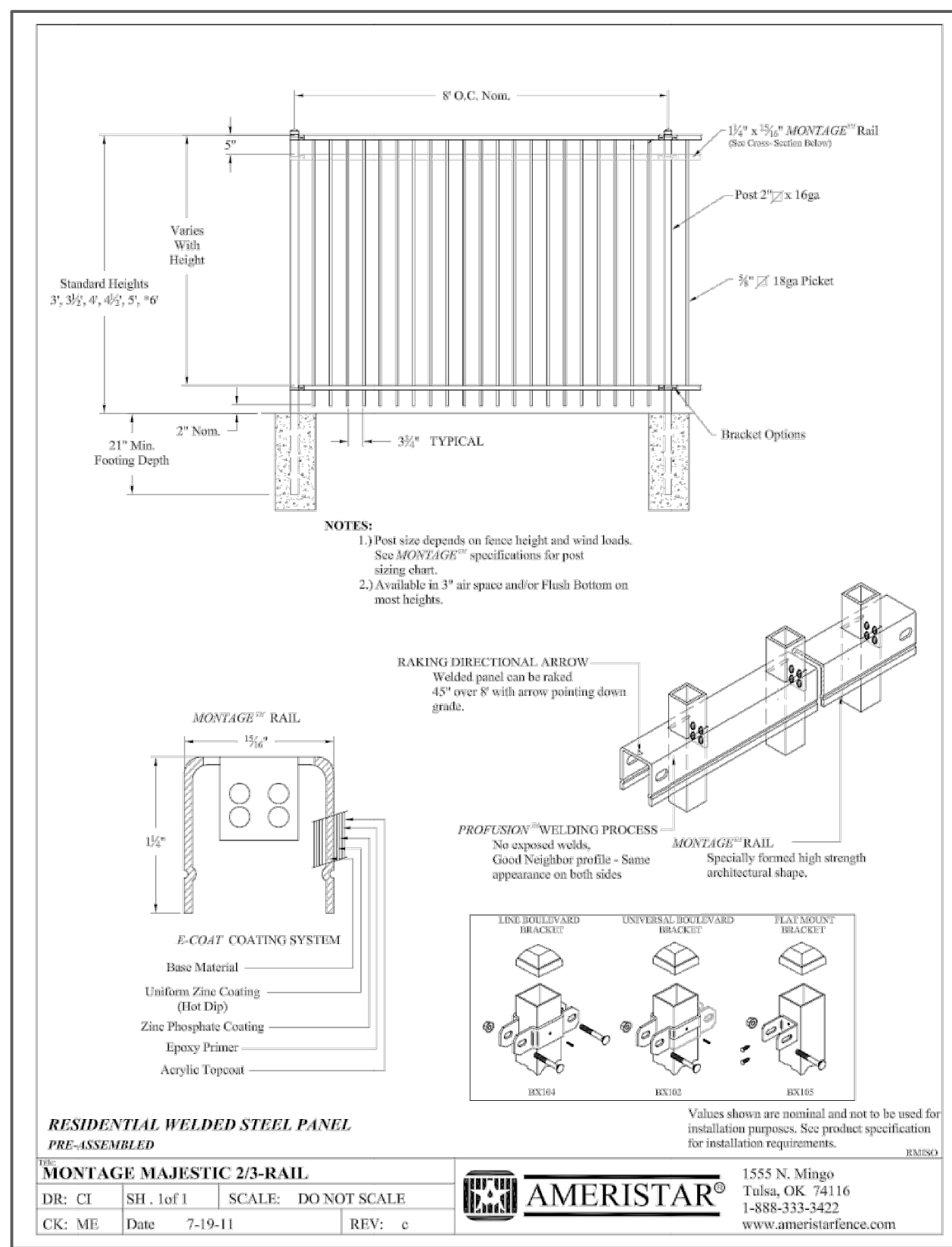
**1 SEED COVER**  
SCALE: N T S



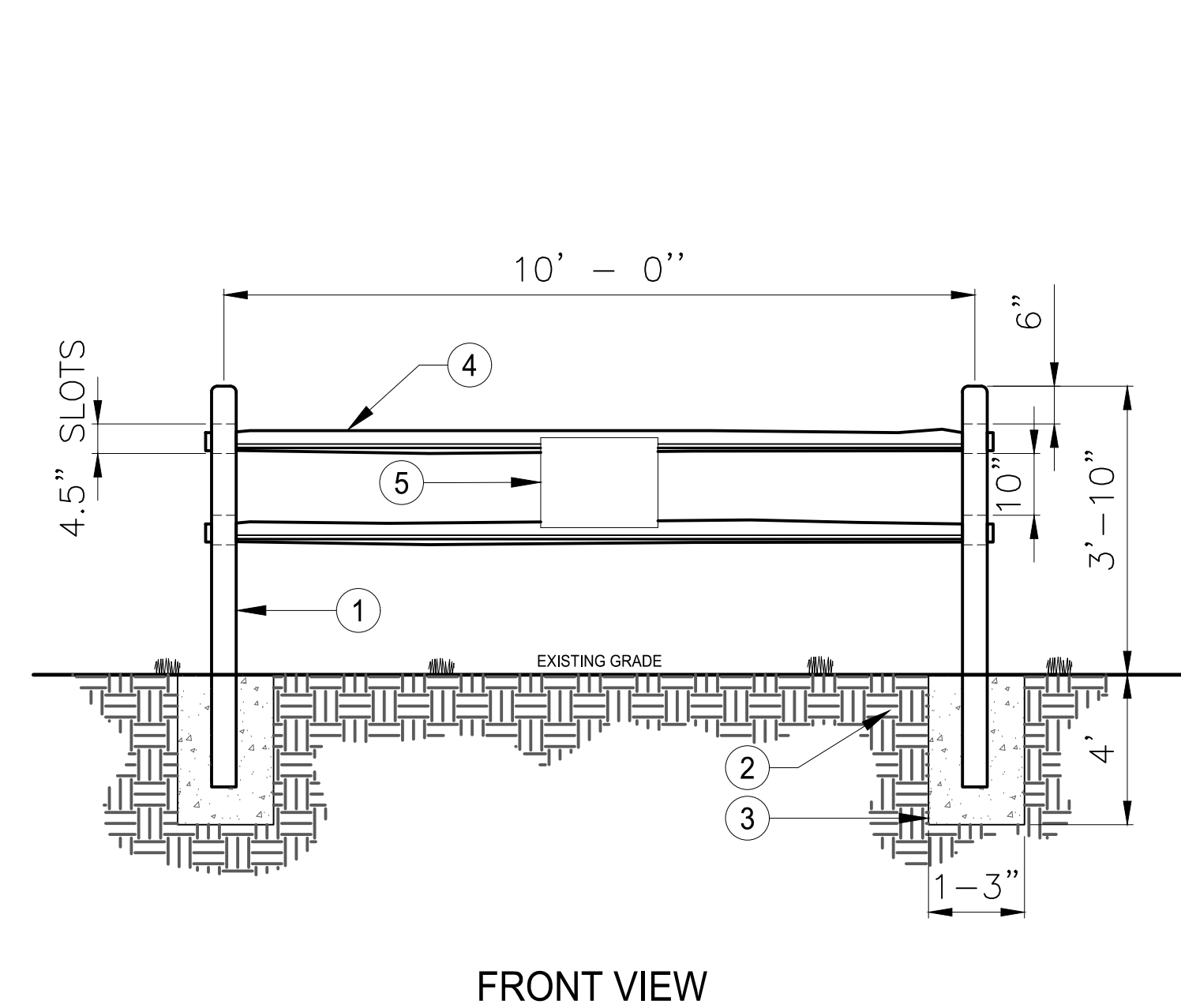
- LEGEND:**
- ① TUBING: 4.5" DIA. X 1/8" WALL STEEL TUBING
  - ② CAP: 4.5" DIA. X 1/8" WALL STEEL DOME
  - ③ LOOP: 1.315" X .133" WALL STEEL TUBING

TOS TOP OF SOIL: REFER CIVIL PLANS FOR GRADES.

**2 BOLLARD STYLE BICYCLE RACK**  
SCALE: N T S



**3 ALUMINUM PICKET FENCE: 4' HEIGHT**  
SCALE: N T S



- LEGEND:**
- ① POST (TYPICAL)
  - ② EXISTING SOIL
  - ③ CONCRETE FOOTING: 2,500 PSI STRENGTH
  - ④ MID-RAIL: 10' X 3.5\"/>
  - ⑤ METAL SIGN: FACES TOWARDS LOT 1, STATES AREA BEYOND IS CITY OWNED PRESERVATION LAND. 1 EVERY THIRD SECTION OF FENCE.

- NOTES:**
1. ALL WOOD FOR FENCE SHALL BE CEDAR
  2. END POST SHALL BE TERMINAL POST

**4 SPLIT RAIL FENCE: TWO RAIL**  
SCALE: N T S

**PLANTING DETAILS**

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NEWBURYPORT, MASSACHUSETTS**

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225 STEDMAN STREET  
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SHEET: 13 OF 13

SCALE: NTS

APRIL 23, 2020

NO.	REVISION DESCRIPTION	DATE
3.	PLANNING BOARD REVIEW	5/27/2020
2.	PER REVIEW COMMENTS	5/12/2020
1.	DUPEX ARCHITECTURALS REVISED	4/28/2020
NO.	REVISION DESCRIPTION	DATE