

# Market Street Gatehouse Project

*2-6 MARKET STREET,  
NEWBURYPORT, MA*

*SITE PLAN REVIEW / SPECIAL PERMIT*

**PLANNING BOARD**

DECEMBER 18<sup>TH</sup>, 2019



# Site Plan / Special Permit

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# 1. Applicant & Design Team

## Applicant

- ▶ Steven Lewis, 11 Windward Drive, Newburyport, MA

## Civic Engineering

- ▶ Eric Botterman, P.E. – Millennium Engineering

## Traffic Engineering

- ▶ Jeff Dirks, P.E. – VA Associates

## Building Design

- ▶ Scott Brown, AIA – SB Architects



# 2. Recap of Project Goals

## 1. Support the Revitalization of Merrimac Street

- ▶ Mixed-Use Development
- ▶ Traditional Building Placement & Design
- ▶ Activate the Street Edge

## 2. Improvements to Merrimac Street Corridor

- ▶ Remove Blighted & Non-Contributing Building
- ▶ Re-establish Sidewalk & the Street Edge
- ▶ Reduce Curb-Cuts & Impervious Surfaces

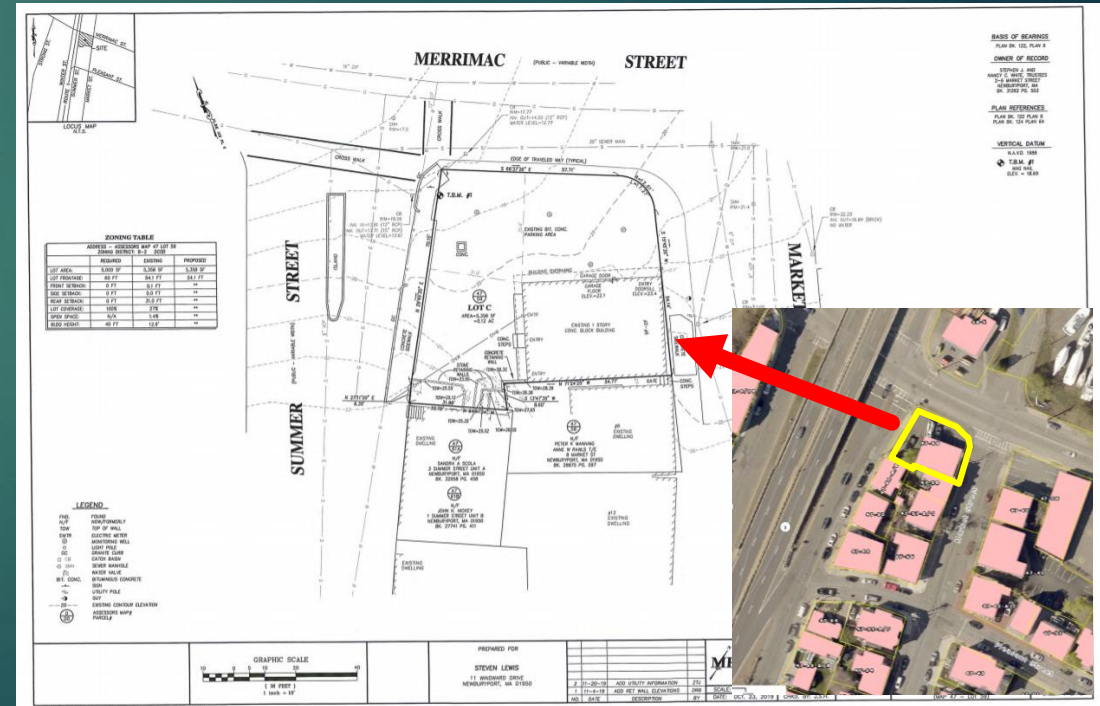
## 3. Expand Housing, Transportation & Green Opportunities

- ▶ 5 modest-sized housing units
- ▶ Innovate parking lift system & funding for city's ITIF
- ▶ Use of ICF and high-efficiency HVAC systems



# 3. Existing Conditions

- ▶ 5,630 SF Lot
- ▶ Business - 2 Zoning District
- ▶ 1,500 SF Commercial Building
- ▶ 4,000 +/- SF Pavement
- ▶ Retail Trade and Service Uses
- ▶ Frontage and Access on 3 Streets
- ▶ 6 Foot Grade Change
- ▶ Former Gas Station and Repair Shop
- ▶ USTs Removed in 1985 & 2018



# 4. Site Plan Comments – Planning Board

## A. Civil Engineering

- ▶ Drainage Analysis & Treatment
- ▶ Utilities and Site Improvements
- ▶ Retaining Wall Design

## B. Traffic Circulation & Parking:

- ▶ Driveway Approach & Width
- ▶ Parking Angle and Lift System
- ▶ Maintain Pedestrian Safety

## C. Building Design:

- ▶ Detailed Building Materials
- ▶ Railing System & 3<sup>rd</sup> Floor Balconies
- ▶ Streetscape Improvements



# A. Civil Engineering – Revisions

## Utilities

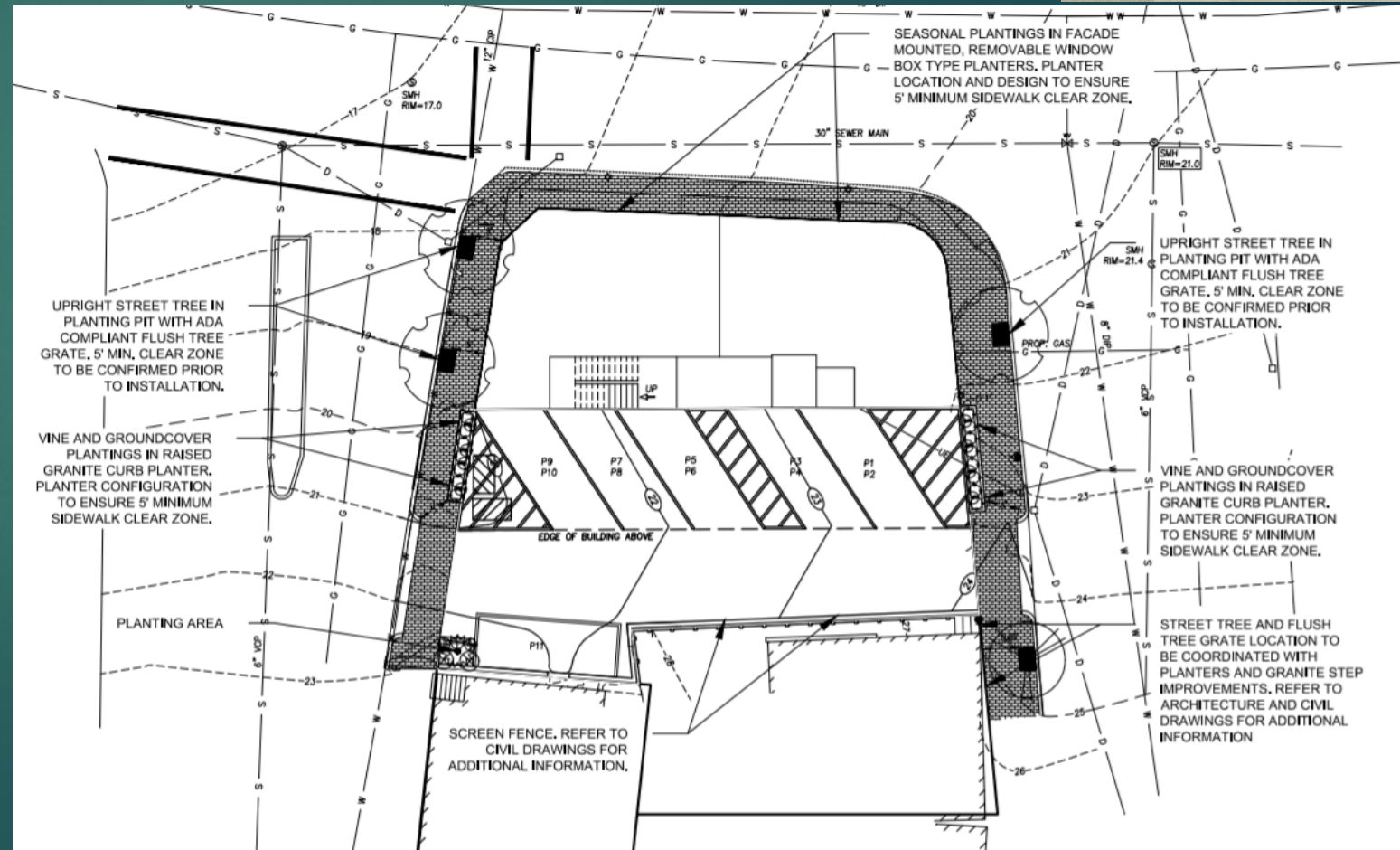
- ▶ Sewer, Water & Electric
- ▶ Drainage & Stormwater Management

## Construction Management

- ▶ Demolition & Erosion Control
- ▶ Construction Sequencing
- ▶ Contractor Parking & Hours

## Other Site Improvements

- ▶ Sidewalks and Street Trees
- ▶ Steps and Planters
- ▶ Wall and Yard Fencing



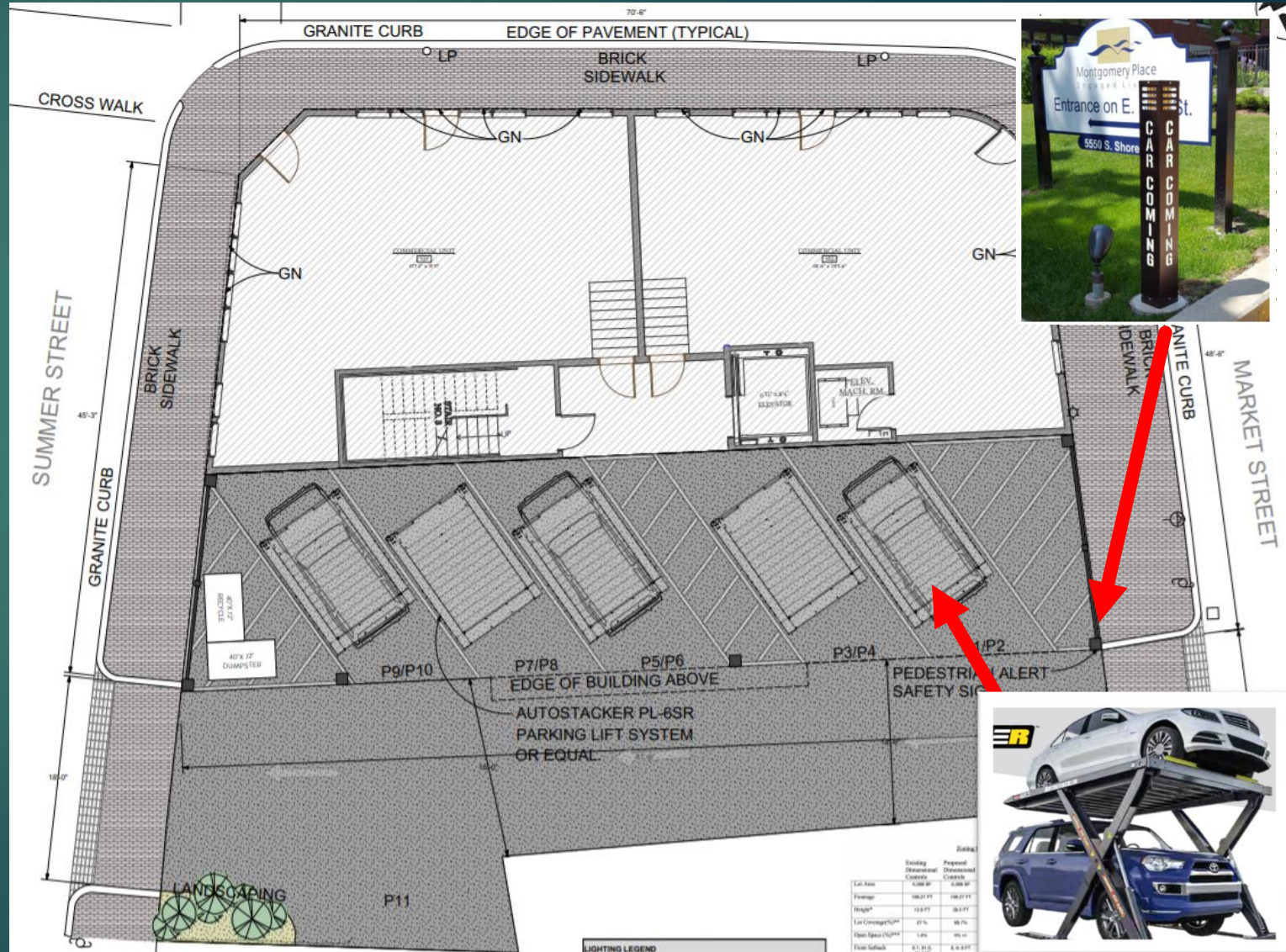
# B. Traffic Impacts - Revisions

## Existing Conditions

- ▶ Sight Lines
- ▶ Curb-cuts
- ▶ Pedestrian Safety

## Access, Circulation & Parking

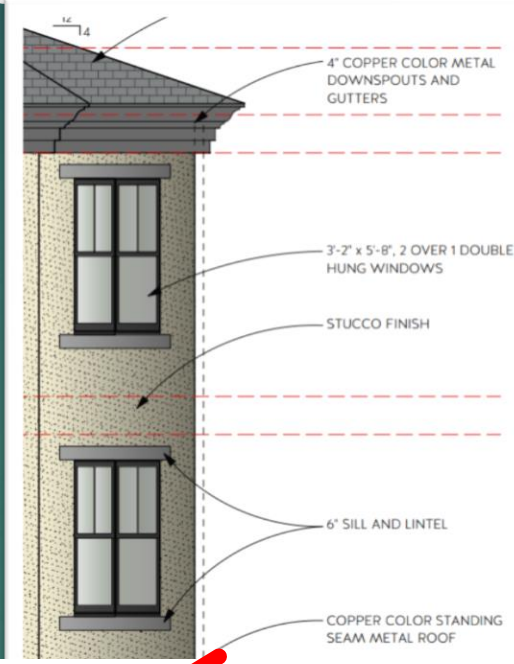
- ▶ Driveway Direction
- ▶ Parking Stall Layout
- ▶ Parking Stacker System
- ▶ Turning Movements





# C. Building Design - Revisions

- ▶ Building Materials
- ▶ Parking Screens
- ▶ Lighting & Landscaping
- ▶ Balconies
- ▶ Streetscape Improvements



# 5. Findings for Special Permit

1. The proposed use (mixed-use #405) is an allowed use under the Table of Use Regulations. The proposed density is reasonable given the size of the property and the availability of off-street parking within the rear of the structure for the upper floor residential use.
2. The requested use is essential or desirable as it's needed in order to redevelop the site and re-establish the street edge along Merrimac, Summer, and Market Streets. Additionally, the project includes significant off-site improvements to the public sidewalk.
3. The proposed use will not create undue traffic congestion or impair pedestrian safety as the final parking plan will insure that vehicles are not backing into a travel lane or causing undue congestion on Summer St. If needed, the surface parking space along the Summer St. entrance will be used as loading area to allow for temporarily parking while retrieving vehicles parked on the upper level of the stacking system.
4. The requested use will not impair the city infrastructure or service. In fact, it will improve them with replacement of the asphalt and concrete sidewalk with brick. Pending approval by the Department of Public Services, period lights will also be added along Merrimac St.
5. Any special conditions associated with the off-street parking requirements will be addressed by the Planning Board under Site Plan Review.
6. The proposed use and structure will not impair the integrity or character of the district or the surrounding neighborhood. In contrast, the proposed project will improve the quality and character of the surrounding neighborhood.
7. The proposed use will not cause an excess of the use within the surrounding neighborhood. Merrimac Street is currently a commercial district will many mixed-use buildings with upper-floor residential uses. This project adds to that character and a multi-story, mixed-use building at this location is consistent with both the historic land use pattern but future development along Merrimac Street.
8. The proposed use is in harmony with the purpose and intent of the zoning ordinance.
9. The proposed use will cause any environmental hazard or nuisance. The site has been fully characterized, assessed, and remediated under the supervision and direction of a Licensed Site Professional (MGL 21E). The site has no known environmental contamination and is appropriate for redevelopment with a mixed-use building.

# 6. Site Plan Review Criteria

- §XV.G.a: Community Character – The proposed project has no impact on scenic public views. It minimizes impacts to natural resources and enhances abutting historic resources. It screens off-street parking and solid waste from the public and abutting properties. The proposed building design is in harmony with the adjacent buildings and is consistent with the architectural style, scale, massing and setbacks within the district. The building design also promotes a design and architectural consistency with the value of the site and the surrounding neighborhood context. The dimensions of the building are appropriate for the location, shape and size of the property and the surrounding neighborhood buildings and structures. Improvements has also been proposed for the sidewalks, entryways and/or fencing of the abutting properties.
- §XV.G.b: Traffic, Parking and Public Access – The proposed project minimizes the vehicular traffic and safety impacts on the surrounding streets. All off-street parking is located to maximize pedestrian and vehicular circulation within the site and neighborhood. The use of automated parking lifts, the one-way driveway alley in the rear of the structure and the added audio-visual alarm minimizes any adverse impacts to the abutting properties.
- §XV.G.c: Public Health – The proposed building and parking design minimizes any adverse air-quality impacts associated with the project. Most public commercial parking will be located on-street or at the municipal parking garage. There is no hazardous material storage planned for the proposed use.
- §XV.G.d: Public Services and Utilities – The site is currently serviced with adequate public water, sewer, and stormwater connections. The proposed use will not overburden the city’s capacity to provide such services. Stormwater management will continue to use the city’s drainage system on Merrimac Street but pre-treatment will be provided within the on-site parking area.
- §XV.G.e: Land Use Planning – The project as design and proposed is consistent with the City’s goal for expanded housing opportunities and mixed-use developments within the downtown business districts.
- §XV.G.f: Open Space and Environmental Protection –The proposed site plan minimize any environmental impacts as existing grades are maintained and any fill removed from the site associated with excavation will be disposed of in compliance with all local or state requirements. The proposed landscape plan will avoid the use of invasive plants and will use drought-resistant plant material.

# 7. Draft Stipulations



On December 18<sup>th</sup> the public hearing will be reopened at the Planning Board for the Market Street Gateway Project located at 2-6 Market Street. Steven Lewis is requesting permission to redevelop the property into a three-story, mixed-use building with commercial uses on the ground floor and five residential units on the upper floors. Off-street parking is provided in the rear of the building. Each parking space includes an automated lift system and a one-way driveway is proposed to lead from Market to Summer Street.

In response to the feedback we received from the Planning Board, the city's peer reviewer and city staff we revised the proposed site and building design for the project. In particular, the site plans show we have: 1) reversed the flow for the one-way driveway; 2) reduced the number of parking spaces within the building in order to widen the parking stalls and reduced the depth of the commercial space in order to provide additional depth to the parking stalls; 3) added stormwater treatment within the parking area; 4) added an audio/visual alarm system to the driveway entrance to warn pedestrians of any on-site traffic backing over the adjacent sidewalk; 5) removed the wall lighting on the upper floors of the building; 6) expanded the brick sidewalks to include the frontage of the property located at 8 Market Street; 7) added a street tree in front of 8 Market Street and removed the street trees along Merrimac Street due to sidewalk width issues; 8) added granite steps and planters along the frontage of 8 Market Street; 9) added a 4 foot black aluminum fence along the proposed retaining wall at the rear of the site and added a 6 foot wood privacy fence along the side and rear yards of 8 Market Street and 3 Summer Street; and, 10) removed the two upper floor balconies facing the bedroom of the existing structure located at 8 Market Street.

In support of the goals of the neighborhood we have revised the site plan to improve the project design and address the issues of privacy, streetscape improvements, and pedestrian and vehicular safety. We believe these changes have both strengthened the character and quality of the building and site design and respected the concerns of the neighbors.

December 18<sup>th</sup> Planning Board Meeting

Public Hearing  
December 18<sup>th</sup>  
7:00 p.m.  
City Hall

2-6 Market Street,  
Newburyport, MA

A Traditionally  
Designed Mixed-  
Use Development

Market Street  
Gatehouse Project



STEVEN LEWIS  
11 Windward Drive,  
Newburyport, MA 01950

Project Coordinator:  
Nicholas J. Cracknell  
Keystone Planning & Design, LLC  
njcracknell@yahoo.com

## Prior to Issuance of Building Permit:

1. **Building and Site Design** - The final construction drawings associated with a building permit for the proposed mixed-use building shall conform to the elevations and plans as revised and presented at the 12-18-19 meeting. A Registered Design Professional shall certify such conformance with a written affidavit that shall be submitted to the Planning Department;
2. **Building or Site Design Modifications** - Any material or substantive alterations to the site plan, landscaping or the architectural elevations shall require subsequent approval by the Planning Board. Such determination shall be made by the Planning Department;
3. **Retaining Wall Design** - After demolition of the existing building has been completed, the final retaining wall(s) design shall be prepared by a Licensed Structural Engineer. The minimum driveway width shall be maintained;
4. **Construction Management Plan** - A detailed Construction Management Plan (CMP) shall be submitted to the Planning Department. The plan shall be used to coordinate contractors and provide a primary point-of-contact, manage on- and off-street parking for the general- and sub-contractors, any sidewalk closures, construction sequencing, dust control, and ensure the hours of operations for construction adhere to all applicable city ordinances. All dumpsters and portable toilets shall be located on-site during construction. The CMP shall be provided to the abutting property owners and the Planning Department at least ten (10) business days prior to the commencement of construction and the applicant shall coordinate a pre-construction meeting to be held on site at least five (5) days prior to construction.

## Prior to Issuance of an Occupancy Permit:

5. **Payment into the ITIF** - A payment of \$7,500 per parking space shall be provided for any unmet parking need. For a mixed-use building the off-street parking requirement shall be the total of all uses in the building. Five residential upper floor units and a ground floor retail use (#403/4) requires a payment of \$30,000 into the ITIF whereas a professional office use (#416) requires a payment of \$37,500. The final unmet parking needs shall be determined by the Planning Department at the point of occupancy and such payment shall be provided prior to issuance of the occupancy permit.
6. **Sidewalks, Street Trees, Period Lights and Planters** - Subject to approval from the Department of Public Services, the existing concrete and asphalt sidewalk along 2-6 Market and 8 Market Street shall be replaced with a full-depth brick sidewalk and shall include four (4) street trees with iron grates and Newburyport period lights, as shown on the proposed landscape plan. Granite landscape planters shall be added along the sides of the proposed building as well as the frontage on 8 Market Street as shown on the revised site plan.

# 8. Summary of Public Benefits

- ▶ Support the revitalization of Merrimac Street with a traditionally-designed mixed-use building.
- ▶ Activate the street with pedestrian improvements and ground-floor commercial uses.
- ▶ Support the use of the Downtown Parking Garage and propose an innovative parking design and contribution to the ITIF.
- ▶ Expand streetscape improvements to include 8 Market Street.



# 9. Next Steps

## 1. **APPROVED** (12-10-19)

### Special Permit for Mixed-Use Building - ZBA:

- ▶ **Mixed-Use** – 5 residential buildings and 1-2 ground-floor commercial uses.

## 2. **PENDING** (12-18-19)

### Site Plan Approval - PB:

- ▶ **Site Plan** – Clarify retaining wall design and provide a draft construction management plan .
- ▶ **Traffic Impacts** – Provide a turning movement analysis and remove the parking lift at P1/P2.
- ▶ **Landscape Plan** – Confirm details for sidewalks, street trees and period lights with Department of Public Services.
- ▶ **Architectural Elevations** – Detail the commercial storefronts, lighting and balcony design.

## 3. **PENDING** (12-18-19)

### Special Permit for ITIF - PB:

- ▶ **Unmet Parking Need.** 4-5 parking spaces (\$30,000 - \$37,500).

