

DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND MERRIMAC STREET WATERFRONT NEWBURYPORT, MA

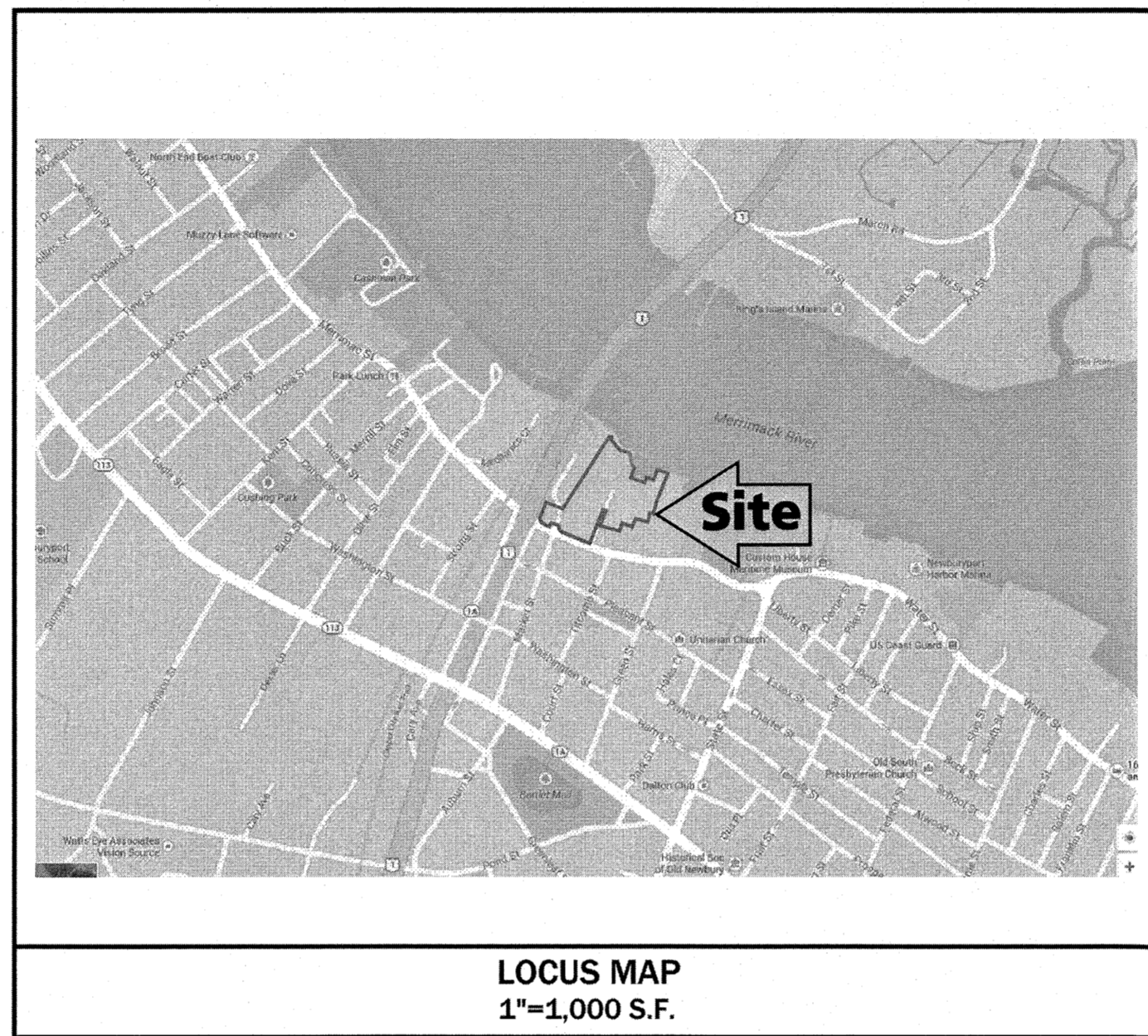
JUNE 12, 2017

FOR REGISTRY OF DEEDS USE ONLY

LEGEND OF SYMBOL & ABBREVIATIONS:

- | | | | | | |
|---|---|------------------------------|--------|---|--|
| ⊙ | — | DRAIN MANHOLE | CBW | — | CONCRETE BLOCK WALL |
| ⊙ | — | ELECTRIC MANHOLE | PS | — | PILE SUPPORTED |
| ⊙ | — | SEWER MANHOLE | CIP | — | CAST IRON PIPE |
| ⊙ | — | TELEPHONE MANHOLE | CMP | — | CORRUGATED METAL PIPE |
| ⊙ | — | MANHOLE | CPP | — | CORRUGATED PLASTIC PIPE |
| ⊙ | — | CATCH BASIN | PVC | — | POLYVINYL CHLORIDE |
| ⊙ | — | MAIL BOX | VCP | — | VITRIFIED CLAY PIPE |
| ⊙ | — | GAS SHUT OFF | RCP | — | REINFORCED CONCRETE PIPE |
| ⊙ | — | WATER SHUT OFF | CALC. | — | CALCULATED |
| ⊙ | — | SIGN | S.F. | — | SQUARE FEET |
| ⊙ | — | HYDRANT | TRANS. | — | TRANSFORMER |
| ⊙ | — | OBSERVATION WELL | BH | — | BUILDING HEIGHT |
| ⊙ | — | UTILITY POLE | LD | — | LOADING DOCK |
| ⊙ | — | GUY POLE | GD | — | GARAGE DOOR |
| ⊙ | — | LIGHT POLE | ENT. | — | ENTRANCE |
| ⊙ | — | WALK LIGHT | COB. | — | COBBLESTONE |
| ⊙ | — | SPOT LIGHT | S/W | — | SIDEWALK |
| ⊙ | — | FIRE ALARM | TBM | — | TEMPORARY BENCHMARK |
| ⊙ | — | BIKE RACK | U.P. | — | UTILITY POLE |
| ⊙ | — | CLEANOUT | CW | — | CONCRETE WALL |
| ⊙ | — | ELECTRIC RISER | FFE | — | FINISHED FLOOR ELEVATION |
| ⊙ | — | SHUT OFF | TYP. | — | TYPICAL |
| ⊙ | — | IRRIGATION CONTROL VALVE | MHW | — | MEAN HIGH WATER |
| ⊙ | — | SPRINKLER CONNECTION | — | — | CHAIN LINK FENCE |
| ⊙ | — | FLAGPOLE | — | — | HAND RAIL |
| ⊙ | — | GATE POST | — | — | GUARD RAIL |
| ⊙ | — | ELECTRIC BOX | FM-S | — | FORCE MAIN SEWER |
| ⊙ | — | ELECTRIC METER | S | — | SEWER |
| ⊙ | — | GAS METER | D | — | DRAIN |
| ⊙ | — | GUY WIRE | W | — | WATER |
| ⊙ | — | BOLLARD | G | — | GAS |
| ⊙ | — | WETLANDS FLAG | E | — | ELECTRIC |
| ⊙ | — | HANDICAP RAMP | T | — | TELEPHONE |
| ⊙ | — | TREE | GUY | — | GUY WIRE |
| ⊙ | — | INVERT ELEVATION | OHW | — | OVERHEAD WIRES |
| ⊙ | — | RIM ELEVATION | — | — | CHAPTER 91 HISTORIC LOW WATER MARK (SEE NOTE #15) |
| ⊙ | — | TOP OF WATER ELEVATION | — | — | CHAPTER 91 LANDWARD JURISDICTION LINE (SEE NOTE #15) |
| ⊙ | — | TOP | W | — | PROPOSED WATERLINE |
| ⊙ | — | BOTTOM | — | — | PROPOSED GAS LINE |
| ⊙ | — | F.O.W. | — | — | PROPOSED DRAIN LINE |
| ⊙ | — | INACCESSIBLE | S | — | PROPOSED SEWER LINE |
| ⊙ | — | FLUSH | UE&T | — | PROPOSED UNDERGROUND ELECTRIC/TELEPHONE LINE |
| ⊙ | — | TOP OF CURB | ⊙ | — | PROPOSED SEWER MANHOLE |
| ⊙ | — | BOTTOM OF CURB | ⊙ | — | PROPOSED CATCH BASIN |
| ⊙ | — | TOP OF WALL | ⊙ | — | PROPOSED DRAIN MANHOLE |
| ⊙ | — | BOTTOM OF WALL | ⊙ | — | PROPOSED HYDRANT |
| ⊙ | — | A/C | ⊙ | — | PROPOSED GATE VALVE |
| ⊙ | — | BIT. | | | |
| ⊙ | — | CONCRETE | | | |
| ⊙ | — | CONC. | | | |
| ⊙ | — | CONCRETE CURB | | | |
| ⊙ | — | SLOPED GRANITE CURB | | | |
| ⊙ | — | VERTICAL GRANITE CURB | | | |
| ⊙ | — | CHAIN LINK FENCE | | | |
| ⊙ | — | STOCKADE FENCE | | | |
| ⊙ | — | TEMPORARY CONSTRUCTION FENCE | | | |
| ⊙ | — | WROUGHT IRON FENCE | | | |
| ⊙ | — | FOUND | | | |
| ⊙ | — | RECORD | | | |
| ⊙ | — | APPROX. | | | |
| ⊙ | — | LOC. | | | |
| ⊙ | — | FPA | | | |
| ⊙ | — | SB/DH | | | |
| ⊙ | — | DRILL HOLE | | | |
| ⊙ | — | I.P. | | | |
| ⊙ | — | IRON ROD | | | |
| ⊙ | — | CONCRETE BOUND | | | |
| ⊙ | — | METAL | | | |
| ⊙ | — | BULKHEAD | | | |
| ⊙ | — | BOOK | | | |
| ⊙ | — | PAGE | | | |
| ⊙ | — | NVP | | | |

- 1) BENCHMARK INFORMATION:
- BENCHMARK USED: TIDAL BENCHMARK F1 DESCRIBED BY NATIONAL GEODETIC SURVEY 1966 "AT NEWBURYPORT, ALONG GREEN STREET, BETWEEN MERRIMAC STREET AND PLEASANT STREET, DIRECTLY BEHIND THE CITY HALL, SET VERTICALLY IN THE SOUTH FACE AT THE SOUTHWEST CORNER OF THE POLICE STATION AND DISTRICT COURT A TWO-STORIED BRICK BUILDING, 54 FEET WEST OF THE WEST CURB OF GREEN STREET, 1.5 FEET EAST OF THE SOUTHWEST CORNER OF THE BUILDING, AND ABOUT 1.7 FEET ABOVE THE LEVEL OF THE "SIDEWALK." ELEVATION = 25.85
- TEMPORARY BENCH MARKS SET: TBM-1 X-CUT SET ON THE LEFT REAR HYDRANT BOLT ON THE NORTH SIDE OF MERRIMAC STREET NEAR THE ENTRANCE TO MICHAEL'S HARBORSIDE RESTAURANT AS SHOWN ON THIS PLAN. ELEVATION = 22.58
- TBM-2 SPIKE SET 1 FOOT UP IN THE SOUTHEAST FACE OF UTILITY POLE #14-B NEAR THE NORTHWESTERLY CORNER OF MICHAEL'S HARBORSIDE RESTAURANT PARKING LOT AS SHOWN ON THIS PLAN. ELEVATION = 9.75
- TBM-3 LEFT OUTER CORNER OF THE LOWEST GRANITE STEP AT THE ENTRANCE TO THE BLACK COW RESTAURANT AS SHOWN ON THIS PLAN. ELEVATION = 8.87
- TBM-4 LEFT OUTER CORNER OF THE LOWEST GRANITE STEP AT THE SOUTHEAST CORNER OF THE INTERSECTION OF MERRIMAC STREET AND GREEN STREET. ELEVATION = 15.28



PREPARED BY:

RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVENUE
STONEHAM, MA 02180
PHONE: 781-279-0180
FAX: 781-279-0173

RECORD OWNER(S)/APPLICANT:

NEWBURYPORT MANAGER LLC
c/o **NEW ENGLAND DEVELOPMENT**
75 PARK PLAZA
BOSTON, MA 02116

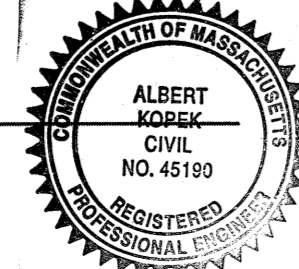
Drawing Index		
Drawing Date	Drawing	Drawing Description
09/12/2017	-	COVER SHEET
06/12/2017	1 OF 7	EXISTING CONDITIONS PLAN MERRIMAC STREET NEWBURYPORT, MA (BY FELDMAN LAND SURVEYORS)
06/12/2017	2 OF 7	EXISTING CONDITIONS PLAN MERRIMAC STREET NEWBURYPORT, MA (BY FELDMAN LAND SURVEYORS)
06/12/2017	3 OF 7	EXISTING CONDITIONS PLAN MERRIMAC STREET NEWBURYPORT, MA (BY FELDMAN LAND SURVEYORS)
06/12/2017	4 OF 7	EXISTING CONDITIONS PLAN MERRIMAC STREET NEWBURYPORT, MA (BY FELDMAN LAND SURVEYORS)
06/12/2017	5 OF 7	EXISTING CONDITIONS PLAN MERRIMAC STREET NEWBURYPORT, MA (BY FELDMAN LAND SURVEYORS)
06/12/2017	6 OF 7	EXISTING CONDITIONS PLAN MERRIMAC STREET NEWBURYPORT, MA (BY FELDMAN LAND SURVEYORS)
06/12/2017	7 OF 7	EXISTING CONDITIONS PLAN MERRIMAC STREET NEWBURYPORT, MA (BY FELDMAN LAND SURVEYORS)
09/12/2017	1 OF 1	LOT LAYOUT PLAN (BY FELDMAN LAND SURVEYORS)
09/12/2017	C-1	GRADING, DRAINAGE, AND EROSION CONTROL PLAN
09/12/2017	C-2	UTILITY PLAN
09/12/2017	C-3	STREET PLAN AND PROFILE
09/12/2017	C-4	SITE DETAILS
09/12/2017	C-5	SITE DETAILS

CONSULTANTS		
OWNER'S LEGAL COUNSEL GOULSTON & STORRS 400 ATLANTIC AVENUE BOSTON, MA 02110 (617) 482-1776 (617) 574-4112 FAX	SURVEYOR FELDMAN LAND SURVEYORS 152 HAMPDEN STREET BOSTON, MA 02119 (617) 357-9740	CIVIL ENGINEER RJ O'CONNELL & ASSOCIATES, INC. 80 MONTVALE AVENUE STONEHAM, MA 02180 (781) 279-0180

REVISED PER PEER REVIEW COMMENTS
09/12/2017

"I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

NAME (PLS OR PE)



DATE

- NOTICE OF INTENT
- NOT FOR CONSTRUCTION
- ISSUED FOR REVIEW
- ISSUED FOR PERMIT
- ISSUED FOR BID/PRICING
- ISSUED FOR CONSTRUCTION

CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK THIS IS TO CERTIFY THAT ON / / I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION. CLERK _____ DATE _____	APPLICATION FILED _____ FINAL PLAN FILED _____ HEARING DATE _____ PLAN APPROVED _____ BOARD OF HEALTH _____ APPROVAL _____	*PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW* NEWBURYPORT PLANNING BOARD _____ _____ _____ _____ _____ DATE _____
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MASSACHUSETTS BAY TRANSPORTATION AUTHORITY
BK. 6311, PG. 392

N/F
WALTER C. & JEAN A. ALKIRE
DEED BK. 5491, PG. 723

N/F
PREM RAJ & ANITA KUMARI
BK. 20719,
PG. 308

APPROXIMATE LINE OF MASS.
HIGHWAY LAYOUT No. 3092

SB/DH
FND. & HELD

RIGHT OF WAY
(DESCRIBED IN DEED BOOK
3419, PAGE 272)
(SHOWN ON PLAN No. 209
OF 1945 AS "PERMANENT
RIGHT OF WAY")

RIGHT OF WAY
(BOOK 2711, PAGE 226)
(PLAN BK. 49, PLAN 27-B)
(POSSIBLY DESCRIBED IN
BOOK 3500, PAGE 545)

AREA=247,000± S.F.
(≈5.7 ACRES)
(SEE NOTE #16)

RIGHT OF WAY
(DESCRIBED IN DEED
BOOK 3419, PAGE 272)

RIGHT OF WAY
(PLAN No. 209 OF 1945)
(POSSIBLY DESCRIBED IN DEED
BOOK 1291, PAGE 348)

20' WIDE RIGHT OF WA
(COMPILED GRAPHICALLY FROM
PLAN PLAN No. 320 OF 1971)

MERRIMAC (1923 CITY LAYOUT) STREET
(50± WIDE)

SUMMER STREET
EXTENSION
(ROUTE 1 ENTRANCE RAMP)
(VARIABLE WIDTH) (BOOK 15907, PAGE 341)

RIGHT OF WAY
(DESCRIBED IN DEED BOOK
3419, PAGE 272)
(SHOWN ON PLAN No. 209
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RIGHT OF WAY
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3419, PAGE 272)
(SHOWN ON PLAN No. 209
OF 1945 AS "PERMANENT
RIGHT OF WAY")

1 STORY WOOD
FPA= 4,900± S.F.

1 STORY BRICK
#92

1 STORY BRICK
#92

1 STORY WOOD
"PAUL'S AUTO SERVICE"

1 STORY BRICK
"THE YAC SHOP"

1 STORY BRICK
"WICKI'S NAILS"

1 STORY BRICK
"WICKI'S NAILS"

1 STORY BRICK
"WICKI'S NAILS"

1 STORY BRICK
"WICKI'S NAILS"

1 STORY BRICK
"WICKI'S NAILS"

1 STORY BRICK
"WICKI'S NAILS"

1 STORY BRICK
"WICKI'S NAILS"

1 STORY BRICK
"WICKI'S NAILS"

ZONE AE
(EL. 13)
ZONE AE
(EL. 12)

ZONE AE
(EL. 12)
ZONE X
(UNSHADED)

LIMIT OF ZONE AE
BY ELEVATION (EL. 12)

GRAVEL
PARKING AREA

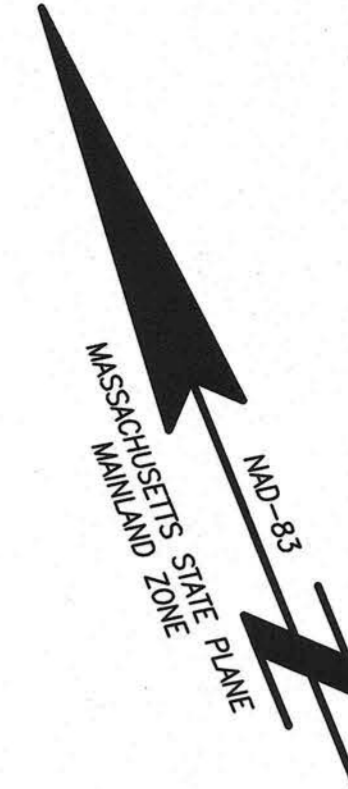
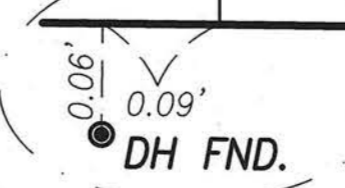
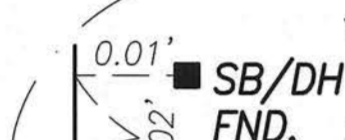
GRAVEL
PARKING AREA

GRAVEL
PARKING AREA

GRAVEL
PARKING AREA

GRAVEL
PARKING AREA

GRAVEL
PARKING AREA



I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND PLANS AND DEEDS OF RECORD.



KARL A. MCCARTHY, PLS (MA# 38714)
DATE 06-12-2017
kam@feldmansurveyors.com

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK

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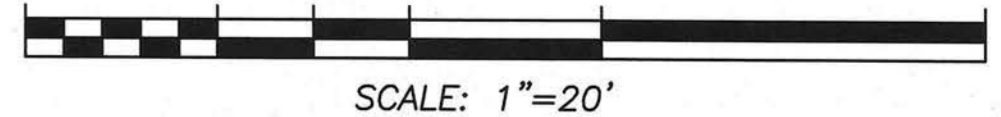
APPLICATION FILED	_____
FINAL PLAN FILED	_____
HEARING DATE	_____
PLAN APPROVED	_____
BOARD OF HEALTH	_____
APPROVAL	_____
DATE	_____

"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD

06/12/2017	ISSUED
03/07/2017	REVISED LIMITS OF LOCUS
02/13/2017	REVISED (SEE NOTE #13)
11/18/2016	REVISED LIMITS OF LOCUS, ADDED ADDITIONAL PAVEMENT WIDTHS
11/04/2016	REformatted PLAN, ADDED R.O.W. & PAVEMENT WIDTHS
11/01/2016	PLOTTED FLOOD ZONE BY ELEVATION
09/06/2016	REVISED LIMITS OF LOCUS
08/10/2016	ADDED RESOURCE FLAGS, APPROXIMATE SEAWARD EDGE OF SALT MARSH & MEAN LOW WATER BY ELEVATION
08/08/2016	ADDED WDUZ & CHAPTER 91 LINES (SEE NOTE #13)

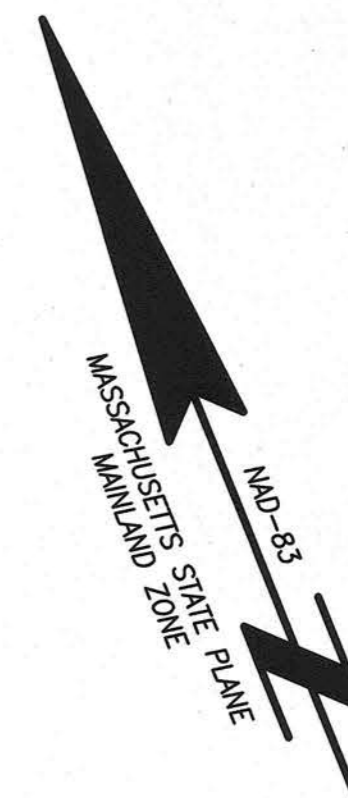
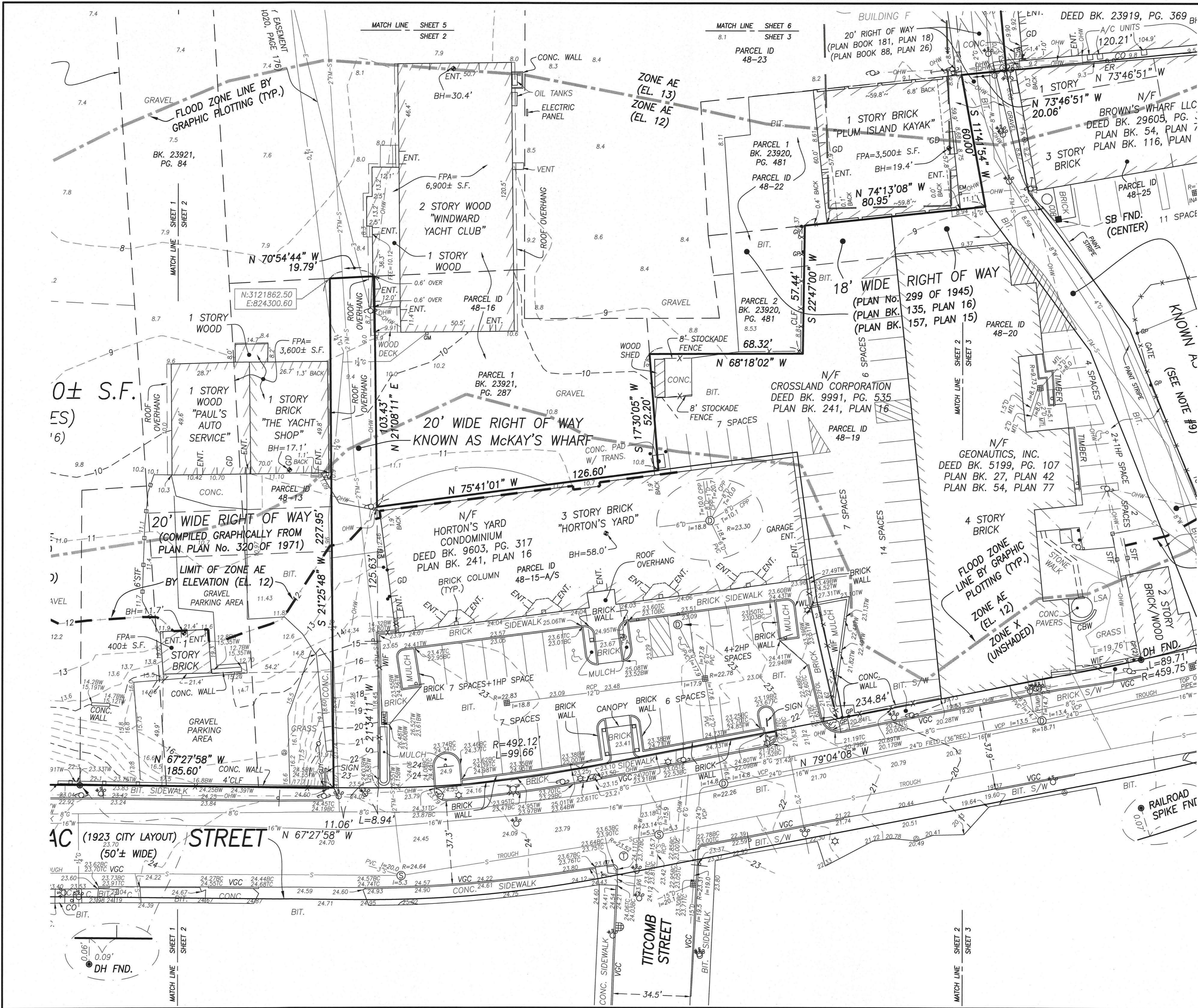
EXISTING CONDITIONS PLAN MERRIMAC STREET NEWBURYPORT, MASS.

FELDMAN LAND SURVEYORS
152 HAMPDEN STREET
BOSTON, MASS. 02119
JUNE 28, 2016
PHONE: (617)357-9740
www.feldmansurveyors.com



RESEARCH GL	FIELD CHIEF AB	PROJ MGR MJB	APPROVED	SHEET NO. 1 OF 7
CADD MJB	CADD GL/MJB	FIELD CHECKED MJB	CRD FILE 15200	JOB NO. 15200

FILENAME: S:\PROJECTS\15200a\15200a\DWG\15200-EC-4.dwg



RESERVED FOR REGISTRY USE

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
 I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND PLANS AND DEEDS OF RECORD.



Karl A. McCarthy
 KARL A. MCCARTHY, PLS (MA# 38714) DATE 06-12-2017
 kam@feldmansurveyors.com

CITY OF NEWBURYPORT
 OFFICE OF THE CITY CLERK

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FINAL PLAN FILED _____	_____
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PLAN APPROVED _____	_____
BOARD OF HEALTH _____	_____
APPROVAL _____	_____
DATE _____	_____

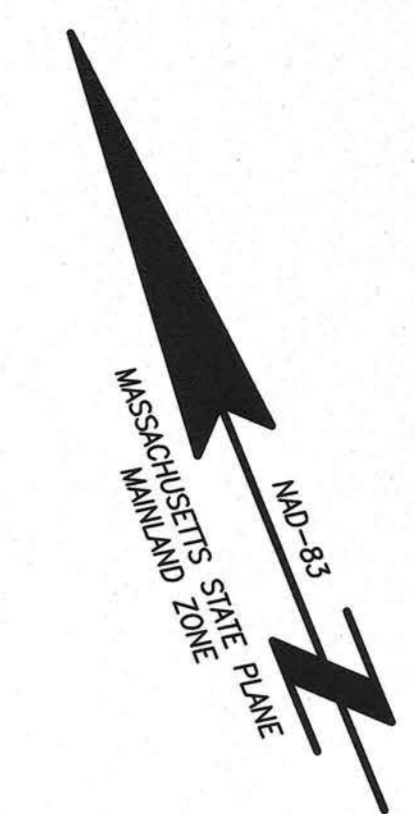
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**EXISTING CONDITIONS PLAN
 MERRIMAC STREET
 NEWBURYPORT, MASS.**

FELDMAN LAND SURVEYORS JUNE 28, 2016
 152 HAMPDEN STREET PHONE: (617)357-9740
 BOSTON, MASS. 02119 www.feldmansurveyors.com



RESEARCH GL	FIELD CHIEF AB	PROJ MGR MJB	APPROVED	SHEET NO. 2 OF 7
CADD MJB	CADD GL/MJB	FIELD CHECKED MJB	CRD FILE 15200	JOB NO. 15200
FILENAME: S:\PROJECTS\15200a\15200\DWG\15200-EC-4.dwg				



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 KARL A. MCCARTHY, PLS (MA# 38714) DATE 06-12-2017
 kam@feldmansurveyors.com

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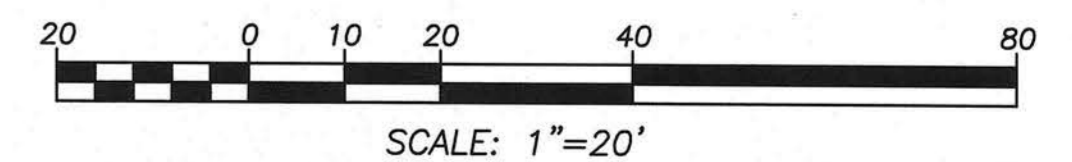
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FINAL PLAN FILED _____	_____
HEARING DATE _____	_____
PLAN APPROVED _____	_____
BOARD OF HEALTH _____	_____
APPROVAL _____	DATE _____

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**EXISTING CONDITIONS PLAN
 MERRIMAC STREET
 NEWBURYPORT, MASS.**

FELDMAN LAND SURVEYORS JUNE 28, 2016
 152 HAMPDEN STREET PHONE: (617)357-9740
 BOSTON, MASS. 02119 www.feldmansurveyors.com



RESEARCH GL	FIELD CHIEF AB	PROJ MGR MJB	APPROVED	SHEET NO. 4 OF 7
CALC MJB	CADD GL/MJB	FIELD CHECKED MJB	CRD FILE 15200	JOB NO. 15200
FILENAME: S:\PROJECTS\15200a\15200a\DWG\15200-EC-4.dwg				

ROUTE 1/ROUTE 1A
 (MASS. HIGHWAY LAYOUT No. 6012)

(151.99' LAYOUT No.6012)
 151.99' CALC.
 (152.07' REC.)
 NO ACCESS

NO ACCESS
 (303.80' LAYOUT No.6012)
 303.90' CALC.
 (303.80' REC.)

NEWBURYPORT MANAGER LLC, TRUSTEE OF
 1 TOURNAMENT WHARF NOMINEE TRUST
 DEED BK. 23920, PG. 71

ROBERT W. & SHERYL A. RICHARD
 DEED BK. 11296, PG. 242
 PLAN No. 209 OF 1945

FLOOD BY PLOTT

GRANT OF REVOCABLE LICENSE
 (BOOK 7320, PAGE 144)

MEAN HIGH WATER
 (ELEVATION 4.12)

MEAN LOW WATER
 (ELEVATION -3.97)
 ON 08/09/2016

MEAN LOW WATER
 (ELEVATION -3.97)
 ON 08/09/2016

MEAN LOW WATER
 (ELEVATION -3.97)
 ON 08/09/2016

MEAN LOW WATER
 (ELEVATION -3.97)
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 (ELEVATION -3.97)
 ON 08/09/2016

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 (ELEVATION -3.97)
 ON 08/09/2016

MEAN LOW WATER
 (ELEVATION -3.97)
 ON 08/09/2016

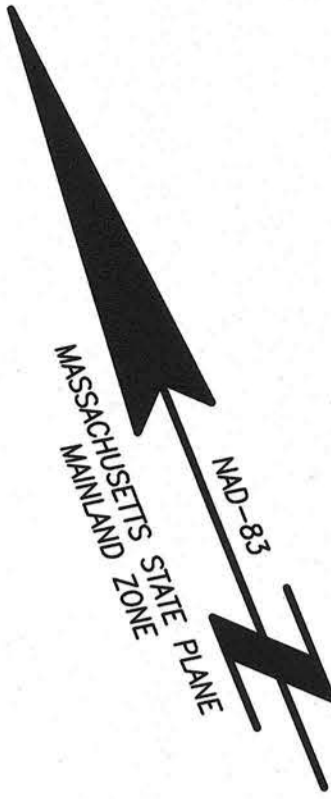
MEAN LOW WATER
 (ELEVATION -3.97)
 ON 08/09/2016

MEAN LOW WATER
 (ELEVATION -3.97)
 ON 08/09/2016

OF 1873)
Y LAYOUT

MATCH LINE SHEET 4
SHEET 5

MERRIMACK RIVER



RESERVED FOR REGISTRY USE

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

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KARL A. MCCARTHY, PLS (MA# 38714)
kam@feldmansurveyors.com

06-12-2017
DATE

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK

THIS IS TO CERTIFY THAT ON // I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

CLERK _____ DATE _____

APPLICATION FILED _____	"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD
FINAL PLAN FILED _____	
HEARING DATE _____	
PLAN APPROVED _____	
BOARD OF HEALTH _____	
APPROVAL _____	DATE _____

06/12/2017	ISSUED
03/07/2017	REVISED LIMITS OF LOCUS
02/13/2017	REVISED (SEE NOTE #13)
11/18/2016	REVISED LIMITS OF LOCUS, ADDED ADDITIONAL PAVEMENT WIDTHS
11/04/2016	REFORMATTED PLAN, ADDED R.O.W. & PAVEMENT WIDTHS
11/01/2016	PLOTTED FLOOD ZONE BY ELEVATION
09/06/2016	REVISED LIMITS OF LOCUS
08/10/2016	ADDED RESOURCE FLAGS, APPROXIMATE SEAWARD EDGE OF SALT MARSH & MEAN LOW WATER BY ELEVATION
08/08/2016	ADDED WDUZ & CHAPTER 91 LINES (SEE NOTE #13)

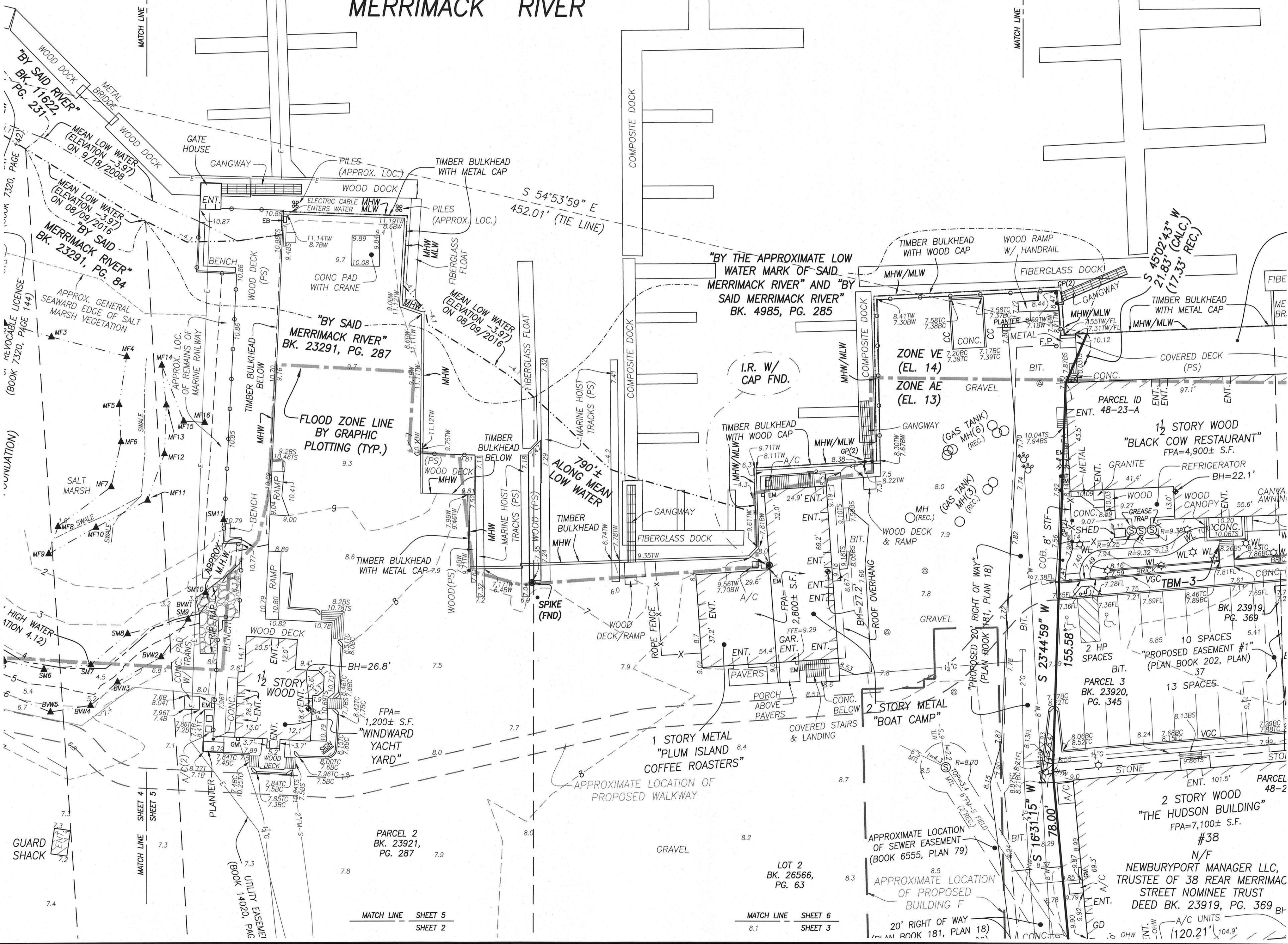
EXISTING CONDITIONS PLAN MERRIMACK STREET NEWBURYPORT, MASS.

FELDMAN LAND SURVEYORS
152 HAMPDEN STREET
BOSTON, MASS. 02119
JUNE 28, 2016
PHONE: (617)357-9740
www.feldmansurveyors.com



RESEARCH GL	FIELD CHIEF AB	PROJ MGR MJB	APPROVED	SHEET NO. 5 OF 7
CALC MJB	CADD GL/MJB	FIELD CHECKED MJB	CRD FILE 15200	JOB NO. 15200

FILENAME: S:\PROJECTS\15200a\15200\DWG\15200-EC-4.dwg

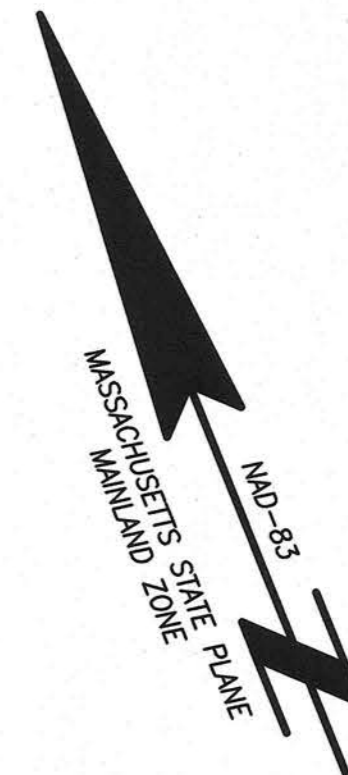
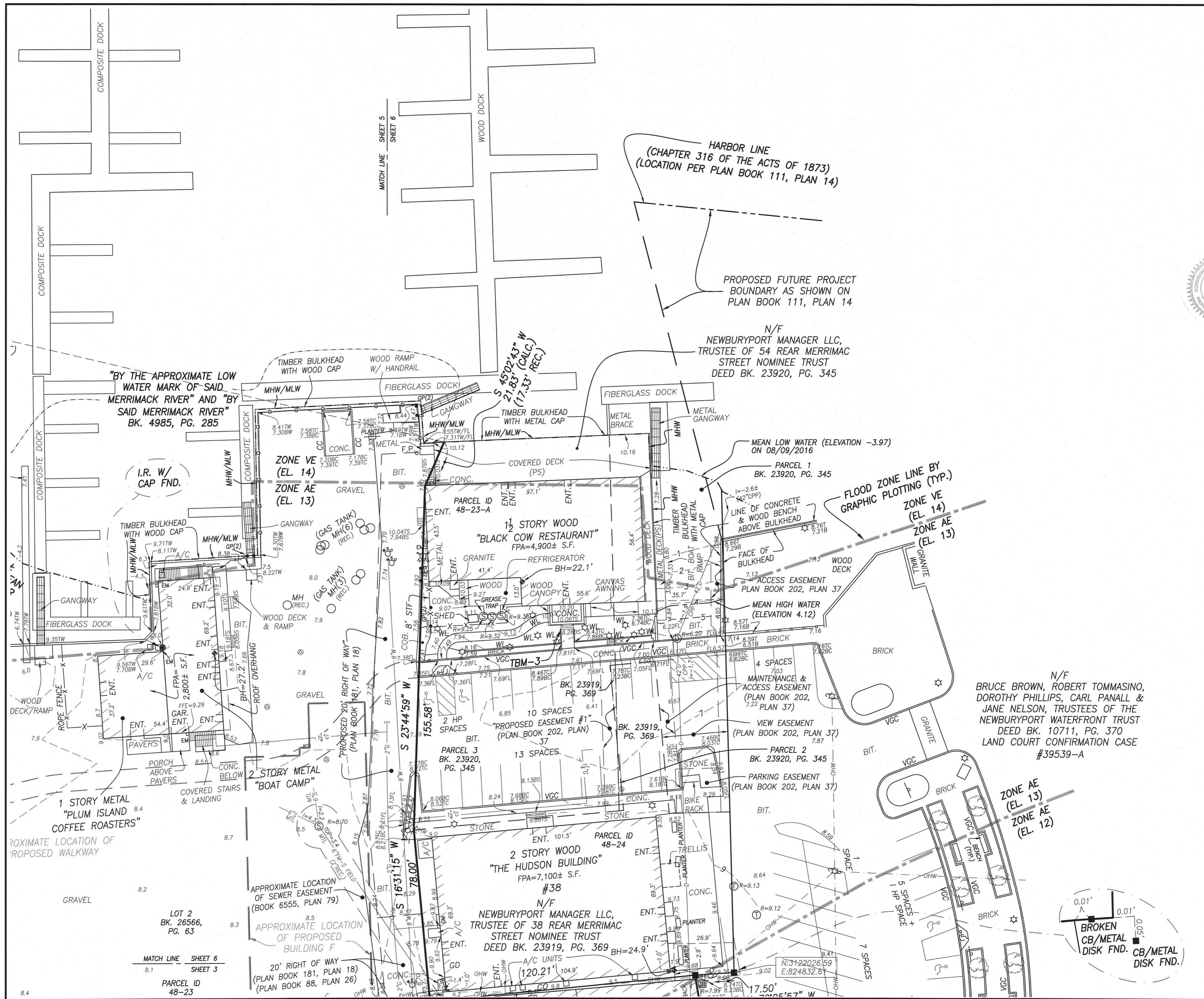


MATCH LINE SHEET 5
SHEET 2

MATCH LINE SHEET 6
SHEET 3

GUARD SHACK

MATCH LINE SHEET 4
SHEET 5



RESERVED FOR REGISTRY USE

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
 I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND PLANS AND DEEDS OF RECORD.



Karl A. McCarthy
 KARL A. MCCARTHY, PLS (MA# 38714) DATE 06-12-2017
 kam@feldmansurveyors.com

CITY OF NEWBURYPORT
 OFFICE OF THE CITY CLERK

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CLERK _____ DATE _____

APPLICATION FILED _____
 FINAL PLAN FILED _____
 HEARING DATE _____
 PLAN APPROVED _____
 BOARD OF HEALTH _____
 APPROVAL _____
 DATE _____

"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW"
 NEWBURYPORT PLANNING BOARD

DATE	ISSUED
06/12/2017	ISSUED
03/07/2017	REVISED LIMITS OF LOCUS
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EXISTING CONDITIONS PLAN
 MERRIMACK STREET
 NEWBURYPORT, MASS.

FELDMAN LAND SURVEYORS
 152 HAMPDEN STREET
 BOSTON, MASS. 02119
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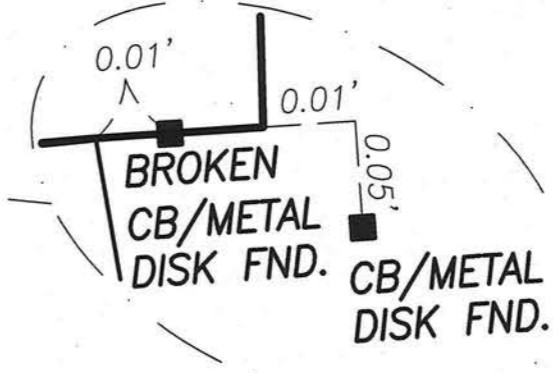
JUNE 28, 2016

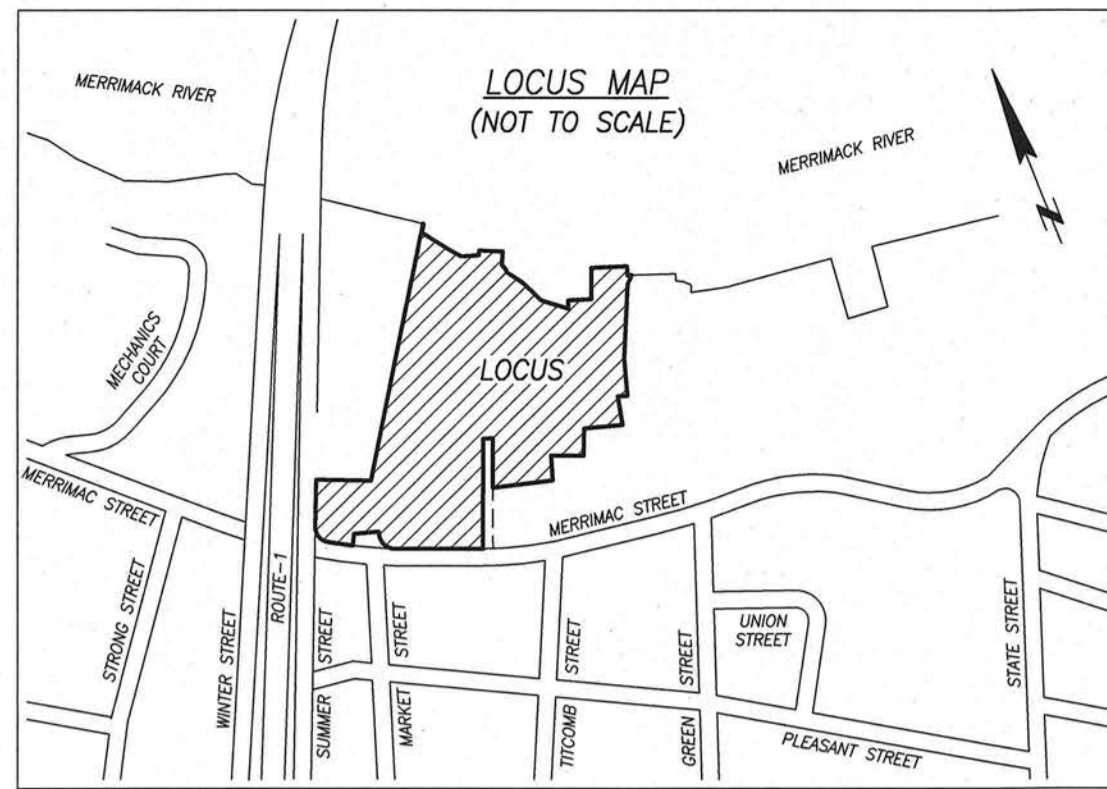
FELDMAN
 LAND SURVEYORS

SCALE: 1"=20'

RESEARCH GL FIELD CHIEF AB PROJ MGR MJB APPROVED SHEET NO. 6 OF 7
 CALC MJB CADD GL/MJB FIELD CHECKED MJB CRD FILE 15200 JOB NO. 15200
 FILENAME: S:\PROJECTS\15200a\15200\DWG\15200-EC-4.dwg

N/F
 BRUCE BROWN, ROBERT TOMMASINO,
 DOROTHY PHILLIPS, CARL PANALL &
 JANE NELSON, TRUSTEES OF THE
 NEWBURYPORT WATERFRONT TRUST
 DEED BK. 10711, PG. 370
 LAND COURT CONFIRMATION CASE
 #39539-A





ZONING CLASSIFICATION: "WATERFRONT MIXED USE" ("WMU")

REFER TO SECTION XVIII-C, WATERFRONT ZONING DISTRICTS-ALLOWABLE USES AND DENSITY REQUIREMENTS, SECTION V, USE REGULATIONS, AND SECTION VI, DIMENSIONAL CONTROLS, OF THE ZONING ORDINANCE OF THE CITY OF NEWBURYPORT.

REFERENCES

ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT DEEDS

BOOK	5199, PAGE	107
	9603,	317
	9991,	535
	10467,	359
	10711,	370
	11296,	242 (LOCUS)
	13923,	152
	23919,	369
	23920,	71
	23290,	345
	23290,	481 (LOCUS)
	23921,	84 (LOCUS)
	23921,	156 (LOCUS)
	23921,	287 (LOCUS)
	25523,	132 (LOCUS)
	26515,	591
	26566,	63 (LOCUS)

PLANS

PLAN No.	209 OF 1945
	299 OF 1945
	444 OF 1946
	320 OF 1971

PLAN BOOK	27, PLAN	42
	49,	27-B
	54,	77
	88,	26
	111,	14
	116,	42
	124,	04
	135,	16
	157,	15
	174,	37
	174,	38
	177,	46
	181,	18
	184,	44
	202,	37
	226,	70
	239,	62
	241,	16

COUNTY ENGINEERING DEPARTMENT
PLAN ENTITLED "RELOCATION OF MERRIMACK STREET
IN THE CITY OF NEWBURYPORT MASS." DATED
JUNE 1923, BY MORSE & CHASE, ENGINEERS

MASSACHUSETTS LAND COURT
LCC 39539-A (CONFIRMATION)

MASSACHUSETTS HIGHWAY DEPARTMENT
LAYOUT No. 6012
3092

GENERAL NOTES:

1) BENCH MARK INFORMATION:

BENCH MARK USED:

TIDAL BENCHMARK F1 DESCRIBED BY NATIONAL GEODETIC SURVEY 1966 "AT NEWBURYPORT, ALONG GREEN STREET, BETWEEN MERRIMACK STREET AND PLEASANT STREET, DIRECTLY BEHIND THE CITY HALL, SET VERTICALLY IN THE SOUTH FACE AT THE SOUTHWEST CORNER OF THE POLICE STATION AND DISTRICT COURT A TWO-STORIED BRICK BUILDING, 54 FEET WEST OF THE WEST CURB OF GREEN STREET, 1.5 FEET EAST OF THE SOUTHWEST CORNER OF THE BUILDING, AND ABOUT 1.7 FEET ABOVE THE LEVEL OF THE SIDEWALK."
ELEVATION = 25.85

TEMPORARY BENCH MARKS SET: TBM-1 X-CUT SET ON THE LEFT REAR HYDRANT BOLT ON THE NORTH SIDE OF MERRIMACK STREET NEAR THE ENTRANCE TO MICHAEL'S HARBORSIDE RESTAURANT AS SHOWN ON THIS PLAN. ELEVATION = 22.58

TBM-2 SPIKE SET 1 FOOT UP IN THE SOUTHEAST FACE OF UTILITY POLE #14-8 NEAR THE NORTHWESTERLY CORNER OF MICHAEL'S HARBORSIDE RESTAURANT PARKING LOT AS SHOWN ON THIS PLAN. ELEVATION = 9.75

TBM-3 LEFT OUTER CORNER OF THE LOWEST GRANITE STEP AT THE ENTRANCE TO THE BLACK COW RESTAURANT AS SHOWN ON THIS PLAN. ELEVATION = 8.87

TBM-4 LEFT OUTER CORNER OF THE LOWEST GRANITE STEP AT THE SOUTHEAST CORNER OF THE INTERSECTION OF MERRIMACK STREET AND GREEN STREET. ELEVATION = 15.28

2) ELEVATIONS REFER TO NAVD-88.

3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.

4) COORDINATES SHOWN HEREON REFER TO MASSACHUSETTS STATE PLANE MAINLAND ZONE COORDINATE SYSTEM (NAD-83).

5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLAN, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY TWO HOURS PRIOR TO EXCAVATION.

6) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

7) TO THE BEST OF OUR KNOWLEDGE MEAN HIGH WATER AND MEAN LOW WATER RUN ALONG THE FACE OF THE BULKHEAD EXCEPT AS SHOWN.

8) THE DOCKS, FLOATS AND GANGWAYS ARE SHOWN HEREON AS LOCATED BETWEEN 08/28/2008 AND 06/28/2016.

9) APPROXIMATE LOCATION OF 20' WIDE RIGHT OF WAY AND UTILITY RIGHTS KNOWN AS BROWN'S WHARF PLOTTED GRAPHICALLY FROM PLAN BOOK 27, PLAN 42 & PLAN No. 299 OF 1945.

10) PARCEL IDs SHOWN HEREON REFER TO THE CITY OF NEWBURYPORT'S GIS WEBSITE DESIGNATIONS.

11) PARCEL 48-13, AS SHOWN HEREON, HAS RIGHTS IN A WAY, AS REFERENCED IN DEED BOOK 23921, PAGE 84, WHICH MAY BE THE RIGHT OF WAY KNOWN AS MCKAY'S WHARF. PARCEL 48-16, AS SHOWN HEREON, HAS RIGHTS IN SAID RIGHT OF WAY AS REFERENCED IN DEED BOOK 23921, PAGE 287.

12) BY GRAPHIC PLOTTING ONLY, THE PARCELS SHOWN HEREON LIE WITHIN A ZONE "VE" (EL. 14), AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT WITH ADDITIONAL HAZARDS DUE TO STORM-INDUCED VELOCITY WAVE ACTION; ZONE "AE" (EL. 12 & 13), AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT; AND ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR ESSEX COUNTY, MASSACHUSETTS, MAP NUMBERS 25009C0128F, HAVING AN EFFECTIVE DATE OF JULY 3, 2012, & 25009C0136G, HAVING AN EFFECTIVE DATE OF JULY 16, 2014, CITY OF NEWBURYPORT, COMMUNITY NUMBER 250097, PANEL NUMBERS 0128F & 0136G.

13) THE HISTORIC LOW WATER MARK, HISTORIC HIGH WATER LINE & INFERRED HISTORIC HIGH WATER LINE AND THE PURPORTED WATER DEPENDENT USE ZONE (WDUZ) THAT WERE PROVIDED BY RJ O'CONNELL & ASSOCIATES, INC. HAVE BEEN REMOVED FROM THIS PLAN.

14) WETLAND RESOURCE FLAGS SHOWN HEREON WERE SET BY AECOM IN AUGUST, 2016.

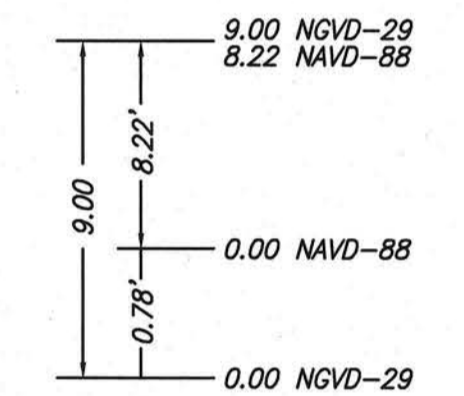
15) THERE IS NO ACCESS TO OR EGRESS FROM THE STATE HIGHWAY (LAYOUT NO. 6012) ALONG THE SOUTHEASTERLY SIDELINE THEREOF FROM THE POINT LABELED HEREON AS "A", NORTHEASTERLY TO THE POINT LABELED HEREON AS "B".

16) WITHIN THE RECORD DEEDS, CERTAIN PARCEL DESCRIPTIONS CALL OUT PARCELS RUNNING "BY" THE MERRIMACK RIVER AND RUNNING, IN PART, "BY THE APPROXIMATE LOW WATER MARK," THE AREA SHOWN HEREON IS CALCULATED TO MEAN LOW WATER AS LOCATED ON AUGUST 09, 2016.

17) THIS PLAN WAS ORIGINALLY PREPARED AT A SCALE OF 1"=30' AND HAS BEEN REFORMATTED TO 1"=20' TO MEET THE REGISTRY OF DEEDS STANDARDS FOR MINIMUM TEXT SIZE.

LEGEND:

⊙	..... DRAIN MANHOLE	STF	..... STOCKADE FENCE
⊙	..... ELECTRIC MANHOLE	TCF	..... TEMPORARY CONSTRUCTION FENCE
⊙	..... SEWER MANHOLE	WIF	..... WROUGHT IRON FENCE
⊙	..... TELEPHONE MANHOLE	FND	..... FOUND
⊙	..... MANHOLE	REC	..... RECORD
⊙	..... CATCH BASIN	APPROX.	..... APPROXIMATE
⊙	..... MAIL BOX	LOC.	..... LOCATION
⊙	..... GAS SHUT OFF	FRA	..... FOOTPRINT AREA
⊙	..... WATER SHUT OFF	SB/DH	..... STONE BOUND/DRILL HOLE
⊙	..... SIGN	DH	..... DRILL HOLE
⊙	..... HYDRANT	I.P.	..... IRON PIPE
⊙	..... OBSERVATION WELL	I.R.	..... IRON ROD
⊙	..... UTILITY POLE	CB	..... CONCRETE BOUND
⊙	..... GUY POLE	MTL	..... METAL
⊙	..... LIGHT POLE	BLKHD.	..... BULKHEAD
⊙	..... WALK LIGHT	BK.	..... BOOK
⊙	..... SPOT LIGHT	PG.	..... PAGE
⊙	..... FIRE ALARM	NVP	..... NO VISIBLE PIPE(S)
⊙	..... BIKE RACK	CBW	..... CONCRETE BLOCK WALL
⊙	..... CLEANOUT	PS	..... PILE SUPPORTED
⊙	..... ELECTRIC RISER	CIP	..... CAST IRON PIPE
⊙	..... SHUT OFF	OMP	..... CORRUGATED METAL PIPE
⊙	..... IRRIGATION CONTROL VALVE	OPP	..... CORRUGATED PLASTIC PIPE
⊙	..... SPRINKLER CONNECTION	PVC	..... POLYVINYL CHLORIDE
⊙	..... FLAGPOLE	VCP	..... VITRIFIED CLAY PIPE
⊙	..... GATE POST	RCP	..... REINFORCED CONCRETE PIPE
⊙	..... ELECTRIC BOX	CALC.	..... CALCULATED
⊙	..... ELECTRIC METER	S.F.	..... SQUARE FEET
⊙	..... GAS METER	TRANS.	..... TRANSFORMER
⊙	..... GUY WIRE	BH	..... BUILDING HEIGHT
⊙	..... BOLLARD	LD	..... LOADING DOCK
⊙	..... WETLAND FLAG	GD	..... GARAGE DOOR
⊙	..... HANDICAP RAMP	ENT.	..... ENTRANCE
⊙	..... TREE	COB.	..... COBBLESTONE
I	..... INVERT ELEVATION	S/W	..... SIDEWALK
R	..... RIM ELEVATION	TBM	..... TEMPORARY BENCHMARK
TOW	..... TOP OF WATER ELEVATION	U.P.	..... UTILITY POLE
T	..... TOP	CW	..... CONCRETE WALL
B	..... BOTTOM	FFE	..... FINISHED FLOOR ELEVATION
F.O.W.	..... FULL OF WATER	TYP.	..... TYPICAL
INACC.	..... INACCESSIBLE	MHW	..... MEAN HIGH WATER
FL	..... FLUSH	---x---x---	..... CHAIN LINK FENCE
TC	..... TOP OF CURB	---o---o---	..... HAND RAIL
BC	..... BOTTOM OF CURB	---x---x---	..... GUARD RAIL
TW	..... TOP OF WALL	FM-S	..... FORCE MAIN SEWER
BW	..... BOTTOM OF WALL	S	..... SEWER
A/C	..... AIR CONDITIONING UNIT	D	..... DRAIN
BIT.	..... BITUMINOUS CONCRETE	W	..... WATER
CB	..... BITUMINOUS CONCRETE BERM	G	..... GAS
C.	..... CONCRETE	E	..... ELECTRIC
CONC.	..... CONCRETE	T	..... TELEPHONE
CC	..... CONCRETE CURB	GUY	..... GUY WIRE
SGC	..... SLOPED GRANITE CURB	---OHW---	..... OVERHEAD WIRES
VGC	..... VERTICAL GRANITE CURB	---	..... FLOOD ZONE LINE BY GRAPHIC PLOTTING
CLF	..... CHAIN LINK FENCE	---	..... FLOOD ZONE LINE BY ELEVATION



DATUM RELATION SKETCH (NOT TO SCALE)

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND PLANS AND DEEDS OF RECORD.



KARL A. MCCARTHY, PLS (M# 38714) DATE
kam@feldmansurveyors.com

CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK		PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW NEWBURYPORT PLANNING BOARD
APPLICATION FILED _____	FINAL PLAN FILED _____	HEARING DATE _____
HEARING DATE _____	PLAN APPROVED _____	BOARD OF HEALTH _____
BOARD OF HEALTH _____	APPROVAL _____	DATE _____
CLERK _____	DATE _____	

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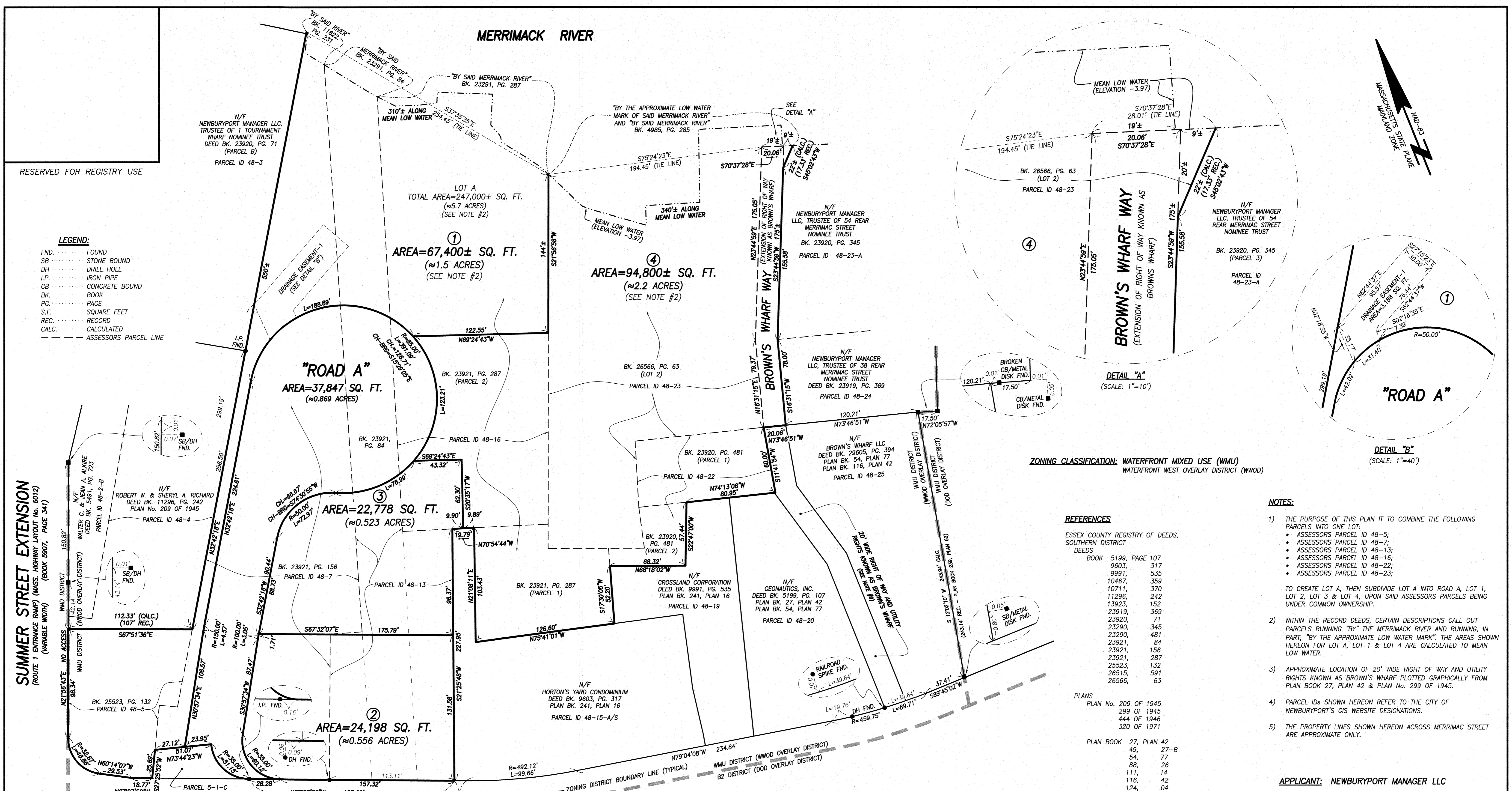
**EXISTING CONDITIONS PLAN
MERRIMACK STREET
NEWBURYPORT, MASS.**

FELDMAN LAND SURVEYORS JUNE 28, 2016
152 HAMPDEN STREET PHONE: (617)357-9740
BOSTON, MASS. 02119 www.feldmansurveyors.com



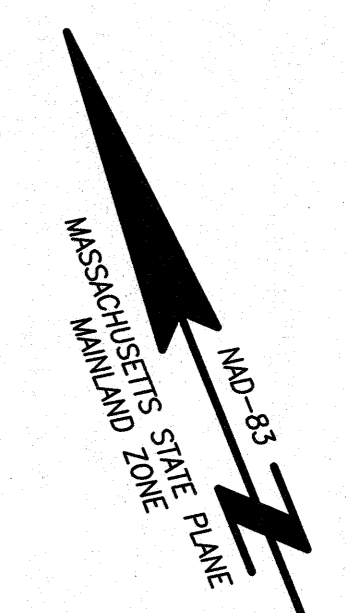
RESEARCH GL	FIELD CHIEF AB	PROJ MGR MJB	APPROVED	SHEET NO. 7 OF 7
CALC MJB	CADD GL/MJB	FIELD CHECKED MJB	CRD FILE 15200	JOB NO. 15200

FILENAME: S:\PROJECTS\15200a\15200a\DWG\15200a-EC-4.dwg



RESERVED FOR REGISTRY USE

- LEGEND:**
- FND..... FOUND
 - SB..... STONE BOUND
 - DH..... DRILL HOLE
 - I.P..... IRON PIPE
 - CB..... CONCRETE BOUND
 - BK..... BOOK
 - PG..... PAGE
 - S.F..... SQUARE FEET
 - REC..... RECORD
 - CALC..... CALCULATED
 - ASSESSORS PARCEL LINE



ZONING CLASSIFICATION: WATERFRONT MIXED USE (WMU)
WATERFRONT WEST OVERLAY DISTRICT (WWOOD)

REFERENCES

- ESSEX COUNTY REGISTRY OF DEEDS,
SOUTHERN DISTRICT
DEEDS
- | |
|---------------------|
| BOOK 5199, PAGE 107 |
| 9803, 317 |
| 9991, 535 |
| 10487, 359 |
| 10711, 370 |
| 11296, 242 |
| 13923, 152 |
| 23919, 369 |
| 23920, 71 |
| 23290, 345 |
| 23290, 481 |
| 23921, 84 |
| 23921, 156 |
| 23921, 287 |
| 25523, 132 |
| 26515, 591 |
| 26566, 63 |
- PLANS
- | |
|----------------------|
| PLAN No. 209 OF 1945 |
| 299 OF 1945 |
| 444 OF 1946 |
| 320 OF 1971 |
- PLAN BOOK 27, PLAN 42
- | |
|----------|
| 49, 27-B |
| 54, 77 |
| 88, 26 |
| 111, 14 |
| 116, 42 |
| 124, 04 |
| 135, 16 |
| 157, 15 |
| 174, 37 |
| 174, 38 |
| 177, 46 |
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| 184, 44 |
| 202, 37 |
| 226, 70 |
| 239, 62 |
| 241, 16 |

NOTES:

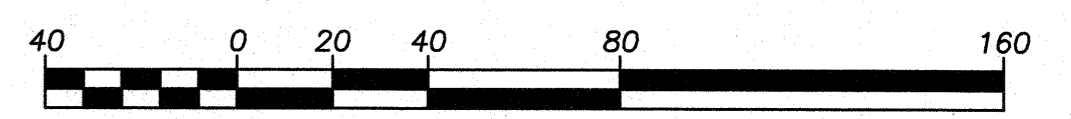
- THE PURPOSE OF THIS PLAN IS TO COMBINE THE FOLLOWING PARCELS INTO ONE LOT:
 - ASSESSORS PARCEL ID 48-5;
 - ASSESSORS PARCEL ID 48-7;
 - ASSESSORS PARCEL ID 48-13;
 - ASSESSORS PARCEL ID 48-16;
 - ASSESSORS PARCEL ID 48-22;
 - ASSESSORS PARCEL ID 48-23;
- WITHIN THE RECORD DEEDS, CERTAIN DESCRIPTIONS CALL OUT PARCELS RUNNING "BY" THE MERRIMACK RIVER AND RUNNING, IN PART, "BY THE APPROXIMATE LOW WATER MARK". THE AREAS SHOWN HEREON FOR LOT A, LOT 1 & LOT 4 ARE CALCULATED TO MEAN LOW WATER.
- APPROXIMATE LOCATION OF 20' WIDE RIGHT OF WAY AND UTILITY RIGHTS KNOWN AS BROWN'S WHARF PLOTTED GRAPHICALLY FROM PLAN BOOK 27, PLAN 42 & PLAN No. 299 OF 1945.
- PARCEL IDS SHOWN HEREON REFER TO THE CITY OF NEWBURYPORT'S GIS WEBSITE DESIGNATIONS.
- THE PROPERTY LINES SHOWN HEREON ACROSS MERRIMAC STREET ARE APPROXIMATE ONLY.

APPLICANT: NEWBURYPORT MANAGER LLC

**LOT LAYOUT PLAN
MERRIMAC STREET
NEWBURYPORT, MASS.**

FELDMAN LAND SURVEYORS
152 HAMPDEN STREET
BOSTON, MASS. 02119

SEPTEMBER 11, 2017
PHONE: (617)357-9740
www.feldmansurveyors.com



SCALE: 1"=30'

RESEARCH GL	FIELD CHIEF AB	PROJ MGR MJB	APPROVED	SHEET NO. 1 OF 1
CALC MJB	CADD GL/MJB	FIELD CHECKED MJB	CRD FILE 15200	JOB NO. 15200
FILENAME: S:\PROJECTS\15200\15200\DWG\15200-SUBD-1.dwg				

CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK THIS IS TO CERTIFY THAT ON I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION. CLERK DATE	APPLICATION FILED _____	PLANNING BOARD APPROVAL UNDER "SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD
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Karl A. McCarthy
KARL A. MCCARTHY, PLS (MA# 38714)
kam@feldmansurveyors.com

09-12-2017
DATE

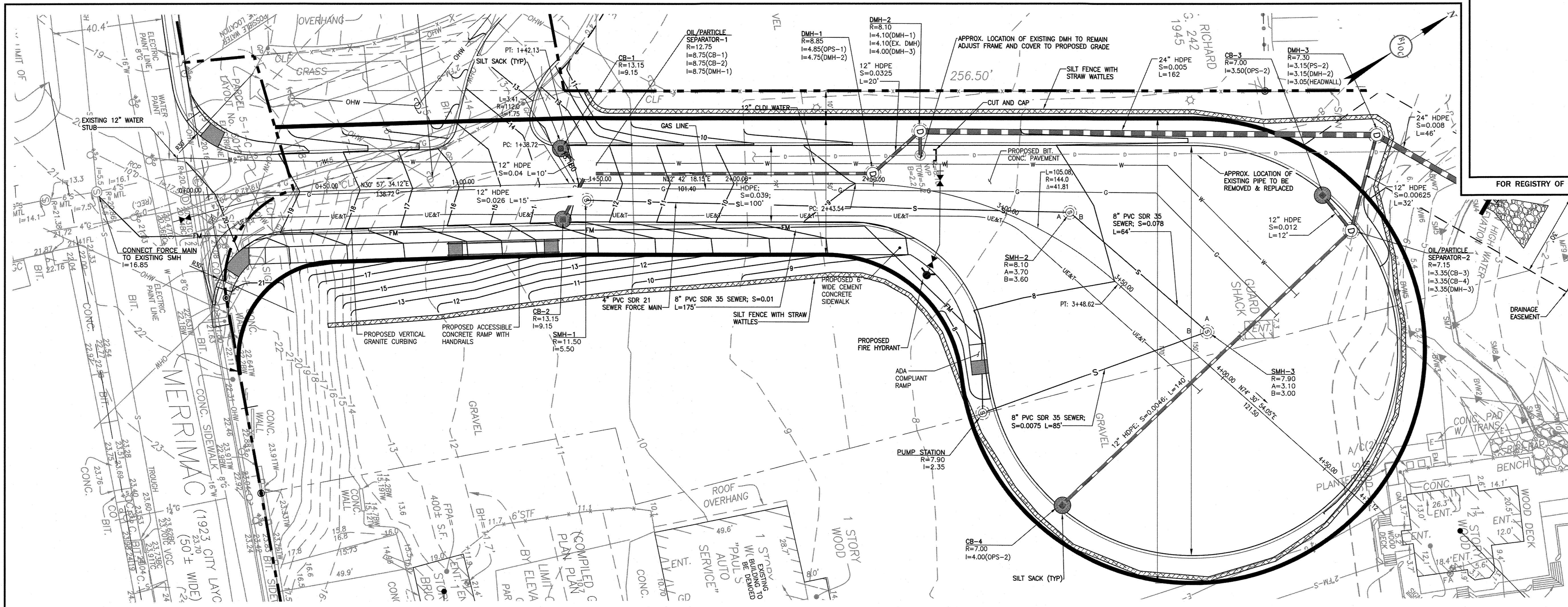
MERRIMAC (1923 CITY LAYOUT) STREET
(50±' WIDE)

MARKET STREET
(50±' WIDE)

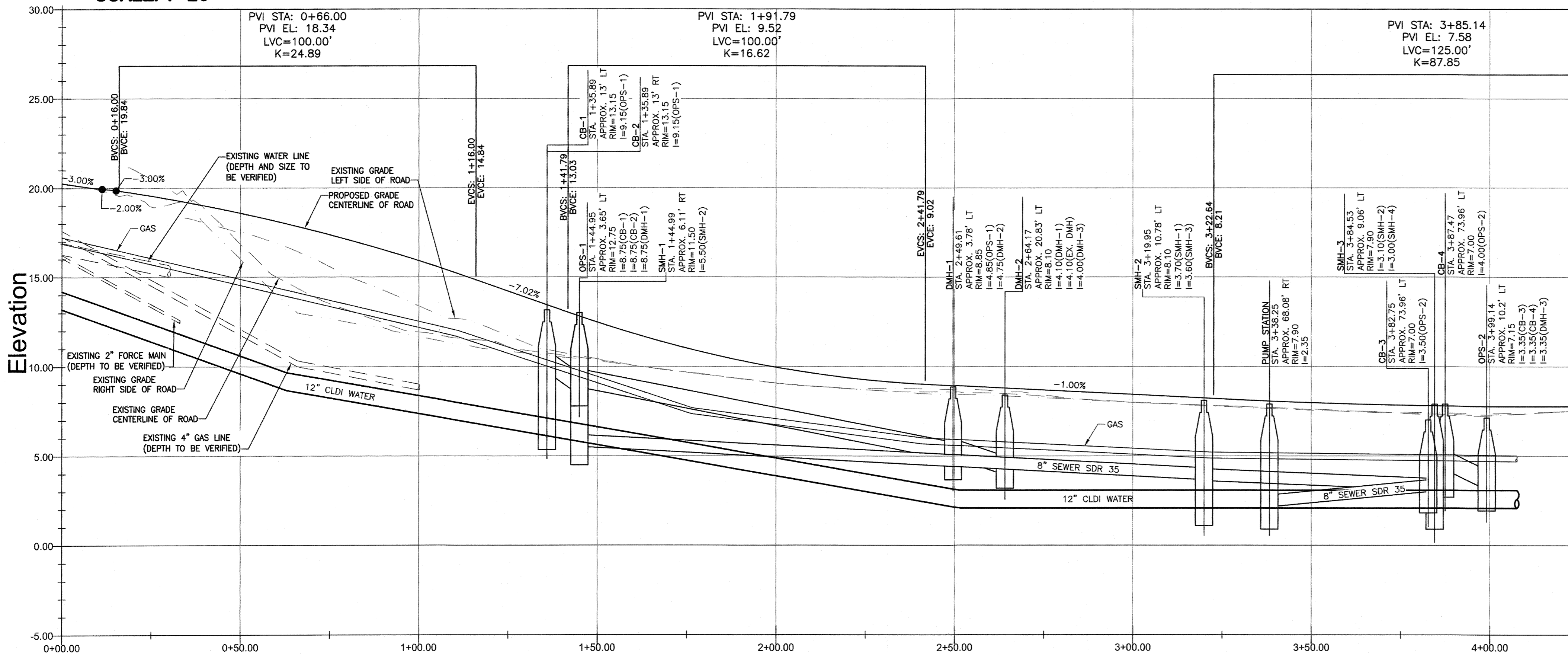
N/F NEWBURYPORT MANAGER LLC, TRUSTEE OF 85-87 MERRIMAC STREET NOMINEE TRUST BK. 23920, PG. 145

N/F NEWBURYPORT MANAGER LLC, TRUSTEE OF 81-83 MERRIMAC STREET NOMINEE TRUST BK. 23921, PG. 21

N/F NEWBURYPORT MANAGER LLC, TRUSTEE OF 90 PLEASANT STREET NOMINEE TRUST BK. 23919, PG. 54



SCALE: 1"=20'



SCALE: 1"=20' HORIZONTAL
1"=4' VERTICAL

NOTES:

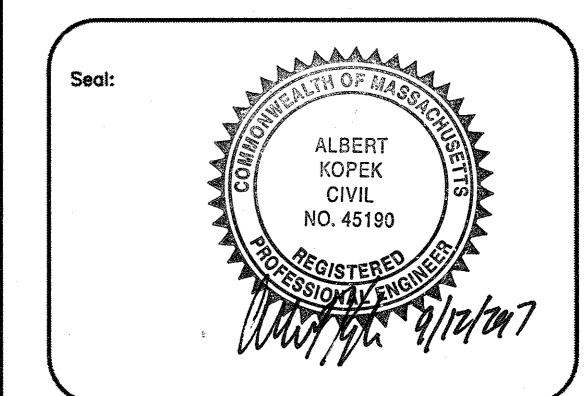
1. THE NET CUT AND FILL OPERATIONS IS ANTICIPATED TO BE ZERO FOR THE PROPOSED PROJECT. ALL MATERIALS USED ON SITE AND FINAL GRADING SHALL BE ADJUSTED TO ACCOUNT FOR SAID EARTH.
2. STREET TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF SECTION 6.18 OF THE CITY OF NEWBURYPORT'S SUBDIVISION REGULATIONS. TREES SHALL BE SPACED APPROXIMATELY FIFTY (50') FEET ON CENTER.
3. STREET LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF NEWBURYPORT'S SUBDIVISION REGULATIONS.

"I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

NAME (PLS OR PE) _____ DATE 01/20/2017

<p>CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK</p> <p>THIS IS TO CERTIFY THAT ON / / I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.</p> <p>CLERK _____ DATE _____</p>	<p>APPLICATION FILED _____</p> <p>FINAL PLAN FILED _____</p> <p>HEARING DATE _____</p> <p>PLAN APPROVED _____</p> <p>BOARD OF HEALTH _____</p> <p>APPROVAL _____</p>	<p>"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD</p> <p>DATE _____</p>
	<p>Project Name: MERRIMAC STREET WATERFRONT NEWBURYPORT, MA</p> <p>Drawing Name: STREET PLAN AND PROFILE</p> <p>Drawing No.: C-3</p> <p>Project No.: 16025</p> <p>Copyright © 2017 by R.J. O'Connell & Associates, Inc.</p>	

No.	Date	Revision
1.	09/17/2017	REVISOR PER PEER REVIEW COMMENTS



Designed by: SPG/CNM
 Drawn by: CNM/RJK
 Checked by: SPG
 Scale: AS NOTED
 Date: 06/12/2017

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**NEW ENGLAND
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 75 PARK STREET
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Prepared by:
**RJO'CONNELL
 & ASSOCIATES, INC.**
 CIVIL ENGINEERS, SURVEYORS
 & LAND PLANNERS
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 STONEHAM, MA 02180
 781-279-0180
 FAX: 781-279-0173

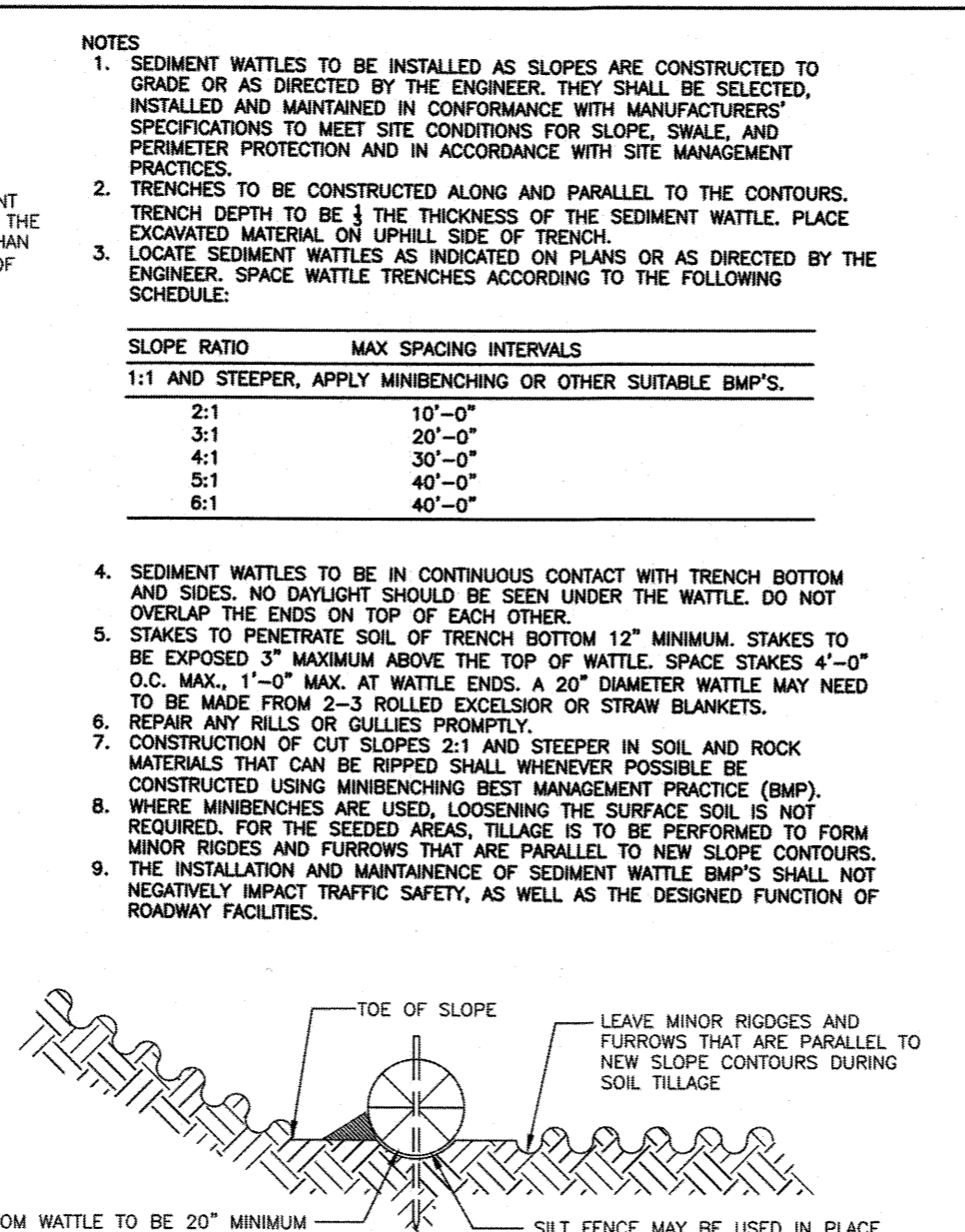
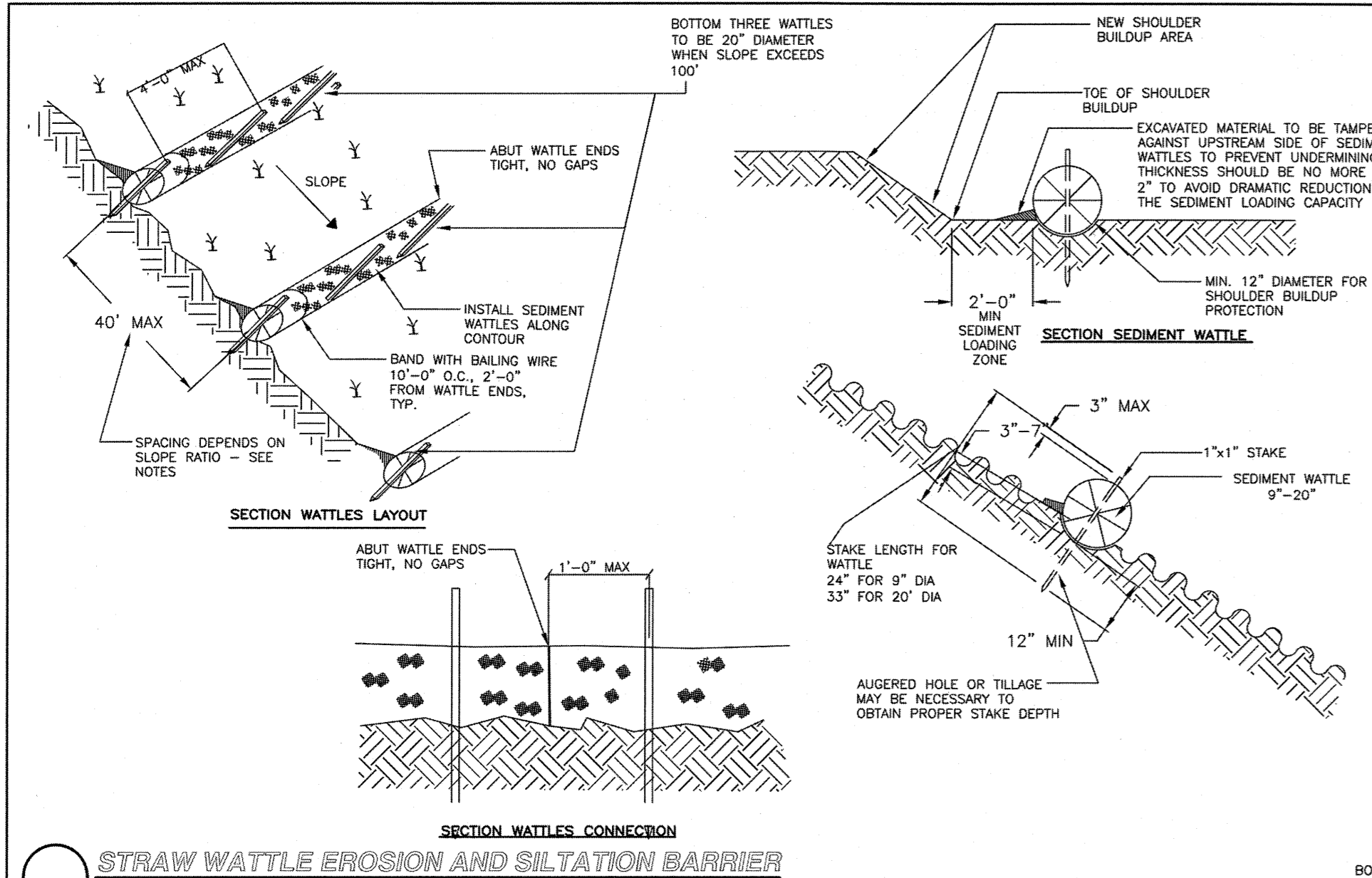
Project Name:
**MERRIMAC STREET
 WATERFRONT
 NEWBURYPORT, MA**

Drawing Name:
**STREET PLAN
 AND PROFILE**

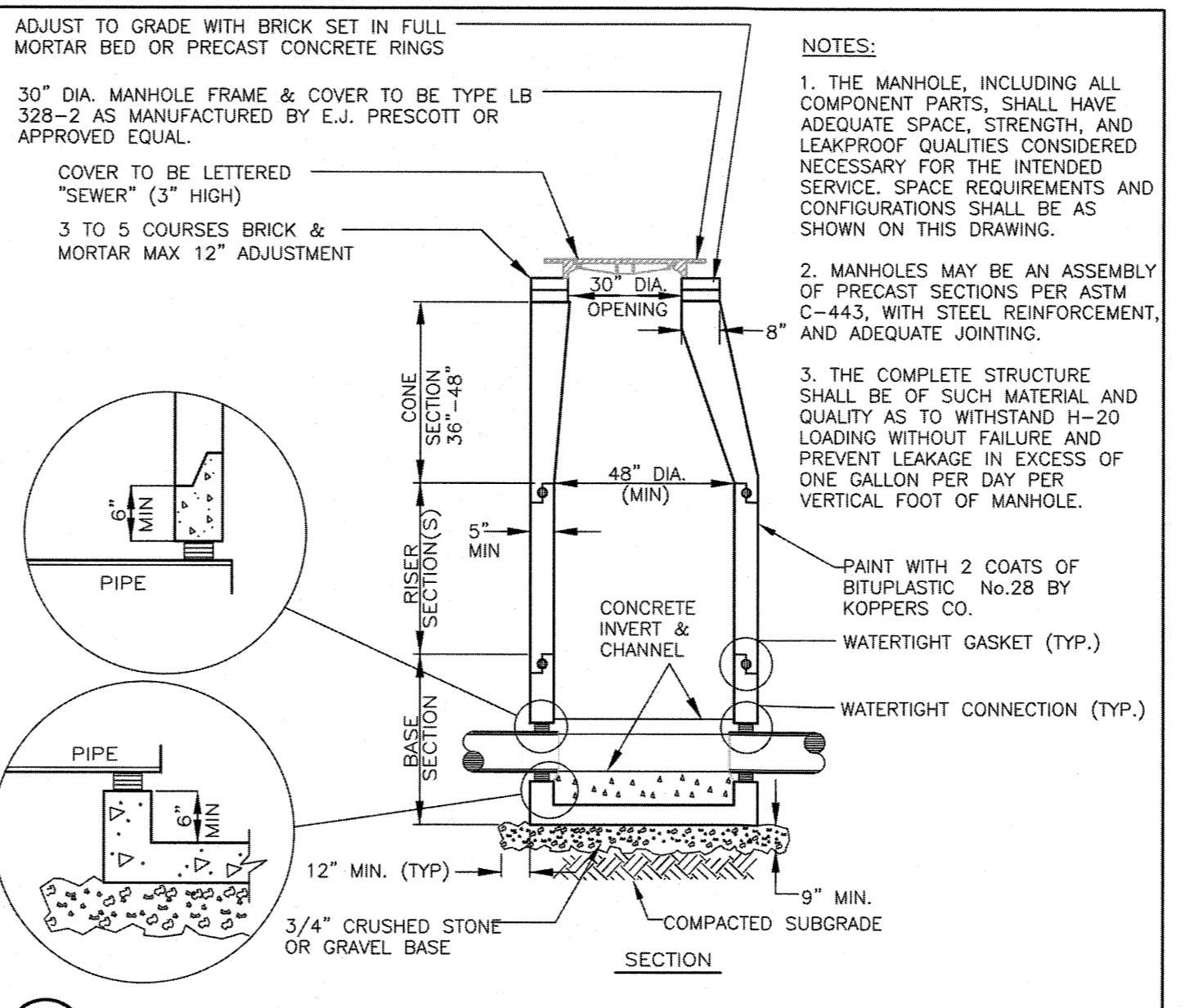
Drawing No.:
C-3

Project No.:
16025

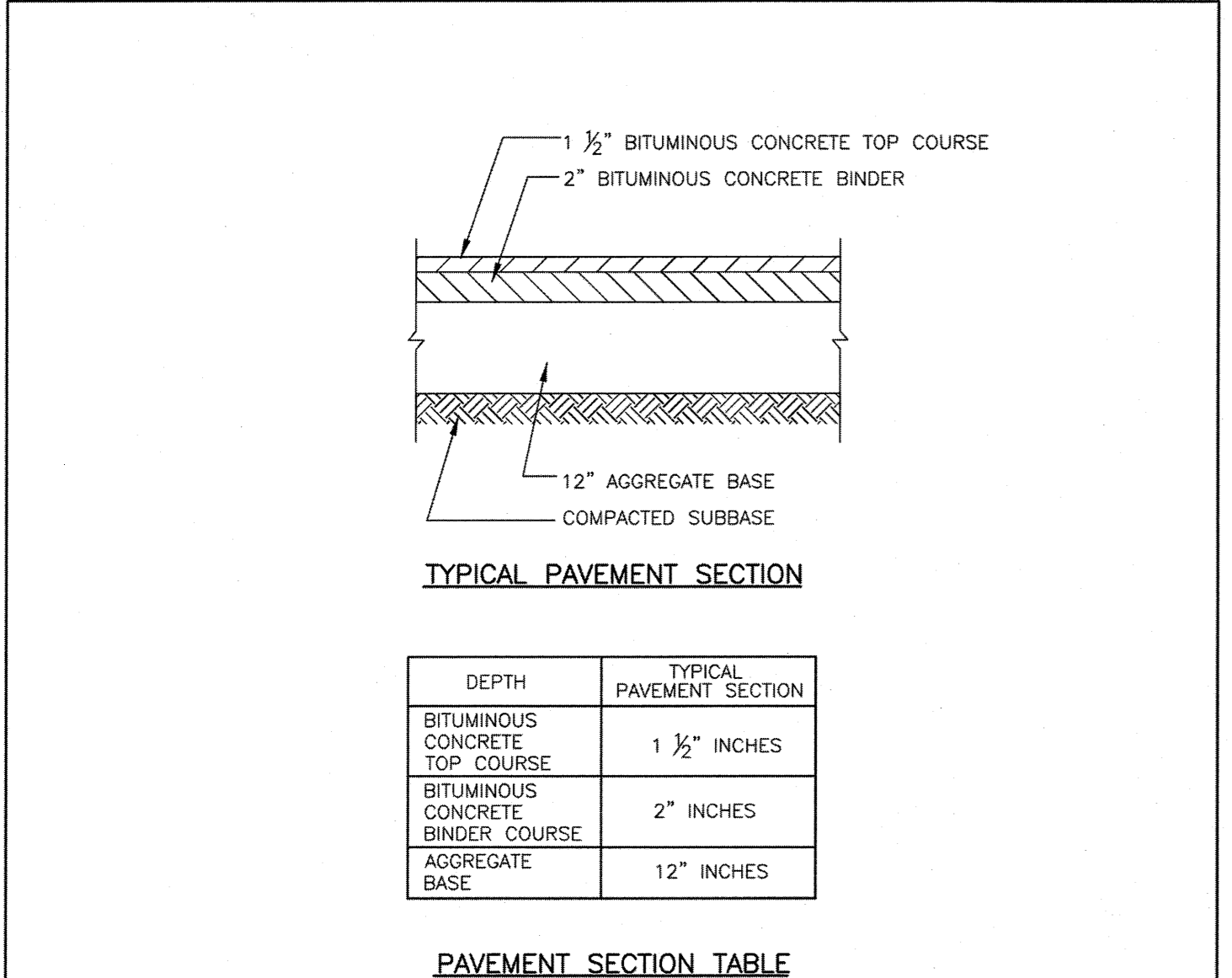
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 Sep 12, 2017 11:24am



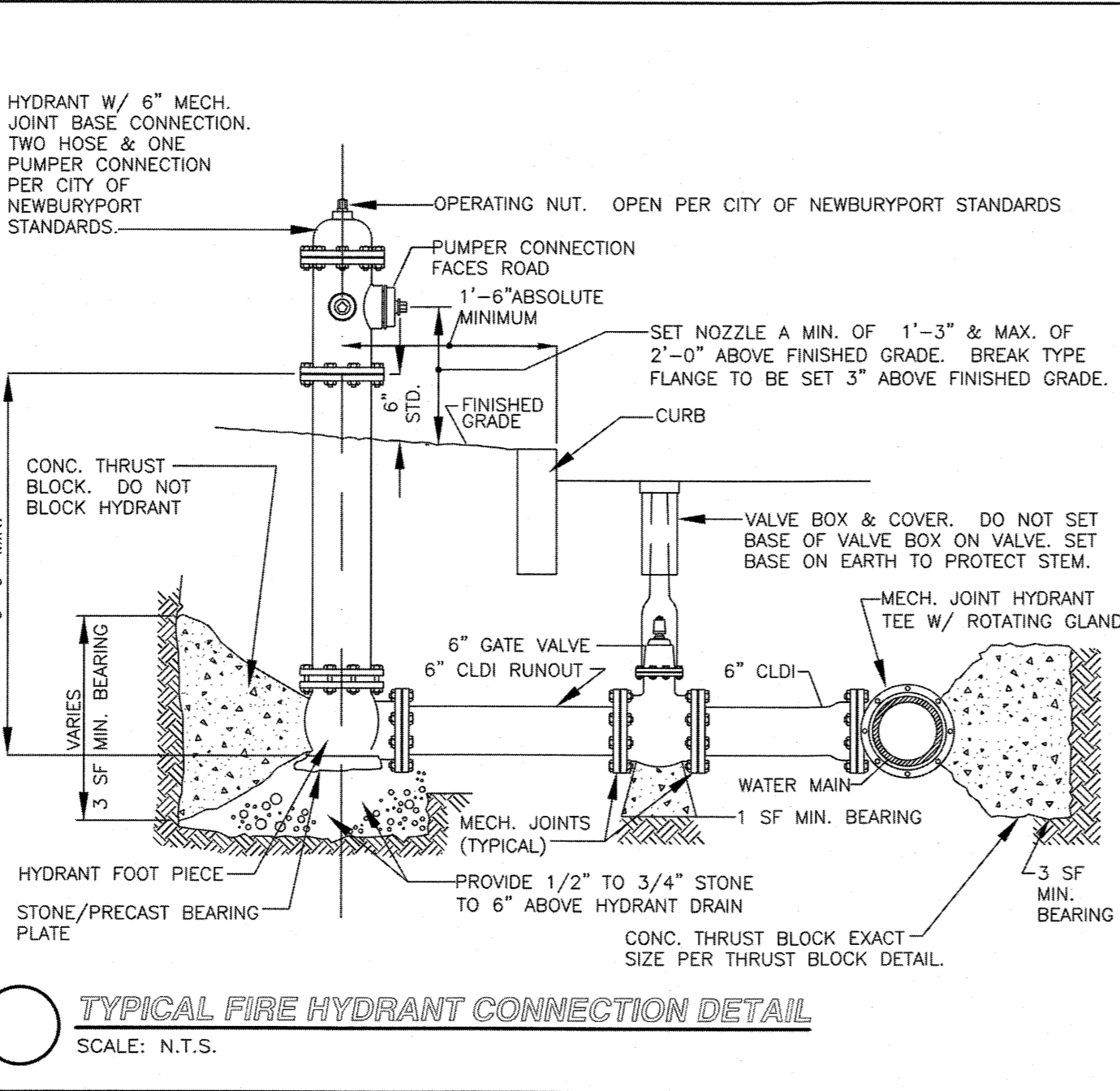
STRAW WATTLE EROSION AND SILTATION BARRIER
 SCALE: N.T.S.



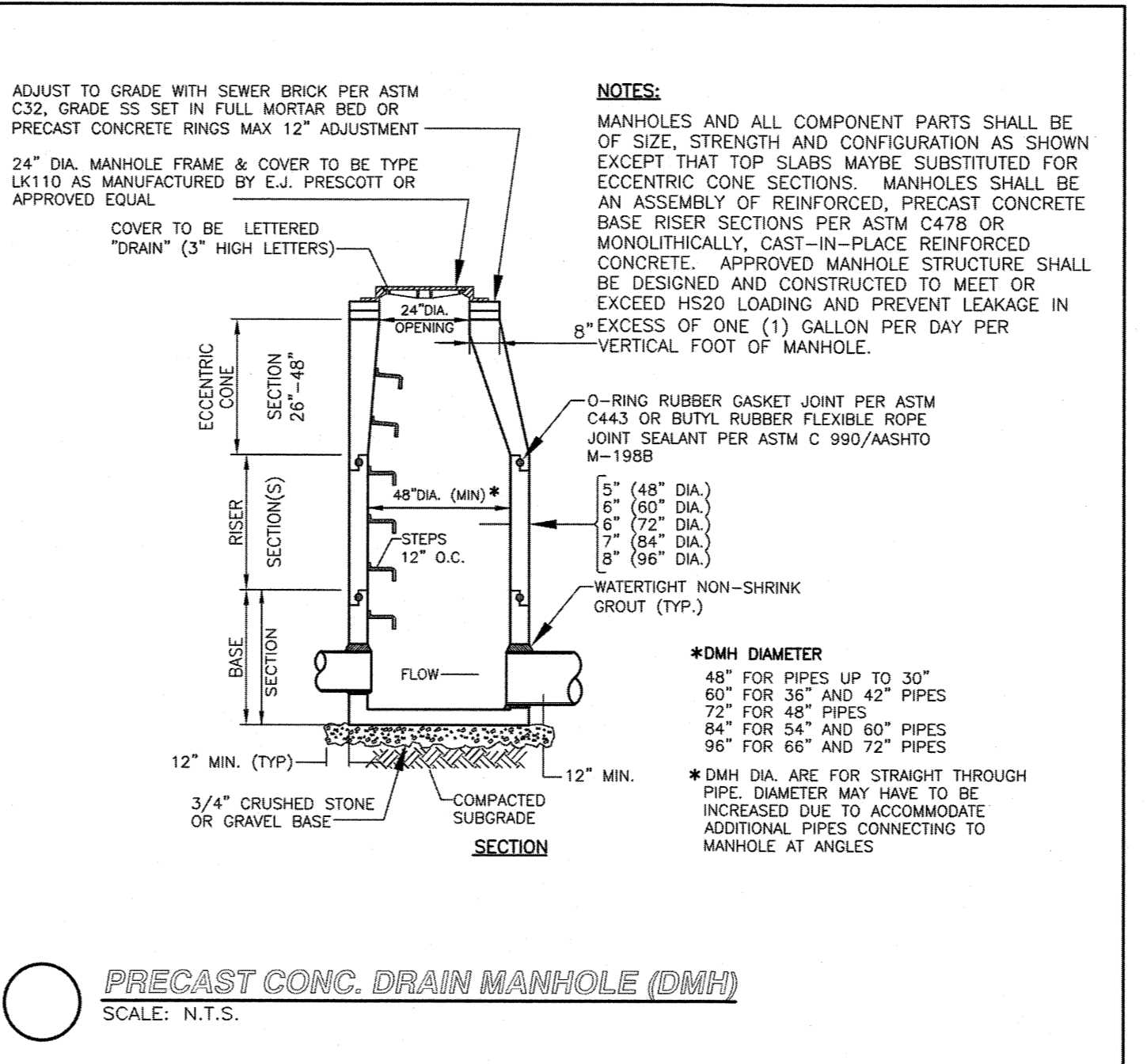
PRECAST CONC. SEWER MANHOLE (SMH)
 SCALE: N.T.S.



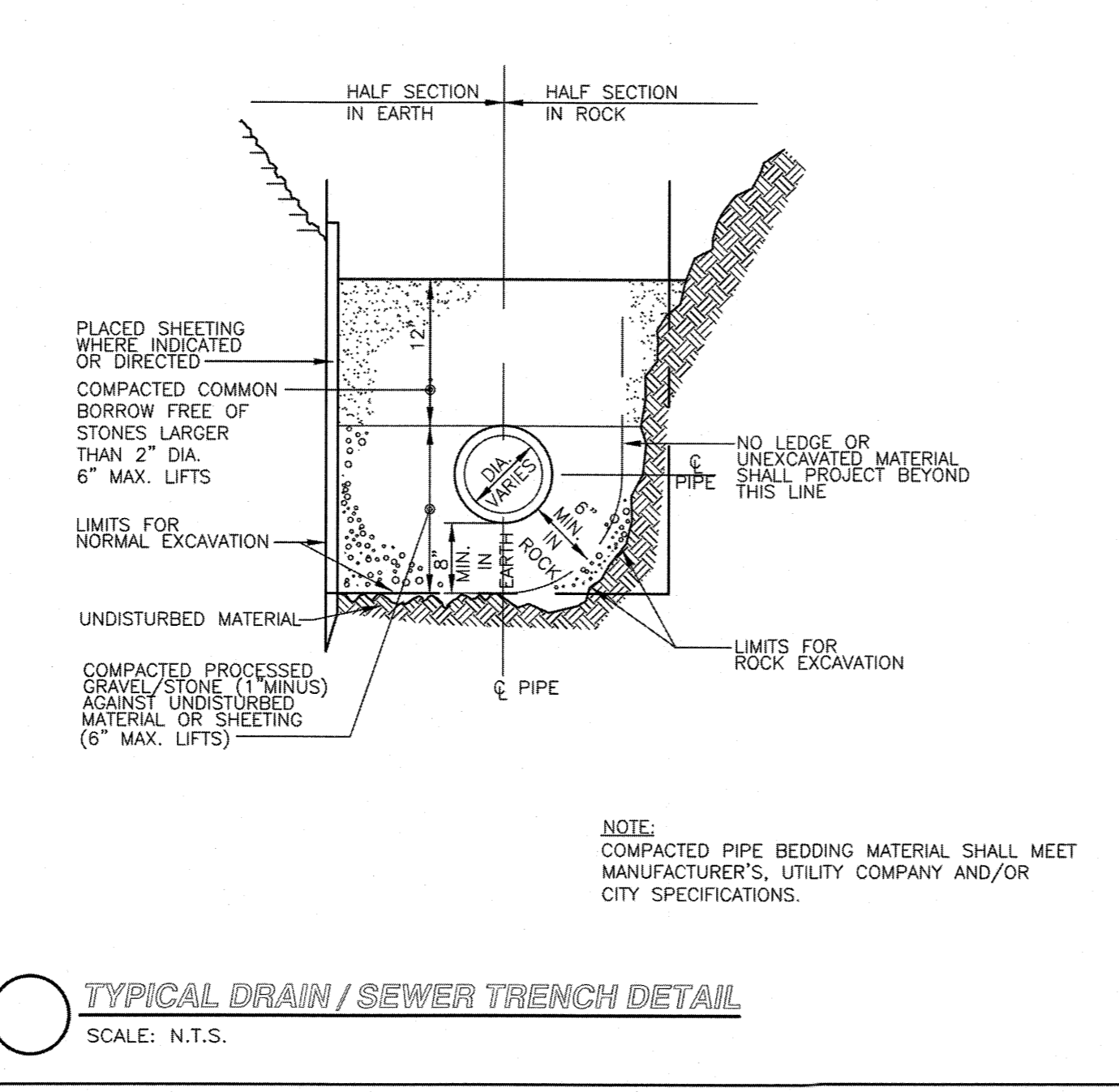
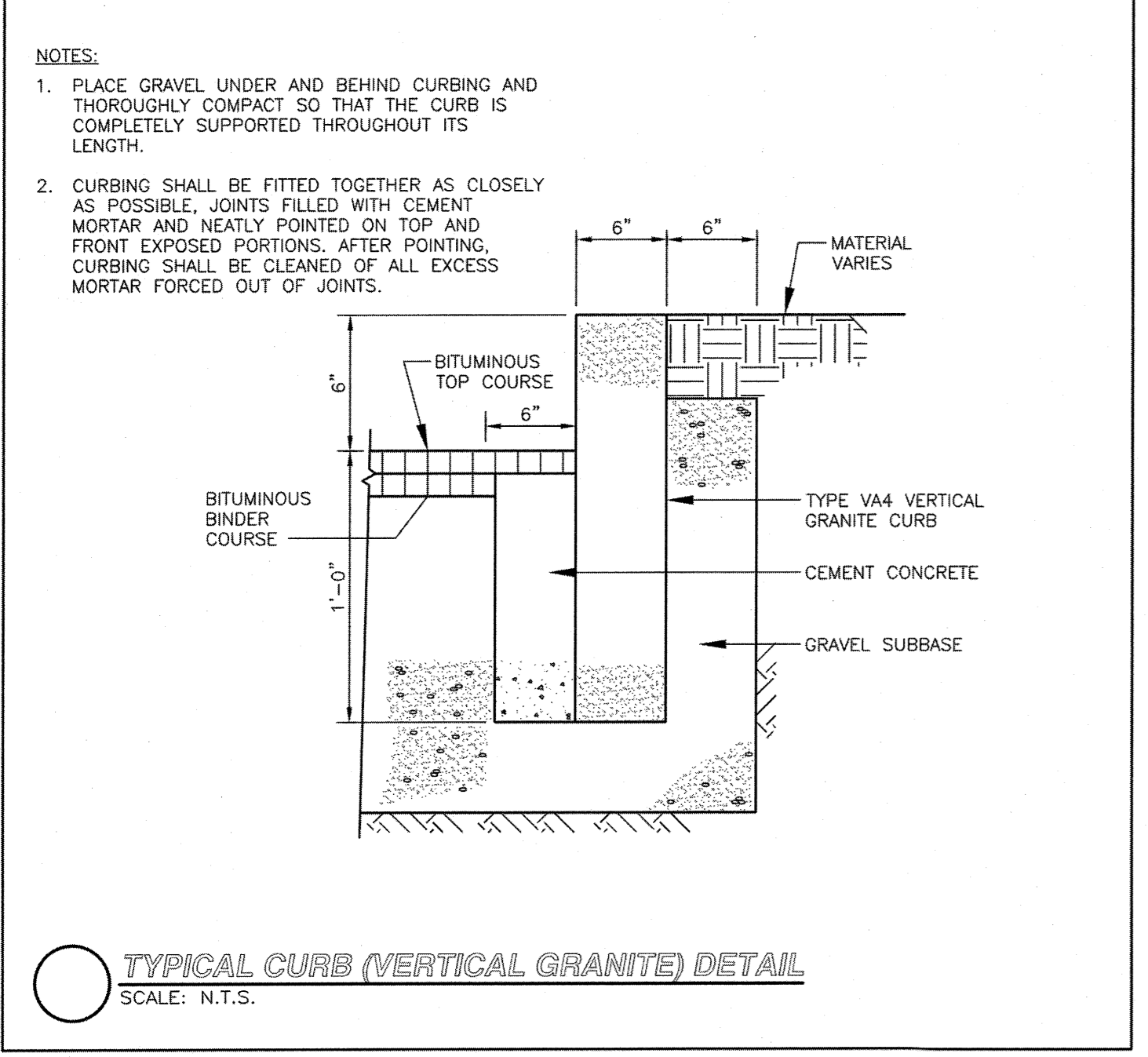
TYPICAL PAVEMENT DETAIL
 SCALE: N.T.S.



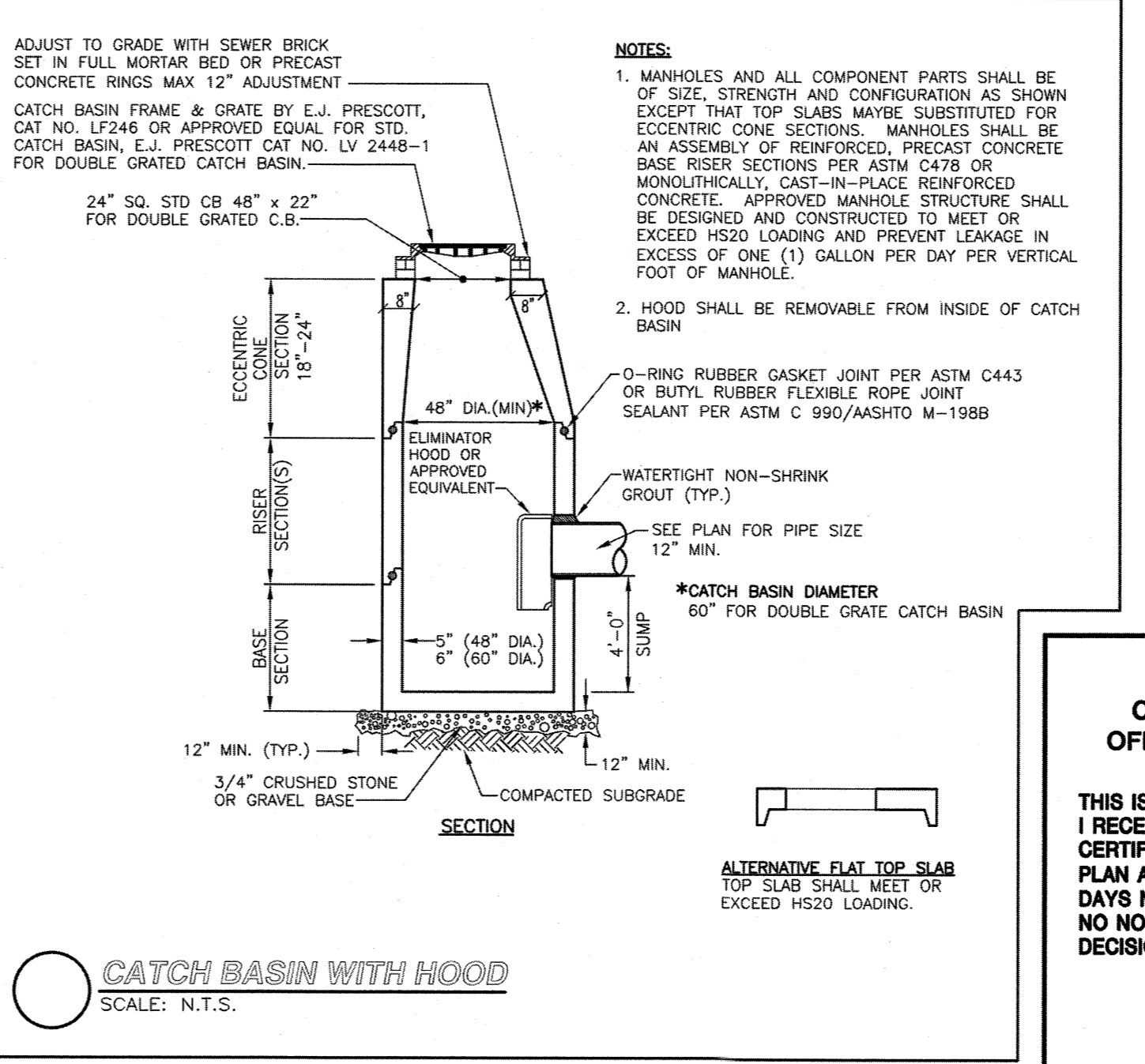
TYPICAL FIRE HYDRANT CONNECTION DETAIL
 SCALE: N.T.S.



PRECAST CONC. DRAIN MANHOLE (DMH)
 SCALE: N.T.S.



TYPICAL DRAIN / SEWER TRENCH DETAIL
 SCALE: N.T.S.



CATCH BASIN WITH HOOD
 SCALE: N.T.S.

FOR REGISTRY OF DEEDS USE ONLY

DESIGNED BY: AK
 DRAWN BY: RJK
 CHECKED BY: SPG
 SCALE: N.T.S.
 DATE: 06/12/2017



DESIGNED BY: AK
 DRAWN BY: RJK
 CHECKED BY: SPG
 SCALE: N.T.S.
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PREPARED BY:
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PROJECT NAME:
MERRIMAC STREET WATERFRONT NEWBURYPORT, MA

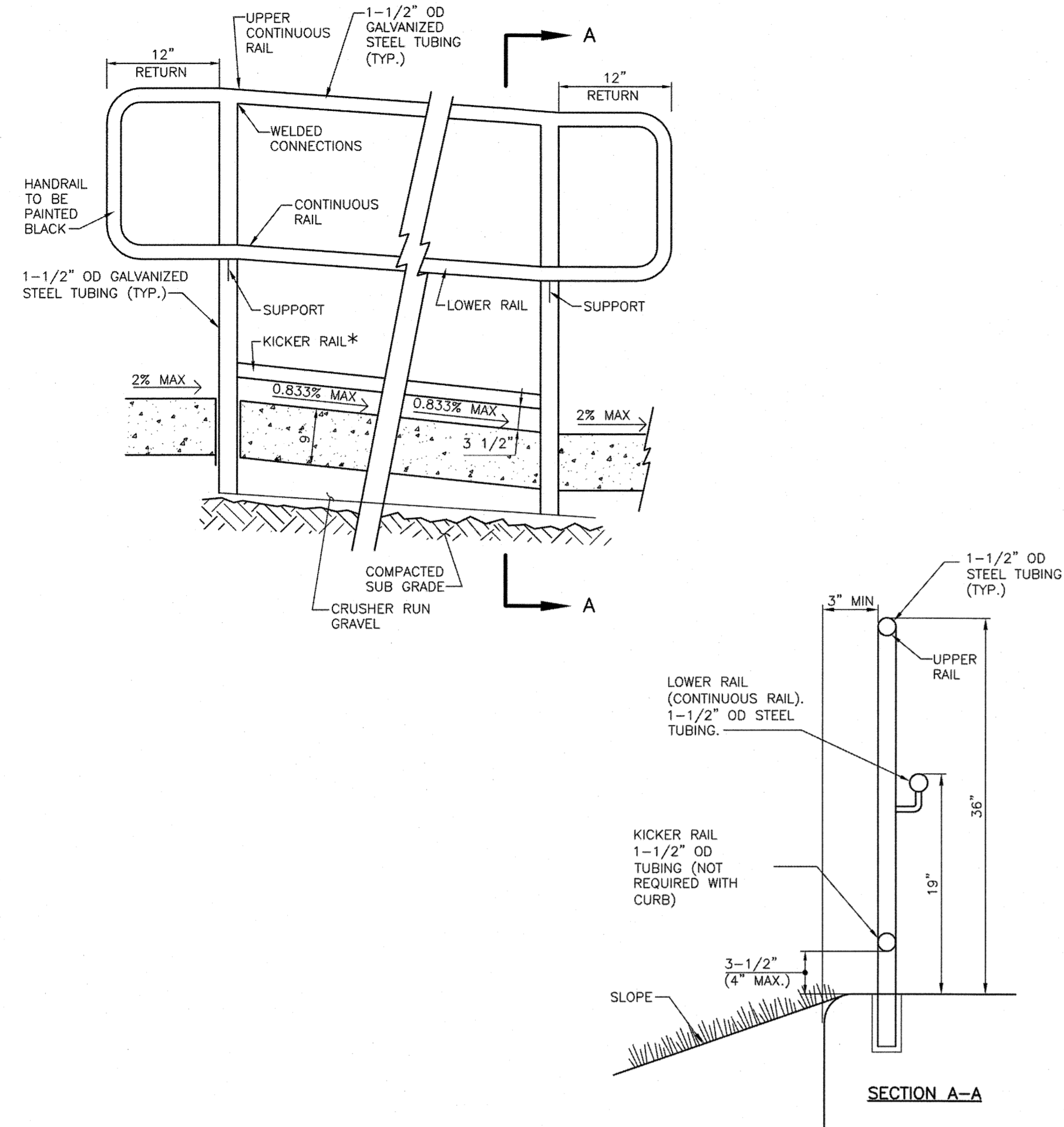
CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK		"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD	
APPLICATION FILED	_____	DATE	_____
FINAL PLAN FILED	_____	REVISION	_____
HEARING DATE	_____	NO.	_____
PLAN APPROVED	_____	DATE	09/12/2017
BOARD OF HEALTH	_____	REVISION	_____
APPROVAL	_____	NO.	_____
CLERK	DATE	DATE	_____

THIS IS TO CERTIFY THAT ON / / I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

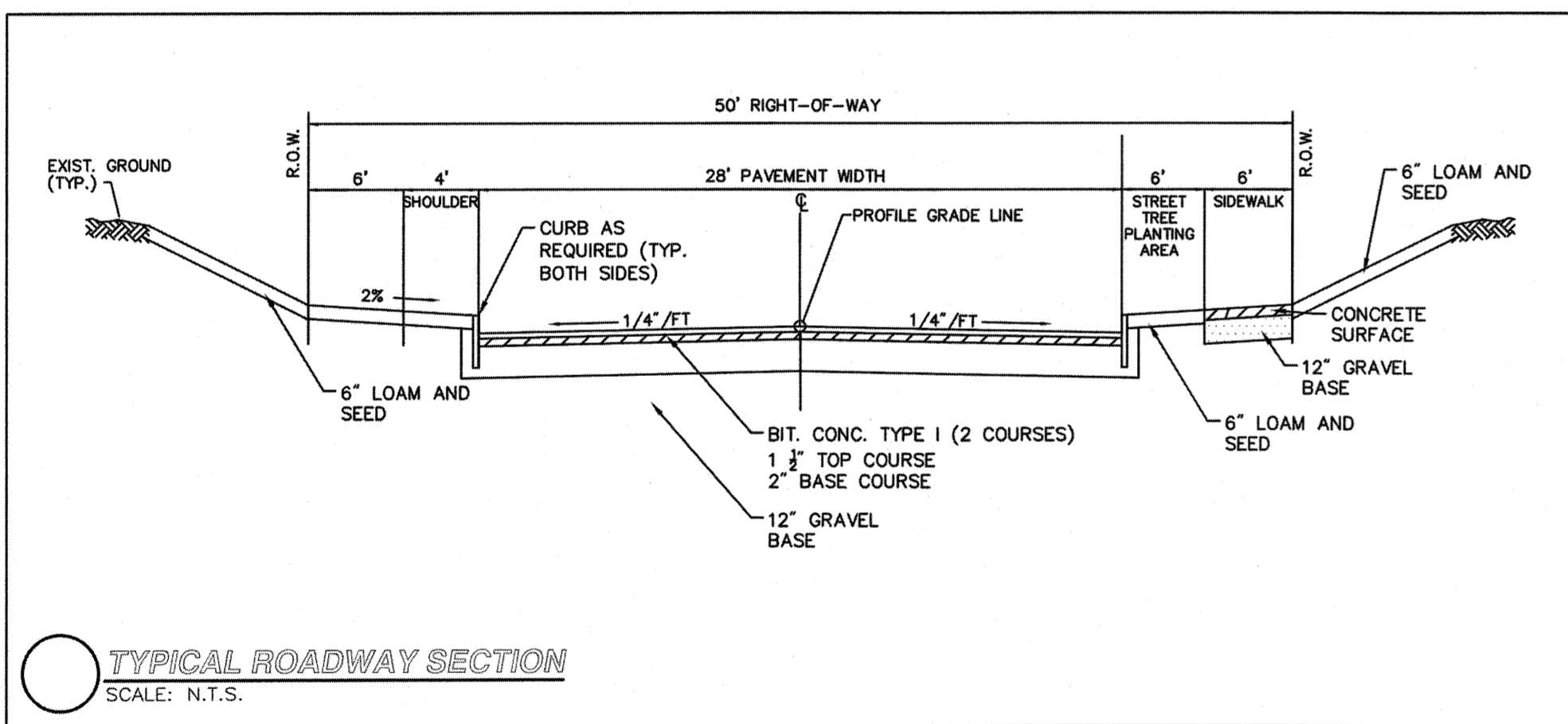
DATE: 9/12/2017

Project No.: 16025

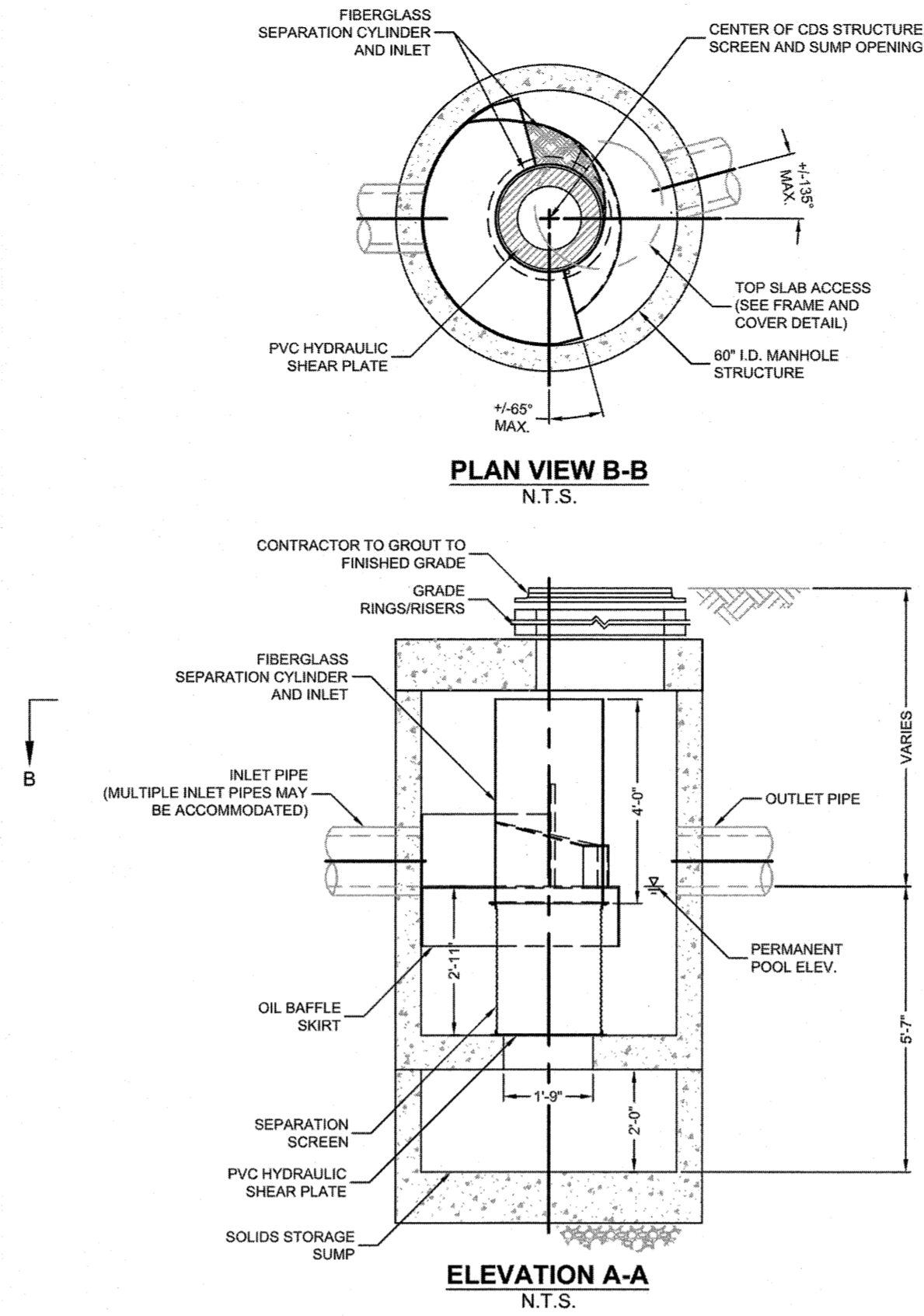
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ADA RAMP RAIL (FOR USE ON RAMPS WITH SLOPES EXCEEDING 5%)
SCALE: N.T.S.



TYPICAL ROADWAY SECTION
SCALE: N.T.S.



GENERAL NOTES

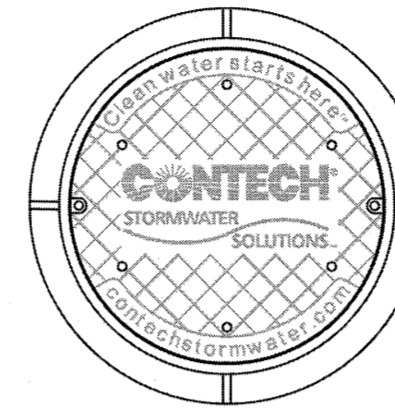
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE: www.contech-cpi.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET ASHOTO H520 AND CASTINGS SHALL MEET ASHOTO M500 LOAD RATINGS, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

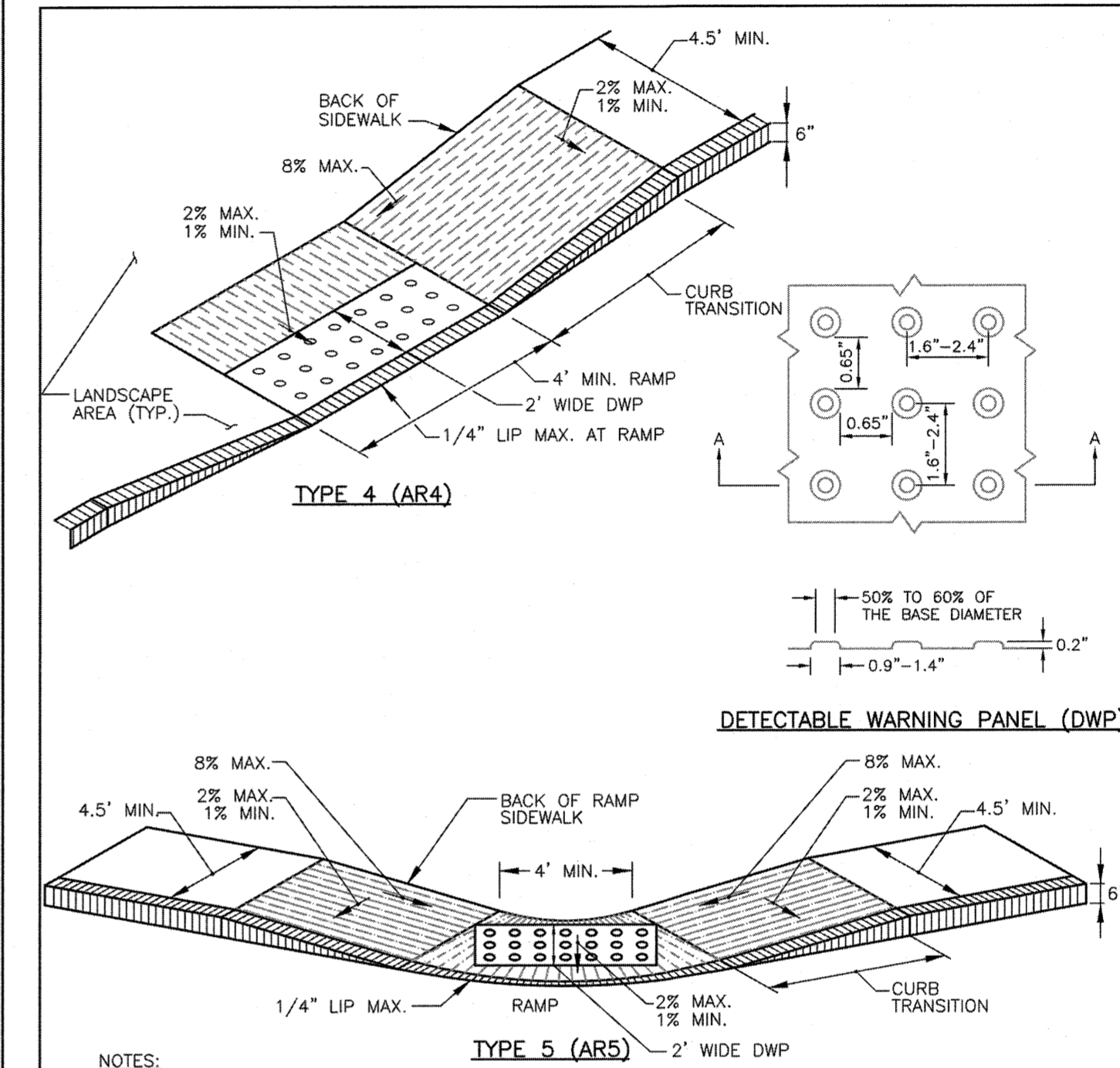
- ANY SUBBASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



TYPICAL OIL/PARTICLE SEPARATOR DETAIL
SCALE: N.T.S.



FRAME AND COVER (DIAMETER VARIES)
N.T.S.



- NOTES:**
- SEE PLANS FOR CURB TYPE.
 - CURBS AND WALKS ALONG ACCESSIBLE ROUTES SHALL MEET OR EXCEED THE APPLICABLE MA REGULATIONS AND ADA.
 - THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 2% (1% MIN).
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 8%.
 - MAINTAIN A MINIMUM OF 3 FEET CLEAR AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS ETC.)
 - GRADE BASE OF RAMP TO PREVENT PONDING.
 - RAMP CONSTRUCTION SHALL CONFORM TO TYPICAL SIDEWALK SECTION.
 - WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'X5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 - ALL CURBING AT RAMPS SHALL BE VERTICAL CURBING SET FLUSH WHERE IT ABUTS ROADWAY.
 - ALL RAMPS SHALL BE CEMENT CONCRETE WITH BROOM NON-SLIP SURFACE.
 - ALL RAMPS SHALL HAVE A 24" WIDE DETECTABLE WARNING PANEL EXTENDING THE FULL WIDTH OF THE FLUSH RAMP EDGE.

ACCESSIBLE CURB RAMPS (AR)
SCALE: N.T.S.

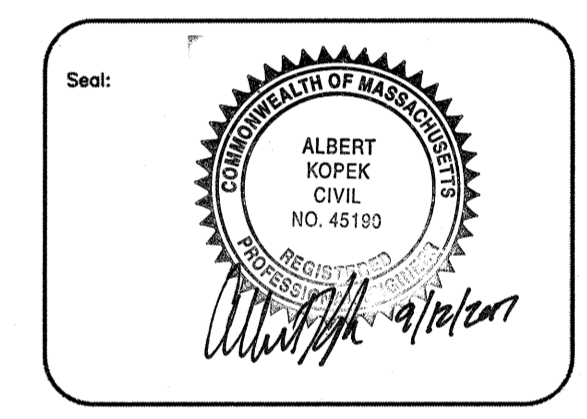
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NAME (PLS OR PE)

DATE

CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK	APPLICATION FILED _____	"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD
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	PLAN APPROVED _____	
BOARD OF HEALTH _____		
APPROVAL _____		
CLERK DATE		DATE

	Date
	Revision
	No.
	Date
	Revision
	No.



Designed by: AK
 Drawn by: RJK
 Checked by: SPG
 Scale: N.T.S.
 Date: 09/12/2017

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Project Name:
MERRIMAC STREET WATERFRONT NEWBURYPORT, MA
 Drawing Name:
SITE DETAILS

Drawing No.:
C-5
 Project No.:
 16025