Newburyport Historical Commission Instructions for a NHC Demolition Permit Application

	AMOUNT
Please use a separate application for each structure proposed for demolition/roof line change.	
Please provide a .pdf file and one (1) hard copy of the information below collated in the following order:	
Completed NHC Demolition Permit Application form on the following pages	
Zoning Determination form from the Zoning Administrator showing required permits	
Assessor's card for the property available from the Assessor's Office or from the following websit http://gis.vgsi.com/newburyportma/	e
If available, a copy of the District Data Sheet page for the subject property that was prepared in connection with the Newburyport Historic District:	
https://www.cityofnewburyport.com/historical-commission/files/district-data-sheets	
W ☐ If available, a copy of the Form B survey* from the following website: https://www.cityofnewburyport.com/historical-commission/pages/historic-property-surveys https://www.cityofnewburyport.com/historic-property-surveys https://www.cityofnewburyport.com/historic-prope	
A site plan showing the location of the existing structure with reference to neighboring buildings	
Existing conditions photographs of all street façade elevations	
Photographs showing the structure in context of the property and/or neighborhood.	
Proposed site plans and exterior elevation plans specifically identifying the components to be demolished and those to remain.	
For projects claiming structural instability, provide a written report from a licensed professional engineer on the structure's soundness	
An application fee of \$100. Please make checks payable to the "City of Newburyport."	

Newburyport Historical Commission DEMOLITION PERMIT APPLICATION

Property Addr	ess:	2 Jackson Street
Applicant:	Jeron	ne James / Brenda James
Address:	2 Jac	kson Street Newburyport, MA 01950
Phone:	205-8	37-7739 jeromecjames3@gmail.com
Owner (if diffe	rent)	
Year built:	1869	Area (sq. ft.):
Architectural s	tyle:	Queen Anne per Newburyport District Data Sheet
The structure is	s:	 ✓ A principal structure which is in whole or in part 75 or more years old ✓ An accessory structure 100 or more years old ✓ Listed on the National Register of Historic Places ✓ Previously designated by the Commission to be a significant building
Structure type:		Residential: ✓ Single Family
		Commercial: Specify:
A District Data S A Form B survey		attached not available for this structure attached not available for this structure
Demolition type	e: 	Full Building Demolition Partial Building Demolition Roof Line Change
Description of tl	he buil	ding or structure (or part thereof) to be demolished:

The roof will have an 8'5" wide shed dormer added on the left side of the house. Drawings of the proposed dormer are included in the application.

Newburyport Historical Commission DEMOLITION PLAN REVIEW APPLICATION

Describe reasons for demolition:

The dormer is to be added to provide additional headroom for the stairwell from the second floor to the attic level. The additional headroom will make the two rooms in the attic level more accessible. Current headroom is limited and requires leaning for most average sized persons.

Describe alternatives to demolition that have been considered:

Moving the stairwell was considered, but it reduces available space on both the second and attic levels and would require significant interior design modification.

Please attach additional pages if necessary.

Applicant's Signature	George aver	Grenda Jimes	Date _	10/14/20
Owner's Signature (if dif	ferent)		Date_	

CITY OF NEWBURYPORT, MA ZONING DETERMINATION

Name:		
Address: 2 Jackson Street	R2/D0	COD
Construct non exempt dormer over existing Request: rooms.	stair providing improved acces	ss to existing attic
ZONING BOARD REVIEW REQUIRED Variance Dimensional Controls (VI) Lot Area Dopen Space Front Y Side Ya Lot Coverage Darking (VII) Modification Special Permit Spacing (VI.D) In-Law Apartment (XIIA) Bonus for Multifamily Developments (XVI) Personal Wireless Communication Services (XX Demolition Control Overlay District (XXVIII)* Wind Energy Conversion Facilities (XXVI) Other	Cother Special Permit for Non-Conform Extension or Alteration Parking Upward Extension Open Space	(IX.B.2) Rear Yard Lot Coverage Side Yard Lot Frontage Front Yard (.B.3.c)
PLANNING BOARD REVIEW REQUIRED Special Permit Table of Use Regulations (V-D) #	Special Permit for Non-Conformal Extension or Alteration Parking Upward Extension Open Space Height Lot Area Use Over 500 sf. increase (I) Site Plan Review (XV) Major	(IX.B.2) Rear Yard Lot Coverage Side Yard Lot Frontage Front Yard
CONSERVATION COMMISSION REVIEW REQUIRED	The name typed below represents the intent to	
	Jennifer Blanchet Newburyport Zoning Administrator	09/21/2020

2 JACKSON ST

Location 2 JACKSON ST

MBLU 60/12///

Owner JAMES JEROME C III

Assessment \$392,300

PID 4057

Building Count 1

Current Value

Assessment				
Valuation Year Improvements Land Total				
2020	\$205,100	\$187,200	\$392,300	

Owner of Record

Owner

JAMES JEROME C III

Co-Owner BRENDA P JAMES T/E

Address

2 JACKSON ST

NEWBURYPORT, MA 01950

Sale Price

\$410,000

Certificate

Book & Page

36929/0512

Sale Date 08/10/2018

Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
JAMES JEROME C III	\$410,000		36929/0512	00	08/10/2018
FOSTER RUTH W	\$1		07750/0055	1A	05/10/1985
FOSTER ROBERT A	\$62,500		07208/0256	00	09/02/1983
BELYEA JOHN W	\$36,000		06741/0561		09/26/1980

Building Information

Building 1: Section 1

Year Built:

1869

Living Area:

1,339

Building Attributes			
Field	Description		
Style	Conventional		
Model	Residential		
Stories:	2 Stories		

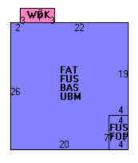
Occupancy	1
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure:	Gable/Hip
Roof Cover	Slate
Interior Wall 1	Plastered
Interior Wall 2	Drywall/Sheet
Interior Flr 1	Pine/Soft Wood
Interior Flr 2	Carpet
Heat Fuel	Oil
Heat Type:	Forced Air-Duc
AC Type:	Central
Total Bedrooms:	3 Bedrooms
Total Bthrms:	1
Total Half Baths:	0
Total Xtra Fixtrs:	
Total Rooms:	8
Bath Style:	Average
Kitchen Style:	Old Style

Building Photo



(http://images.vgsi.com/photos/NewburyportMAPhotos//00\00\02/00.jpg)

Building Layout



 $(http://images.vgsi.com/photos/NewburyportMAPhotos//Sketches/4057_42$

	Building Sub-Areas (sq ft))	<u>Legend</u>
Code	Description	Gross Area	Living Area
FUS	Upper Story, Finished	624	624
BAS	First Floor	596	596
FAT	Attic	596	119
FOP	Porch, Open	28	0
UBM	Basement, Unfinished	596	0
WDK	Deck, Wood	21	0
		2,461	1,339

Extra Features

Extra Features	<u>Legend</u>
No Data for Extra Features	

Land Use Land Line Valuation Use Code 1010 Size (Acres) 0.04 Description SINGLE FAM Depth 0 Assessed Value \$187,200

Outbuildings

Outbuildings <u>Le</u>	egend
No Data for Outbuildings	

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$190,000	\$187,200	\$377,200

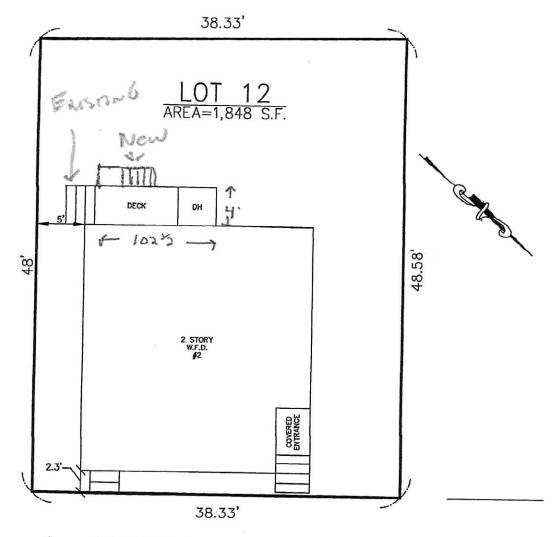
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NEWBURYPORT DISTRICT DATA SHEET

Street Address	Map & Parcel	Historic Name	Date of Construction	Style	Status
5/3 1	59-37		ca 1900	astylistic Victorian	С
3	59-38		ca 1875; ca 1920	sidehall Victorian cottage; moved	С
545 7	59-39	Double House	ca 1875	Italianate	С
54b 11	59-40		ca 1875	sidehall Italianate	С
1547 17	59-54		ca 1880; 1970's	sidehall Italianate; altered	С
19	59-55	yard	ye.		
रहम् 21	59÷56		ca 1930; ca 1970	Bungalow; altered	MC
1549 25	59-57		ca 1930; ca 1970	Bungalow; contemporary	MC
550 2	60-2		ca 1890	Queen Anne	С
(55) 4	60-11		ca 1875	sidehall Italianate cottage	С
552 6	60-10		ca 1875	astylistic Victorian cottage	С
553 8	60-9		ca 1915-1930	Arts & Crafts	С



THIS PLAN FOR MORTGAGE PURPOSES—NOT FOR BOUNDARY DETERMINATION. BOUNDARY INFORMATION TAKEN FROM EXISTING RECORDS.



2 JACKSON STREET

"I HEREBY CERTIFY TO GUARANTEED RATE AFFINITY, LLC THAT THE DWELLING IS LOCATED ON THE LOT AS SHOWN AND THAT IT DOES CONFORM WITH THE CITY OF NEWBURYPORT ZONING REGULATIONS REGARDING SETBACKS FROM STREETS & LOT LINES."

"I FURTHER CERTIFY THAT THIS DWELLING IS NOT LOCATED IN THE FEDERAL FLOOD HAZARD AREA SHOWN ON FEMA COMMUNITY PANEL: #25009C0109F DATED JULY 3, 2012."



7/17/18

DATE

M24959

PLOT PLAN

IN

NEWBURYPORT, MA

DRAWN FOR

JEROME JAMES III BRENDA JAMES

SCALE: 1"=10'

DATE: JULY 17, 2018

MERRIMACK ENGINEERING SERVICES 66 PARK STREET ANDOVER, MASSACHUSETTS 01810



Front View



Right View



Close Right Side



Close Left View



Back Left View



Back Right View



Rear right view



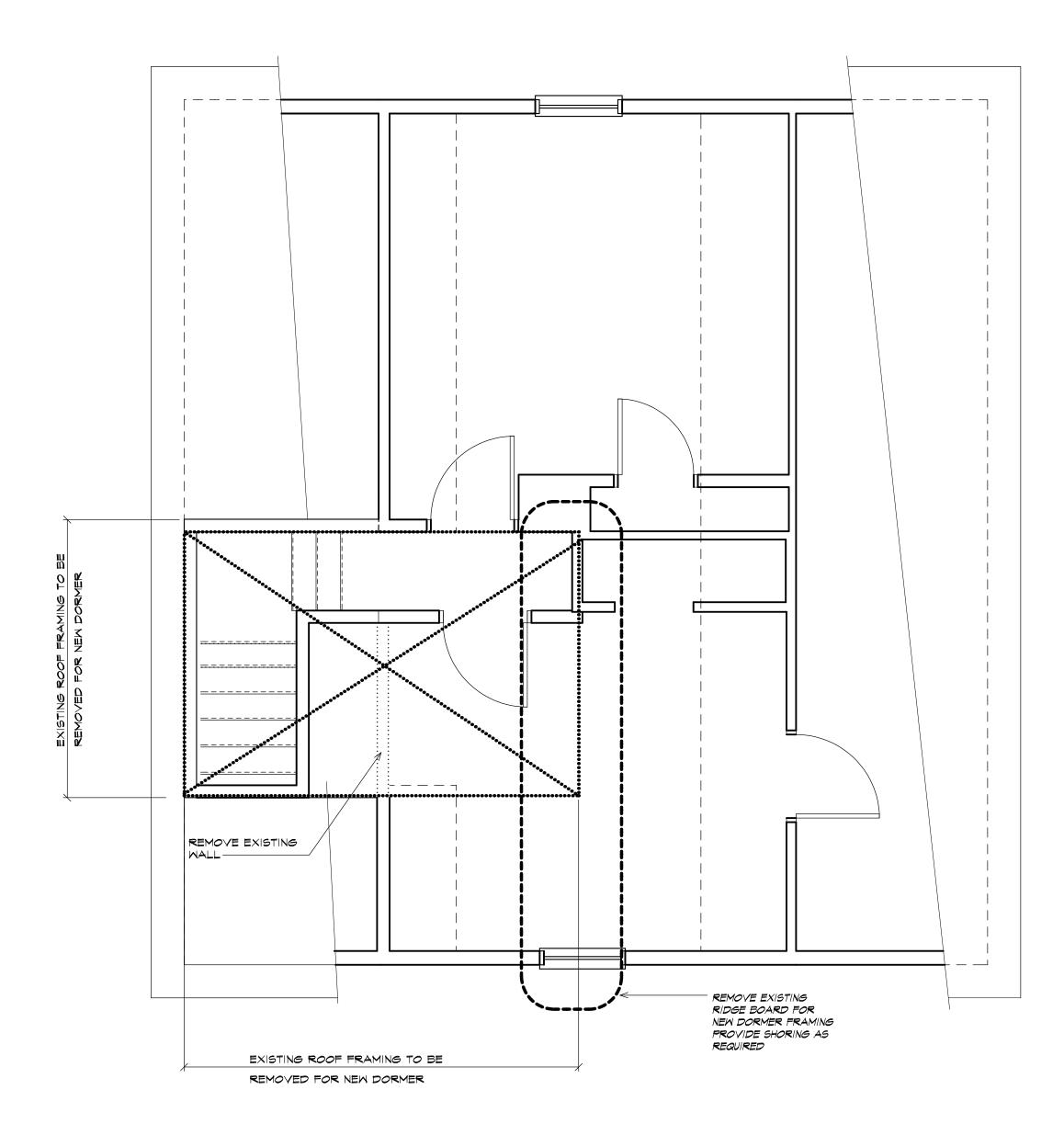
Left side view



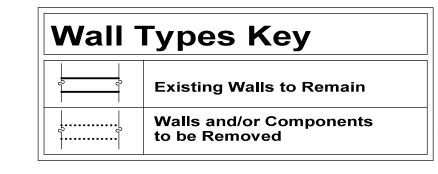
Right side view



Front View







DEMOLITION NOTES

- I. THE GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE AND EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING WORK NECESSARY FOR AND INCIDENTAL TO NEW CONTRACTION.
- 2. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY BETWEEN ASSUMED EXISTING CONDITIONS AND ACTUAL EXISTING CONDITIONS.
- 3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNING AND PROVIDING ALL NECESSARY SHORING TO PREVENT DAMAGE TO EXISTING AND/OR NEW WORK DURING DEMOLITION/CONSTRUCTION.
 4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OF EXISTING WORK WHICH MUST BE TEMPORARILY REMOVED TO PERFORM THE WORK INDICATED IN THESE DRAWINGS. SUCH REPAIRING SHALL RESTORE EXISTING WORK TO ITS ORIGINAL CONDITION.
- 5. THE GENERAL CONTRACTOR SHALL WALK THE SITE WITH THE OWNER TO MARK ALL DEMOLITION ITEMS TO BE STORED BY THE OWNER. ALL OTHER ITEMS SHALL BE REMOVED FROM THE SITE AT THE GENERAL CONTRACTOR'S EXPENSE.
- 6. THE GENERAL CONTRACTOR SHALL PROTECT EXISTING LANDSCAPE ITEMS DURING DEMOLITION AND CONSTRUCTION. THIS SHALL INCLUDE CONSTRUCTION OF ANY TEMPORARY BARRICADES NECESSARY FOR PROTECTION OF THESE ELEMENTS. ANY DAMAGE TO EXISTING LANDSCAPE ITEMS MARKED BY THE OWNER TO BE SALVAGED SHALL BE RECTIFIED TO PRE-CONSTRUCTION CONDITION AT THE GENERAL CONTRACTOR'S EXPENSE
- T. THE GENERAL CONTRACTOR SHALL ERECT TEMPORARY BARRICADES AS NECESSARY TO PROTECT NEW OR EXISTING WORK FROM DAMAGE FROM, BUT NOT LIMITED TO CONSTRUCTION, DEMOLITION AND WEATHER.

 8. AT AREAS OF EXISTING WORK TO REMAIN, DEMOLITION WORK SHALL BE TO THE LEAST EXTENT POSSIBLE TO PERFORM NEW WORK.
- 9. THE GENERAL CONTRACTOR SHALL LEGALLY DISPOSE OF ALL CONSTRUCTION DEBRIS OFF SITE.

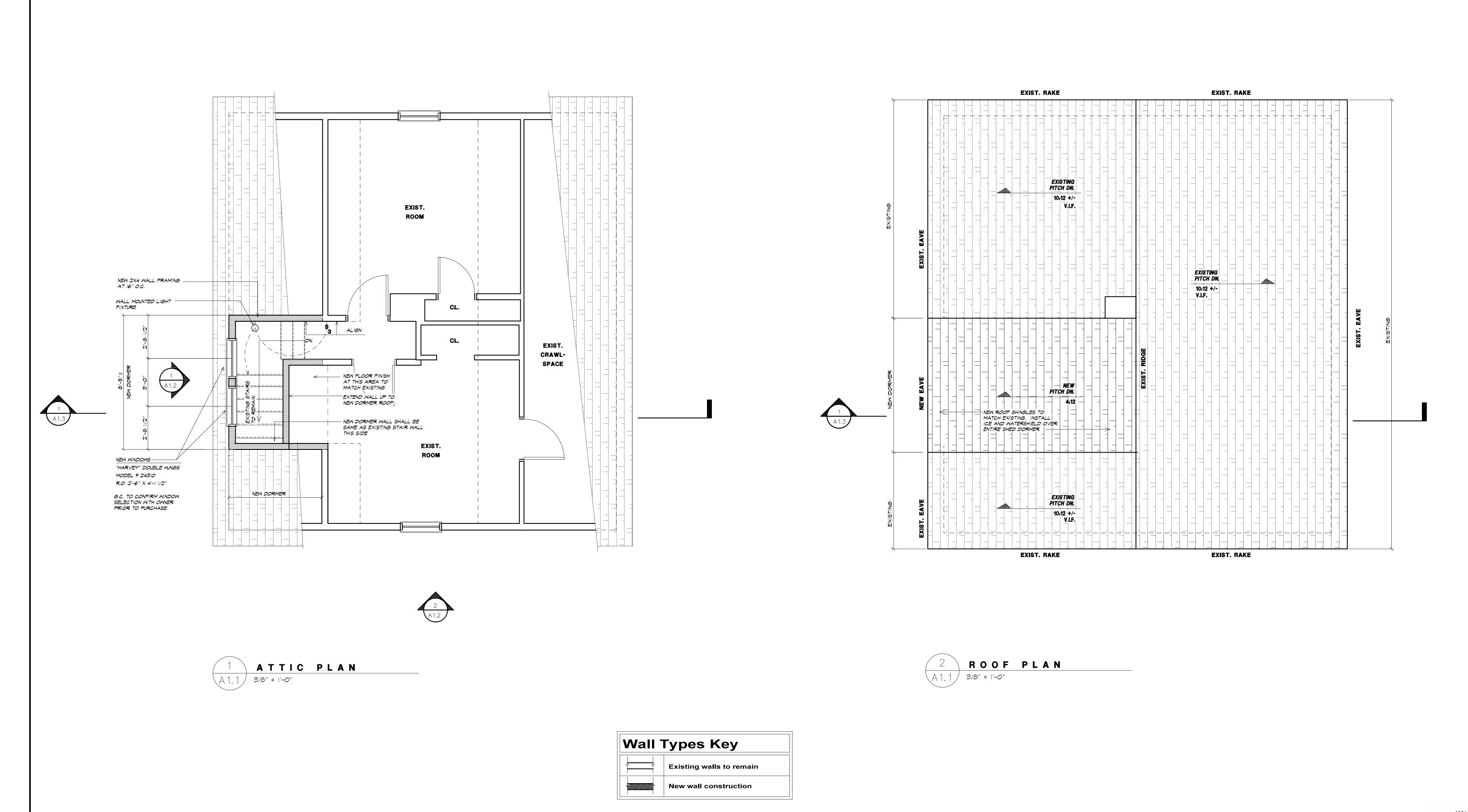


FOR PERMIT/CONSTRUCTION - 06/11/19

JAMES RESIDENCE - DORMER ADDITION 2 JACKSON STREET, NEWBURYPORT MA SHEET TITLE
DEMOLITION ATTIC PLAN

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FOR PERMIT/CONSTRUCTION - 06/11/19

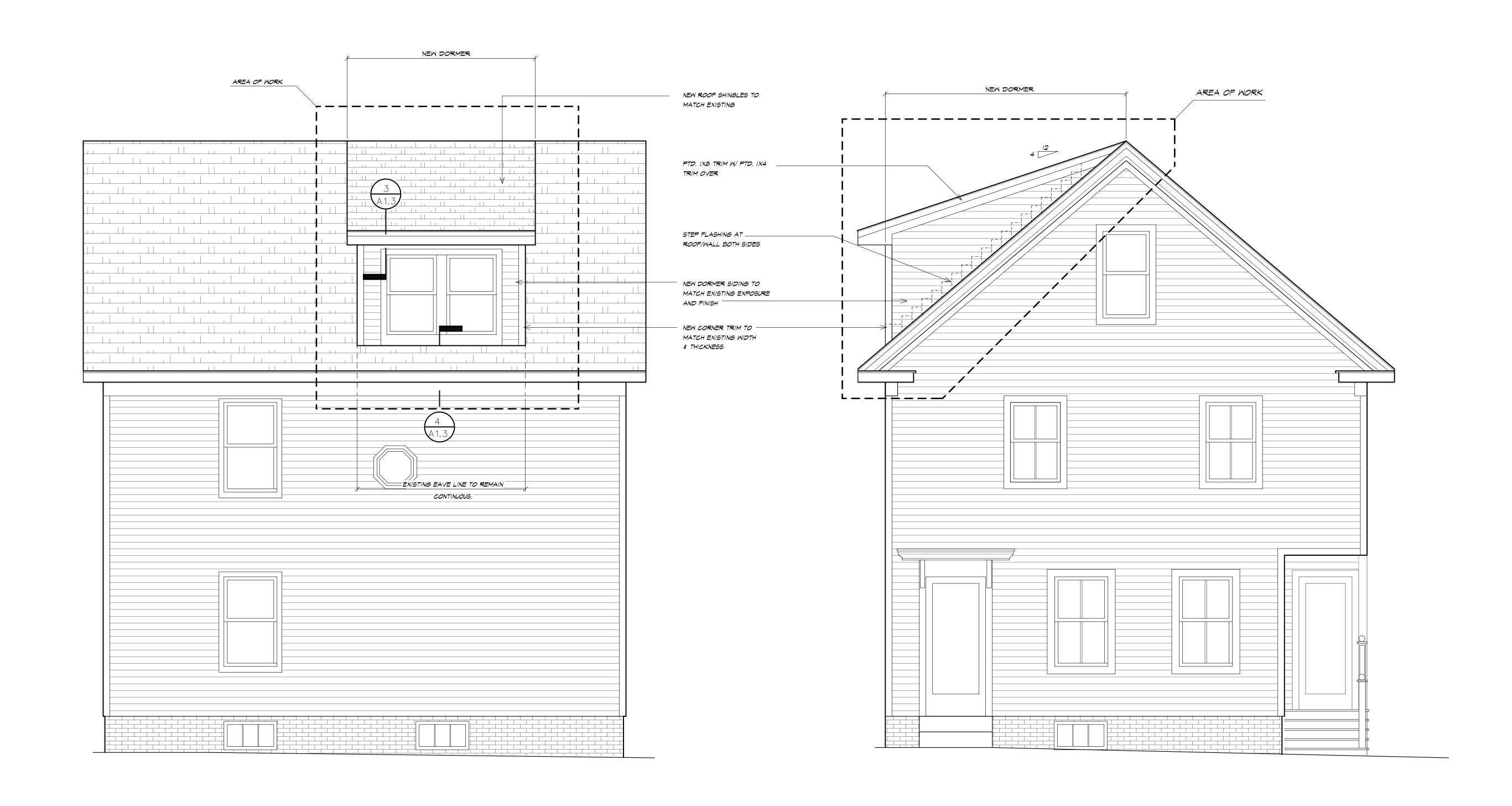
JAMES RESIDENCE - DORMER ADDITION 2 JACKSON STREET, NEWBURYPORT MA

SHEET TITLE
ATTIC FLOOR PLAN
& ROOF PLAN

DATE: 06/11/19

SHEET NO.

A1.1







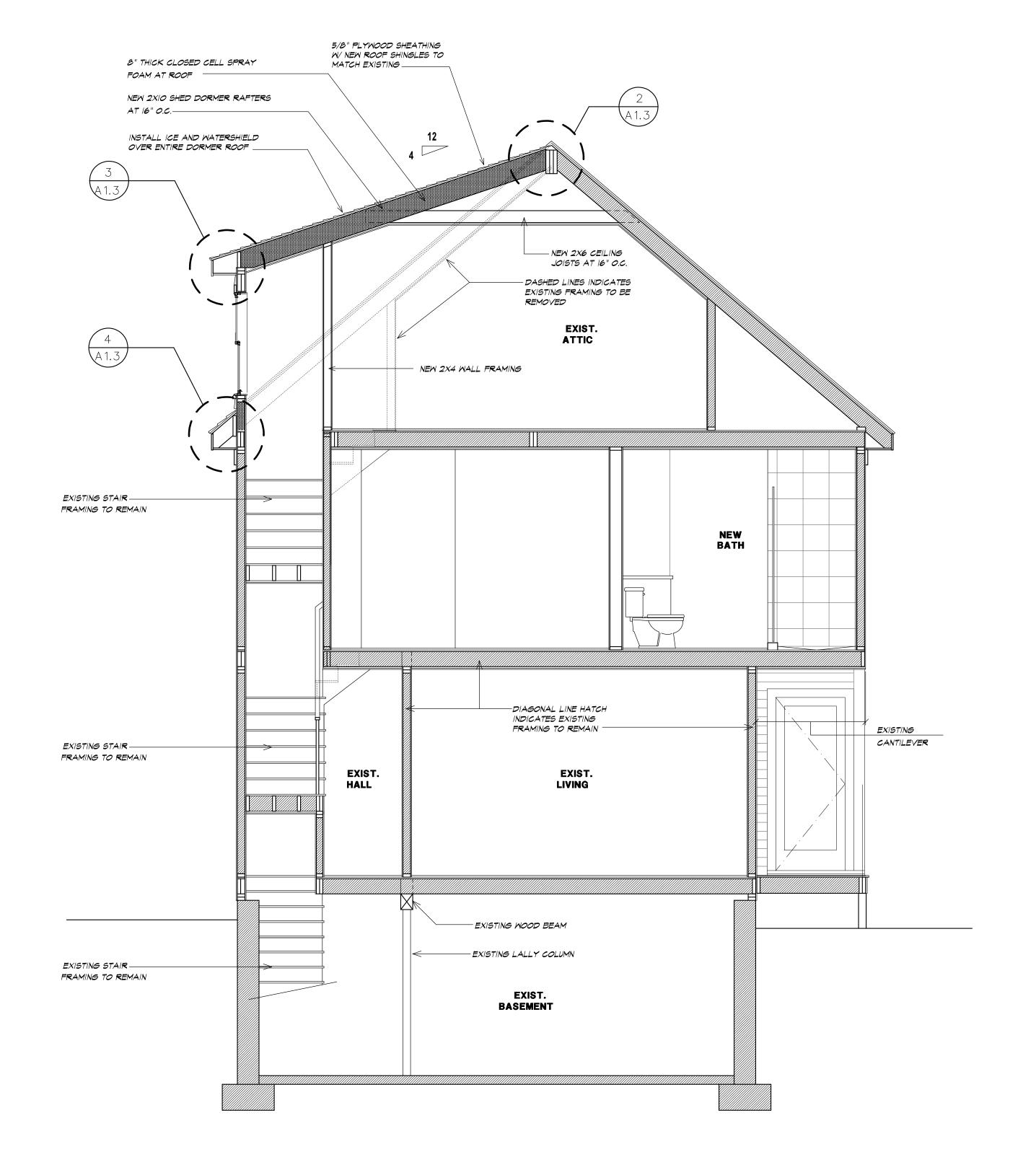


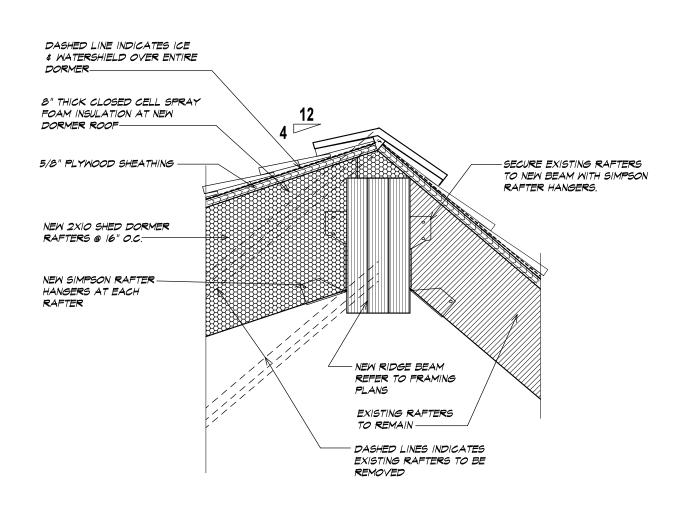
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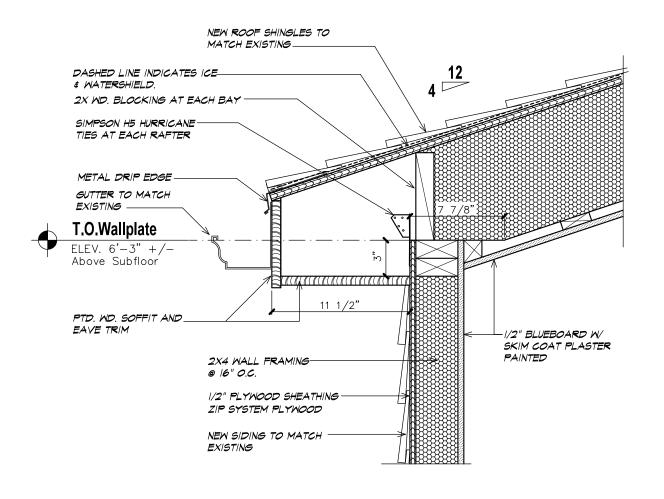
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SHEET NO.

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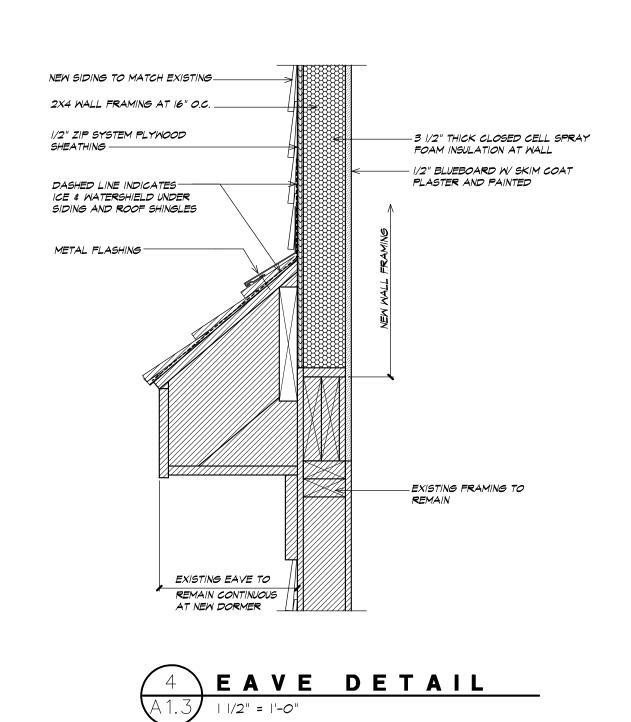
















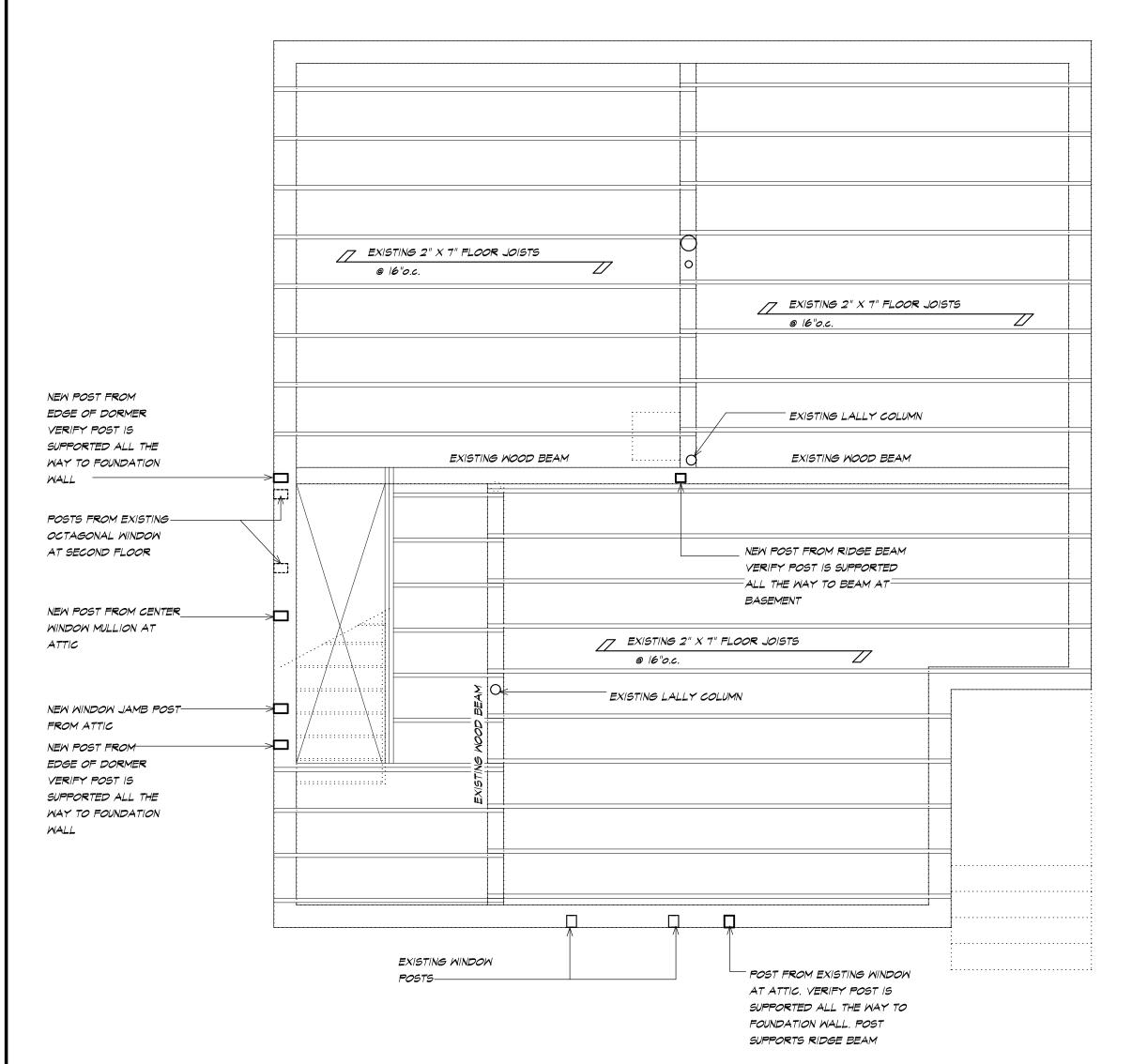
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JAMES RESIDENCE - DORMER ADDITION 2 JACKSON STREET, NEWBURYPORT MA SHEET TITLE
SECTION & DETAILS

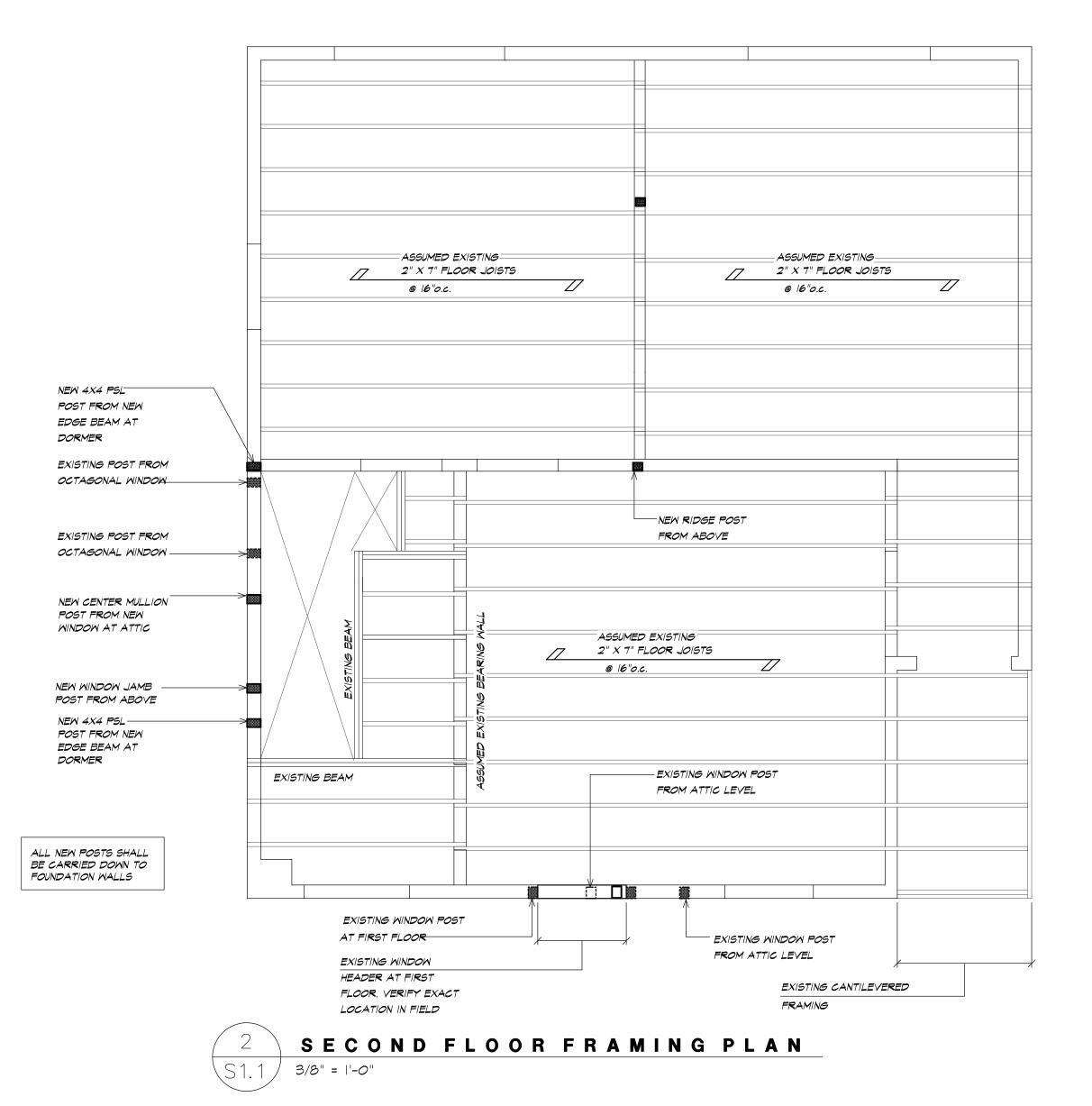
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DATE: 06/11/19







TYPICAL STRUCTURAL NOTES

GENERAL REQUIREMENTS

ALL WORK SHALL COMPLY WITH THE FOLLOWING:
 MASSACHUSETTS STATE BUILDING CODE, NINTH EDITION; IRC 2015
 LOCAL BUILDING CODE REQUIREMENTS;
 ACI CODE 301, 315, AND 318;
 ACI CODE 530

AWS STRUCTURAL WELDING CODE;
AISC SPECIFICATION FOR THE DESIGN, FABRICATION, ERECTION OF STRUCTURAL
STEEL FOR BUILDINGS
THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION

2.ALL STRUCTURAL WORK SHALL BE COORDINATED WITH THAT OF RELATED TRADES.
STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL,
AND ELECTRICAL DRAWINGS. AND EXISTING CONDITIONS DATA.

AND ELECTRICAL DRAWINGS, AND EXISTING CONDITIONS DATA.

3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH FABRICATION AND CONSTRUCTION AND SHALL BE RESPONSIBLE FOR

4. SUBMIT SHOP DRAWINGS FOR STRUCTURAL STEEL, AND REINFORCING STEEL FOR CONCRETE. WORK SHALL BE DONE FROM APPROVED SHOP DRAWINGS ONLY.

DIMENSIONAL COORDINATIONS. NOTIFY THE ARCHITECT OF ANY AND ALL

5. THE GENERAL CONTRACTOR SHALL TAKE INTO ACCOUNT DIFFERENTIALS IN SHRINKAGE BETWEEN ENGINEERED LUMBER AND NOMINAL LUMBER. THE CONTRACTOR SHALL FOLLOW ENGINEERED LUMBER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS FOR LIMITING THE EFFECTS OF SHRINKAGE DIFFERENCES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING AGAINST WIND FORCES AND ALL CONSTRUCTION LOADS THROUGHOUT THE WORK.

TIMBER FRAMING

ALL LAMINATED VENEER LUMBER (LVL) FOR BEAMS SHALL BE 1.9E MICROLLAM LVL AS MANUFACTURED BY TRUS JOIST MACMILLAN.
 ALLOWABLE DESIGN PROPERTIES FOR 1.9E MICROLLAM LVL ARE AS FOLLOWS:

Character of Flattation	0 110 750
Shear Modulus of Elasticity	G = 118,750 psi
Modulus of Elasticity	$E = 1.9 \times 106$
Flexural Stress	Fb = 2,600 psi
Compression Perpendicular to Grain	
Parallel to glue line	Fc⊥ = 750 psi
COMPRESSION PARALLEL TO GRAIN	FC = 2,510 PSI
Horizontal Shear Perpendicular to glue line	Fv = 285 psi

3. FOR MICROLLAM LVL BEAM MULTIPLE ASSEMBLIES

FOR 2 PIECE ASSEMBLY USE 2 ROWS 16d COMMON NAILS AT 12 INCH O.C. WITH 2 INCH MINIMUM EDGE DISTANCE.
 FOR 3 or 4 PIECE ASSEMBLY USE 2 ROWS OF 1/2 INCH DIAMETER A307 THROUGH BOLTS AT 12 INCH O.C. BOLT HOLES ARE TO BE THE SAME DIAMETER AS THE BOLT, LOCATED 2 INCHES FROM THE TOP AND BOTTOM OF THE MEMBER. WASHERS SHOULD BE USED UNDER HEAD AND NUT.

4. ALL PARALLEL STRAND LUMBER (PSL) FOR COLUMNS SHALL BE 1.8E PARALLAM PSL AS MANUFACTURED BY TRUS JOIST MACMILLAN.

5. ALLOWABLE DESIGN PROPERTIES FOR 1.8E PARALLAM PSL ARE AS FOLLOWS:

Modulus of Elasticity	E = 1.8 x 106 ps
Flexural Stress	Fb = 2,400 psi
Compression Parallel to Grain	Fc = 2,500 psi

6. THE ALLOWABLE HOLE ZONE FOR PARALLAM PSL AND MICROLLAM LVL BEAMS IS LIMITED TO THE MIDDLE THIRD OF THE BEAM SPAN AND THE MIDDLE THIRD OF THE BEAM DEPTH. ALL HOLES SHALL BE ROUND, LIMITED TO A MAXIMUM DIAMETER OF 2 INCHES, AND BE SPACED HORIZONTALLY AT A MINIMUM OF 2 TIMES THE MAXIMUM ALLOWABLE DIAMETER.

7. ALL CONVENTIONAL LUMBER SHALL BE SPRUCE-PINE-FIR (SPF) NO. 2 OR BETTER AND SHALL HAVE THE FOLLOWING DESIGN PROPERTIES:

Modulus of Elasticity	E = 1.4 x 106 psi
Flexural Stress	Fb = 1,000 psi
Compression Perpendicular to Grain	Fc⊥ = 425 psi
Compression Parallel to Grain	Fc = 1,100 psi
Shear Parallel to the Grain	Fv = 70 psi

8. ALL PRESSURE TREATED WOOD SHALL BE SOUTHERN YELLOW PINE #2 DENSE.

9. ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESSURE TREATED.

10. ALL JOIST HANGERS SHALL BE FACE MOUNT OR TOP FLANGE HANGERS AS MANUFACTURED BY SIMPSON STRONG—TIE COMPANY AS SHOWN ON THE DRAWINGS. TO ACHIEVE THE MAXIMUM HANGER LOAD CAPACITY, ALL ROUND AND TRIANGULAR NAIL HOLES (WHEN PRESENT) SHALL BE

11. AT ALL LOCATIONS REQUIRING FLUSH FRAMING NOT SPECIFICALLY NOTED OTHERWISE, PROVIDE HEAVY DUTY LIGHT GAGE BEAM/JOIST HANGERS. CONSULT ARCHITECT FOR SPECIFIC SIZE REQUIREMENTS. PROVIDE HANGERS AS APPROPRIATE TO CONVENTIONAL AND/OR ENGINEERED LUMBER.

FILLED WITH THE NAIL SIZE AND TYPE SPECIFIED BY THE HANGER MANUFACTURER.

12. ALL CONNECTORS/FASTENERS USED IN EXTERIOR OR DAMP APPLICATIONS TO BE HOT DIP GALVANIZED OR STAINLESS STEEL UNLESS OTHERWISE NOTED.

13. THE GENERAL CONTRACTOR SHALL DETERMINE SPECIAL ORDER REQUIREMENTS FOR ANY SPECIALTY CONNECTORS (LIGHT GAGE OR FABRICATED STEEL) SPECIFIED ON PLANS.

COORDINATE ORDERING AND/OR FABRICATION TO PREVENT ANY DELAYS DURING

14. PROVIDE SIMPSON HGA10 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS

15. PLYWOOD WALL SHEATHING, ROOF SHEATHING, AND SUBFLOORING SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE 3/4 IN. THICK TONGUE AND GROOVE, AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO SCREWING. ROOF SHEATHING SHALL BE 5/8 IN. THICK AND SHALL BE ALIGNED WITH METAL H CLIPS BETWEEN RAFTERS. WALL SHEATHING SHALL BE 1/2 IN. THICK

16. NAIL ALL PLYWOOD SHEATHING AND DECKING IN ACCORDANCE WITH MASSACHUSETTS BUILDING CODE APPENDIX C, UNLESS OTHERWISE NOTED.

17. FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.

18. MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.

19. AT ALL BEAM POCKET LOCATIONS ALLOW MINIMUM 1/2 IN. AIRSPACE AROUND ALL SIDES OF WOOD FRAMING MEMBERS. TREAT END GRAIN AND BEARING AREA OF ALL WOOD FRAMING MEMBERS AT BEAM POCKETS WITH CREOSOTE AND LINE POCKET WITH ASPHALT IMPREGNATED BUILDING PAPER.

20. PROVIDE SOLID, 5 1/2-INCH-THICK MINIMUM DEEP BEARING FOR ALL BEAMS AND HEADERS,INTERRUPTING RIM BOARDS WHERE NECESSARY. PROVIDE POSTS AND JACKS DIRECTLY BELOW ALL BEAM AND HEADER BEARINGS OF TOTAL WIDTH NOT LESS THAN THAT OF BEAM OR HEADER BEARING.

21. ALL STRUCTURAL WOOD POSTS SHALL BE BLOCKED SOLID DOWN TO BEARING BELOW UNLESS OTHERWISE NOTED.

22. PROVIDE ALL NAILING IN ACCORDANCE WITH MASSACHUSETTS STATE BUILDING CODE APPENDIX C, UNLESS NOTED AS GREATER ON DRAWINGS.

DESIGN LOADS - LIVE LOADS

WALL WIND LOAD L/600

DESIGN LUADS -	- LIVE LUADS
SLAB ON GRADE WOOD FLOORS	100 PSF
ROOM'S FIRST	40 PSF
ROOM'S SECOND	30 PSF
SNOW (MIN DESIGN LD) SNOW (AT DRIFTING) WIND. SESMIC	
MIND, SESMIC	THE MASS. STATE BUILDING CODE
DEFLECTION CRITERIA	
ROOF LIVE LOAD	L/360 L/480

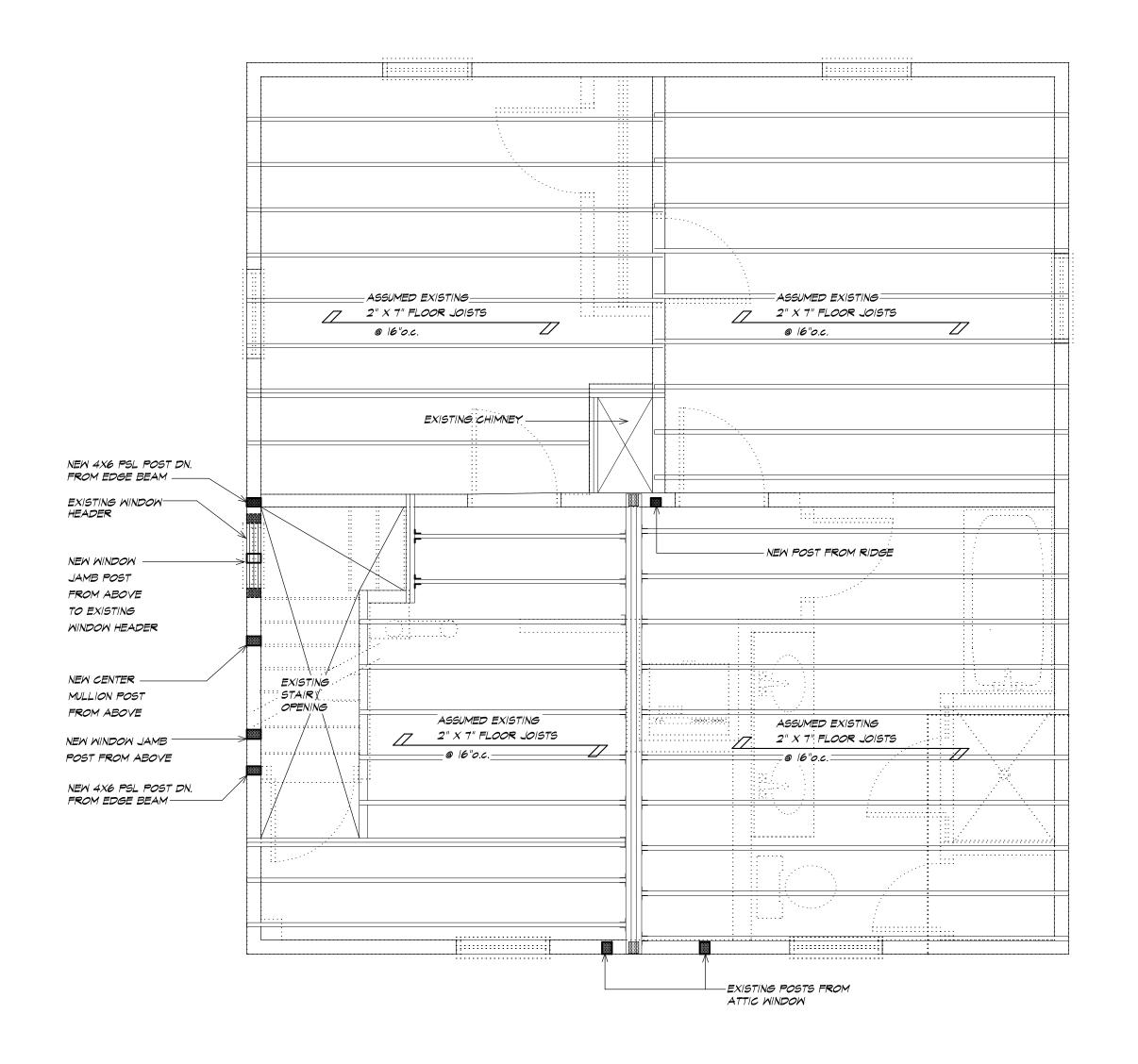
FOR PERMIT/CONSTRUCTION - 06/11/19

JAMES RESIDENCE - DORMER ADDITION 2 JACKSON STREET, NEWBURYPORT MA SHEET TITLE FRAMING PLANS

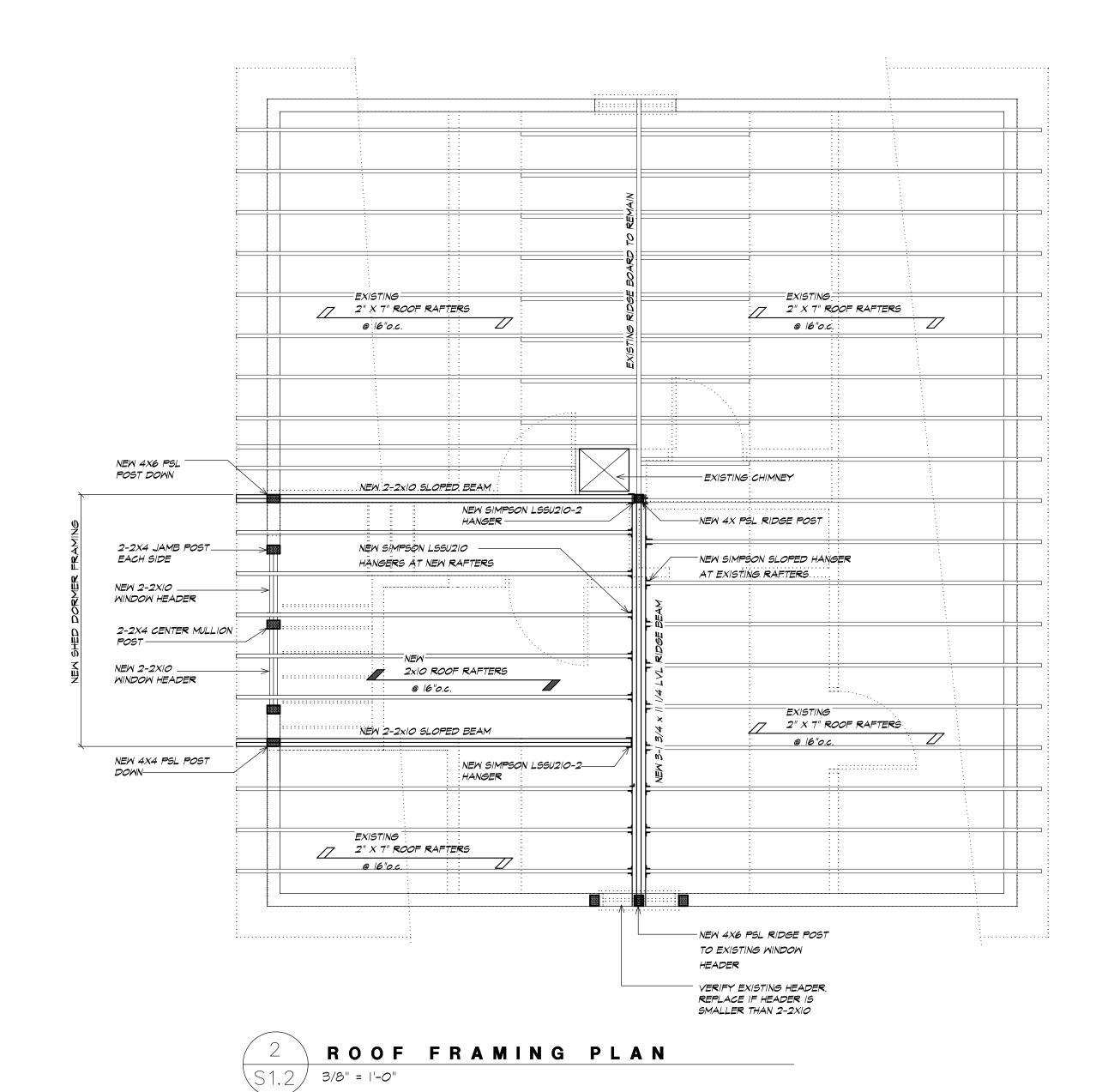
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DATE: 06/11/19







FOR PERMIT/CONSTRUCTION - 06/11/19

JAMES RESIDENCE - DORMER ADDITION 2 JACKSON STREET, NEWBURYPORT MA

SHEET TITLE FRAMING PLANS SHEET NO.

S1.2

DATE: 06/11/19