

Market Street Gatehouse Project

*2-6 MARKET STREET,
NEWBURYPORT, MA*

NEWBURYPORT PLANNING BOARD

DECEMBER 4TH, 2019



Site Plan & Special Permit Application

1. Applicant & Design Team
2. Project Goals & Why We're Here
3. Existing Conditions
4. Site Plan Revisions
5. Technical Review Comments
6. Summary
7. Next Steps



1. Applicant & Design Team

Applicant

- ▶ Steven Lewis, 18 Windward Circle, Newburyport, MA

Civic Engineering

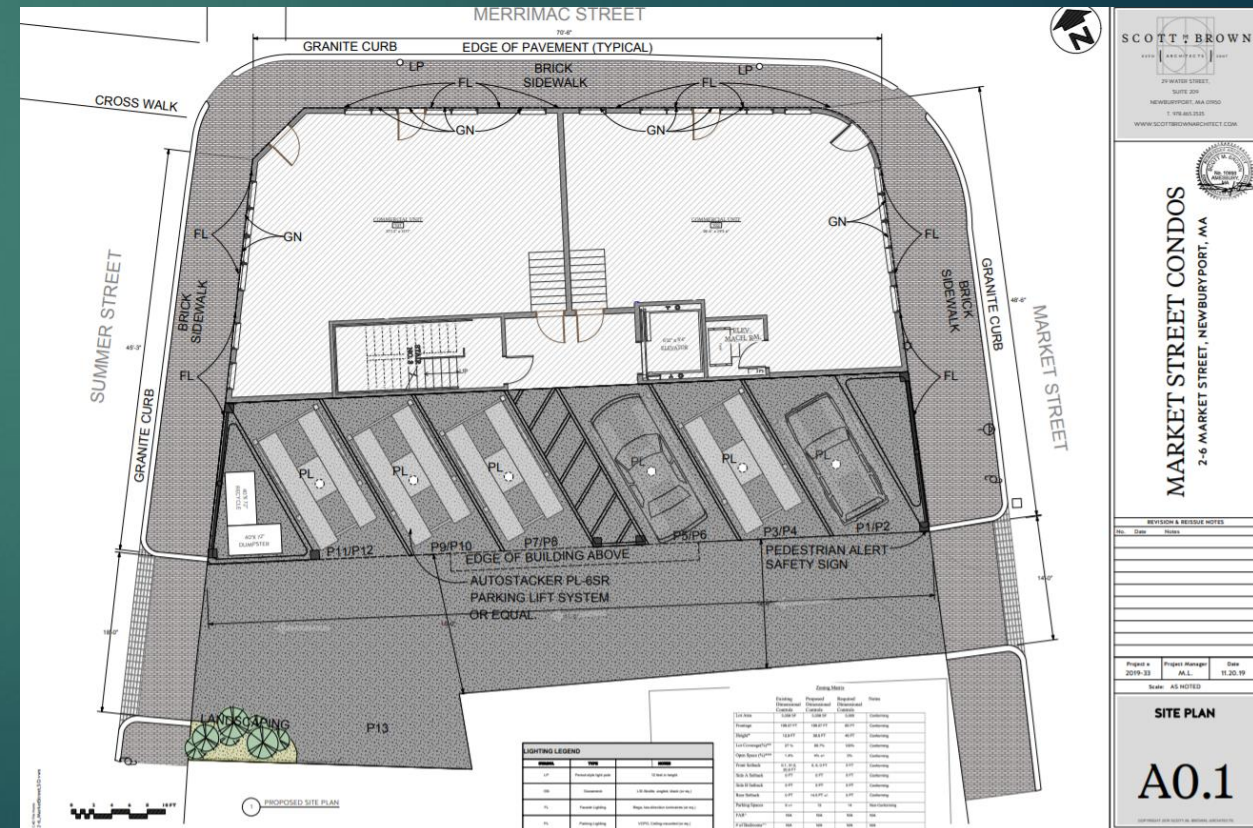
- ▶ Eric Botterman, P.E. – Millennium Engineering

Traffic Engineering

- ▶ Jeff Dirks, P.E. – VA Associates

Building Design

- ▶ Scott Brown, AIA – SB Architects



2. Project Goals

Why We're Here ...

1. Support the Revitalization of Merrimac Street

- ▶ Mixed-Use Development
- ▶ Traditional Building Placement & Design
- ▶ Activate the Street Edge with Commercial Uses

2. Make Improvements to Merrimac Street Corridor

- ▶ Reestablish and Expand Sidewalks
- ▶ Remove Blighted & Non-Contributing Building
- ▶ Reduce Curb-Cuts & Impervious Surfaces

3. Expand Housing & Transportation Opportunities

- ▶ Provide funding for local affordable housing
- ▶ Provide 5 modest-sized units with innovative parking
- ▶ Provide funding for city's off-street parking program



4. Site Plan Revisions

A. Civil Engineering

- ▶ Drainage Analysis
- ▶ Utilities and Site Improvements

B. Traffic Circulation & Parking:

- ▶ Driveway approach & parking
- ▶ Revise lift system & backing issue

C. Building Design:

- ▶ Detail Building Materials
- ▶ Detail the parking screen & landscaping

D. Landscape Design:

- ▶ Sidewalk, Street Trees and Lamps
- ▶ Planters and Parking Screen



A. Civil Engineering

Utilities

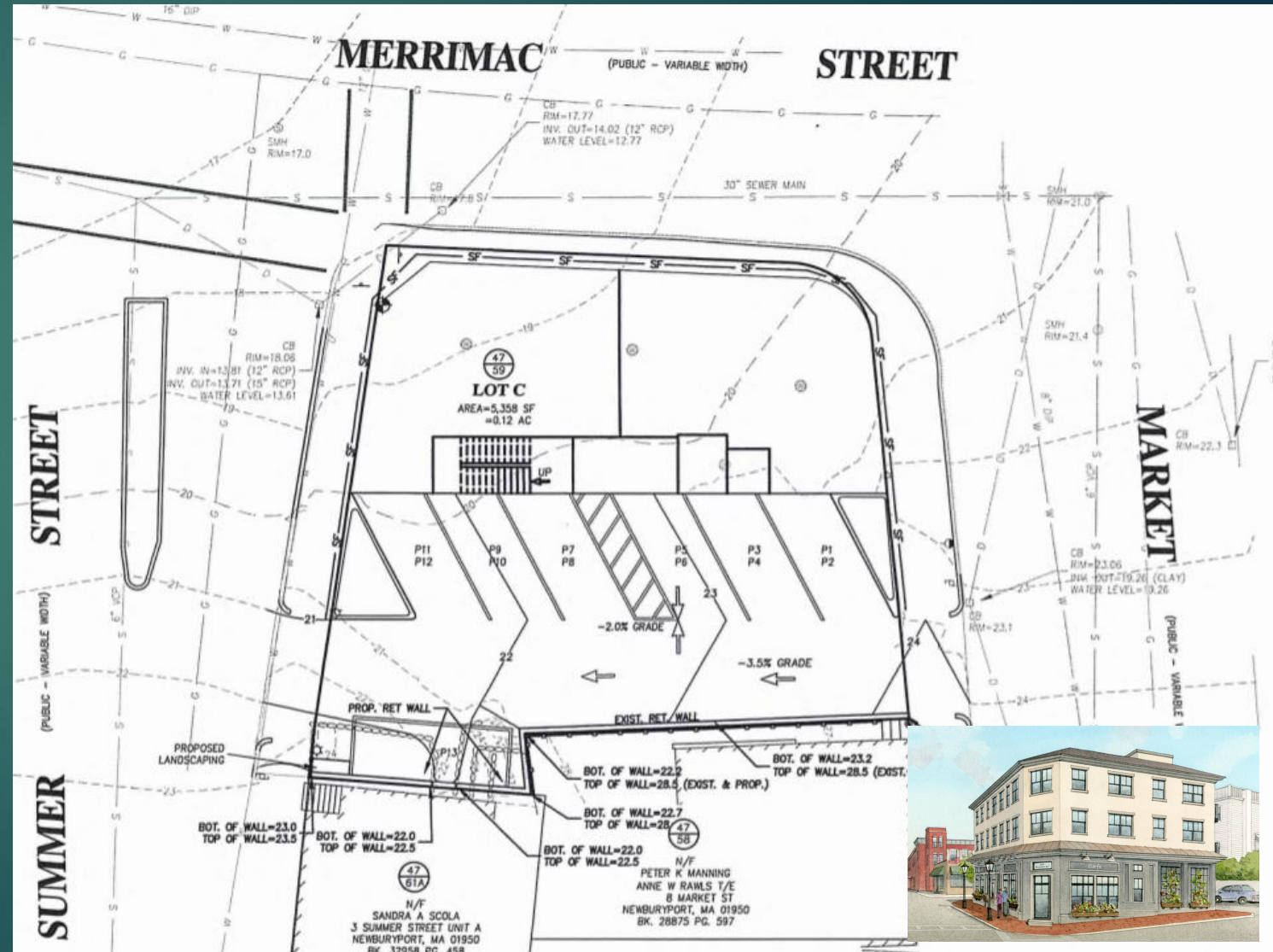
- ▶ Sewer, Water & Electric
- ▶ Drainage & Stormwater Management

Construction Management

- ▶ Demolition
- ▶ Erosion Control
- ▶ Construction Sequencing

Other Site Improvements

- ▶ Sidewalks and Driveways
- ▶ Retaining Walls
- ▶ Fencing



B. Traffic Circulation and Parking

Existing Conditions

- ▶ Roadways
- ▶ Safety
- ▶ Pedestrian Flows

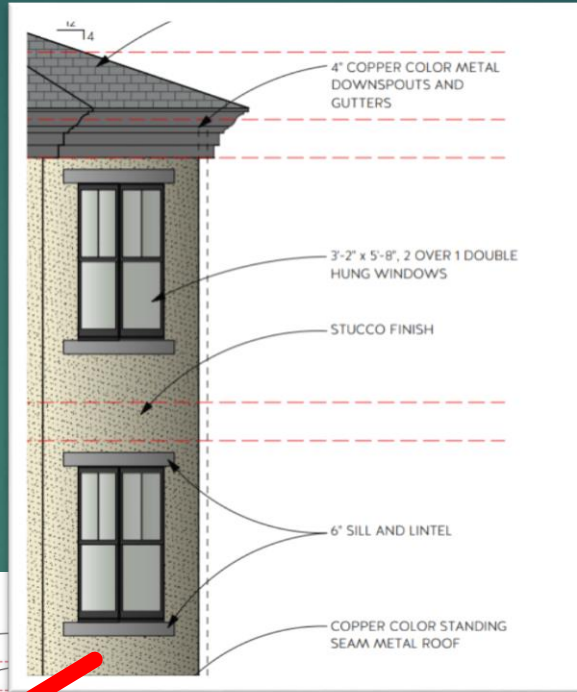
Access, Circulation & Parking

- ▶ Driveway Direction
- ▶ Parking Layout
- ▶ Parking Stacker
- ▶ Turning Movements



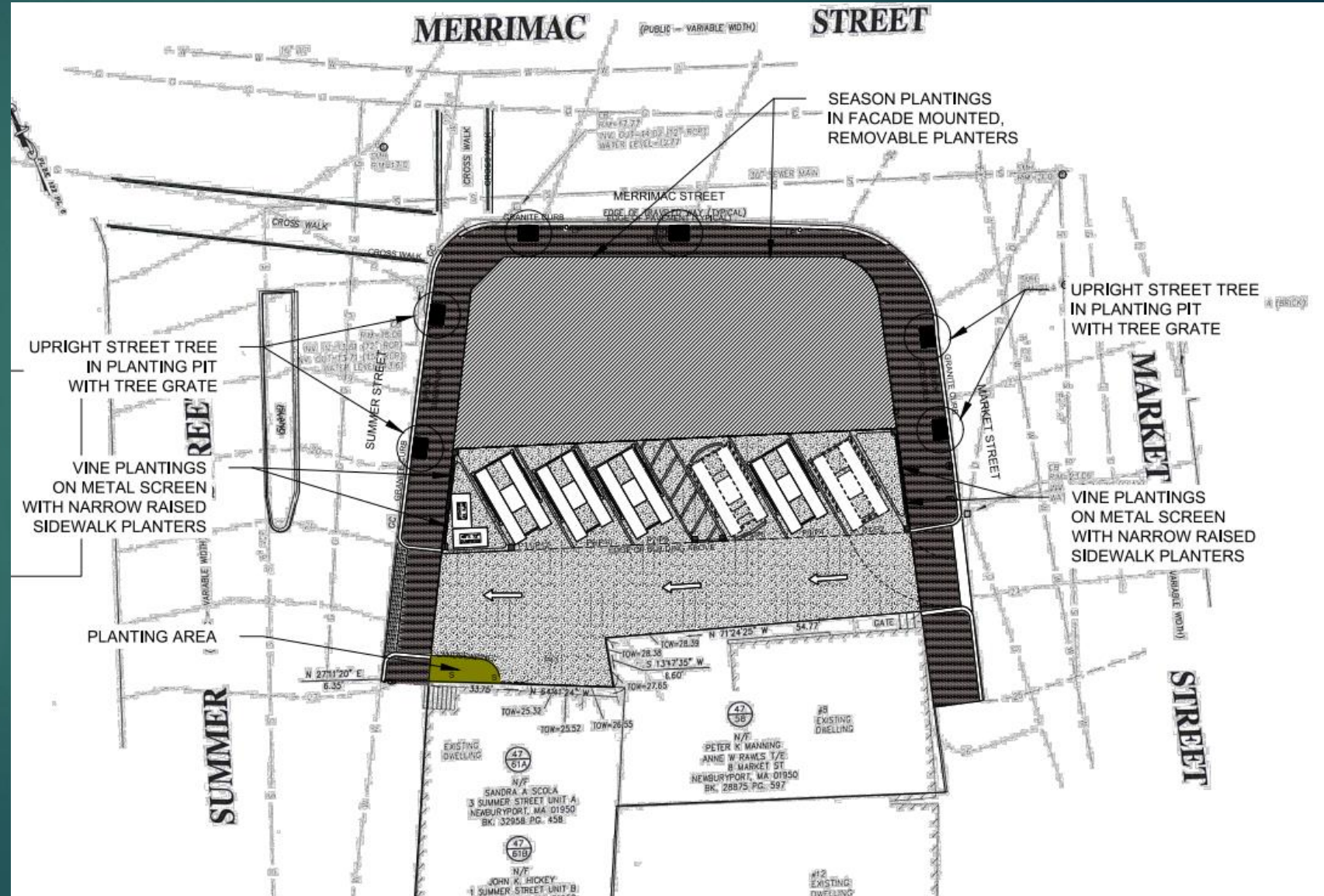
C. Building Design

- ▶ Building Materials
- ▶ Parking Screens
- ▶ Lighting & Landscaping
- ▶ Solid Waste Storage



D. Landscape Design

- ▶ Street Trees & Grates
- ▶ Planting Boxes
- ▶ Parking Screens & Trellis
- ▶ Brick Sidewalks



6. Summary

- ▶ Unique opportunity to support the continued revitalization of Merrimac Street
- ▶ Activation of the street for pedestrian circulation and commercial uses.
- ▶ Support affordable housing and use of the Downtown Parking Garage under the Special Permit for the funding the Intermodal Transportation Improvement Fund (ITIF).



7. Next Steps – December 18th

Formally Address Peer Review Comments & Update Plans for Clarity and Internal Consistency:

- ▶ **Site Plan** – Clarify utility connections, retaining wall design, curbing, and draft construction management plan.
- ▶ **Traffic Impacts** – Minimum driveway aisle width, turning movement analysis, and finalize the unmet parking need for ITIF.
- ▶ **Architectural Elevations** – Detail the commercial storefronts.
- ▶ **Landscape Plan** – Add planting schedule and provide details for street trees and period lights.

