Market Street Gatehouse Project

2-6 MARKET STREET, NEWBURYPORT, MA

NEWBURYPORT PLANNING BOARD DECEMBER 4TH, 2019



Site Plan & Special Permit Application

- 1. Applicant & Design Team
- 2. Project Goals & Why We're Here
- 3. Existing Conditions
- 4. Site Plan Revisions
- 5. Technical Review Comments
- 6. Summary
- 7. Next Steps



1. Applicant & Design Team

Applicant

 Steven Lewis, 18 Windward Circle, Newburyport, MA

Civic Engineering

Eric Botterman, P.E. – Millennium Engineering

Traffic Engineering

► Jeff Dirks, P.E. – VA Associates

Building Design

Scott Brown, AIA – SB Architects



2. Project Goals Why We're Here ...

- 1. Support the Revitalization of Merrimac Street
 - Mixed-Use Development
 - Traditional Building Placement & Design
 - Activate the Street Edge with Commercial Uses
- 2. Make Improvements to Merrimac Street Corridor
 - Reestablish and Expand Sidewalks
 - Remove Blighted & Non-Contributing Building
 - Reduce Curb-Cuts & Impervious Surfaces
- 3. Expand Housing & Transportation Opportunities
 - Provide funding for local affordable housing
 - Provide 5 modest-sized units with innovative parking
 - Provide funding for city's off-street parking program



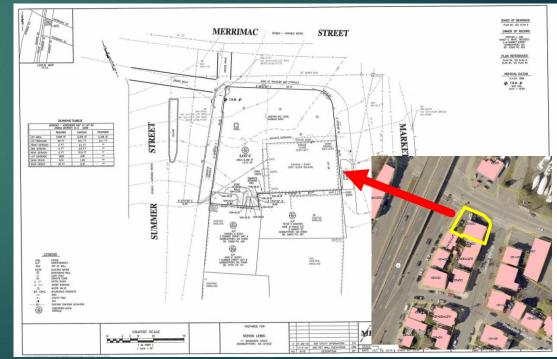


3. Existing Conditions

2-6 Market Street

- ▶ 5,630 SF Lot
- Business-2 Zoning District
- ▶ 1,500 SF Commercial Building
- ▶ 4,000 +/- SF Pavement
- Retail Trade and Service Uses
- ► Frontage and Access on 3 Streets
- ▶ 6 Foot Grade Change
- Former Gas Station and Repair Shop
- ▶ USTs Removed in 1985 & 2018





4. Site Plan Revisions

A. Civil Engineering

- Drainage Analysis
- Utilities and Site Improvements

B. Traffic Circulation & Parking:

- Driveway approach & parking
- Revise lift system & backing issue

C. Building Design:

- Detail Building Materials
- Detail the parking screen & landscaping
- D. Landscape Design:
 - Sidewalk, Street Trees and Lamps
 - Planters and Parking Screen



A. Civil Engineering

Utilities

- Sewer, Water & Electric
- Drainage & Stormwater Management

Construction Management

- Demolition
- Erosion Control
- Construction Sequencing

Other Site Improvements

- Sidewalks and Driveways
- Retaining Walls
- ► Fencing



B. Traffic Circulation and Parking

Existing Conditions

- Roadways
- Safety
- Pedestrian Flows

Access, Circulation & Parking

- Driveway Direction
- Parking Layout
- Parking Stacker
- Turning Movements



C. Building Design

- Building Materials
- Parking Screens
- Lighting & Landscaping
- Solid Waste Storage





D. Landscape Design

- STREET MERRIMAC (PUBLIC - VARIABLE WOTH) SEASON PLANTINGS IN FACADE MOUNTED, Apre 17.77 WV. DOI-64 D2 12 MCPT. WATER CENCLE 1277 REMOVABLE PLANTERS 207 SEVER MAN MERRIMAC STREET CROSS WALK UPRIGHT STREET TREE A (SRICK) IN PLANTING PIT WITH TREE GRATE UPRIGHT STREET TREE MARKE IN PLANTING PIT WITH TREE GRATE REE VINE PLANTINGS ON METAL SCREEN VINE PLANTINGS WITH NARROW RAISED ON METAL SCREEN SIDEWALK PLANTERS WITH NARROW RAISED SIDEWALK PLANTERS PLANTING AREA 5 13'47'35" 1 N 27"11'20" E STREET SUMMER TON-25.32 #8 EXISTING TOW=25.52 PETER & MAN EXISTIN ANNE W RAWLS TA B MARKET ST NEWBURYPORT, MA 01950 BK, 28875 PG, 597 SANDRA A SCOLA 3 SUMMER STREET UNIT A NEABURYPORT, MA D1950 EK, 32958 PG, 458 618 N/F JOHN K. HICKEY EXISTING STREET UNIT
- Street Trees & Grates
- Planting Boxes
- Parking Screens & Trellis
- Brick Sidewalks

6. Summary

- Unique opportunity to support the continued revitalization of Merrimac Street
- Activation of the street for pedestrian circulation and commercial uses.
- Support affordable housing and use of the Downtown Parking Garage under the Special Permit for the funding the Intermodal Transportation Improvement Fund (ITIF).



7. Next Steps – December 18th

Formally Address Peer Review Comments & Update Plans for Clarity and Internal Consistency:

- Site Plan Clarify utility connections, retaining wall design, curbing, and draft construction management plan.
- Traffic Impacts Minimum driveway aisle width, turning movement analysis, and finalize the unmet parking need for ITIF.
- Architectural Elevations Detail the commercial storefronts.
- Landscape Plan Add planting schedule and provide details for street trees and period lights.

