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Newburyport, MA 01950
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www.mtclawyers.com

January 9, 2020

IN HAND

Bonnie Sontag, Chair
Planning Board
City of Newburyport
City Hall
60 Pleasant Street
Newburyport, Massachusetts 01950

RE: The Reserve at Bashaw Farm Minor Modification / Architectural Design
Changes / Release of Lots for Building Permits and Additional Security

Dear Chair and Members of the Board;

Reference is made to the above-captioned matter. In that connection, this firm represents The Reserve at Bashaw Farm LLC the owners of the subdivision located at 181-183 Low Street and 3-9 Colby Farm Lane. Pursuant to Special Condition 9 of the Special Permit issued on August 21, 2019 and recorded in Book 38067 Page 567 of the Essex South Registry of Deeds and Special Condition 7 of the Subdivision Approval dated August 21, 2019 and recorded in Book 38067 Page 565 of said Registry, the Applicant is requesting a minor modification to the Subdivision and Special Permit approvals relative to:

- a. Architectural Design of several homes; the Legare Residence (Lot 1), the Bally Kiss Cottage (Lot 2), the Willow (Lot 5), the Harper (Lot 9) and the Sweet Liberty (Lot 11). The specific changes are shown on the attached plans including a table of changes by Lot.¹
- b. Special Condition 17 of the Subdivision Decision to allow the building permits to be released for the following homes 1, 4, 10, 14 and 15, prior to completion of the infrastructure and roadways.

As you will see on the plans attached, the Applicant is proposing to make slight adjustments to the architectural details of the proposed homes. None of the changes affect the lot coverage nor do the major features which face public ways.

As to the release of lots for building permit purposes the Applicant suggest that given that it is diligently constructing and installing the infrastructure and the lots it seeks to release are accessible from Colby Farm Lane, by allowing the Applicant to commence work on the actual structures will not be a detriment to the final subdivision completion. In support thereof the Applicant has provided the attached sketch plan which shows how the Applicant will assure non-interference with the regular day to day use of Colby Farm Lane by constructing temporary driveways immediately adjacent to the Lane. Lots 1 and 15 have immediate access on Colby Farm

¹ Please note "CSR" plans are as approved, "CD" Plans are proposed changes.

Millis Office

730 Main Street, Suite 1F
Millis, MA 02054
Phone 508.376.8400

Lane as part of the plan. Both the temporary access and the direct access off of Colby Farm Lane will also allow fire safety access during construction. Additionally, the Applicant is willing to provide additional security to provide assurance to the City that the infrastructure will be completed. Finally, the Planning Board continues to have a Covenant on the lots (Recorded in Book 38067 Page 624) from which the lots cannot be released for a Certificate of Occupancy until all of the infrastructure is in place in accordance with the Subdivision Decision.

As a result, given that the architectural changes are minor in nature and/or do not face a public way, and the City will continue to be secure both by a bond and a Covenant, that the requested changes are minor and that the Board approve the modifications as presented.

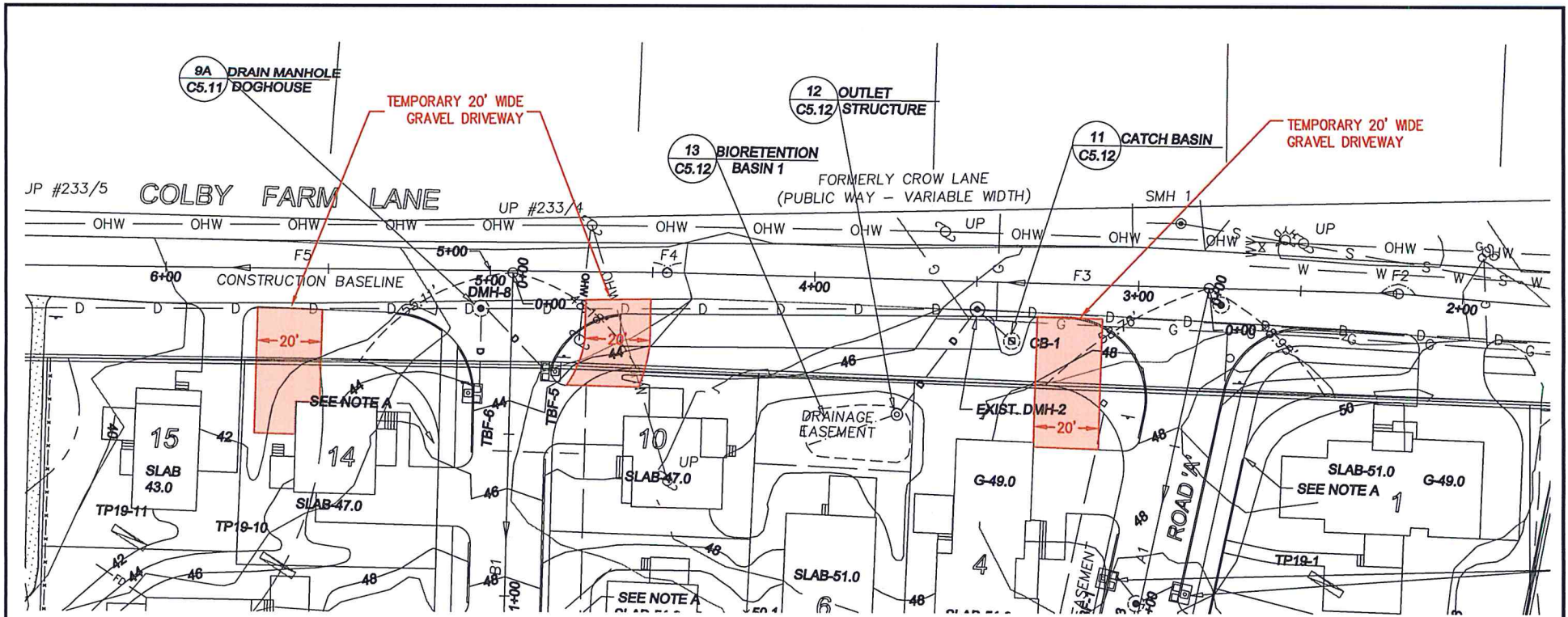
I would request that this matter be placed on your February 5, 2020 agenda for a discussion of same. I thank you in advance for your time and consideration.

Respectfully submitted
The Reserve at Bashaw Farm LLC
By Its attorney

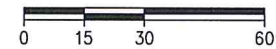


Lisa L. Mead

cc: Client



SCALE: 1"=30'



PER PLAN BOOK 474, PLAN 93

NOTES

1. SEE PLAN ENTITLED "THE RESERVE AT BASHAW FARM" RECORDED WITH THE ESSEX SOUTH REGISTRY OF DEEDS, PLAN BOOK 474, PLAN 93.

REDLINE CONSTRUCTION

TEMPORARY DRIVEWAY PLAN

**THE RESERVE AT BASHAW FARM
NEWBURYPORT, MASSACHUSETTS**

PLAN PREPARED FOR:

DALY GROUP
225 STEDMAN STREET
LOWELL, MA 01851

JANUARY 8, 2020

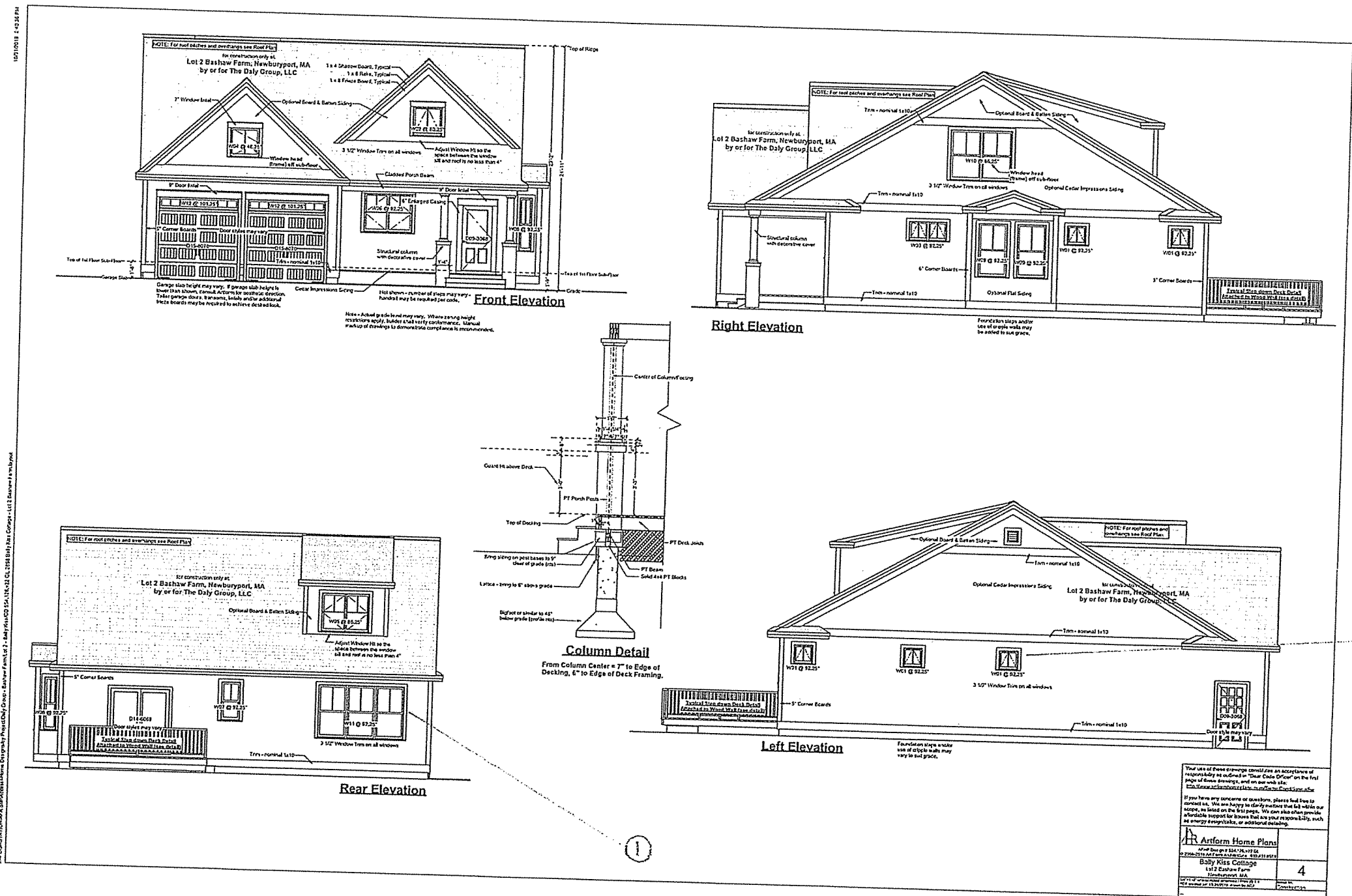
SCALE: 1"=30'



CIVIL ENGINEERING - SURVEYING
10 George Street, Suite 208
Lowell, Massachusetts 01852
978-201-9390 - LandPlex.com

LOT 2

CD



This set of three drawings shall give an acceptance of responsibility as outlined in "Our Code of Ethics" on the first page of these drawings, and on our web site: <http://www.artformhomeplans.com>

If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that help with our designs, as listed on the first page. We can also provide affordable support for those that are your primary, such as energy audits, or additional detailing.

Artform Home Plans
 11000 1st St. #101
 Newburyport, MA 01950
 (978) 861-1100
 www.artformhomeplans.com

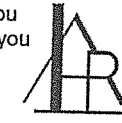
Baby Kiss Cottage
 Lot 2 Bashaw Farm
 Newburyport, MA

Sheet No. 4

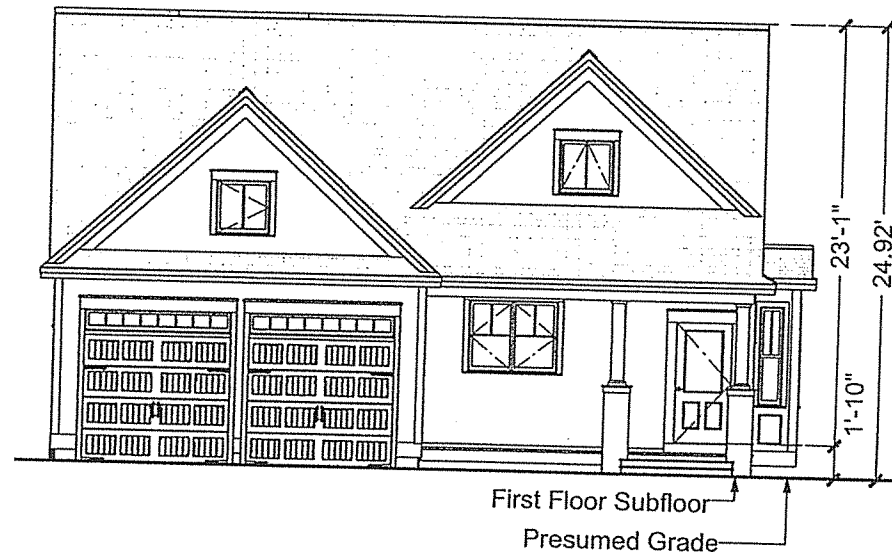
CSR

Bally Kiss Cottage
554.126.v22 GL

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 **Artform Home Plans**

603-431-9559

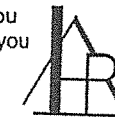


Front Elevation
Scale: 3/32"=1'-0"

Bally Kiss Cottage
554.126.v22 GL

CSR

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Right Elevation
Scale: 3/32"=1'-0"

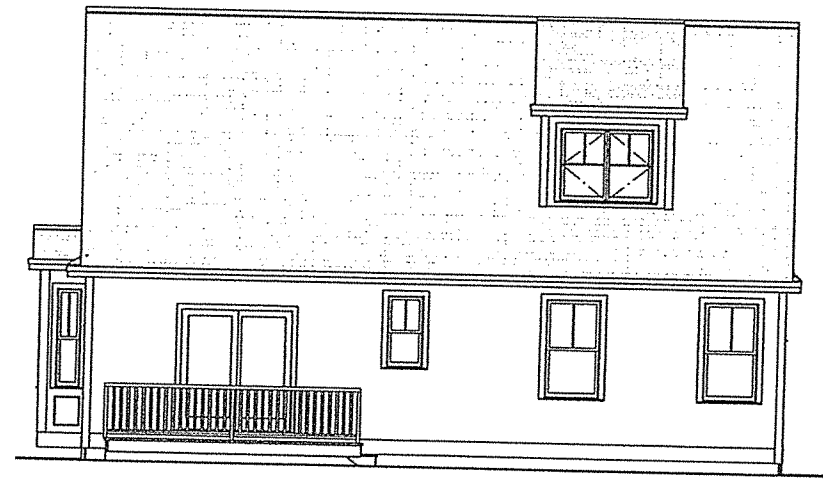
CSR

Bally Kiss Cottage
554.126.v22 GL

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Rear Elevation
Scale: 3/32"=1'-0"

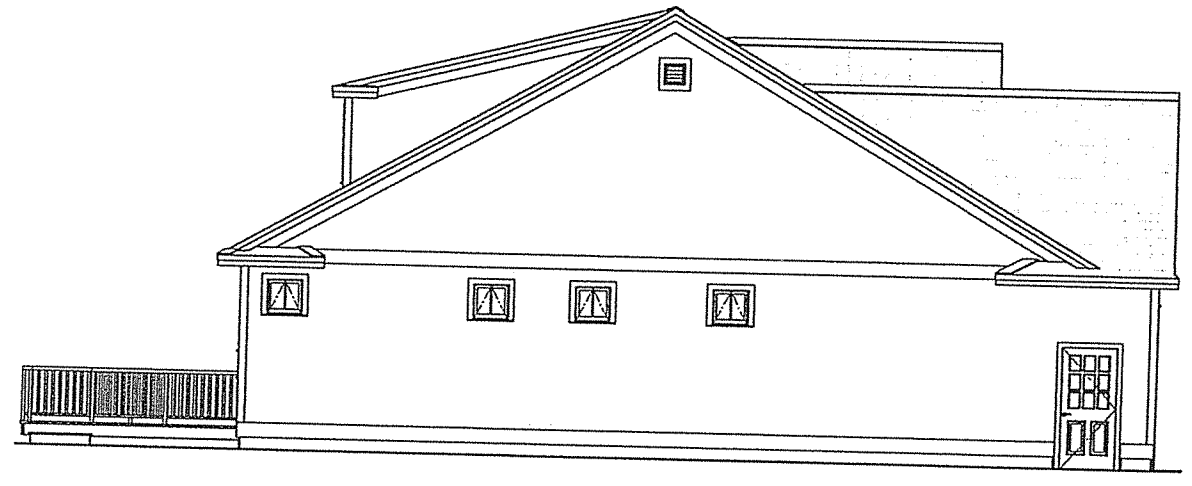
Bally Kiss Cottage
554.126.v22 GL

CSR

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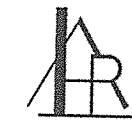


Left Elevation
Scale: 3/32"=1'-0"

CSR

Sweet Liberty
148.124.v5 KR

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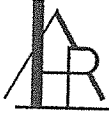


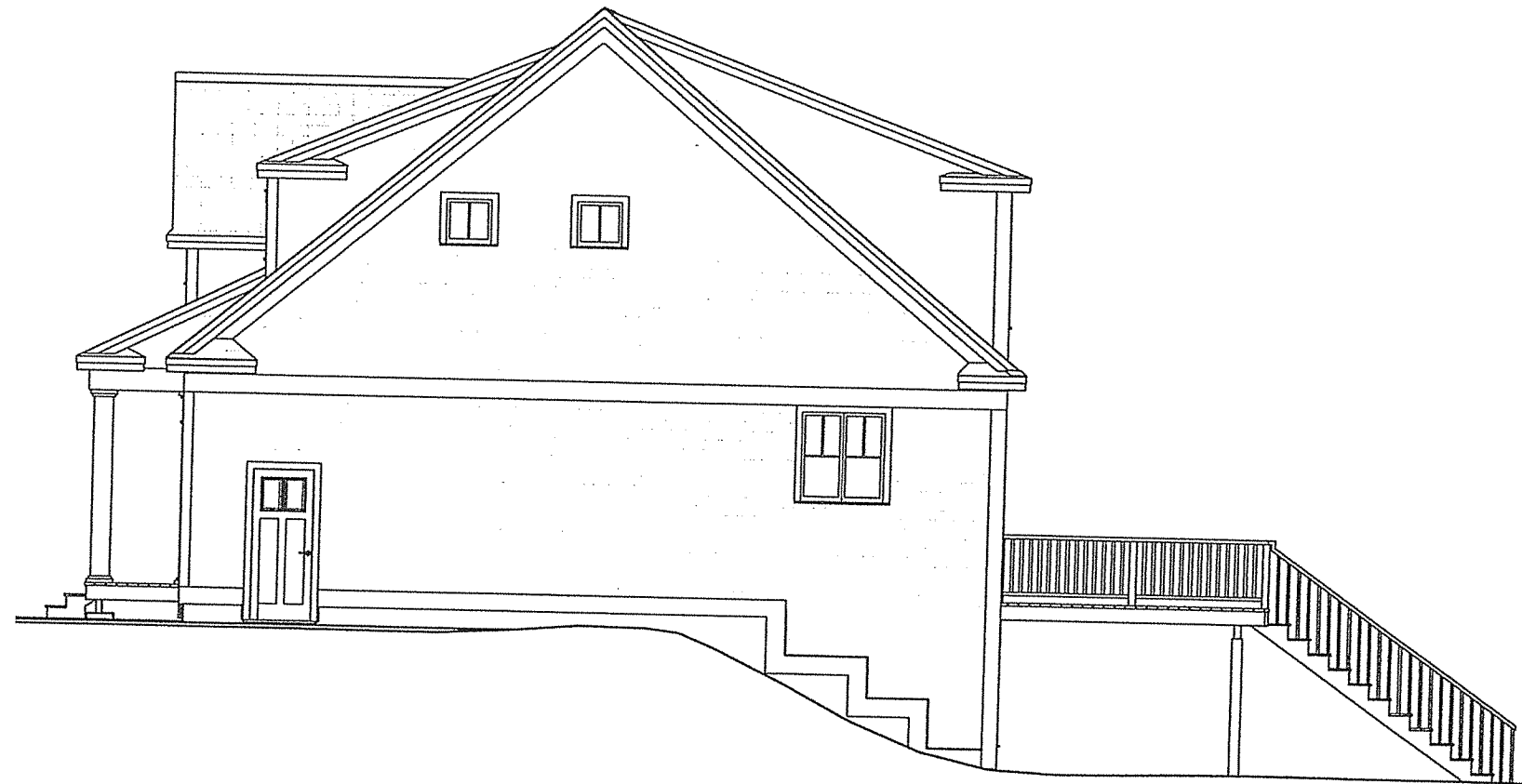
Front Elevation
Scale: 1/8" = 1'-0"

CSR

Sweet Liberty
148.124.v5 KR

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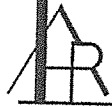


Right Elevation
Scale: 1/8" = 1'-0"

CSR

Sweet Liberty
148.124.v5 KR

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Rear Elevation
Scale: 1/8" = 1'-0"

CSR

Sweet Liberty
148.124.v5 KR

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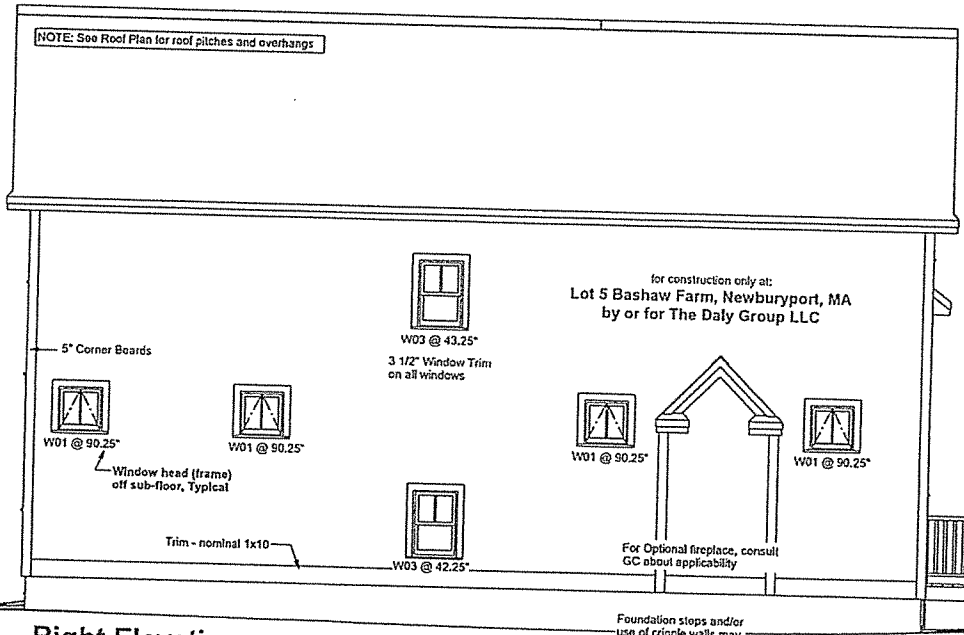


Left Elevation
Scale: 1/8" = 1'-0"

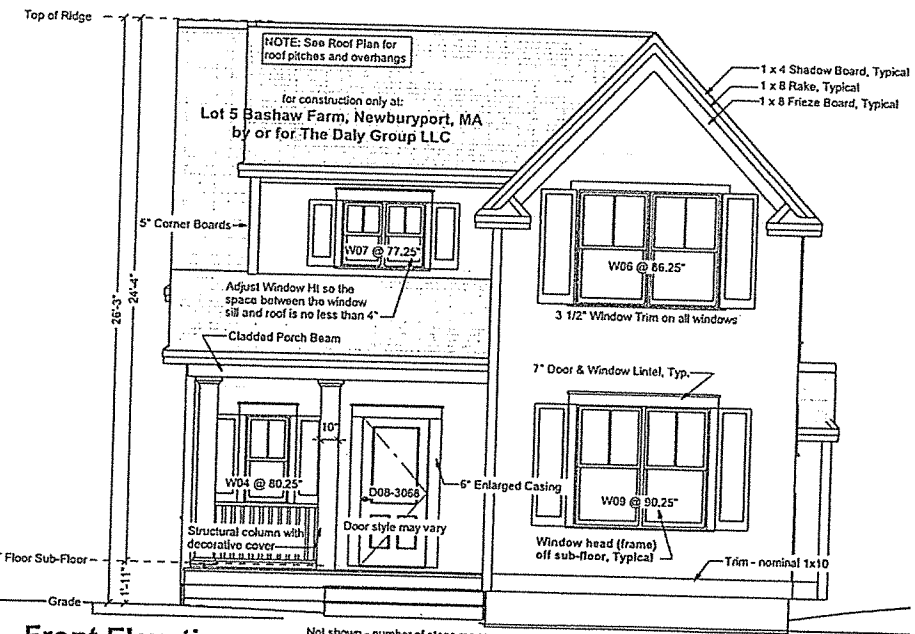
Lot 5

CD

1/15/2019 10:12:26 AM
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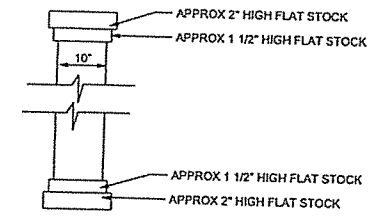
Right Elevation



Front Elevation

Note - Actual grade level may vary. Where zoning height restrictions apply, builder shall verify conformance. Manual markup of drawings to demonstrate compliance is recommended.

Not shown - number of steps may vary - handrail may be required per code.



Porch Column Detail

Note: Dimensions are approximate, builder may exercise some latitude.

Your use of these drawings constitutes an acceptance of responsibility as outlined in "Dear Code Officer" on the first page of these drawings, and on our web site: <http://www.artformhomeplans.com/TermsConditions.pdf>

If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/calcs, or additional detailing.

Artform Home Plans

AFHP Design # 137.125.v7 GL

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Willow
Lot 5 Bashaw Farm
Newburyport, MA

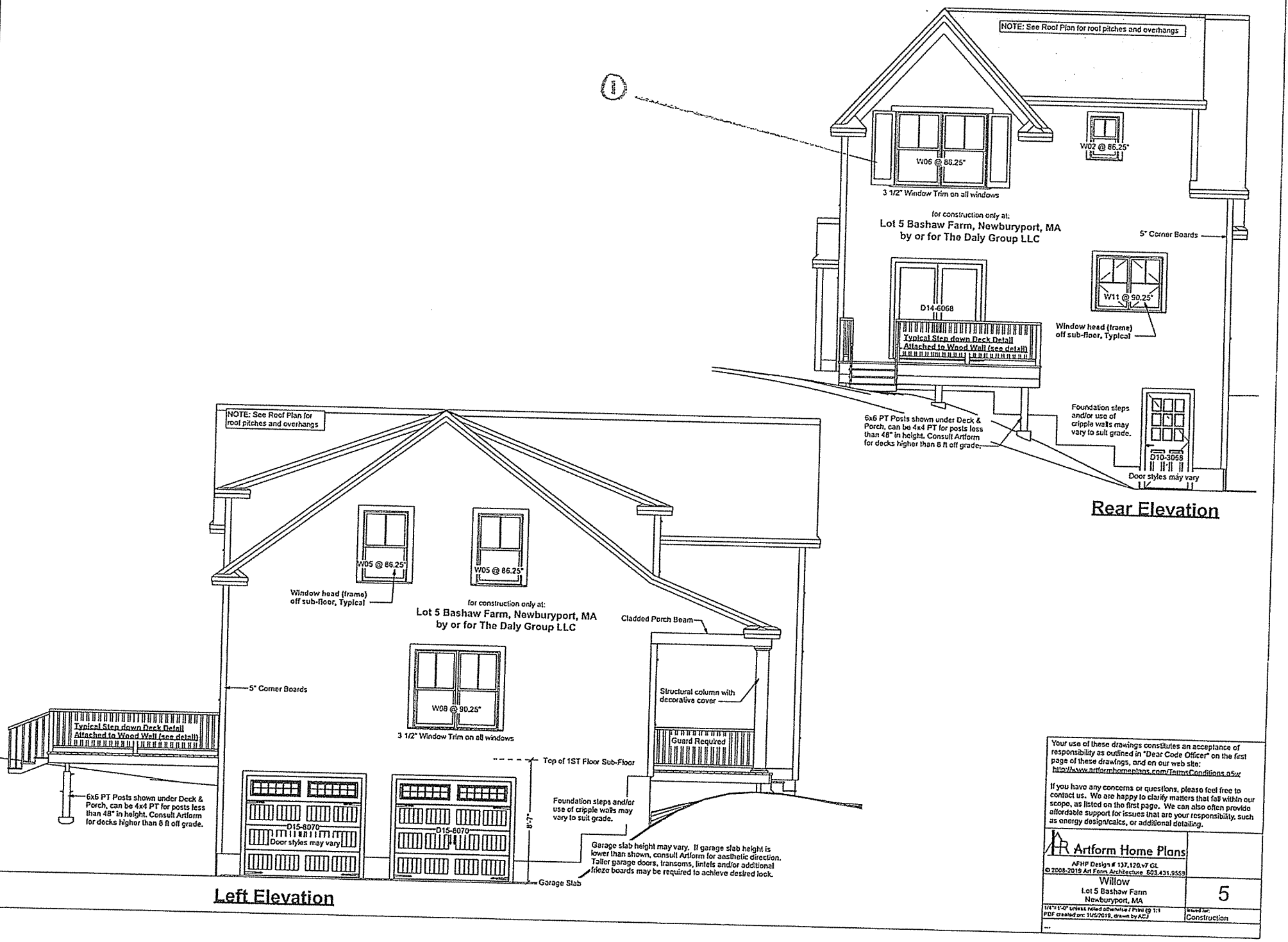
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PDF created on: 1/15/2019, drawn by: ACJ

4

Construction

CD

11/05/2019 10:12:36 AM
/AF/DIR/STATION/AREA/Staff/Access/HOME/Drawings/Project/Daly/Group - Bashaw Farm, LLC - Willow/CD 137.120.v7 GL 4701 Willow - Lot 5 Bashaw Farm Layout



NOTE: See Roof Plan for roof pitches and overhangs

NOTE: See Roof Plan for roof pitches and overhangs

NOTE: See Roof Plan for roof pitches and overhangs

for construction only at:
Lot 5 Bashaw Farm, Newburyport, MA
by or for The Daly Group LLC

for construction only at:
Lot 5 Bashaw Farm, Newburyport, MA
by or for The Daly Group LLC

Left Elevation

Rear Elevation

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If you have any concerns or questions, please feel free to contact us. We are happy to clarify matters that fall within our scope, as listed on the first page. We can also often provide affordable support for issues that are your responsibility, such as energy design/calcs, or additional detailing.

AFHP Design # 137.120.v7 GL © 2008-2019 Art Form Architecture 603.431.9339	
Willow Lot 5 Bashaw Farm Newburyport, MA	5
1/4" = 1'-0" unless noted otherwise 7/19/19 1:1 PDF created on: 11/05/2019, drawn by: ACJ	Sheet No: Construction

CSR

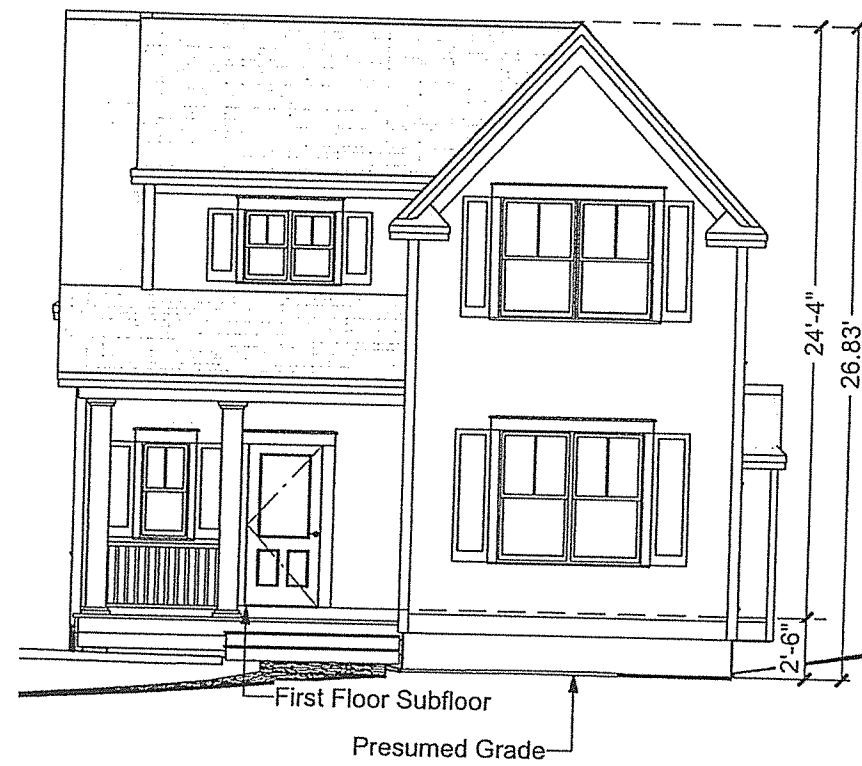
Willow

137.120.v7 GL

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Front Elevation

Scale: 1/8" = 1'-0"

CSR

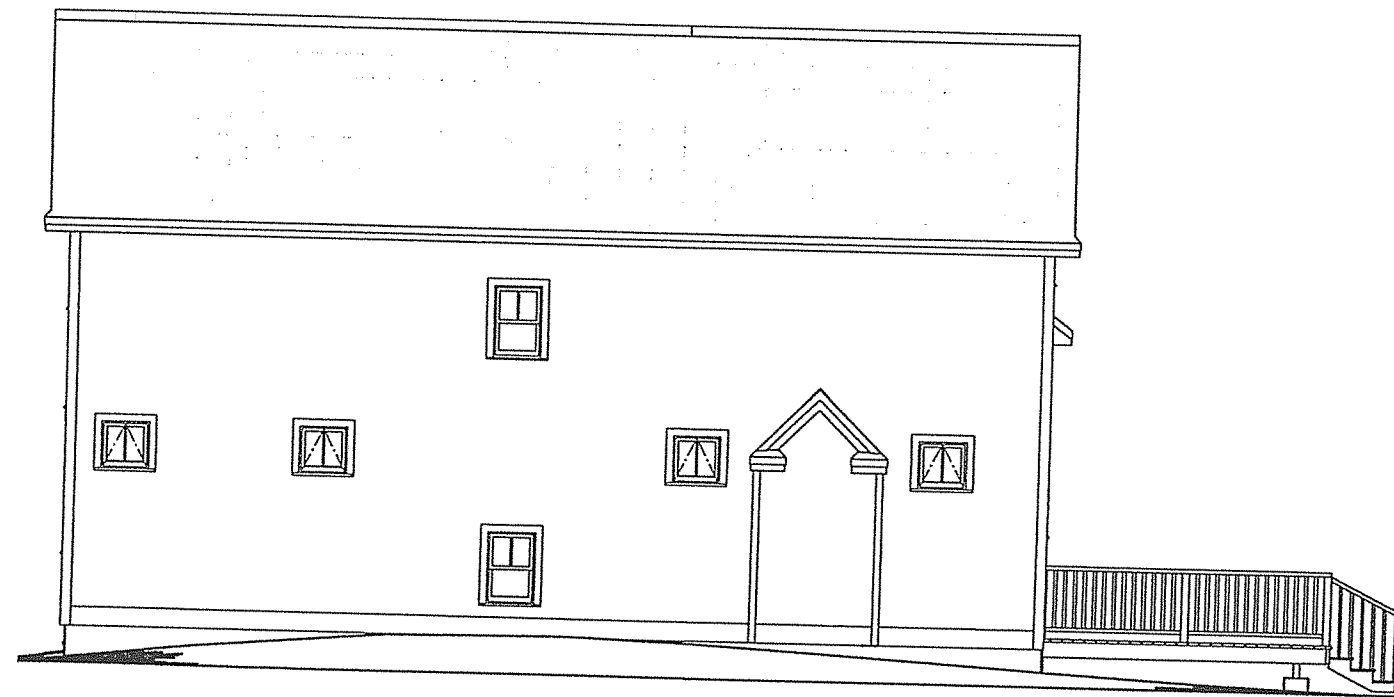
Willow

137.120.v7 GL

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Right Elevation

Scale: 1/8" = 1'-0"

CSR

Willow
137.120.v7 GL

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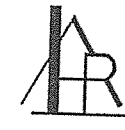
Rear Elevation
Scale: 1/8" = 1'-0"

CSR

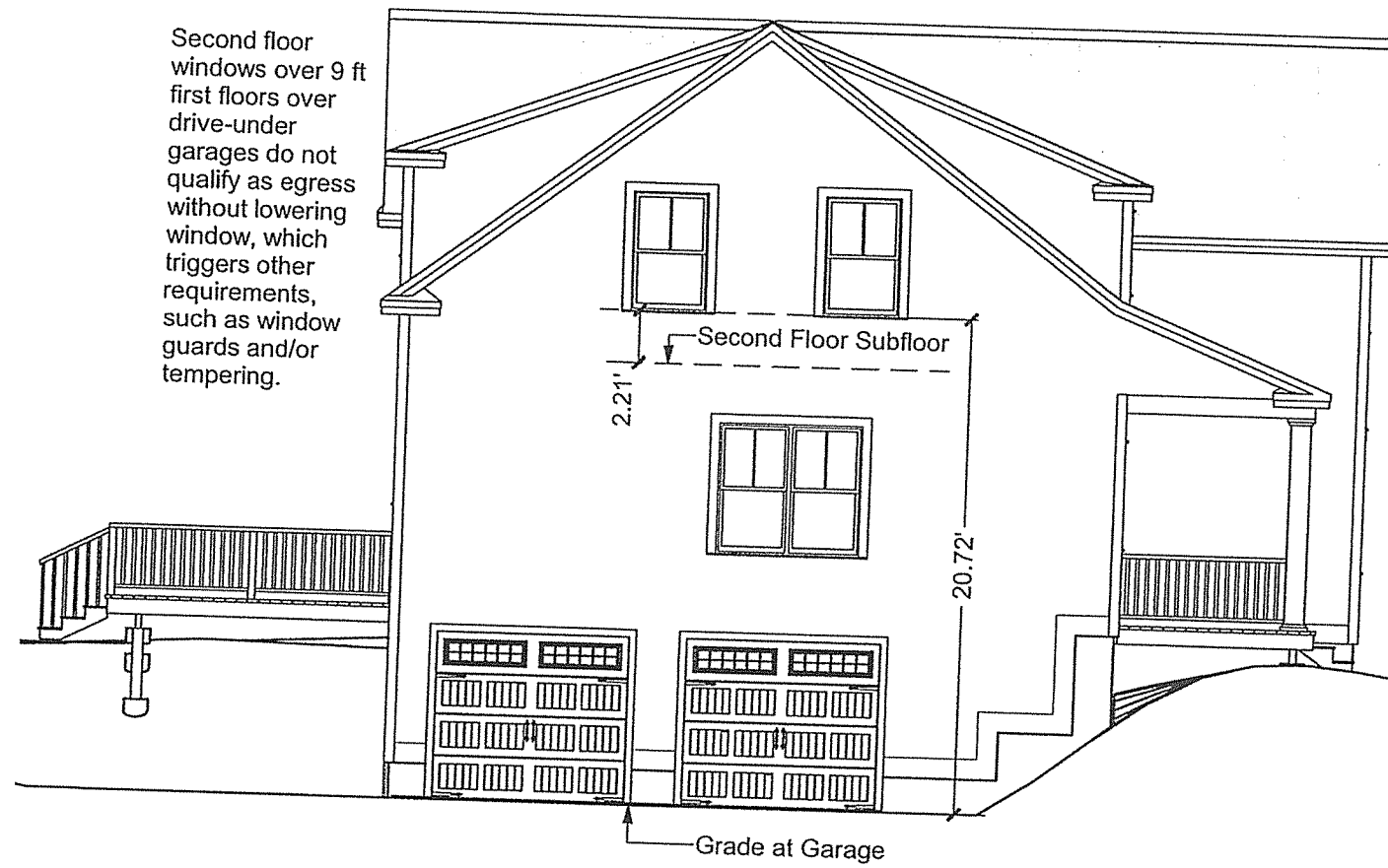
Willow

137.120.v7 GL

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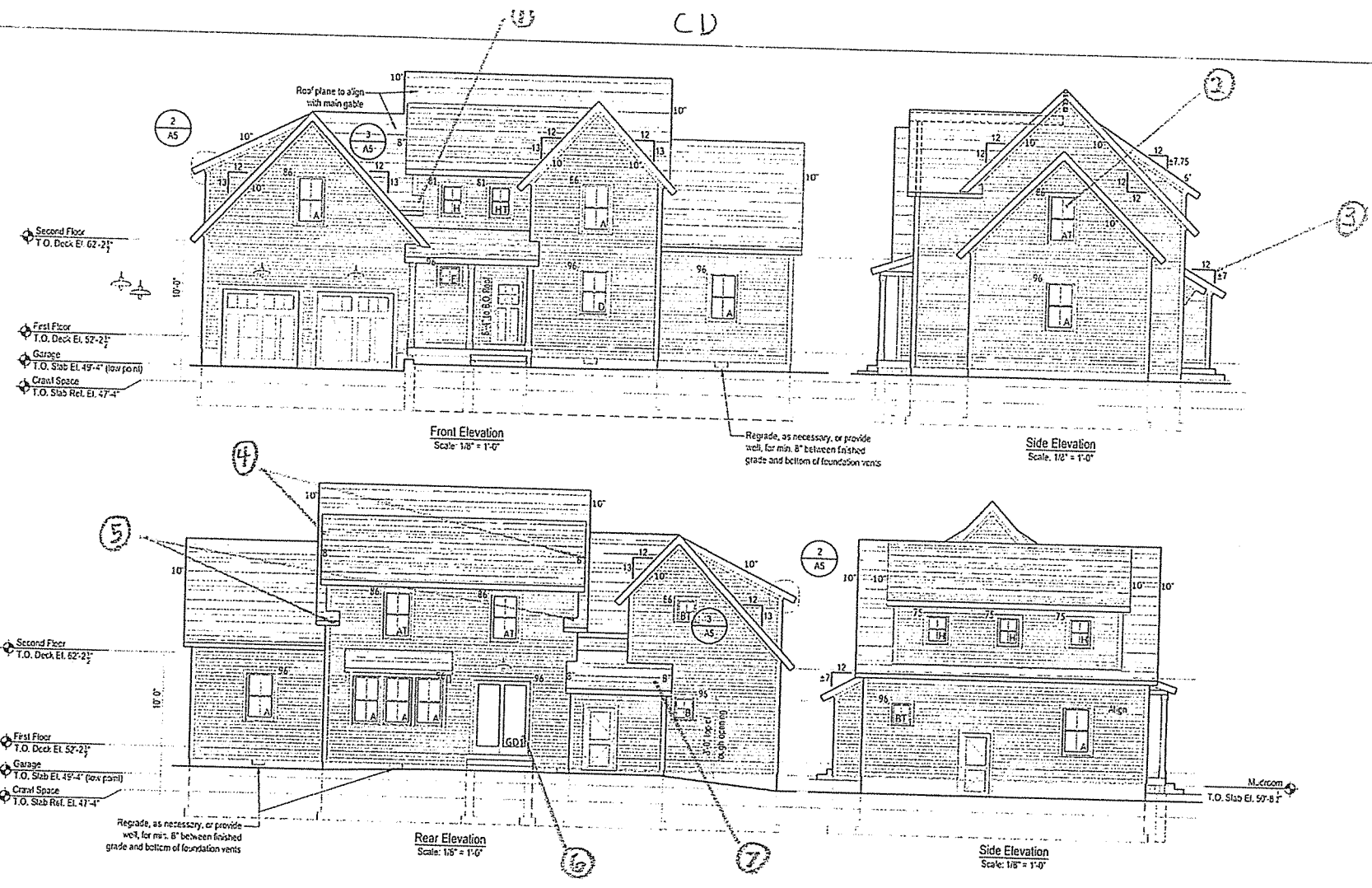
 Artform Home Plans

603-431-9559



Left Elevation
Scale: 1/8" = 1'-0"

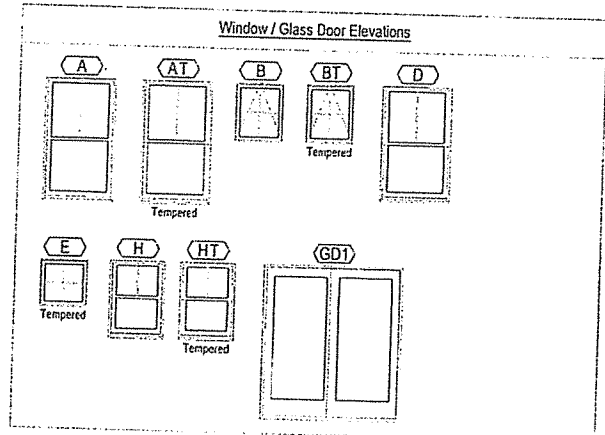
Lot 1



WINDOW / GLASS DOOR SCHEDULE NOTE: Includes Only New Windows

TYPE	QNT.	STYLE	MANUFACTURER CATALOG NO.	R.O.		GLASS	FINISH	SOL PATT.	SWING HAND	TEMP.	EGRESS	EXT. COLOR
				WD.	HGT.							
A	9	Double Hung	custom ordered	2'-0"	5'-2"	Low E	Dr. Pane Ultra Arg/c	12000	2over1	RA	No	Black
AT	3	Double Hung	custom ordered	3'-0"	5'-2"	Low E	Dr. Pane Ultra Arg/c	12000	2over1	RA	Yes	Black
B	1	Awning	custom ordered	7'-0"	2'-6"	Low E	Dr. Pane Ultra Arg/c	12000	41st	RA	No	Black
BT	2	Awning (tempered)	custom ordered	2'-0"	2'-6"	Low E	Dr. Pane Ultra Arg/c	12000	2over1	RA	No	Black
D	1	Double Hung	custom ordered	3'-0"	4'-10"	Low E	Dr. Pane Ultra Arg/c	12000	2over1	RA	No	Black
E	1	Fixed (tempered)	custom ordered	2'-0"	2'-0"	Low E	Dr. Pane Ultra Arg/c	12000	21st	RA	No	Black
H	4	Double Hung	custom ordered	2'-4"	3'-4"	Low E	Dr. Pane Ultra Arg/c	12000	2over1	RA	No	Black
HT	1	Double Hung (tempered)	custom ordered	2'-4"	3'-4"	Low E	Dr. Pane Ultra Arg/c	12000	2over1	RA	No	Black
GDI	1	Glazing Patio Door	custom ordered	6'-0"	6'-0"	Low E	Dr. Pane Ultra Arg/c	12000	2over1	RA	Yes	Black

ADDITIONAL NOTES: CONTRACTOR TO COORDINATE WINDOW COLOR, QUANTITY, AND SIZING WITH OWNER PRIOR TO ORDERING WINDOWS AND GLASS DOORS
 1. Provide 1/4" screens for all opening windows
 2. Provide jamb extenders for 2x6 w/d construction
 3. Refer to Window & Door Type Schedules for S.D.I. pattern, typical
 4. Refer to Floor Plans for for Tempered Glass Locations



savoie nolan
 ARCHITECTS LLC
 1 South Main Street Ipswich, MA 01909 - 978-936-7766

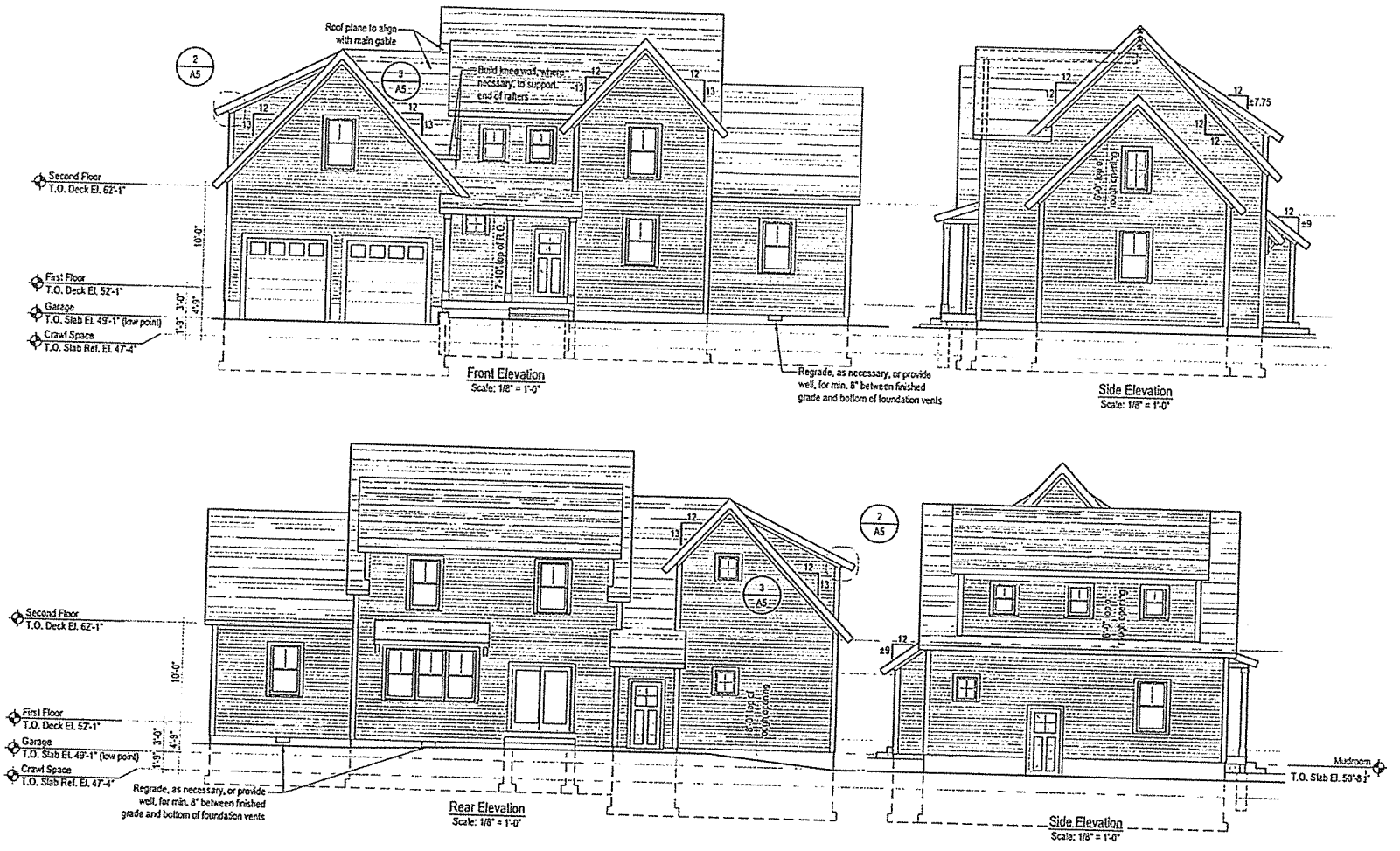
FINAL SET FOR CONSTRUCTION

Proposed Legare Residence
 Lot 1, Colby Farm Lane, Newburyport, MA

Elevations and Window / Glass Door Schedule
 Date: REY 12/4/19 Scale: As Noted

Drawing Number
A4

CSR



WINDOW / GLASS DOOR SCHEDULE

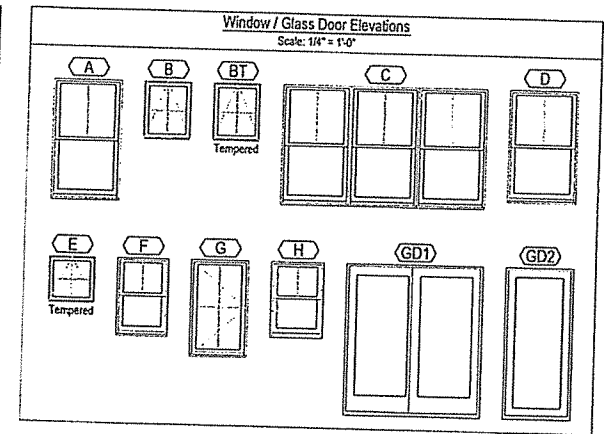
NOTE: Includes Only New Windows

TYPE	QNT.	STYLE	MANUFACTURER CATALOG NO.	WINDOW				SOL PATT.	SWING HAND	TEMP.	EGRESS	EXT. COLOR	CASING			
				WD.	HGT.	GLASS TYPE	FINISH						EXTERIOR	INTERIOR	JAMB	SILL
A		Pygem-Simonon Double Hung	custom ordered	3'-0"	5'-2"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	No	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
B		Pygem-Simonon Awning	custom ordered	2'-0"	2'-0"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	No	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
BT		Pygem-Simonon Awning (tempered)	custom ordered	2'-0"	2'-0"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	Yes	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
C		Pygem-Simonon Double Hung (triple)	custom ordered	9'-0"	5'-2"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	No	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
D		Pygem-Simonon Double Hung	custom ordered	3'-0"	4'-10"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	No	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
E		Pygem-Simonon Fixed (tempered)	custom ordered	2'-0"	2'-0"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	No	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
F		Pygem-Simonon Double Hung	custom ordered	2'-2"	3'-4"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	No	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
G		Pygem-Simonon Casement	custom ordered	2'-4"	4'-2"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	No	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
H		Pygem-Simonon Double Hung	custom ordered	2'-4"	3'-4"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	No	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
GD1		Pygem-Simonon Sliding Patio Door	custom ordered	6'-0"	6'-6"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	Yes	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm
GD2		Pygem-Simonon Hinged Glass Door	custom ordered	3'-0"	6'-6"	Low E	Utrv Acrylic	Wood	4 1/2"	NA	Yes	White	1st Flat Trm	Applied SS	1st Flat Trm	1st Flat Trm

ADDITIONAL NOTES: CONTRACTOR TO COORDINATE WINDOW COLOR, QUANTITY, AND SIZING WITH OWNER PRIOR TO ORDERING WINDOWS AND GLASS DOORS

- Provide full screens for all operating windows
- Provide jamb extenders for 21G wall construction
- Refer to Window & Door Type elevations for SOL pattern, typical
- Refer to Floor Plans for for Tempered Glass Locations

WINDOW QUOTE TO BE VERIFIED BY ARCHITECT PRIOR TO FINALIZING WINDOW ORDER



savoie nolan
 ARCHITECTS, LLC
 4 South Main Street - Ipswich, MA 01938 - 978-356-7766

Proposed
Legare Residence
 Lot 1, Colby Farm Lane, Newburyport, MA


Elevations and
 Window / Glass Door Schedule
 Date: August 16, 2019
 Scale: As Noted
 Drawing Number

A4

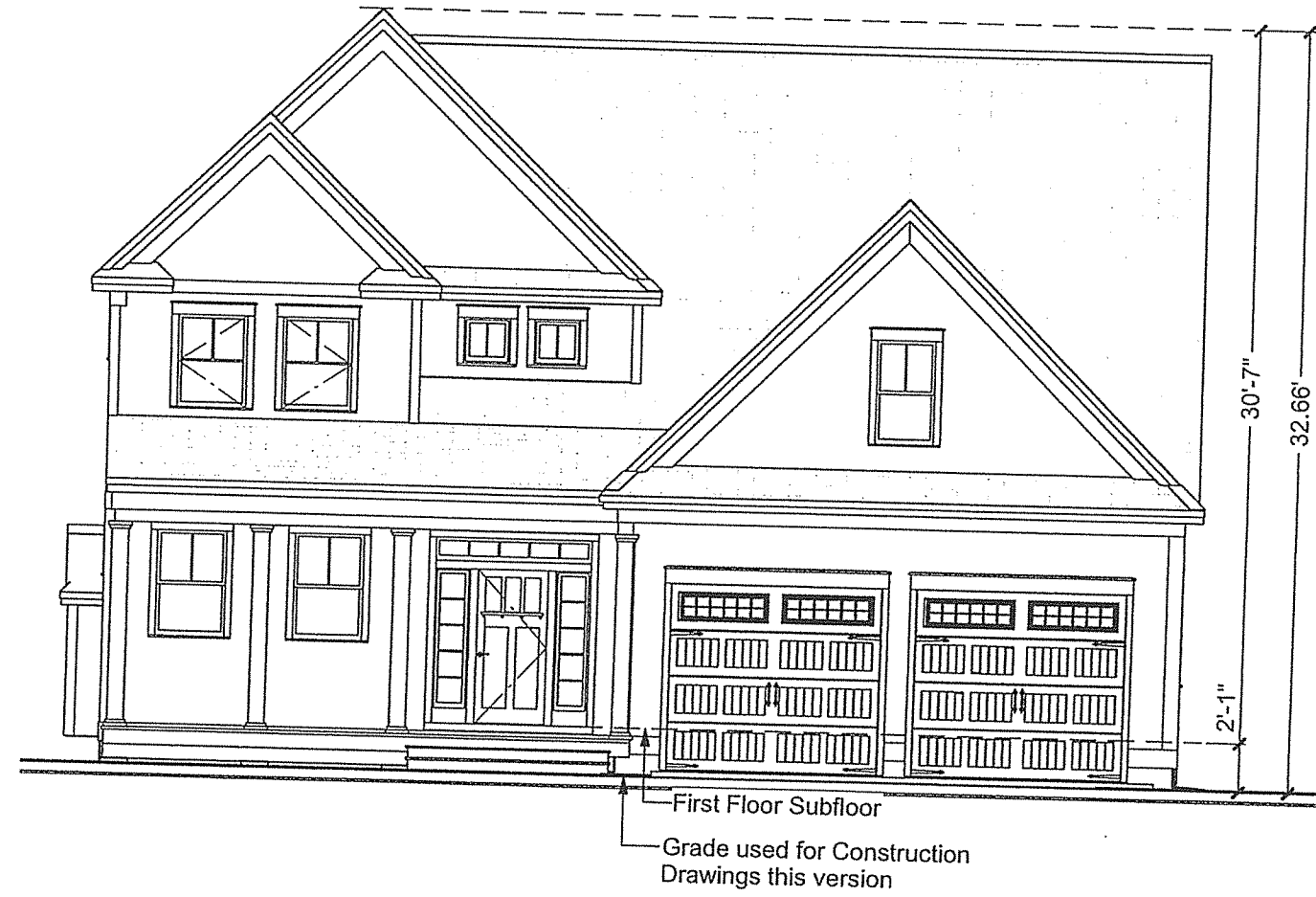
CSR

Harper
872.124.v3 (5/29/2019)

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 **Artform Home Plans**

603-431-9559




Front Elevation
Scale: 1/8" = 1'-0"

CSA

Harper
872.124.v3 (5/29/2019)

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 **Artform Home Plans**

603-431-9559




Right Elevation
Scale: 1/8" = 1'-0"

CSR

Harper
872.124.v3 (5/29/2019)

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 **Artform Home Plans**

603-431-9559



Rear Elevation
Scale: 1/8" = 1'-0"

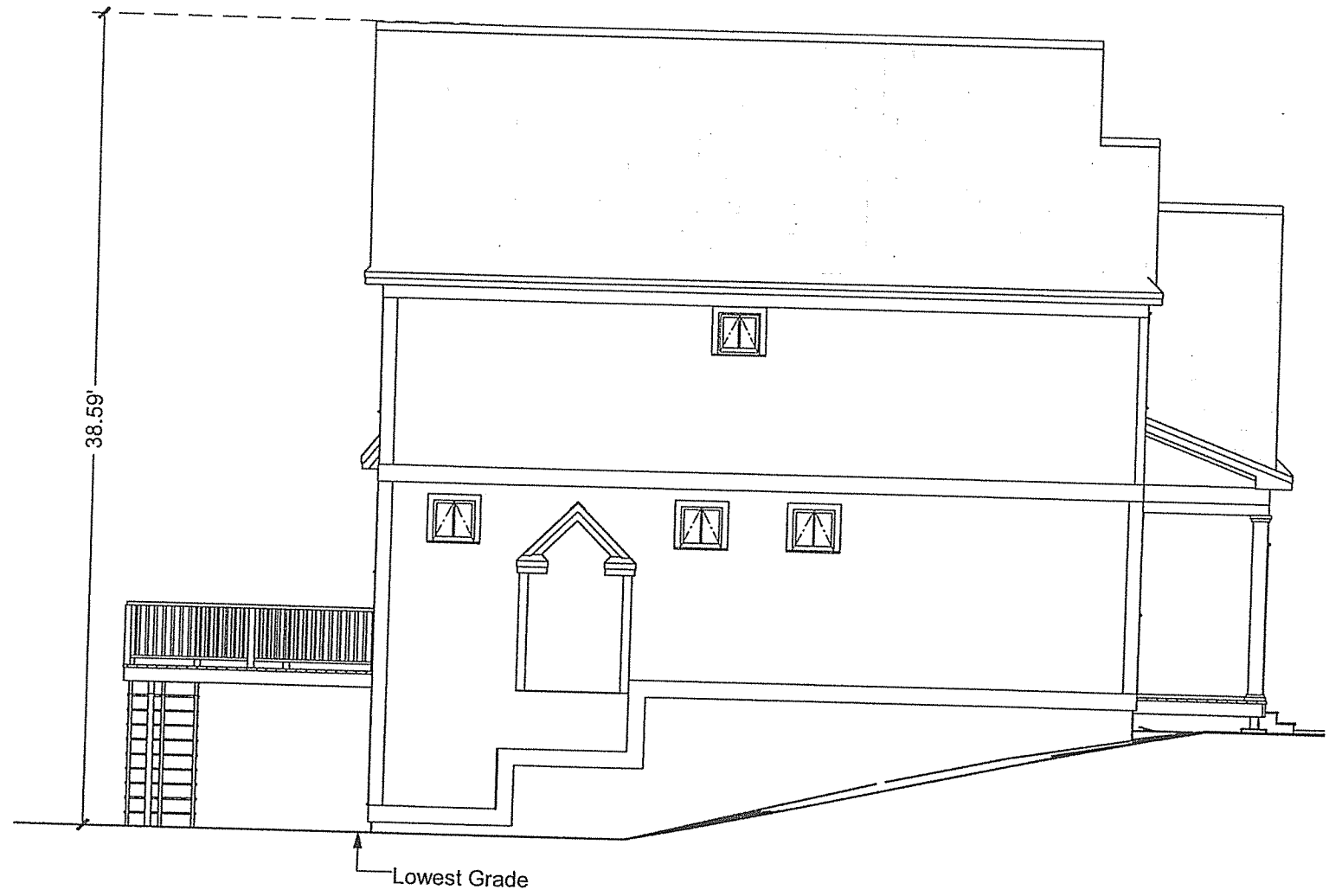
CSR

Harper
872.124.v3 (5/29/2019)

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Artform Home Plans

603-431-9559



Left Elevation
Scale: 1/8" = 1'-0"