

Philip G. Christiansen PE

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November 12, 2019

Newburyport Planning Board
City Hall
60 Pleasant Street
Newburyport MA 01950

Re: 2-6 Market Street – Special Permit – Site Plan

Dear Board Members:

I have reviewed Special Permit Application and the Site Plan Application for the proposed Mixed-Use Building to be constructed on the property at 2-6 Market Street submitted by Steven J. Lewis and have provided my comments as attachments to this letter.

The engineering plans as submitted are inadequate for construction and lack sufficient information to properly evaluate the adequacy of the parking proposed.

I have included in the attached reports the information required to complete the plan set and allow for proper construction control and evaluation of available parking on-site.

Very truly Yours

Philip G. Christiansen P.E.

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**City of Newburyport Planning Board
Review for Compliance with Site Plan Review Regulations**

Compliance Checklist

Review Date: May 10, 2019
Plan Title: **2-6 Market Street**
Applicant: **Steven J. Lewis**
Applicant's Engineer: Millennium Engineering, Inc.
Plan Date: October 15, 2019

XV-C Applicability

Key to check boxes: Com = complete Inc = incomplete N/A = not applicable Var = variance required

XVCa Major Project **XV-E MATERIALS FOR REVIEW**

Com Inc N/A Content:

XVE Plan Sheets 24" x 36"

XVE Scale of not less than 1"=40' or 1"=8' for elevations

XVE Plans stamped by a registered architect, landscape architect, or professional engineer

XV-E (a) SUBMISSION REQUIREMENTS:

XVE(a)1. *Location and boundaries:*

The location and boundaries of the lot, zoning district, adjacent streets or ways, applicable information from section VI, Dimensional Controls, the location and owners' names of all adjacent properties. Plans shall also show any deeds of easement, rights-of-ways, covenants and any other agreements affecting the use of the site.

XVE(a)2 . *Structures:*

Existing and proposed structures, including dimensions, footprint, total gross floor area, number of stories, floor elevations, and building height(s). See section II, Definitions.

XVE(a)3 . *Signage:*

The location, dimensions, height, lighting, and other characteristics of all proposed signs.

Comment. The locations of signs are shown on the site plans. No dimensional information is provided

Com Inc N/A Content:

XVE(a)4 *Landscaping*

Proposed landscape features including the locations and a description of buffer areas, screening, fencing, and a planting plan. A registered landscape architect shall prepare a planting plan, unless the planning board deems a licensed plant nursery person appropriate for small projects such as minor additions or alterations.

Comment: The fencing is not provided but will be selected after discussion with abutters

XVE(a)5 *Traffic*

The plan shall show pedestrian, bicycle, and vehicular traffic flow patterns and show adequate access to and from the site and adequate circulation within the site. The planning board encourages accommodation of public transportation and/or private vanpooling arrangements.

XVE(a)6 *Parking*

The location of parking and loading areas, driveways, access and egress points, bicycle racks, and bus stops or drop-off areas. **Comment: Bicycle racks not shown. Final parking arrangement is open for discussion**

XVE(a)7 *Public Access*

The location and description of proposed public access areas, including parks, conservation areas, gardens, bikeways, pathways or sidewalk areas. Riverfront sites shall include indications of compliance with state and federal regulations.

XVE(a)8 *Lighting*

Existing and proposed exterior lighting, including locations, lighting source, and fixture types. The planning board may require photometric analysis of proposed lighting. **Comment: Lighting details and impact diagram not provided**

XVE(a)9 *Topography*

Existing and proposed topography of the site including contours (two foot intervals), the location of wetlands streams, water bodies, aquifers, aquifer recharge areas, drainage swales, areas subject to flooding, and unique natural land features, including all stonewalls, trees over eight (8) inches in caliper, and the general location of the tree line.

Comment: Additional elevation information needed along abutter's property to the south

XVE(a)10 *Water and Waste Disposal, drainage and other utilities*

The locations and description of all existing and proposed septic systems, sanitary sewer water supply, storm drainage systems (including method and calculations for 10- and 100-year storm events), utilities, refuse and other waste disposal methods.

Comment: The configuration of roof drains connected to the city drainage system are not provided. The location of the water and sewer mains in surrounding streets are not provided. The sewer inverts are not provided.

XV-E (b) NARRATIVE SUBMITTALS – MAJOR PROJECTS:

Com Inc N/A Content:

XVE(b)1 *Surface and ground water pollution*

A report on the impact of storm water runoff on adjacent and downstream water bodies, subsurface ground water, and water tables. **Comment: A drainage analysis was not provided.**

XVE(b)2 *Soils:*

A report on the potential erosion and sedimentation caused by the operation and maintenance of the proposed development and the mitigation efforts proposed. To this end, high intensity soil mapping, i.e., test borings and analysis, may be required.

Comment: The site was tested in 2018 and found to be in conformance with the Massachusetts contingency plan. A copy of the report developed by Subsurface Remediation Technologies that determined conformance should be submitted to the Board.

XVE(b)3 *Environmental and community impact analysis*

For projects with significant environmental impact to wetlands, floodplains, or other sensitive resources the board may request a report following the submission requirements of Section 5.6 of the Newburyport Subdivision Rules and Regulations, including a report on the relationship of the proposed development to the natural and man-made environment, and compatibility of the proposed development with adjacent or surrounding land uses and neighborhoods. This analysis shall be a guide to the planning board in its deliberations and will build into the Board's decision-making process consideration of the environment and community impacts of the proposed development. An EIR required through the MEPA process, which addresses the Planning Board's concerns, may be substituted in lieu of this report.

Comment. The applicant addressed in a sentence Environmental impacts but did not address community impacts.

XVE(b)4: *Traffic*

Report on existing pedestrian and vehicular traffic volume, composition, peak hour levels, and existing street and sidewalk capabilities, analysis of existing and resulting level of services (LOS) for the following:

Comment. A traffic analysis was not included but is proposed to be submitted as an addendum.

XVE(b)4 i The nearest and/or most impacted public roadway intersection.

XVE(b)4 ii The estimated average daily traffic generation, including composition and peak hour levels.

XVE(b)4 iii The directional flows resulting from the proposed development.

XVE(b)4 iv Any proposed methods to mitigate the estimated traffic impact such as promoting the use of public transportation, or other appropriate means.

XVE(b)4 v. The methodology and sources used to derive existing data and estimations.

XVE(b)4 vi. The feasibility of traffic calming measures such as textured crosswalks, bike lanes, roundabouts, rumble strips, street trees, or bulb-outs.

XVE(b)4 vii. A detailed traffic access and impact study may also be required for the project. At the applicant's expense, the planning board may engage a traffic consultant to review said report and make its recommendations to the planning board thirty (30) days before final action is required.

Comment. A detailed traffic analysis was not provided but will be submitted as an addendum

Com Inc N/A Content:

XVE(b)5 *Architectural Style*

Plans and other drawings shall include architectural elevations of all sides of all new buildings and of those sides of existing buildings which are proposed to be altered in any way. A registered architect who shall sign the plan and place his/her seal upon it shall prepare the renderings or elevations. The drawings shall be prepared at a minimum scale of 1/8" = 1' and shall show the following:

XVE(b)5 i. Exterior material, including trim, and colors.

XVE(b)5 ii. Type, pitch, and material of roofs

XVE(b)5 iii Size, type, and spacing of windows, doors and other openings.

Comment: Dimension not provided.

XVE(b)5 iv. Size, location, colors, and copy of signs affixed to or hanging from the building.

Comment: Dimension not provided

XVE(b)5v. The relationship in massing, scale, and height to other existing structures in the immediate vicinity.

XVE(b)5vi. Elevations or renderings of new construction, renovation or expansions (or model may be provided at the option of the applicant).

XVE(b)5vii. Cross-sections of the site and buildings.

XVE(b)5viii. Product literature on proposed light fixtures

Comment: Not provided.

XVE(b)6: OTHER PERMITS REQUIRED

XVE(b)6i. All completed or pending actions of the zoning board of appeals relative to the application, including an estimated schedule of application and approval

XVE(b)6ii. A listing of state and federal permits, licenses, and approvals necessary, including Chapter 91.

XV-F. WAIVER OF SUBMISSION REQUIREMENTS

XV-F Planning Board waiver of requirements

Comment: Waivers have been requested for drainage and traffic studies

XV-G. SITE PLAN REVIEW CRITERIA

XV-G (a) Community Character: The proposed development:

Yes No Var N/A Content:

XV-G(a)1 Minimizes obstruction of scenic views from publicly accessible locations;

XV-G(a)2 Minimizes impacts to important natural or historical features;

XV-G(a)3 Screens objectionable features such as large blank walls, open dumpster, loading or storage areas, from neighboring properties and roadways;

XV-G(a)4 Is in harmony with the architectural style of the adjacent buildings and immediate neighborhood;

XV-G(a)5 if located within the National Historic District, is consistent with the architectural style, scale, density, massing and setbacks in the district;

Yes No Var N/A Content:

- XV-G(a)6 Promotes a design and architectural consistency regarding the architectural value and significance of the site, building or structure, the general design, arrangement and texture, materials and color of the features involved and the relation of each feature to similar features of building and structures in the immediate neighborhood and surrounding area;
- XV-G(a)7 Is appropriate in regards to the size and shape of the buildings or structures both in relation to the land area upon which the building or structure is situated and to the adjacent buildings and structures within the neighborhood.

XV-G (b) Traffic, parking and public access: The proposed development:

Yes No Var N/A Content:

- XV-G (b)1 Minimizes vehicular traffic and safety impacts of the proposed development on adjacent highways or roads.
- XV-G(b)2 Maximizes the convenience and safety of vehicular, bicycle, and pedestrian movement within the neighborhood and site.
- XV-G(b)3 Minimizes adverse impacts on neighborhood on/off-street parking and includes incentives for the use of alternatives to single-occupant vehicles.

XV-G(c) Health: The proposed development:

- XV-G(c)1 Minimizes adverse air-quality impacts, noise, glare, and odors;
- XV-G(c)2 Provides for appropriate handling and disposal of hazardous materials and transmissions.

XV-G(d) Public services and utilities: The proposed development:

- XV-G(d)1 Is served with adequate water supply, wastewater systems, and solid waste disposal systems;
- XV-G(d)2 Is within the capacity of the city's infrastructure as defined by the water, sewer and DPW departments;
- XV-G(d)3 Includes measures to prevent pollution of surface or groundwater, minimizing erosion and sedimentation, as well as measures to prevent changes in groundwater levels, increased run-off, and potential for flooding;

Comment: Sedimentation and erosion control plan not provided

- XV-G(d)4 Demonstrates an effort to conserve energy and water.

XV-G (e) Land use planning: The proposed development:

- XV-G(e)1 Is consistent with the land-use goals of the city's master plan.

XV-G (f) Open space and environmental protection: The proposed development:

Yes No Var N/A Content:

- XV-G(f)1 Minimizes adverse impacts to open space usage and retention and is integrated into the natural landscape. Minimizes adverse environmental impacts to such features as wetlands, floodplains, and aquifer recharge areas and minimizes tree, vegetation, and soil removal, and grade changes;
- XV-G(f)2 Proposes a landscape design that favors native and drought-tolerant species and avoids invasive plants.

XV-H. DEVELOPMENT AND PERFORMANCE STANDARDS:

XV- H(a) Pedestrian and vehicular access and traffic impacts: Applicants must demonstrate that the project will minimize pedestrian and vehicular traffic and safety impacts on city roads. In the case of multi-tenant properties, these requirements are directed at the immediate vicinity of the proposed renovation, addition, expansion, or new building rather than the site as a whole.

- XV-H(a)1 One access driveway per lot shall be permitted as a matter of right, except, the planning board may, in certain circumstances, require additional driveways as part of the site plan approval process where the access is shared or the project has frontage on two separate streets. To the extent feasible, access to businesses shall be provided via one of the following:
- i. Access via a common driveway serving adjacent lots or premises;
 - ii. Access via an existing side street;
 - iii. Access via a cul-de-sac or loop road shared by adjacent lots or premises.
- XV-H(a)2 All proposed curb cuts shall be limited to the minimum width for safe entering and exiting, and shall in no case exceed 24 feet in width provided however; the board may require a curb cut to be up to 30 feet in width for commercial or industrial truck traffic. The location of driveway openings in relation to traffic and to adjacent streets must provide for the convenience and safety of vehicular and pedestrian movement within the site. The number of curb cuts on state and local roads shall be minimized.
- XV-H(a)3 All proposed driveways shall be designed to afford pedestrians, bicyclists, and motorists exiting to public ways with safe sight distance. Improvements may be required on the public way for vehicular turning movements in or out of the site and safe pedestrian access to adjoining sidewalks, paths, walking trails or bikeways.
- XV-H(a)4 The proposed development shall assure safe interior circulation by separating pedestrian and vehicular traffic within its site.
- XV-H(a)5 All roadways and sidewalk construction within the site shall comply with Sections 6.8, 6.9 (except for all I districts), 6.10 and 6.11, of the Newburyport Subdivision Rules and Regulations
- XV-Ha6 Sidewalks, crosswalks, walkways, bike racks, or other pedestrian access may be required to allow access to adjacent properties and between individual businesses within a development. In addition, the proposed development shall include both:
- XV-H(a)6(1) (the reconstruction, repair, and/or replacement, where appropriate, of all city-owned sidewalks actually adjoining the project site, in accordance with sections 12-54 and 12-55 of the Newburyport Code; and

Yes No Var N/A Content:

- XV-H(a)6(2) The planting, preservation, and/or replacement, where appropriate, of street trees along all public rights-of-way actually adjoining the project site, in accordance with article VI of chapter 12 of Newburyport Code
- XV-H(a)7 If the property abuts a public bikeway/right-of-way, an improved access route to the bikeway may be requested.
- XV-H(a)8 Unless a variance is granted by the ZBA pertaining to the requirements of Section VII, proposed projects or uses must comply with the parking and off-street loading requirements in Section VII.
- XV-H(a)9 Where feasible, parking areas shall be located to the side or behind buildings so as to provide an appropriate setting for the building within the context of the site and neighborhood and allow parking areas to be shared with adjacent businesses. The planning board may require alternative parking lot layouts. Except where infeasible or inappropriate, all parking lots shall be accessible by driveways to the parking lots of adjacent nonresidential uses and land zoned for nonresidential uses.
- XV-H(a)10 Except where physical constraints, site configuration, or safety considerations preclude strict compliance, no parking or loading shall be permitted within the required front yard setback.
- XV-H(a)11 Traffic calming measures such as crosswalks, bike lanes, rumble strips, and landscaped islands may be required.
- XV-H(a)12 All off-site construction on state roadways shall comply with the Department of Massachusetts Highway Department (MHD) standards, specifications, or special conditions as applicable as well as requirements listed under CMR 521 as amended for the Massachusetts Architectural Access Board (MAAB) unless waived by MHD and or MAAB.

XV- H(b) Site plan and architectural design

- XV-H(b)1 Height
- XV-H(b)2 Bulk and general massing (footprint, shape, articulation or detail)
- XV-H(b)3 Major divisions or rhythms of the façade (height and width proportions, building lines, etc.) Where appropriate large continuous buildings shall be avoided and massing of buildings should be broken or staggered to reflect the historic scale of existing buildings and traditional development patterns of Newburyport.
- XV-H(b)4 Rhythm of openings (i.e. # windows, spacing, window and doors relationships.)
- XV-H(b)5 Roof treatments (slope, articulation surface). Rooftop mechanical equipments shall be screened from view by rook forms or other appropriate screening devices.
- XV-H(b)6 Materials, colors, and textures of building and signage. In general, natural materials such as stone, brick, wood siding, shingles, slate, etc. are preferred to industrial or artificial materials such as exposed concrete, anodized or galvanized metal, tinted glass, plastics vinyl, etc.

XV-H(b)7 General Architectural Character

- XV-H(b)7i Horizontal or vertical emphasis of building.
- XV-H(b)7ii Scale (height and width proportions).

11/12/2019

- XV-H(b)7iii Stylistic features and themes.
- XV-H(b)7iv Setbacks.
- XV-H(b)7v All proposed structures within a local historic district shall require a certificate of appropriateness form the historical commission.
- XV-H(b)7vi additional dimensional and setback requirements, etc.

XV- H(c) Lighting

Protection of adjoining premises or open space areas against detrimental off-site glare or spillover light.

- XV-H(c)1 The goal of exterior lighting shall be to make development safe and identify and accent key elements in the project's design.
- XV-H(c)2 Lighting poles and structures should be appropriately scaled and styled for the project. Pedestrian areas should have poles ten (10) to twelve (12) feet high and parking areas should have poles eighteen (18) to twenty-two (22) feet high. The pole heights should determine the overall spacing of the poles and fixtures shall be of the cutoff luminaire type. Off-site illumination to adjacent properties shall not exceed 0.2-foot candles as measured at the property line. Lamp type should be metal halide to provide a natural uniform quality of light. Parking and pedestrian light fixtures should be compatible with the building lighting to provide for a contiguous appearance of the project.

Comment: Details of lighting types not provided on plan.

- XV-H(c)3 If requested by the board, a registered engineer or a lighting consultant shall prepare a photometric analysis of site lighting. **Photometric analysis was not provided**

XV- H(d) Landscaping:

- XV-H(d)1 Except for zoning districts where the setback requirements are less than 20 feet, a landscaped buffer strip at least twenty (20) feet wide, continuous except for approved driveways, shall be established adjacent to any public road to visually separate parking and other uses from the road. Unless waived by the board due to safety, pedestrian uses, or lot shape, the buffer strip shall be planted with grass, medium height shrubs, and shade trees having a minimum 3 inches in caliper planted at least every thirty (30) feet along the road frontage. At all street or driveway intersections, trees or shrubs shall be set back a sufficient distance from such intersections so that they do not present an obstruction to sightlines.
- XV-H(d)2 Except for zoning districts with no side-yard setback requirements, a continuous landscaped buffer strip between business and industrial districts and any residential districts and/or property lines shall be provided for new development and maintained in perpetuity. In particular, circumstances where said buffer strip may be impractical to apply, given safety, land use, permitted setbacks, lot shape or historic preservation considerations, the planning board may vary the landscape buffer requirements. The landscape buffer strip shall be of a density to substantially screen the development in question from view, along the zoning district line in question. Plantings of various approved evergreen species are encouraged and shall be planted at a minimum height of six (6) feet. Fencing may be allowed in lieu or in conjunction with plantings. Design and height of said fencing shall be subject to the approval of the planning board.

Com Inc N/A Content:

11/12/2019

- XV-H(d)3 Other than for existing retaining walls, new retaining walls shall be constructed to a maximum height of six(6) feet. If site conditions require elevation changes of greater than six (6) feet, retaining walls shall be terraced and landscaped. New retaining walls facing residential districts shall be solid fieldstone or fieldstone veneer or other similar material. Unless used within the industrial districts, vertical cast in place concrete or concrete blocks shall not be permitted. **Comment: Design of the retaining wall was not provided**
- XV-H(d)4 Surface parking lots containing over 20 spaces shall have at least one shade tree per ten (10) parking spaces, such trees to be a minimum of 2 1/2 inches in diameter and located either in the parking area or within 10 feet of it. At least 5% of the interior of the parking area shall be maintained with landscaping, including trees, in landscape islands or plots of at least nine (9) feet in width with no more than 20 parking spaces between each island or plot. Trees shall be located to provide visual relief from sun and wind interruption within the parking area and assure safe patterns of internal pedestrian and vehicular traffic. Other traffic calming measures such as crosswalks, bike lanes, rumble-strips, and landscape islands may be required as necessary.
- XV-H(d)5 Exposed storage areas, machinery, service areas, truck loading areas, utility buildings and structures and other unsightly uses shall be screened from view from neighboring properties and streets using dense, hardy evergreen plantings, or earthen berms, or wall or tight fence complemented by evergreen plantings
- XV-H(d)6 All landscaped areas shall be properly maintained. Shrubs or trees, which die within the first year, shall be replaced within one growing season as a condition of approval. The board strongly encourages the use of drought resistant native plant species.

XV- H(e) Storm water runoff :

The site plan shows or includes adequate provisions for measures to prevent pollution of surface or groundwater, minimizing erosion and sedimentation, and measures to prevent changes in groundwater levels, increased run-off, and potential for flooding. The plan shall include:

- XV-H(e)1 A plan consistent with the Massachusetts Storm-Water Management Policy (SWMP), where the rate of surface water run-off from the site shall not be increased after construction. If needed to meet this requirement and maximize groundwater recharge, increased run-off from impervious surfaces shall be recharged on site by being diverted to vegetated surfaces for infiltration or through the use of subsurface infiltration systems, retention or detention ponds. Dry wells shall be used only where other methods are unfeasible and shall require oil, grease, and sediment traps to facilitate removal of contaminants. The plan shall also be consistent with the Phase III National Pollution Discharge Elimination System (NPDES) requirements as adopted by the City of Newburyport.
- XV-H(e)2 Neighboring properties shall not be adversely affected by excessive run-off.
- XV-H(e)3 A detailed stormwater management plan will also be required.

Comment. A detailed stormwater analysis was not provided

XV- H(f) Water Quality:

- XV-H(f) Groundwater recharge shall be maximized and groundwater quality shall be protected. Various techniques may be required to maximize recharge, such as perforated drainpipes, reduction of paved areas, and reduction of building coverage. Installing grease traps, and/or gas/oil separators to improve water quality may also be required. Where the groundwater elevation is close to the surface extra site grading precautions may be taken to maintain the protective function of the overburden.

XV- H(g) Wetlands:

11/12/2019

- XV-H(g) In order to minimize design and permitting conflicts, when wetland replacement or mitigation is required, the application shall include, if completed, a copy of the plan submitted in accordance with the regulations of the Newburyport Conservation Commission.

XV- H(h) Erosion Control:

Erosion of soil and sedimentation of streams and water bodies shall be minimized using the following erosion practices:

- XV-H(h)1 Exposed or disturbed areas due to stripping of vegetation, soil removal, and regrading shall be permanently stabilized within six months of occupancy of a structure.
- XV-H(h)2 During construction, temporary vegetation and/or mulching shall be used to protect exposed area from erosion. Until a disturbed area is permanently stabilized, sediment in run-off water shall be trapped by using staked hay bales or sedimentation traps.
- XV-H(h)3 Permanent erosion control and vegetative measures shall be in accordance with the erosion/sedimentation/vegetative practices recommended by the Soil Conservation Service.
- XV-H(h)4 All slopes exceeding fifteen (15) percent resulting from site grading shall be both covered with four (4) inches of topsoil and planted with a vegetative cover sufficient to prevent erosion or to be stabilized by a retaining wall.
- XV-H(h)5 Dust control shall be used during grading operations if the grading is to occur within two hundred (200) feet of an occupied residence or place of business. Dust control methods may consist of grading fine soils on calm days only or dampening the ground with water.

Comment: An Erosion control plan was not included

XV- H(i) Utilities:

- XV-H(i)1 Except for preexisting overhead connections, all electric, telephone, cable TV and other such utilities shall be underground from the roadway utilities. **Comment: Connections are not shown on the plans**
- XV-H(i)2 In order to minimize design and permitting conflicts, the applicant must demonstrate that the proposed development will be permitted to connect to the public sewer, water, and other service systems. If sewerage is to be treated on site, the application shall include, if completed, a copy of the plan submitted in accordance with the regulations of the Board of Health. **Comment: Applicant has not demonstrated permission to connect to water and sewer**

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Review of Special Permit and Site Plan Applications for 2-6 Market Street Mixed Use Project November 8, 2019

Existing Conditions Plan

The existing conditions plan should be revised to show the location and size of water sewer and drain lines in Summer Street, Merrimac Street and Market Street as well as gas lines. Overhead lines should also be shown. Spot grades along the southerly property line should be provided. The location of existing water, sewer and gas services should be shown on the plan. The existing building on the lot is shown to be built against the property line as shown on the existing conditions plan.

Site Plan

The plan should be revised to show the location of the proposed water, sewer and drain locations as well as gas and electric

The sewer service inverts at the proposed building and at the sewer line should be provided as well as the inverts on the sewer main into which the building will connect as well as the pipe size and slope and direction of flow.

Water service connections for domestic water and fire protection should be shown. The applicant should discuss with the Water Department if separate services are needed for the residential and commercial uses.

The location of the proposed retaining wall and elevations at bottom and top of wall should be added to the plan.

The location of downspout connections to the City's drainage system should be added to the plan. As well as the invert at the drain line and the invert at the building. The size and slope of the pipe into which the roof leaders will connect should also be provided.

The applicant should clarify if the building outline shown on the plan represents the walls of the proposed building or the overhangs of the building.

The curb line shown on the site plan at the intersection of Summer and Merrimac Streets does not match the curb line shown on the A1.0 drawing at that location.

The proposed fencing should be shown on the plan

A note should be added to the plans concerning snow removal.

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Additional Plans Needed in the Plan Set

Erosion and Sedimentation Control

In the submittal text in addressing Section XV.H.f.2 Erosion Control reference is made to a silt-sock or haybales used during construction. The locations do not appear on any plans. An Erosion and Sedimentation plan should be added to the plan set with the location of the control system shown and the type of control chosen. Catch basin inlet protection should also be shown. This project involves demolition as well as construction and the erosion control plan should address both. It may be necessary to have two plans; one for each phase of the project.

Details Sheet

The following details should be put on detail sheet(s) to be added to the plan set for the project

- Pavement cross-section
- Sidewalk cross section
- Sewer trench detail
- Water services trench detail
- Downspout connection detail to drain line
- Water service detail including valving and thrust blocks.
- Thrust Block Details
- Sewer connection detail
- Retaining wall detail
- Erosion control details including catch basin protection
- Granite curb detail
- Granite curb transition detail
- Handicap assess sidewalk detail
- Lamp post detail
- Pavement patch and overlay detail
- Driveway apron detail
- Fence detail

Comments on Text Presentation

Frontage on Market Street 54' not 200'. Two hundred feet is the total frontage on all three streets. Only frontage on one street can be counted as frontage.

The text submitted suggests 12 off street parking spaces yet the drawing on page 15 has 13 spaces labeled. The Rear Elevation on Page 13 shows stacked parking for 12 cars. The cars are perpendicular to the proposed building and the elevation doesn't show the dumpster and recycle bin location at the southeasterly corner of the building nor the landscaped area on the southwesterly side of the building as shown on A1.0. The proposed site plan on page 15 and

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A1.0 shows 12 parking spaces but angled rather than perpendicular to the building and the dumpster area and landscaped area are shown.

The perpendicular parking would not work because of the limited turnaround area in the easterly end of the driveway. The stacked parking may not work with the angled arrangement if the dimensions shown in the figure on page 16 for the length of the lifting unit is 19 feet 3 inches and has to be placed six inches from a wall. The corner of the lift would protrude into the driveway as shown in the attached pdf where the area taken up by the lift is shown in red superimposed on the plan A1.0.

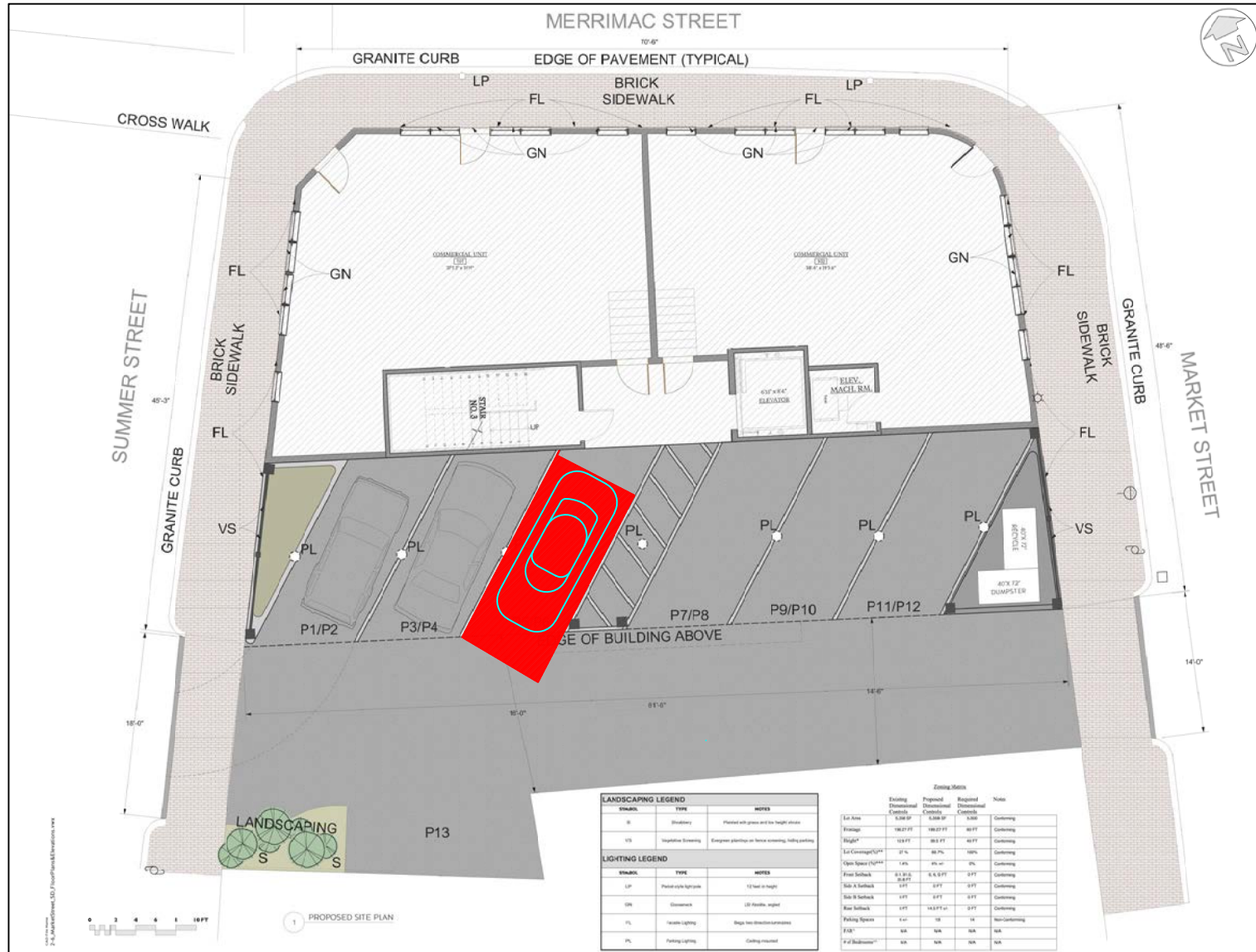
In the text it is proposed that a retaining wall no more than six feet high is to be constructed at the rear of the property against the properties at 8 Market Street and 3 Summer Street. The wall only shows in the illustration in drawing A2.5. The wall should be shown on the site plan with elevation of the bottom and top of wall shown. The distance from the face of the wall to the parking area should be shown.

The construction of the proposed wall is also an issue and its final placement will lessen the turnaround room behind the parking area.

The applicant should address if the demolition of the building will have any effect on the neighbor's property and structures.

Both a demolition sequence and a construction sequence should be added to the plans. The demolition will include removal of the building, sidewalks, existing curbing and asphalt parking area and sidewalks. It also includes disconnecting and capping existing water sewer and gas connections as well as electrical services. The required sedimentation control should be specified for each task.

The construction sequencing should address building construction, curb and sidewalk installation, utility installation and on-site paving. The plans should indicate if the asphalt placed at the new curb and over the service installation cuts should be patches or if a full top course overlay is proposed.



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MARKET STREET CONDOS
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REVISION & REISSUE NOTES		
No.	Date	Notes

Project # 2019-33 Project Manager M.L.L. Date 10.23.19
Scale: AS NOTED

SITE PLAN

A1.0

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SYMBOL	TYPE	NOTES
IS	Boundary	Planted with grass and tree height shown
VS	Vegetative Screening	Evergreen plantings on terrace screening, holiday parking

SYMBOL	TYPE	NOTES
LP	Plant-catch light pipe	12' high or higher
SN	Streetmark	120' Radius, angled
FL	Floral Lighting	Steps, tree direction connectors
PL	Parking Lighting	Coloring included

Item	Zoning Status		Notes
	Existing Dimensional Control	Proposed Dimensional Control	
Lot Area	5,100 SF	5,100 SF	Complying
Footprint	1,822 SF	1,822 SF	Complying
Height	16.5 FT	36.5 FT	Complying
Lot Coverage/CPA	37%	36.7%	Complying
Open Space/OPSA	1.4%	16.1%	Complying
Front Setback	51.3 FT	51.5 FT	Complying
Side R Setback	5 FT	5 FT	Complying
Side B Setback	5 FT	5 FT	Complying
Rear Setback	5 FT	14.3 FT	Complying
Parking Spaces	4	10	Not Complying
FOR	6%	6%	6%
F-2 (Suburban)	6%	6%	6%



1 PROPOSED SITE PLAN