

Newburyport Historical Commission

Instructions for a NHC Demolition Permit Application

Please use a separate application for each structure proposed for demolition/roof line change.

Please provide a **.pdf file** and **one (1) hard copy** of the information below collated in the following order:

- Completed NHC Demolition Permit Application form on the following pages
 - Zoning Determination form from the Zoning Administrator showing required permits
 - Assessor's card for the property available from the Assessor's Office or from the following website:
<http://gis.vgsi.com/newburyportma/>
 - If available, a copy of the District Data Sheet page for the subject property that was prepared in connection with the Newburyport Historic District:
<https://www.cityofnewburyport.com/historical-commission/files/district-data-sheets>
 - n/a* If available, a copy of the Form B survey* from the following website:
<https://www.cityofnewburyport.com/historical-commission/pages/historic-property-surveys>
 - A site plan showing the location of the existing structure with reference to neighboring buildings
 - Existing conditions photographs of all street façade elevations
 - Photographs showing the structure in context of the property and/or neighborhood.
 - Proposed site plans and exterior elevation plans specifically identifying the components to be demolished and those to remain.
 - n/a* For projects claiming structural instability, provide a written report from a licensed professional engineer on the structure's soundness
- and
- An application fee of \$100. Please make checks payable to the "City of Newburyport."

**Newburyport Historical Commission
DEMOLITION PERMIT APPLICATION**

Property Address: 2 Jackson Street

Applicant: Jerome James / Brenda James

Address: 2 Jackson Street Newburyport, MA 01950

Phone: 205-837-7739 Email: jeromecjames3@gmail.com

Owner (if different) _____

Year built: 1869 Area (sq. ft.): 1339

Architectural style: Queen Anne per Newburyport District Data Sheet

- The structure is:
- A principal structure which is in whole or in part 75 or more years old
 - An accessory structure 100 or more years old
 - Listed on the National Register of Historic Places
 - Previously designated by the Commission to be a significant building

- Structure type:
- Residential:* Single Family Two-Family Multi-Family
- Outbuilding:* Specify: _____
- Commercial:* Specify: _____
- Institutional:* Specify: _____

A District Data Sheet is: attached not available for this structure
A Form B survey is: attached not available for this structure

- Demolition type:
- Full Building Demolition
 - Partial Building Demolition
 - Roof Line Change

Description of the building or structure (or part thereof) to be demolished:

The roof will have an 8'5" wide shed dormer added on the left side of the house. Drawings of the proposed dormer are included in the application.

**Newburyport Historical Commission
DEMOLITION PLAN REVIEW APPLICATION**

Describe reasons for demolition:

The dormer is to be added to provide additional headroom for the stairwell from the second floor to the attic level. The additional headroom will make the two rooms in the attic level more accessible. Current headroom is limited and requires leaning for most average sized persons.

Describe alternatives to demolition that have been considered:

Moving the stairwell was considered, but it reduces available space on both the second and attic levels and would require significant interior design modification.

Please attach additional pages if necessary.

Applicant's Signature Brenda Jones Brenda Jones Date 10/14/20
Owner's Signature (if different) _____ Date _____

CITY OF NEWBURYPORT, MA
ZONING DETERMINATION

APR# 2020-073

Name: Brenda James

Address: 2 Jackson Street Zoning District(s): R2/DCOD

Request: Construct non exempt dormer over existing stair providing improved access to existing attic rooms.

ZONING BOARD REVIEW REQUIRED

Variance

- Dimensional Controls (VI)
 - Lot Area
 - Lot Frontage
 - Lot Coverage
 - Parking (VII)
 - Modification
- Open Space
- Height
- Lot Width
- Front Yard
- Side Yard
- Rear Yard

Sign Variance

- Signs (VIII)
 - Type
 - Lighting
 - Size
 - Location

Other

Special Permit

- Table of Use Regulations (V.D) #: _____
- Spacing (VI.D)
- In-Law Apartment (XIIA)
- Bonus for Multifamily Developments (XVI)
- Personal Wireless Communication Services (XX)
- Demolition Control Overlay District (XXVIII)*
- Wind Energy Conversion Facilities (XXVI)
- Other _____

Special Permit for Non-Conformities

- Extension or Alteration (IX.B.2)
 - Parking
 - Upward Extension
 - Open Space
 - Height
 - Lot Area
 - Use
 - Rear Yard
 - Lot Coverage
 - Side Yard
 - Lot Frontage
 - Front Yard
- Over 500 sf. increase (IX.B.3.c)
- Plum Island Overlay District (XXI-G)
 - FAR
 - Lot Coverage
 - Height
 - Setbacks
 - Open Space

PLANNING BOARD REVIEW REQUIRED

Special Permit

- Table of Use Regulations (V-D) # _____
- One residential structure per lot (VI.C)
- Open Space Residential Development (XIV)
- Water Resource Protection District (XIX)
- Federal Street Overlay District (XXII)
- Courts and Lanes (XXIII)
- Waterfront West Overlay District (XXIV)
- Towle Complex Redev. Overlay District (XXV)
- Downtown Overlay District (XXVII)*
- Other _____

Special Permit for Non-Conformities

- Extension or Alteration (IX.B.2)
 - Parking
 - Upward Extension
 - Open Space
 - Height
 - Lot Area
 - Use
 - Rear Yard
 - Lot Coverage
 - Side Yard
 - Lot Frontage
 - Front Yard
- Over 500 sf. increase (IX.B.3.c)

Smart Growth District (XXIX)

- Plan Approval

Site Plan Review (XV)

- Major
- Minor

HISTORICAL COMMISSION REVIEW REQUIRED

- Demo. Delay
- *Advisory Review

CONSERVATION COMMISSION REVIEW REQUIRED

The name typed below represents the intent to sign the foregoing document:

Jennifer Blanchet

Newburyport Zoning Administrator

09/21/2020

Date

2 JACKSON ST

Location 2 JACKSON ST

MBLU 60/ 12/ / /

Owner JAMES JEROME C III

Assessment \$392,300

PID 4057

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$205,100	\$187,200	\$392,300

Owner of Record

Owner JAMES JEROME C III
Co-Owner BRENDA P JAMES T/E
Address 2 JACKSON ST
NEWBURYPORT, MA 01950

Sale Price \$410,000
Certificate
Book & Page 36929/0512
Sale Date 08/10/2018
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
JAMES JEROME C III	\$410,000		36929/0512	00	08/10/2018
FOSTER RUTH W	\$1		07750/0055	1A	05/10/1985
FOSTER ROBERT A	\$62,500		07208/0256	00	09/02/1983
BELYEA JOHN W	\$36,000		06741/0561		09/26/1980

Building Information

Building 1 : Section 1

Year Built: 1869
Living Area: 1,339

Building Attributes	
Field	Description
Style	Conventional
Model	Residential
Stories:	2 Stories

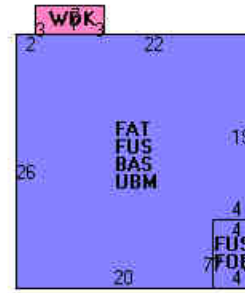
Occupancy	1
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure:	Gable/Hip
Roof Cover	Slate
Interior Wall 1	Plastered
Interior Wall 2	Drywall/Sheet
Interior Flr 1	Pine/Soft Wood
Interior Flr 2	Carpet
Heat Fuel	Oil
Heat Type:	Forced Air-Duc
AC Type:	Central
Total Bedrooms:	3 Bedrooms
Total Bthrms:	1
Total Half Baths:	0
Total Xtra Fixtrs:	
Total Rooms:	8
Bath Style:	Average
Kitchen Style:	Old Style

Building Photo



(<http://images.vgsi.com/photos/NewburyportMAPhotos//00\00\02\00.jpg>)

Building Layout



(http://images.vgsi.com/photos/NewburyportMAPhotos//Sketches/4057_42)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
FUS	Upper Story, Finished	624	624
BAS	First Floor	596	596
FAT	Attic	596	119
FOP	Porch, Open	28	0
UBM	Basement, Unfinished	596	0
WDK	Deck, Wood	21	0
		2,461	1,339

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 1010
Description SINGLE FAM

Land Line Valuation

Size (Acres) 0.04
Depth 0
Assessed Value \$187,200

Outbuildings

Outbuildings	<u>Legend</u>
No Data for Outbuildings	

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$190,000	\$187,200	\$377,200

NEWBURYPORT
DISTRICT DATA SHEET

	Street Address	Map & Parcel	Historic Name	Date of Construction	Style	Status
2897 1543	1	59-37		ca 1900	astylistic Victorian	C
1544	3	59-38		ca 1875; ca 1920	sidehall Victorian cottage; moved	C
1545	7	59-39	Double House	ca 1875	Italianate	C
1546	11	59-40		ca 1875	sidehall Italianate	C
1547	17	59-54		ca 1880; 1970's	sidehall Italianate; altered	C
—	19	59-55	yard			
1548	21	59-56		ca 1930; ca 1970	Bungalow; altered	MC
1549	25	59-57		ca 1930; ca 1970	Bungalow; contemporary	MC
1550	2	60-2		ca 1890	Queen Anne	C
1551	4	60-11		ca 1875	sidehall Italianate cottage	C
1552	6	60-10		ca 1875	astylistic Victorian cottage	C
1553	8	60-9		ca 1915-1930	Arts & Crafts	C

Jackson Street

59-36

60-10

60-11

60-12

60-13

60-14

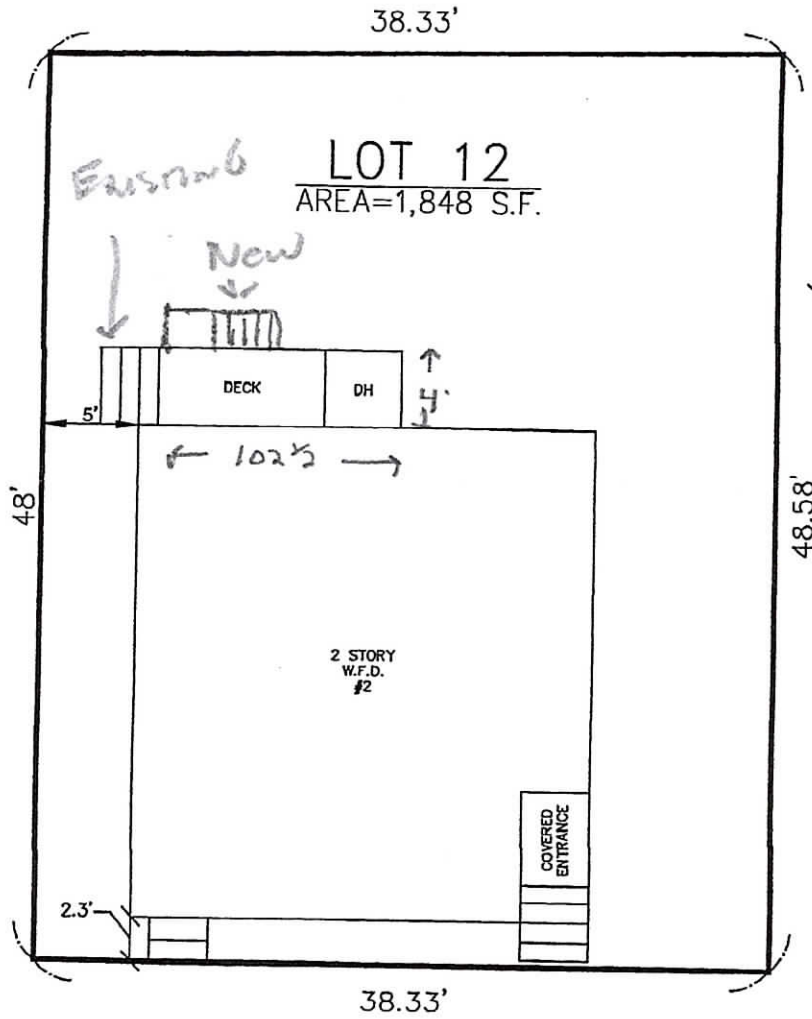
60-15-A/C

60-

Jackson St
Assessor's Map



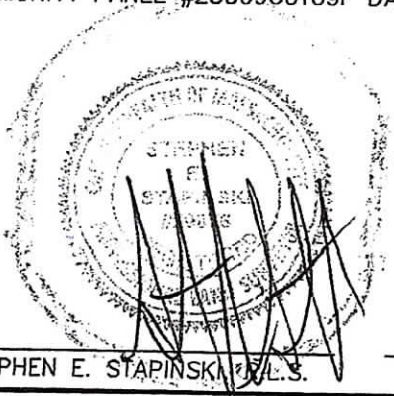
THIS PLAN FOR MORTGAGE PURPOSES—NOT FOR
BOUNDARY DETERMINATION. BOUNDARY INFORMATION
TAKEN FROM EXISTING RECORDS.



2 JACKSON STREET

"I HEREBY CERTIFY TO GUARANTEED RATE AFFINITY, LLC THAT THE DWELLING IS LOCATED ON THE LOT AS SHOWN AND THAT IT DOES CONFORM WITH THE CITY OF NEWBURYPORT ZONING REGULATIONS REGARDING SETBACKS FROM STREETS & LOT LINES."

"I FURTHER CERTIFY THAT THIS DWELLING IS NOT LOCATED IN THE FEDERAL FLOOD HAZARD AREA SHOWN ON FEMA COMMUNITY PANEL #25009C0109F DATED JULY 3, 2012."



STEPHEN E. STAPINSKI, L.L.S.

7/17/18
DATE

M24959

PLOT PLAN

IN

NEWBURYPORT, MA

DRAWN FOR

JEROME JAMES III
BRENDA JAMES

SCALE: 1"=10'

DATE: JULY 17, 2018

MERRIMACK ENGINEERING SERVICES
66 PARK STREET
ANDOVER, MASSACHUSETTS 01810



Front View



Right View



Close Right Side



Close Left View



Back Left View



Back Right View



Rear right view



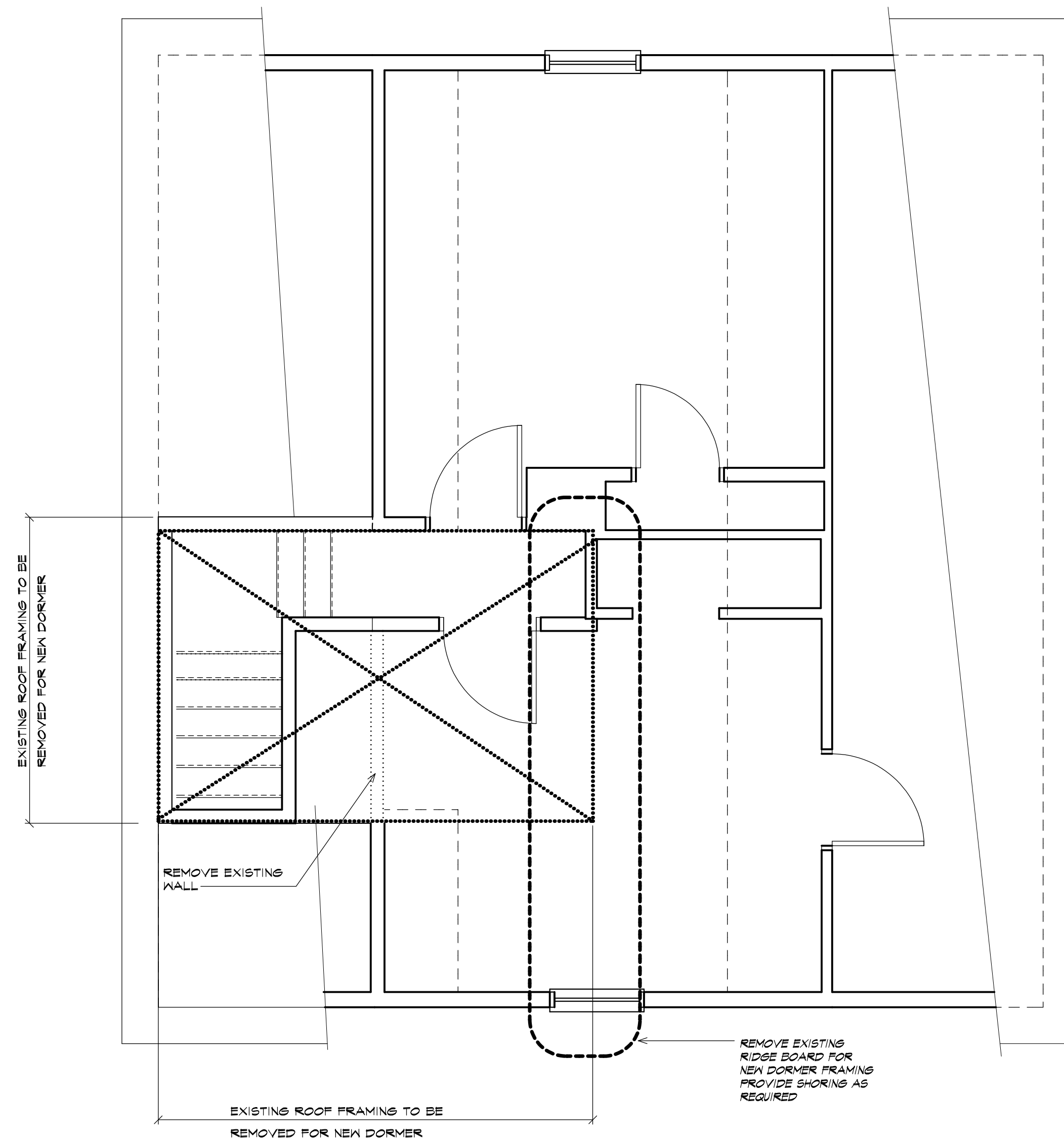
Left side view



Right side view



Front View



1 DEMOLITION ATTIC PLAN
 D1.1 3/8" = 1'-0"

Wall Types Key	
	Existing Walls to Remain
	Walls and/or Components to be Removed

DEMOLITION NOTES

1. THE GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE AND EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING WORK NECESSARY FOR AND INCIDENTAL TO NEW CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY BETWEEN ASSUMED EXISTING CONDITIONS AND ACTUAL EXISTING CONDITIONS.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNING AND PROVIDING ALL NECESSARY SHORING TO PREVENT DAMAGE TO EXISTING AND/OR NEW WORK DURING DEMOLITION/CONSTRUCTION.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OF EXISTING WORK WHICH MUST BE TEMPORARILY REMOVED TO PERFORM THE WORK INDICATED IN THESE DRAWINGS. SUCH REPAIRING SHALL RESTORE EXISTING WORK TO ITS ORIGINAL CONDITION.
5. THE GENERAL CONTRACTOR SHALL WALK THE SITE WITH THE OWNER TO MARK ALL DEMOLITION ITEMS TO BE STORED BY THE OWNER. ALL OTHER ITEMS SHALL BE REMOVED FROM THE SITE AT THE GENERAL CONTRACTOR'S EXPENSE.
6. THE GENERAL CONTRACTOR SHALL PROTECT EXISTING LANDSCAPE ITEMS DURING DEMOLITION AND CONSTRUCTION. THIS SHALL INCLUDE CONSTRUCTION OF ANY TEMPORARY BARRICADES NECESSARY FOR PROTECTION OF THESE ELEMENTS. ANY DAMAGE TO EXISTING LANDSCAPE ITEMS MARKED BY THE OWNER TO BE SALVAGED SHALL BE RECTIFIED TO PRE-CONSTRUCTION CONDITION AT THE GENERAL CONTRACTOR'S EXPENSE.
7. THE GENERAL CONTRACTOR SHALL ERECT TEMPORARY BARRICADES AS NECESSARY TO PROTECT NEW OR EXISTING WORK FROM DAMAGE FROM, BUT NOT LIMITED TO CONSTRUCTION, DEMOLITION AND WEATHER.
8. AT AREAS OF EXISTING WORK TO REMAIN, DEMOLITION WORK SHALL BE TO THE LEAST EXTENT POSSIBLE TO PERFORM NEW WORK.
9. THE GENERAL CONTRACTOR SHALL LEGALLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF SITE.

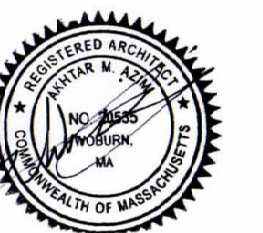
FOR PERMIT/CONSTRUCTION - 06/11/19

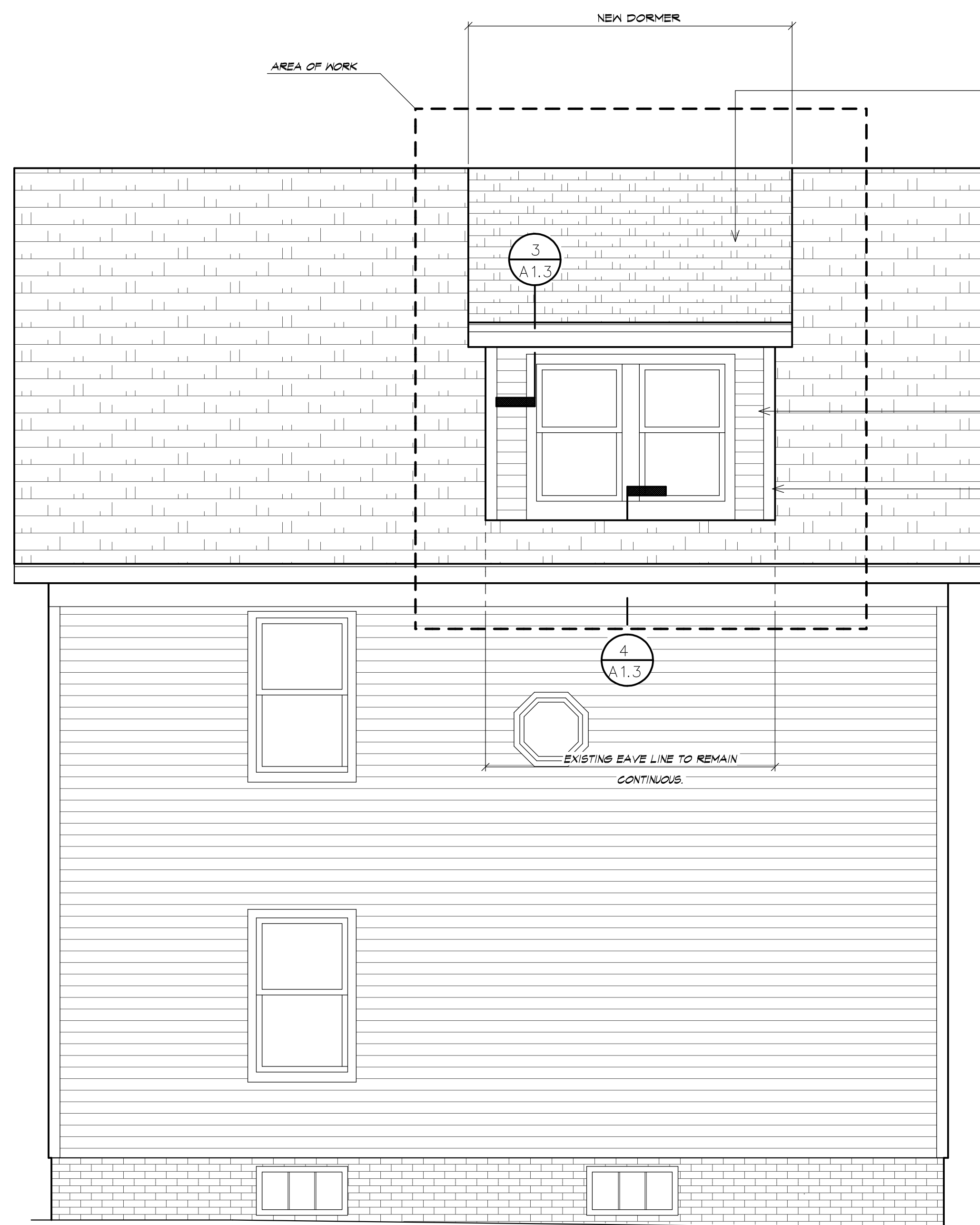
**JAMES RESIDENCE - DORMER ADDITION
 2 JACKSON STREET, NEWBURYPORT MA**

**SHEET TITLE
 DEMOLITION ATTIC PLAN**

**SHEET NO.
 D1.1**

DATE: 06/11/19





NEW ROOF SHINGLES TO MATCH EXISTING

PTD. 1X8 TRIM W/ PTD. 1X4 TRIM OVER

STEP FLASHING AT ROOF/WALL BOTH SIDES

NEW DORMER SIDING TO MATCH EXISTING EXPOSURE AND FINISH

NEW CORNER TRIM TO MATCH EXISTING WIDTH & THICKNESS



1 SIDE ELEVATION
A1.2 3/8" = 1'-0"

2 FRONT ELEVATION
A1.2 3/8" = 1'-0"

FOR PERMIT/CONSTRUCTION - 06/11/19

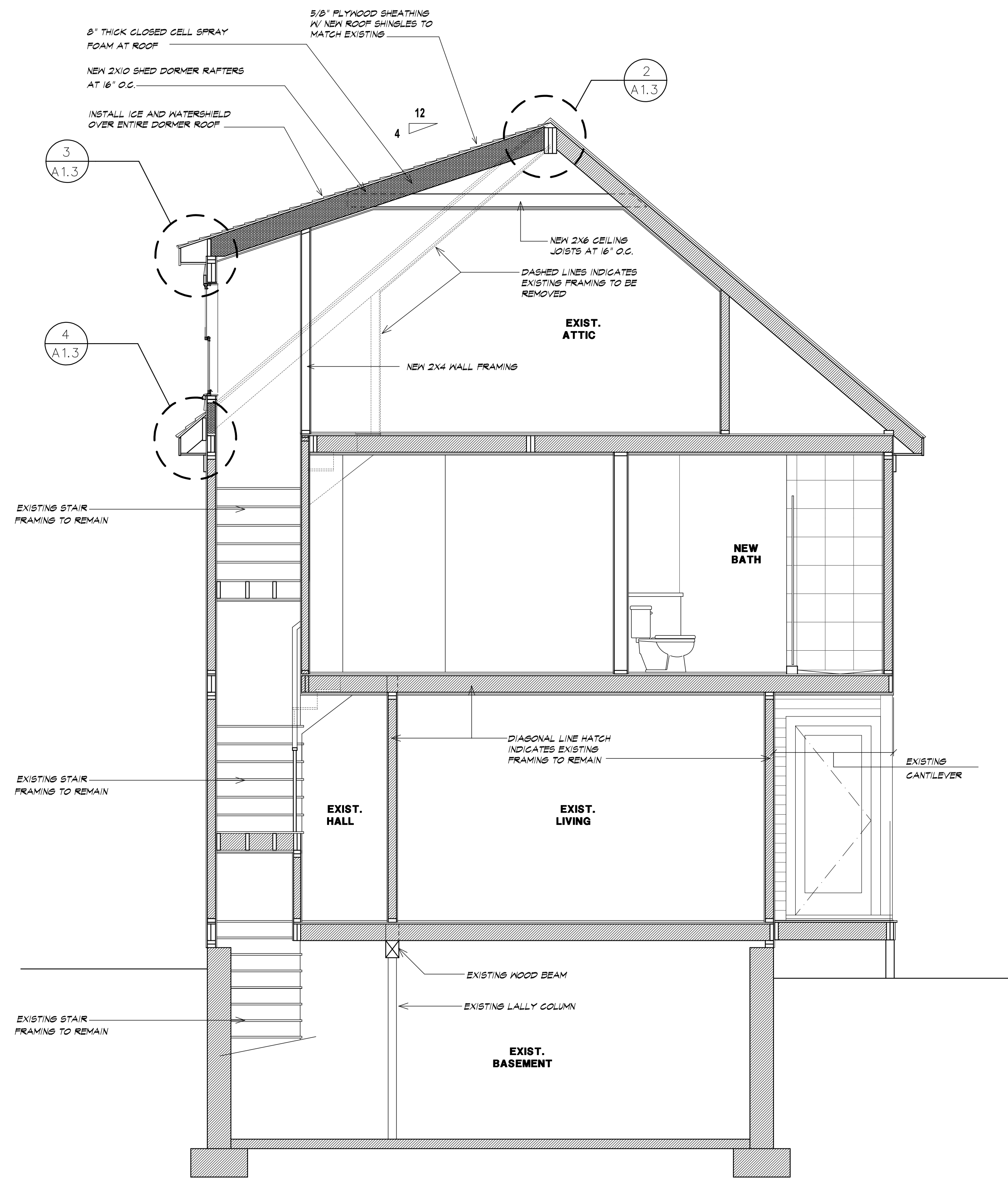
JAMES RESIDENCE - DORMER ADDITION
2 JACKSON STREET, NEWBURYPORT MA

SHEET TITLE
EXTERIOR ELEVATIONS

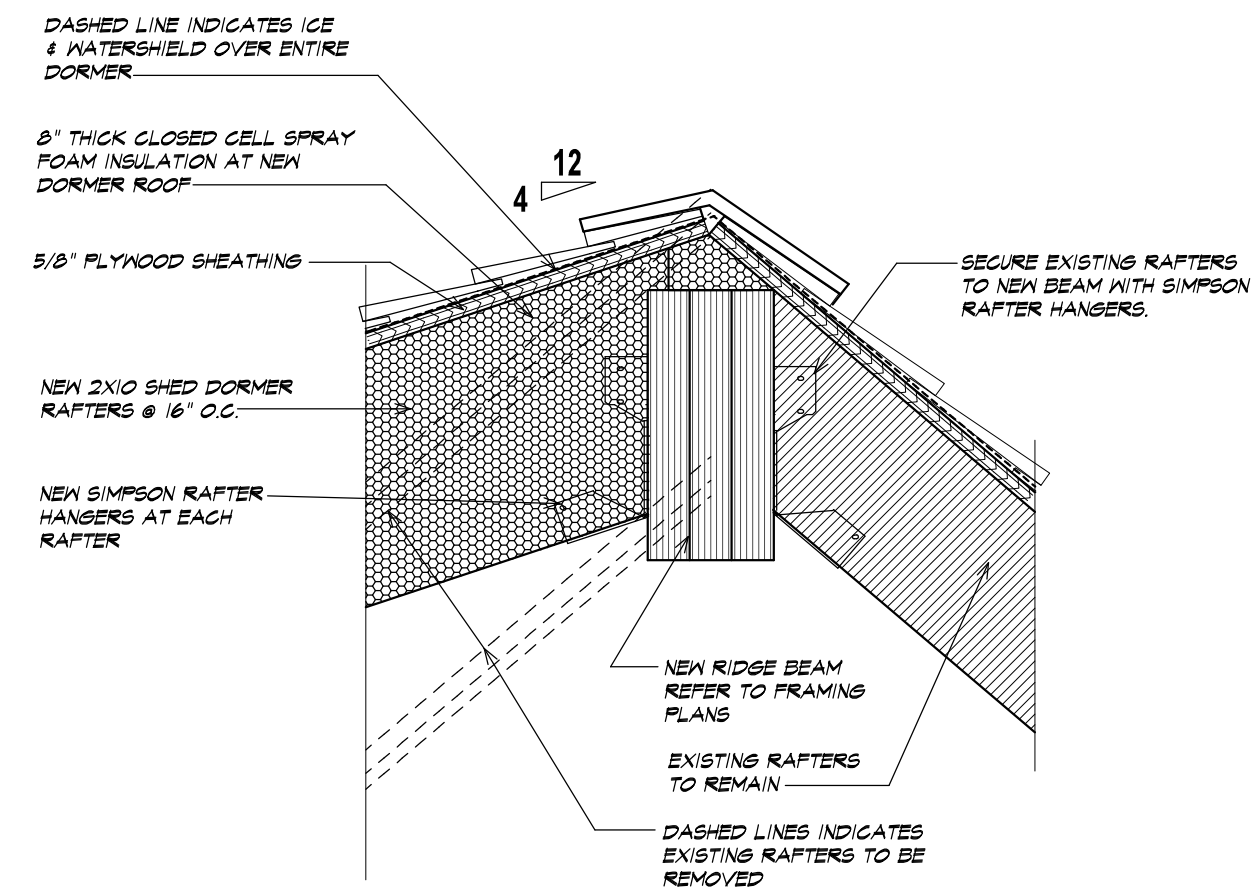
SHEET NO.
A1.2

DATE: 06/11/19

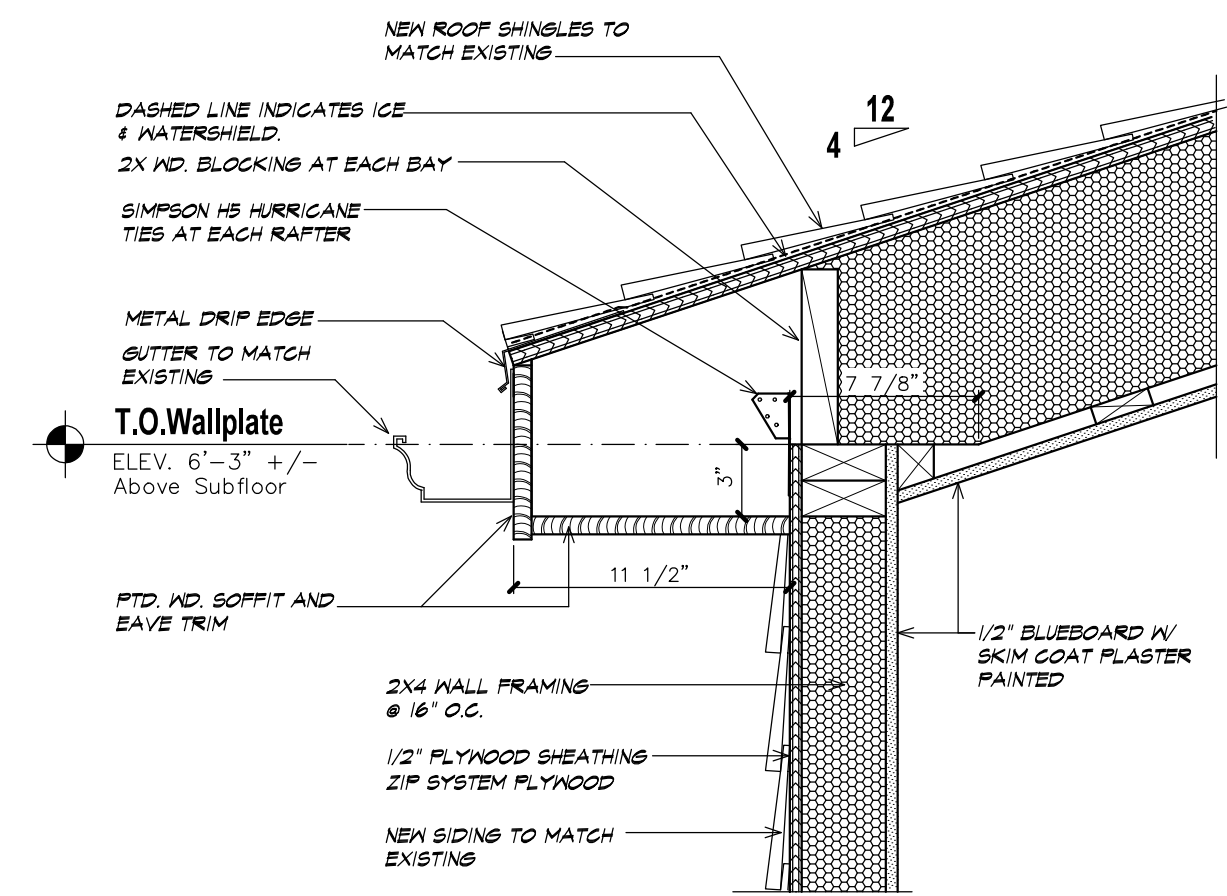




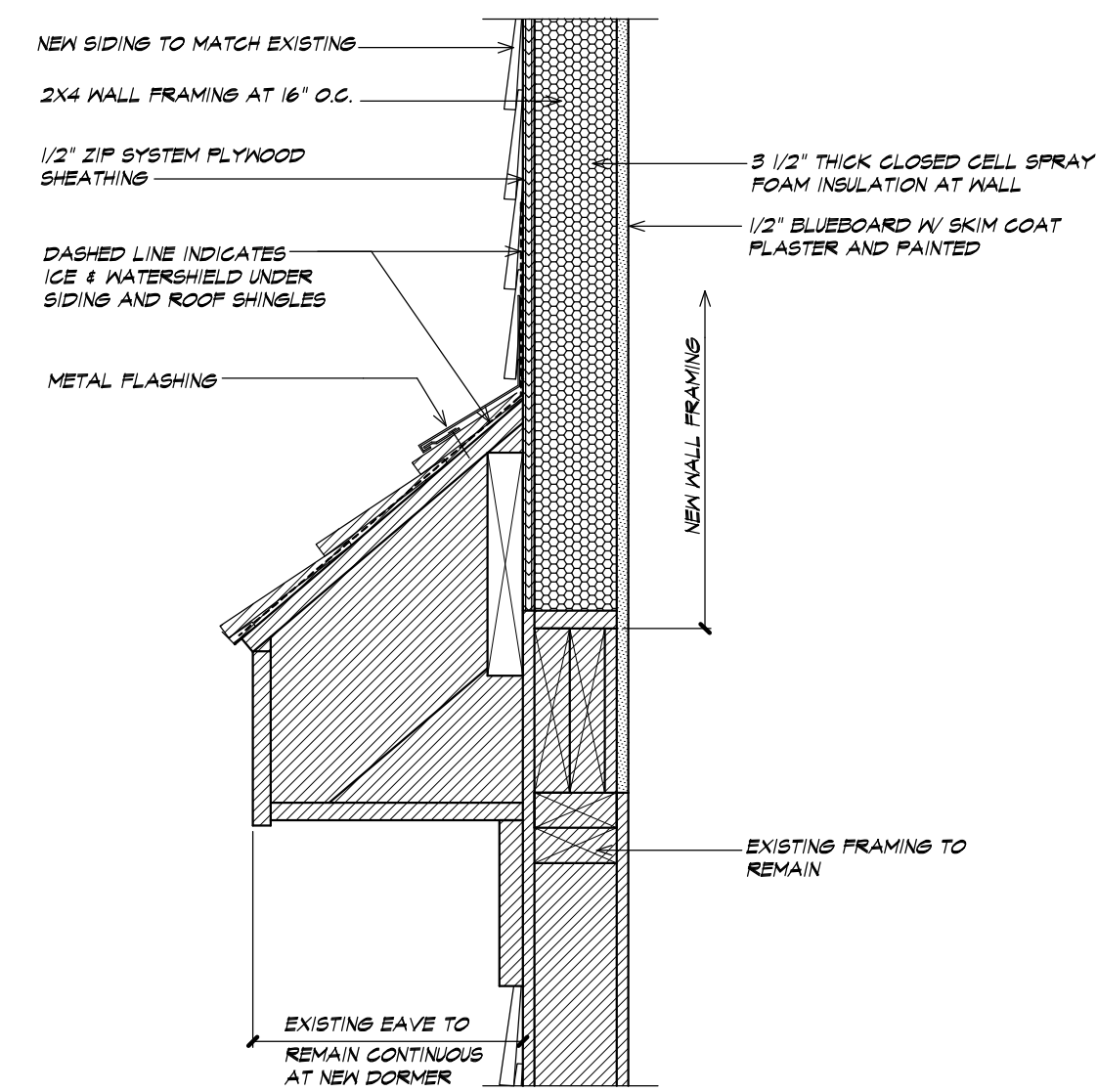
1 BUILDING SECTION
A1.3 3/8" = 1'-0"



2 RAKE DETAIL
A1.3 1 1/2" = 1'-0"



3 EAVE DETAIL
A1.3 1 1/2" = 1'-0"



4 EAVE DETAIL
A1.3 1 1/2" = 1'-0"

FOR PERMIT/CONSTRUCTION - 06/11/19

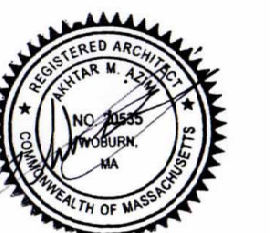
JAMES RESIDENCE - DORMER ADDITION
2 JACKSON STREET, NEWBURYPORT MA

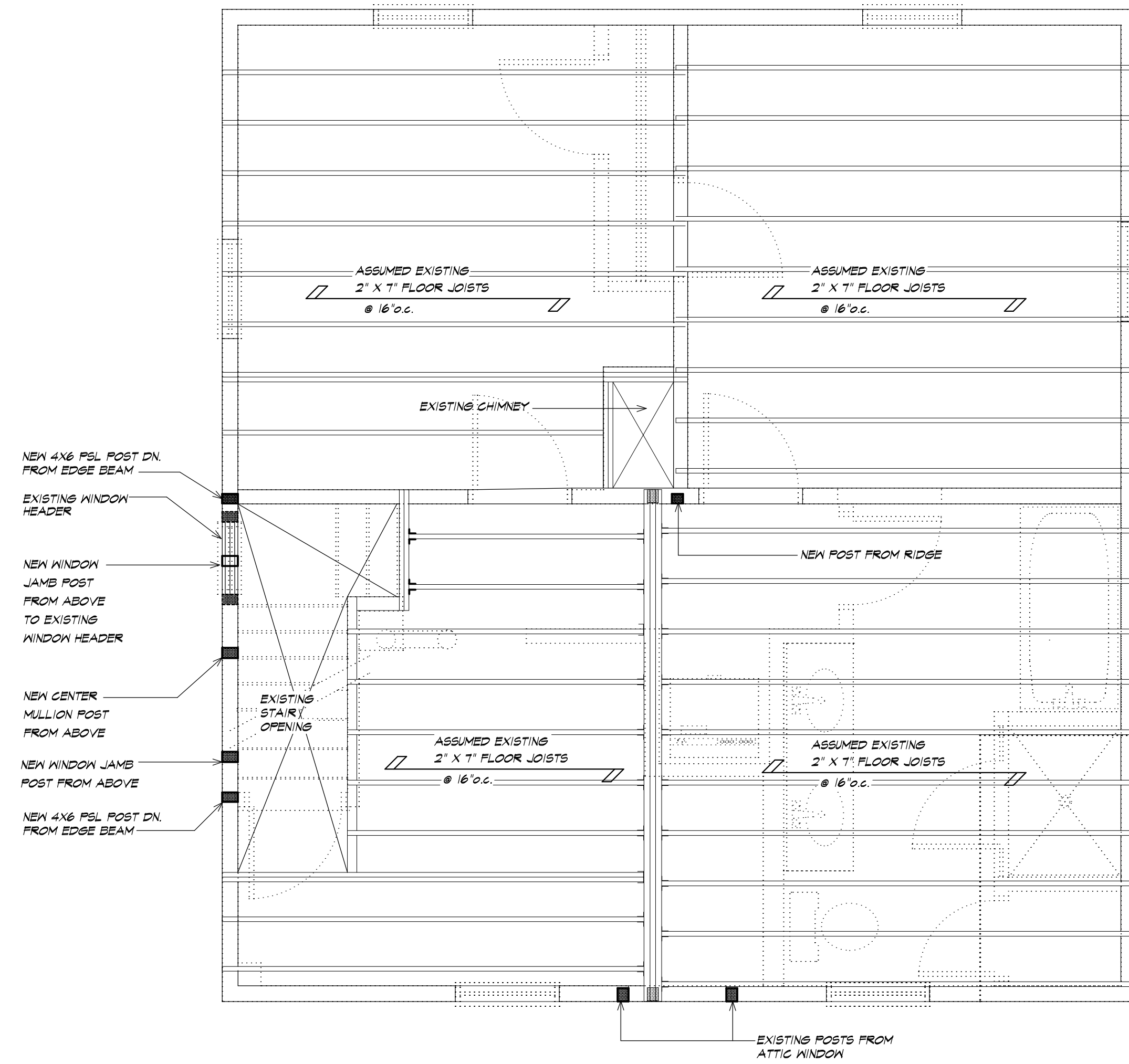
SHEET TITLE
SECTION & DETAILS

SHEET NO.

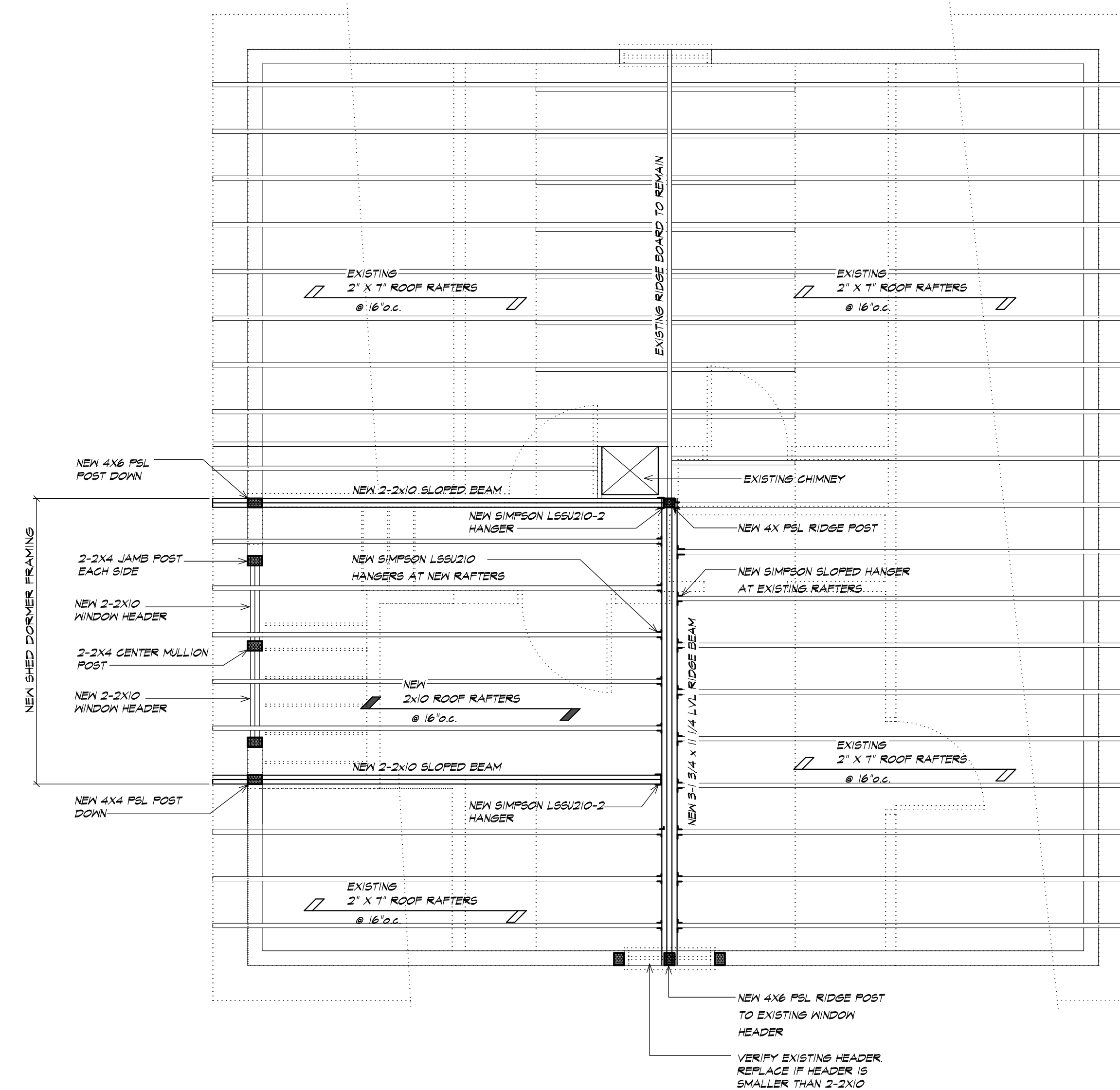
A1.3

DATE: 06/11/19





1 ATTIC LEVEL FRAMING PLAN
S1.2 3/8" = 1'-0"



2 ROOF FRAMING PLAN
S1.2 3/8" = 1'-0"

FOR PERMIT/CONSTRUCTION - 06/11/19

JAMES RESIDENCE - DORMER ADDITION
2 JACKSON STREET, NEWBURYPORT MA

SHEET TITLE
FRAMING PLANS

SHEET NO.
S1.2

DATE: 06/11/19

