



INSTITUTION FOR SAVINGS

Building Stronger Communities Together Since 1820

PLANNING BOARD SUBMITTAL

March 10, 2021

Civil Drawings



PERMIT SITE DEVELOPMENT PLANS
(TO ACCOMPANY A SITE PLAN REVIEW APPLICATION)

93 STATE STREET
(MAP: 14 LOTS: 39 & 40)

LOCATED IN
NEWBURYPORT, MASSACHUSETTS

DATE: JANUARY 8, 2020
REVISED: FEBRUARY 6, 2020
REVISED: MARCH 25, 2020
REVISED: MAY 20, 2020
REVISED: OCTOBER 14, 2020
REVISED: JANUARY 06, 2021
REVISED: MARCH 10, 2021

OWNER/APPLICANT:
INSTITUTION FOR SAVINGS
93 STATE STREET
NEWBURYPORT, MASSACHUSETTS 01950

 **MERIDIAN ASSOCIATES**
500 CUMMINGS CENTER SUITE 9996 BEVERLY, MASSACHUSETTS 01915 TELEPHONE: (978) 299-0447 WWW.MERIDIANASSOC.COM
60 MILK STREET SUITE 208 WESTBOROUGH, MASSACHUSETTS 01581 TELEPHONE: (508) 871-7000

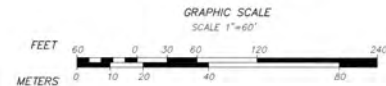
DRAWING INDEX:

- SHEET 1 COVER SHEET
- SHEET 2 RECORD CONDITIONS/DEMOLITION PLAN
- SHEET 3 SITE LAYOUT, GRADING & EROSION CONTROL PLAN
- SHEET 4 SITE UTILITY PLAN
- SHEET 5 LANDSCAPING PLAN
- SHEET 6 SITE DETAILS
- SHEET 7 SITE DETAILS

APPROVED BY PLANNING BOARD

DATE: _____

LOCUS CONTEXT MAP



TEMPORARY BENCHMARK CHART

T.B.M.#	DESCRIPTION	ELEVATION
△	4-CUT RIGHT FRONT CAP BOLT HYDRANT 2 FT 4 S.	102.83
△	TOP OF GRANITE POST, 3.5' A.D.	107.26

(SEE NOTE #1)



EXISTING LEGEND:

- ONE FOOT CONTOUR
- FIVE FOOT CONTOUR
- GRANITE CURB
- IRON FENCE
- WOOD FENCE
- RETAINING WALL
- BRICK
- CONCRETE
- ASPHALT PARKING AREA TO BE REMOVED
- GRAVEL/GRASS PARKING AREA
- SOIL
- HANDICAP MARK
- WALKWAY
- BENCH
- DECIDUOUS TREE
- UNIDENTIFIED TREE
- COMPLETED GAS LINE
- GAS GATE
- GAS METER
- COMMUNICATIONS LINE
- HANDICAPPED CABLE PAVEMENT MARKING
- TELEPHONE MANHOLE
- OVERHEAD WIRES
- COMPLETED ELECTRIC LINE
- LIGHT POLE
- ELECTRIC MANHOLE
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- LEFT WIRE
- ELECTRIC HANDSICLE
- AIR CONDITIONER
- GRASS LINE
- COMPLETED DRAIN LINE
- GRASS MANHOLE
- COMPLETED DRAIN MANHOLE
- CATCH BASIN
- COMPLETED CATCH BASIN
- AREA DRIP/ROUND CATCH BASIN
- SO-CALLED CATCH BASIN
- SCOURABLE CATCH BASIN
- SEWAGE LINE
- WATER LINE
- COMPLETED WATER LINE
- UNDERGROUND WATER EAST MARKING
- WATER GATE
- COMPLETED WATER GATE
- HYDRANT
- WATER SERVICE
- REGULATOR CONTROL VALVE
- SEWER LINE
- COMPLETED SEWER LINE
- SEWER MANHOLE
- COMPLETED SEWER MANHOLE
- MANHOLE
- TERMINAL ENLARGING
- ROCKE LINDING
- BITUMINOUS CONCRETE
- CAST IRON
- CONCRETE
- CONCRETE
- CONCRETE
- FINISHED FIRST FLOOR
- SOIL
- GENERATOR
- CONCRETE CURB
- WALKWAY
- POLYURETHANE CHORDS
- POLE
- STONE AS TAMPING WALL
- TO BE REMOVED

**93 STATE STREET
 RECORD CONDITIONS & DEMO PLAN
 LOCATED IN
 NEWBURYPORT, MASSACHUSETTS
 (ESSEX COUNTY)**

MERIDIAN ASSOCIATES
 300 WASHINGTON STREET, SUITE 100
 NEWBURYPORT, MASSACHUSETTS 01960
 TEL: (978) 531-1100
 WWW.MERIDIANASSOCIATES.COM

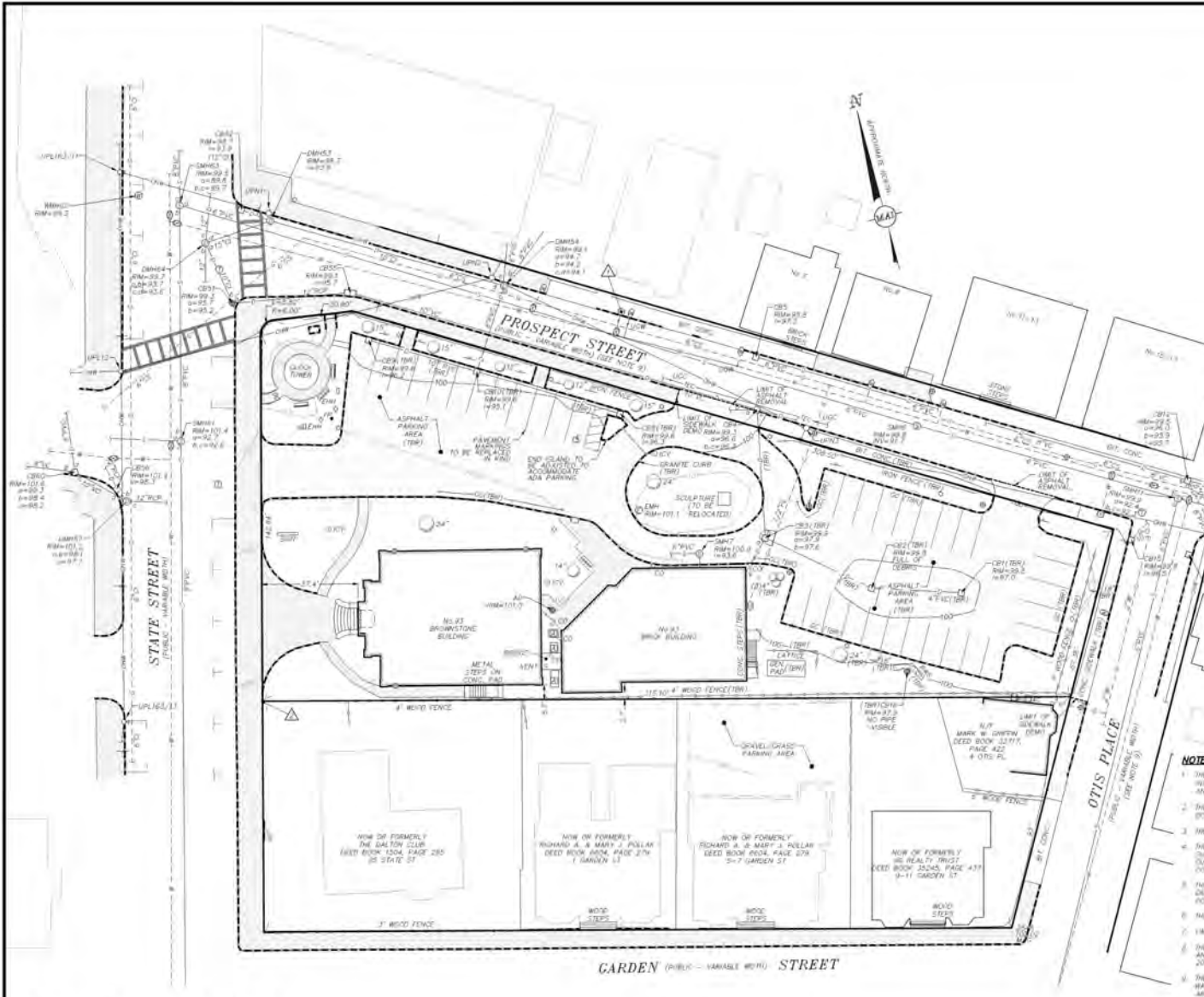
DATE: OCTOBER 14, 2020
 SCALE: 1"=50'
 SHEET NO: 2 of 7
 PROJECT NO: 6215

REVISIONS

NO.	DATE	DESCRIPTION
1	02/07/21	REVISED SUBMISSION
2	07/06/21	REVISED SUBMISSION
3	07/06/21	REVISED SUBMISSION



PREPARED BY: MVE
 CHECKED BY: DCF



NOTES:

- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN "AS SHOWN" SURVEY CONDUCTED BY THE BOUNDARY SURVEYING ASSOCIATES, INC. (BSA) IN APRIL 1999, 2013, 2019, AND JANUARY 2020.
- THE SUBJECT PROPERTY IS LOCATED IN THE DOWNTOWN BUSINESS DISTRICT (BD2) AND THE DOWNTOWN OVERLAY (DOH) DISTRICT.
- THE SUBJECT PROPERTY IS DEPICTED AS LOTS 29 & 30 ON CITY OF NEWBURYPORT ASSESSOR'S MAP 14.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT OR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT THE STATE AT 811.
- THIS PLAN DOES NOT SHOW ANY UNDERGROUND OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO DISCOVER ANY APPLICABLE USABLE USES OF THE LAND. HOWEVER, THE NOTES DO NOT CONSTITUTE A WARRANTY THAT NO SUCH EASEMENTS EXIST.
- THE ELEVATIONS DEPICTED HEREON ARE BASED ON AN ASSUMED DATUM.
- LIMITED PROPERTY LINES ARE DEPICTED HEREON.
- THE SUBJECT PREMISES IS LOCATED IN FLOOD ZONE A (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 250500200M DATED JULY 10, 2014.
- THE RIGHT OF WAY LINES FOR 100' AND PROSPECT STREET WERE BASED UPON EVIDENCE OF OCCUPATION. AN ATTEMPT WAS MADE TO OBTAIN ANY APPLICABLE USABLE USES OF THE LAND. HOWEVER, THE NOTES DO NOT CONSTITUTE A WARRANTY THAT NO SUCH EASEMENTS EXIST.
- ALL VEGETATION INCLUDING TREES, SHRUBS, AND LANDSCAPED AREAS NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED UNTIL THE COMPLETION OF ALL CONSTRUCTION RELATED ACTIVITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MINIMIZE THE DISTURBANCE OF ANY WORK PERFORMED INSIDE OF THE "ROOT ZONE".

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION

GRAPHIC SCALE
SCALE: 1"=20'



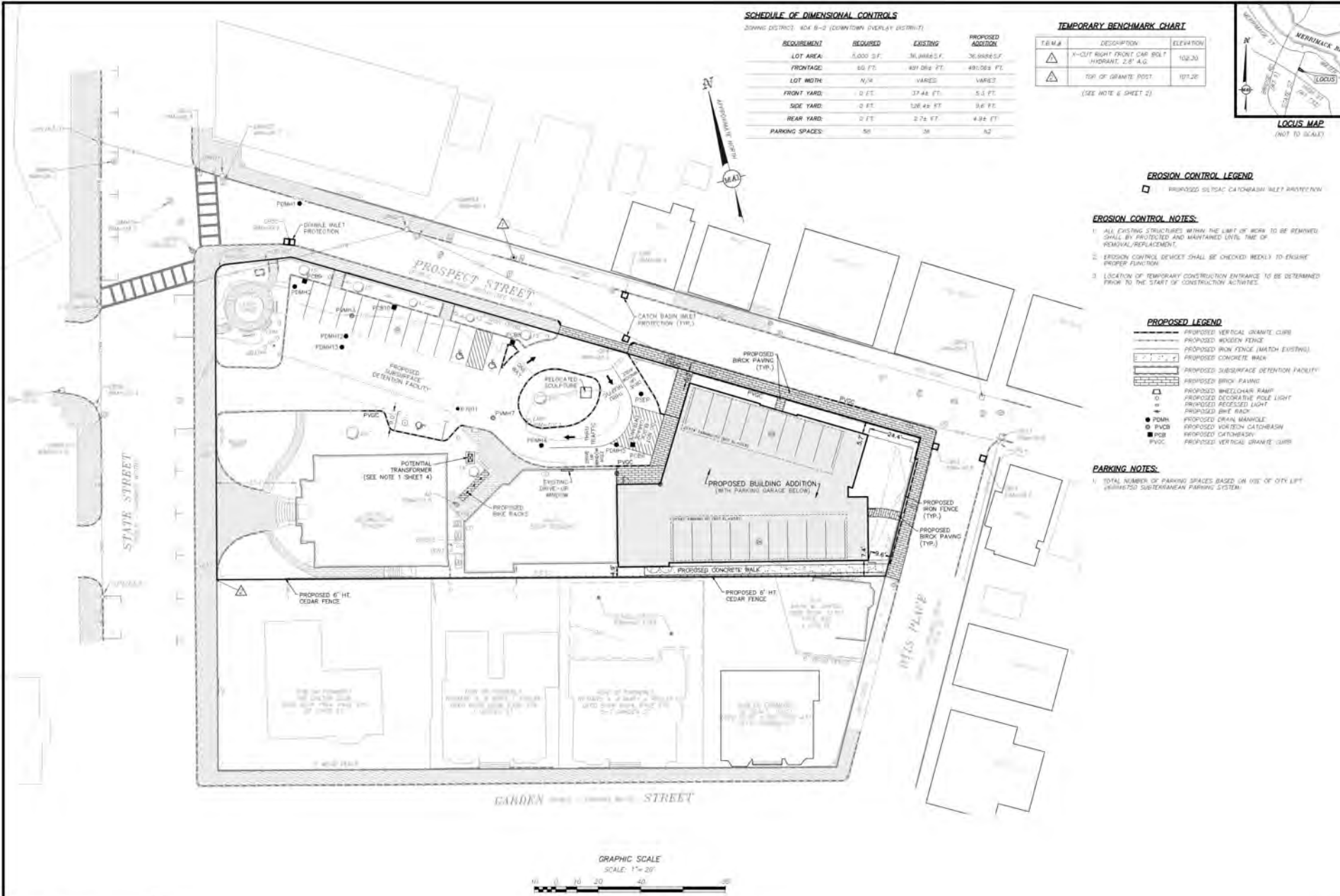
RECORD OWNER:
 INSTITUTION FOR SAVINGS BY
 NEWBURYPORT AND ITS SIBS
 11 STATE STREET
 NEWBURYPORT, MASSACHUSETTS 01960

— DEED BOOK 264, PAGE 31
 — DEED BOOK 1854, PAGE 347
 — DEED BOOK 1855, PAGE 214
 — DEED BOOK 1423, PAGE 564
 — DEED BOOK 2448, PAGE 338
 — DEED BOOK 6786, PAGE 210

REFERENCES:
 — PLAN BOOK 18, PLAN 13
 — PLAN BY RECORD BOOK 2526, PAGE 4
 — PLAN NO. OF 1945
 — PLAN NO. OF 1293

DOCUMENTS ON RECORD AS THE CITY OF NEWBURYPORT PROPERTY OF DEED.

INC #021, #0, #17, #40
 INC. NO. 6215, RECORD



SCHEDULE OF DIMENSIONAL CONTROLS

(ZONING DISTRICT: R24 B-2 (COURTOWN OVERLAY DISTRICT))

REQUIREMENT	REQUIRED	EXISTING	PROPOSED ADDITION
LOT AREA:	5,000 S.F.	36,388 S.F.	36,888 S.F.
FRONTAGE:	60 FT.	491.084 FT.	491.084 FT.
LOT WIDTH:	N/A	VARIABLE	VARIABLE
FRONT YARD:	0 FT.	37.44 FT.	5.3 FT.
SIDE YARD:	0 FT.	126.44 FT.	3.6 FT.
REAR YARD:	0 FT.	274 FT.	4.94 FT.
PARKING SPACES:	58	36	42

TEMPORARY BENCHMARK CHART

T.B.M.#	DESCRIPTION	ELEVATION
△	X-CUT RIGHT FRONT CORNER BOLT HYDRANT 2.8' A.G.	102.30
△	TOP OF GRANITE POST	107.20

(SEE NOTE 6 SHEET 2)



EROSION CONTROL LEGEND

- PROPOSED SILT/SAC CATCH BASIN W/LET PAVEMENT

EROSION CONTROL NOTES:

- ALL EXISTING STRUCTURES WITHIN THE LIMIT OF WORK TO BE REMOVED SHALL BE PROTECTED AND MAINTAINED UNTIL TIME OF REMOVAL/REPLACEMENT.
- EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY TO ENSURE PROPER FUNCTION.
- LOCATION OF TEMPORARY CONSTRUCTION ENTRANCE TO BE DETERMINED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

PROPOSED LEGEND

- PROPOSED VERTICAL GRANITE CURB
- PROPOSED IRON FENCE
- PROPOSED IRON FENCE (MATCH EXISTING)
- PROPOSED CONCRETE WALK
- PROPOSED SUBSURFACE DETENTION FACILITY
- PROPOSED BRICK PAVING
- PROPOSED WHEELCHAIR RAMP
- PROPOSED RECESSED POLE LIGHT
- PROPOSED RECESSED LIGHT
- PROPOSED BIKE RACK
- P.M.H.
- P.V.C.B.
- P.C.B.
- P.V.C.
- PROPOSED DRAIN MANHOLE
- PROPOSED VORTEX CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED VERTICAL GRANITE CURB

PARKING NOTES:

- TOTAL NUMBER OF PARKING SPACES BASED ON USE OF CITY LEFT HANDSIDE SUBTERRANEAN PARKING SYSTEM.

REVISIONS

NO.	DATE	DESCRIPTION
1	01/26/21	REVISED SUBMISSION
2	01/26/21	REVISED SUBMISSION
3	01/26/21	REVISED SUBMISSION



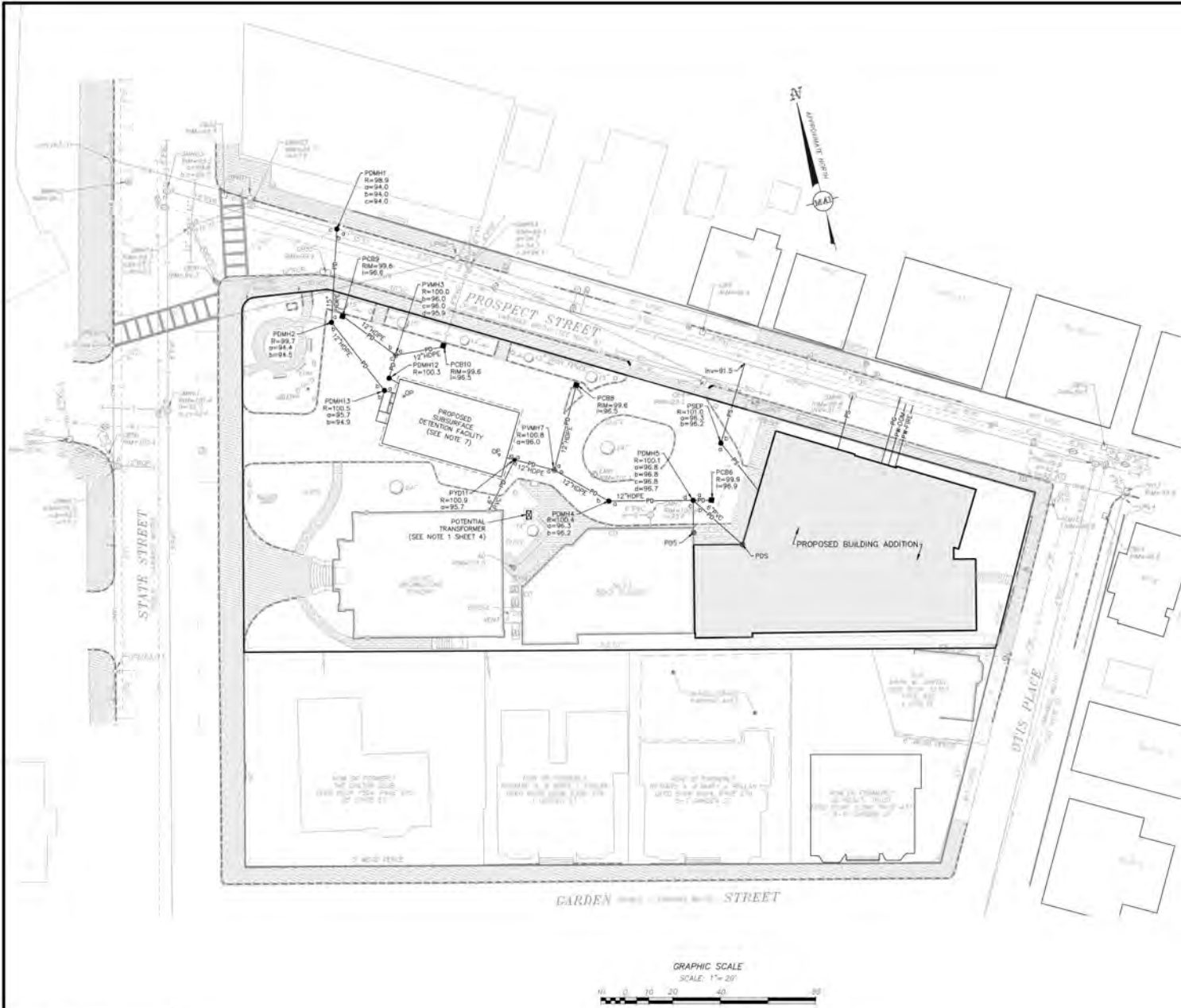
93 STATE STREET
SITE LAYOUT, GRADING & EROSION CONTROL PLAN
 LOCATED IN
NEWBURYPOR, MASSACHUSETTS
 (ESSEX COUNTY)
INSTITUTION FOR SAVINGS

MERIDIAN ASSOCIATES
 300 GARDEN STREET, SUITE 1000
 WESTPORT, MASSACHUSETTS 01891
 TELEPHONE: 978-294-4444
 WWW.MERIDIANASSOCIATES.COM

DATE: OCTOBER 14, 2020
 SCALE: 1"=20'
 SHEET No. **3 of 7**
 PROJECT No. **6215**

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

(REV# 6215-REV)
 (DATE: 01/26/21)



- PROPOSED LEGEND:**
- PD — PROPOSED DRAIN LINE
 - PDMH — PROPOSED DRAIN MANHOLE
 - PDS — PROPOSED DOWNSPOUT
 - PSM — PROPOSED VORTEX MANHOLE
 - PSL — PROPOSED SEWER LINE
 - PFD — PROPOSED FLOOR DRAIN
 - PSD — PROPOSED OIL & GRT SEPARATOR
 - PW — PROPOSED WATER LINE
 - PH — PROPOSED HYDRANT
 - PG — PROPOSED GAS LINE
 - GP — PROPOSED OBSERVATION POINT
 - R — RM ELEVATION
 - W — WE ELEVATION

- PROPOSED UTILITY NOTES:**
1. PROPOSED TRANSFORMER LOCATION IS APPROXIMATE AND MAY CHANGE PER REQUEST OF UTILITY COMPANY. ADDITIONAL UTILITY INFORMATION IS NEEDED TO VERIFY THE FINAL LOCATION.
 2. COORDINATE UTILITY CONSTRUCTION WITH ALL TRADES AND CORRESPONDING DESIGN PLANS FOR CONNECTION TO PROPOSED BUILDING AND SITE UTILITIES.
 3. PROPOSED ELECTRIC AND UTILITY CONNECTIONS DEPICTED HEREON HAVE BEEN PROVIDED FOR SCHEMATIC PURPOSE ONLY. ACTUAL UTILITY CONFIGURATIONS SHALL BE DETERMINED BY RESPECTIVE UTILITY PROVIDERS, MEP SPECIFICATIONS AND ARCHITECTURAL PLANS.
 4. LOCATION OF PROPOSED OIL AND GRT SEPARATOR SHOWN FOR SCHEMATIC PURPOSES ONLY. ALL DESIGN CALCULATIONS AND DETAIL FOR SYSTEM SHALL BE SHOWN ON THE CONSTRUCTION PLANS WHICH WILL BE PROVIDED TO THE BOARD OF HEALTH FOR REVIEW AND APPROVAL.
 5. INTERIOR FLOOR DRAIN SYSTEM SHALL BE DESIGNED BY MEP AND SUBMITTED TO THE OPS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 6. LOCATIONS OF ROOF DRAIN GUTTER DOWNSPOUTS TO BE COORDINATED WITH ARCHITECTURAL PLANS.
 7. REFER TO SHOULDER DETENTION FACILITY DETAIL (SHEET 6) FOR ADDITIONAL INLET INFORMATION.

REVISIONS

NO.	DATE	DESCRIPTION
1	02/02/21	REVISED SUBMISSION
2	07/26/21	REVISED SUBMISSION
3	07/26/21	REVISED SUBMISSION



93 STATE STREET
 SITE UTILITY PLAN
 LOCATED IN
 NEWBURYPORT, MASSACHUSETTS
 (ESSEX COUNTY)
 INSTITUTION FOR SAVINGS

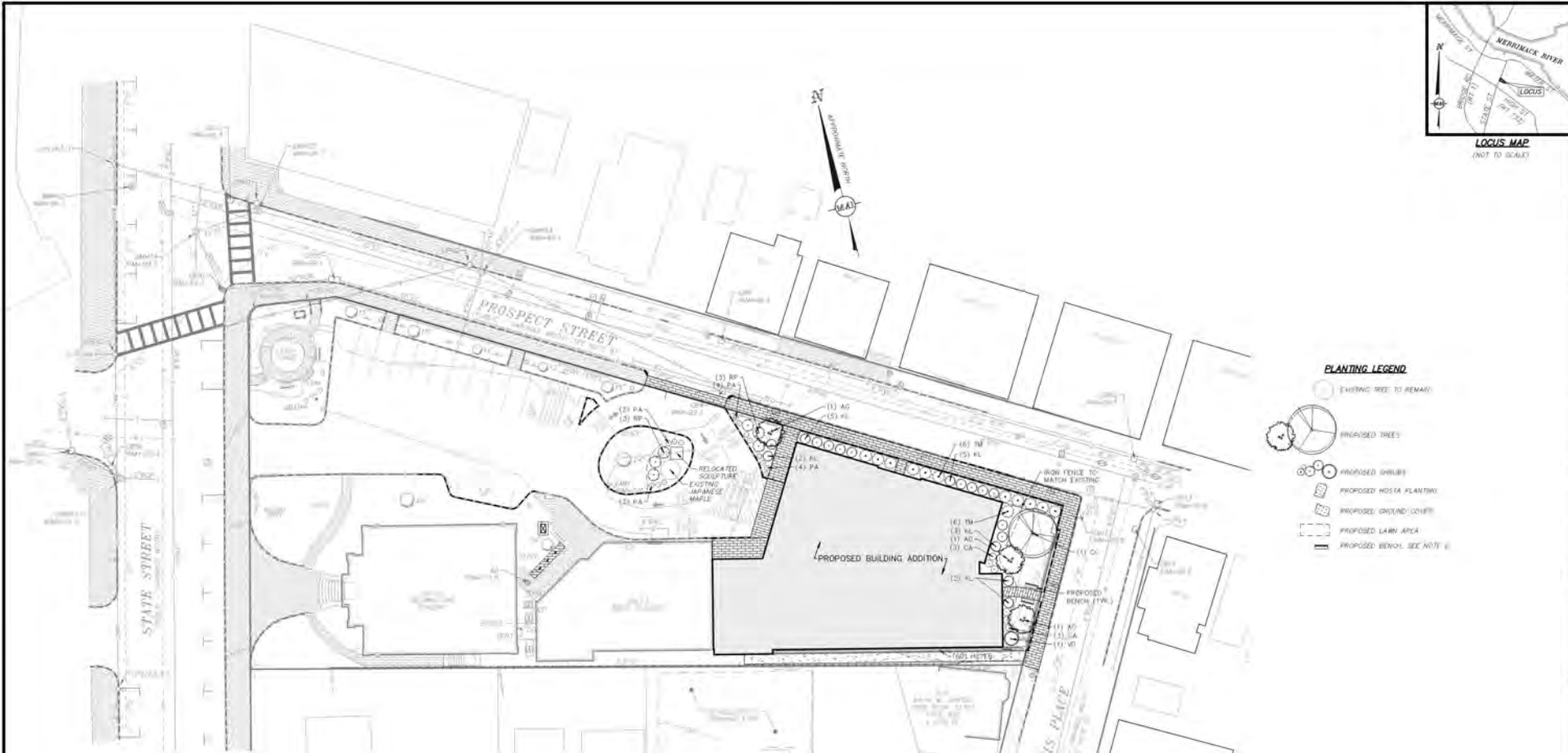
MERIDIAN ASSOCIATES
 300 COMMONWEALTH AVENUE, SUITE 1000
 WESTPORT, MASSACHUSETTS 01881
 TELEPHONE: 978-294-8244
 WWW.MERIDIANASSOCIATES.COM

DATE: OCTOBER 14, 2020
 SCALE: 1"=20'
 SHEET No. 4 of 7
 PROJECT No. 6215

FOR PERMITTING ONLY
 NOT FOR CONSTRUCTION



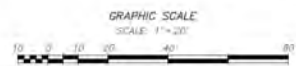
(REV'D 6215-REC)
 DATE: 10/14/20



PLANT SCHEDULE						
QTY	SYM	LATIN NAME	COMMON NAME	SIZE	NOTES	
TREES						
3	AG	Ametricher x grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	6'-8" Ht. M5 B&B	BR N ST White Birds Showy Edible Fruit Fall Color April-May	
1	CC	Carpinus caroliniana	American Hornbeam	3'-3.5' Cal. B&B	DT N White Street Tree Fall Color February	
SHRUBS						
8	CA	Chaetochloa	Summersweet	24"-30" Ht. #3 Pot	BR N ST White Butterflies Showy Fragrant Heavy Shade July-August	
17	KL	Ipomoea latifolia	Mountain Laurel	30"-36" Ht. B&B	N DT ST Evergreen Winter Interest Heavy Shade	
6	RP	Rhododendron x FIM	FIM Rhododendron	24"-30" Ht. #5 Pot	DR 60" OC Purple Winter Interest April	
12	TM	Taxus x media 'Hatfield'	Hatfield Yew	30"-36" Ht. B&B	DT ST 60" OC Evergreen Winter Interest Heavy Shade	
1	VD	Viburnum dentatum 'Ratjak Senior'	Autumn Jazz Arrowwood Viburnum	36"-60" Ht. #7 Pot	BR DR N ST 6' OC White Birds/Butterflies May-June	
PERENNIALS & GROUND COVER						
14	PA	Penstemon albertianus	Penion Sage	#1 Pot	DR DT ST 18" OC Purple Birds/Butterflies June-August	
30	HS	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	ST 30" OC White-Pink Lavender Hummingbirds Showy Heavy Shade July-August	
30	FB	Hosta 'Fragrant Bouquet'	Fragrant Bouquet Hosta	#2 Pot	ST 30" OC White Fragrant Hummingbirds Heavy Shade June-July	

DR = DEER RESISTANT | DT = DROUGHT TOLERANT | N = NATIVE | ST = SALT TOLERANT | OC = ON-CENTER | B&B = BALLED AND BURLAPPED

- NOTES:**
- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AMERICANHORT 2014 AND AS AMENDED.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
 - NO DEVIATIONS OR SUBSTITUTIONS FROM THE PLANT SCHEDULE SHALL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANT MATERIALS INCLUDING EXISTING TREES AGAINST DAMAGE DURING THE CONSTRUCTION PERIOD. PROTECTION SHALL BEGIN PRIOR TO COMMENCEMENT OF ANY WORK AND CONTINUE UNTIL FINAL ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
 - ALL NEW PLANTING AREAS SHALL BE ENSURED TO A DEPTH THAT CONFORMS WITH THE PLANTING DETAILS (SHEET 7 OF THIS PLAN SET) AND REMOVE NEW PLANTING SOIL.
 - PROPOSED BENCHES SHALL MATCH SIZE AND STYLE OF EXISTING BENCHES FOUND ON SITE. INSTALLATION REQUIREMENTS WILL BE PROVIDED BY MANUFACTURER.
 - ALL MATERIALS REMOVED FROM SITE SHALL BE DISPOSED OF IN A LEGAL AND PROFESSIONAL MANNER.
 - ALL DISTURBED AREAS SHALL BE RE-SEED WITHIN 15 DAYS OF DISTURBANCE OR RE-PLANTING AS SHOWN HEREON WITH A DROUGHT-TOLERANT TURFGRASS SEED MIX (BSE FALF FESCUE, 10% PERENNA, 80% GRASS, 10% PERENNIAL BLEND) AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
 - BALLED AND BURLAPPED PLANTS MAY BE PLANTED IN THE SPRING FROM APRIL 1ST UNTIL JUNE 15TH AND IN THE FALL FROM AUGUST 15TH TO NOVEMBER 1ST.



REVISIONS

NO.	DATE	DESCRIPTION



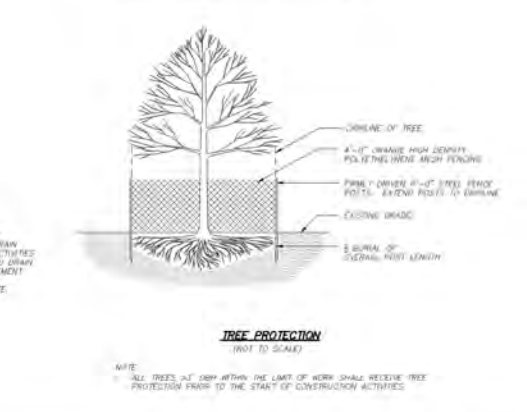
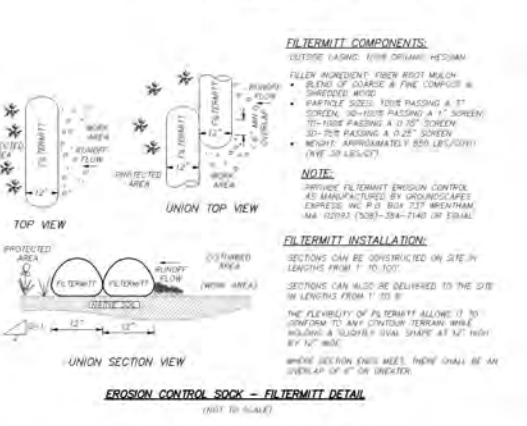
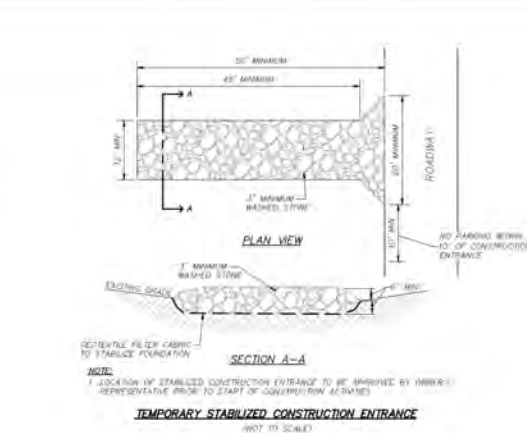
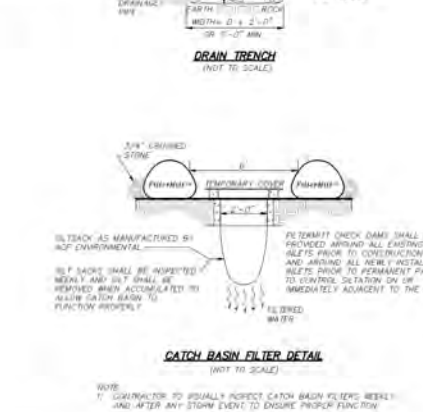
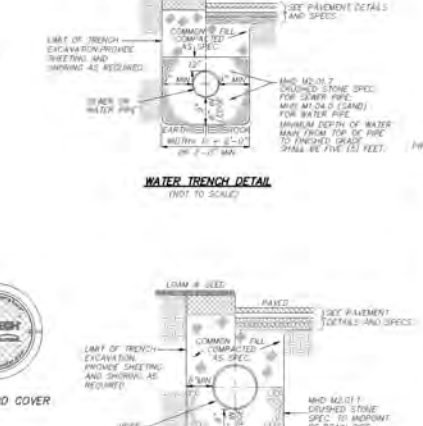
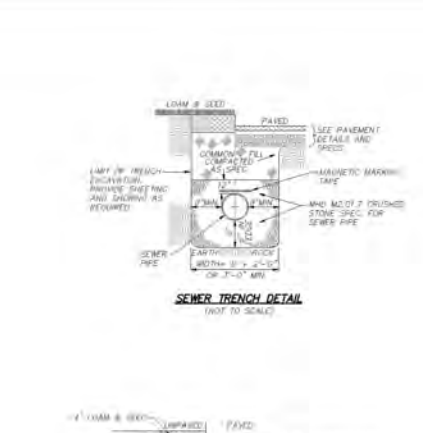
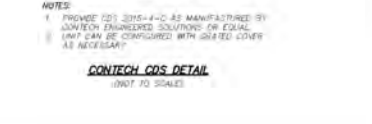
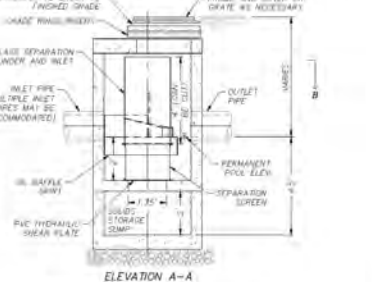
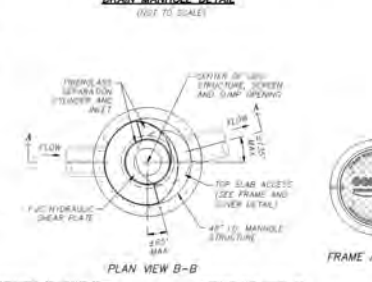
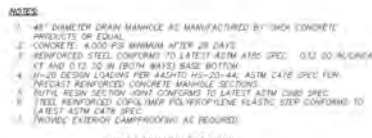
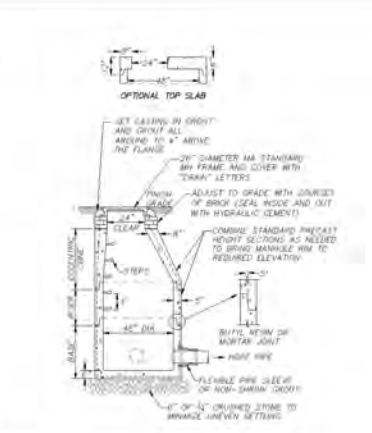
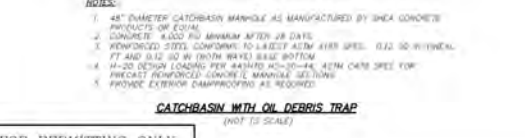
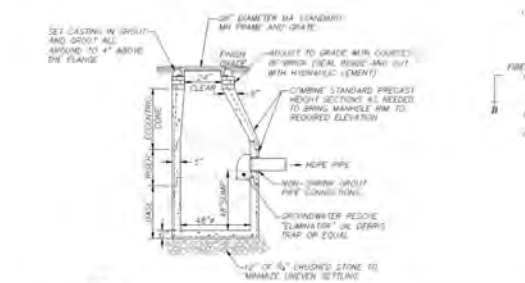
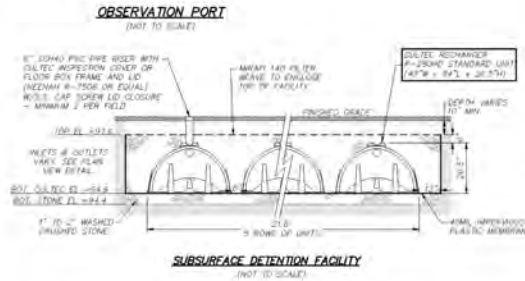
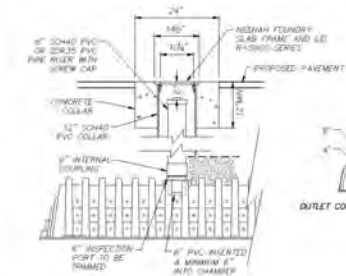
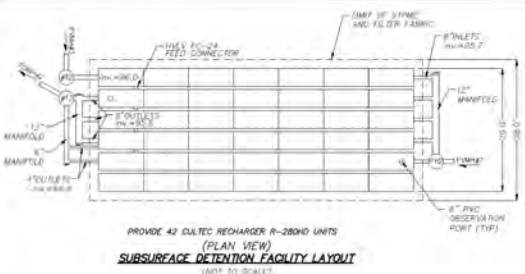
**93 STATE STREET
SITE LANDSCAPE PLAN
NEWBURYPOR, MASSACHUSETTS
(ESSEX COUNTY)
PREPARED FOR:
INSTITUTION FOR SAVINGS**

MERIDIAN ASSOCIATES
300 COMMONWEALTH AVENUE, SUITE 1000
BOSTON, MASSACHUSETTS 02116
PHONE: 617.252.4444
WWW.MERIDIANASSOCIATES.COM

DATE: DECEMBER 30, 2020
SCALE: 1" = 20'
SHEET No. 5 OF 7
PROJECT No. 6215

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

(PRINT 6215-REV0)
DWG. No. 6215-SITE-000



NOTES:
1. 48" DIAMETER DRAIN MANHOLE AS MANUFACTURED BY TONK CONCRETE PRODUCTS OF EQUAL.
2. CONCRETE: 4000 PSI MINIMUM AFTER 28 DAYS.
3. REINFORCED STEEL CONFORMS TO LATEST ASTM STEEL SPEC. 0.32 30 INVERTICAL, 0.32 AND 0.32 30 IN (BOTH WAYS) BASE BOTTOM.
4. H-20 DESIGN LOADING PER AASHTO H-20-44, ASTM C476 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
5. RUTLE RESIN SECTION JOINT CONFORMS TO LATEST ASTM CONCRETE SPEC.
6. TEE REINFORCED CONCRETE MANHOLE POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C476 SPEC.
7. PROVIDE EXTERIOR CAMPHENOLITE AS REQUIRED.

NOTES:
1. 48" DIAMETER DRAIN MANHOLE AS MANUFACTURED BY TONK CONCRETE PRODUCTS OF EQUAL.
2. CONCRETE: 4000 PSI MINIMUM AFTER 28 DAYS.
3. REINFORCED STEEL CONFORMS TO LATEST ASTM STEEL SPEC. 0.32 30 INVERTICAL, 0.32 AND 0.32 30 IN (BOTH WAYS) BASE BOTTOM.
4. H-20 DESIGN LOADING PER AASHTO H-20-44, ASTM C476 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
5. RUTLE RESIN SECTION JOINT CONFORMS TO LATEST ASTM CONCRETE SPEC.
6. TEE REINFORCED CONCRETE MANHOLE POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C476 SPEC.
7. PROVIDE EXTERIOR CAMPHENOLITE AS REQUIRED.

NOTES:
1. 48" DIAMETER DRAIN MANHOLE AS MANUFACTURED BY TONK CONCRETE PRODUCTS OF EQUAL.
2. CONCRETE: 4000 PSI MINIMUM AFTER 28 DAYS.
3. REINFORCED STEEL CONFORMS TO LATEST ASTM STEEL SPEC. 0.32 30 INVERTICAL, 0.32 AND 0.32 30 IN (BOTH WAYS) BASE BOTTOM.
4. H-20 DESIGN LOADING PER AASHTO H-20-44, ASTM C476 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
5. RUTLE RESIN SECTION JOINT CONFORMS TO LATEST ASTM CONCRETE SPEC.
6. TEE REINFORCED CONCRETE MANHOLE POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C476 SPEC.
7. PROVIDE EXTERIOR CAMPHENOLITE AS REQUIRED.

NOTES:
1. 48" DIAMETER DRAIN MANHOLE AS MANUFACTURED BY TONK CONCRETE PRODUCTS OF EQUAL.
2. CONCRETE: 4000 PSI MINIMUM AFTER 28 DAYS.
3. REINFORCED STEEL CONFORMS TO LATEST ASTM STEEL SPEC. 0.32 30 INVERTICAL, 0.32 AND 0.32 30 IN (BOTH WAYS) BASE BOTTOM.
4. H-20 DESIGN LOADING PER AASHTO H-20-44, ASTM C476 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
5. RUTLE RESIN SECTION JOINT CONFORMS TO LATEST ASTM CONCRETE SPEC.
6. TEE REINFORCED CONCRETE MANHOLE POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C476 SPEC.
7. PROVIDE EXTERIOR CAMPHENOLITE AS REQUIRED.

NOTES:
1. 48" DIAMETER DRAIN MANHOLE AS MANUFACTURED BY TONK CONCRETE PRODUCTS OF EQUAL.
2. CONCRETE: 4000 PSI MINIMUM AFTER 28 DAYS.
3. REINFORCED STEEL CONFORMS TO LATEST ASTM STEEL SPEC. 0.32 30 INVERTICAL, 0.32 AND 0.32 30 IN (BOTH WAYS) BASE BOTTOM.
4. H-20 DESIGN LOADING PER AASHTO H-20-44, ASTM C476 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
5. RUTLE RESIN SECTION JOINT CONFORMS TO LATEST ASTM CONCRETE SPEC.
6. TEE REINFORCED CONCRETE MANHOLE POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C476 SPEC.
7. PROVIDE EXTERIOR CAMPHENOLITE AS REQUIRED.

NOTES:
1. 48" DIAMETER DRAIN MANHOLE AS MANUFACTURED BY TONK CONCRETE PRODUCTS OF EQUAL.
2. CONCRETE: 4000 PSI MINIMUM AFTER 28 DAYS.
3. REINFORCED STEEL CONFORMS TO LATEST ASTM STEEL SPEC. 0.32 30 INVERTICAL, 0.32 AND 0.32 30 IN (BOTH WAYS) BASE BOTTOM.
4. H-20 DESIGN LOADING PER AASHTO H-20-44, ASTM C476 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS.
5. RUTLE RESIN SECTION JOINT CONFORMS TO LATEST ASTM CONCRETE SPEC.
6. TEE REINFORCED CONCRETE MANHOLE POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C476 SPEC.
7. PROVIDE EXTERIOR CAMPHENOLITE AS REQUIRED.

TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMATT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMATT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMATT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMATT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMATT DETAIL
(NOT TO SCALE)

NO.	DATE	REVISIONS
1	01/08/21	ISSUED FOR PERMITTING
2	01/08/21	ISSUED FOR PERMITTING
3	01/08/21	ISSUED FOR PERMITTING
4	01/08/21	ISSUED FOR PERMITTING

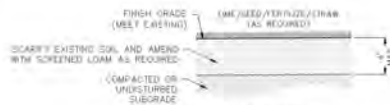


93 STATE STREET
SITE DETAILS
LOCATED IN
NEWBURYPORT, MASSACHUSETTS
(ESSEX COUNTY)
ISSUED FOR PERMITTING
INSTITUTION FOR SAVINGS

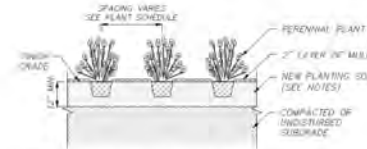
MERIDIAN ASSOCIATES
300 WASHINGTON STREET, SUITE 1000
NEWBURYPORT, MASSACHUSETTS 01951
TEL: 978.251.1000 FAX: 978.251.1001
WWW.MERIDIANASSOCIATES.COM

DATE	OCTOBER 14, 2020
SCALE	AS NOTED
SHEET NO.	6 OF 7
PROJECT NO.	6215

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION



LOAM & SEEDING
(NOT TO SCALE)



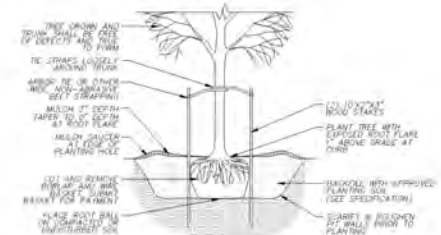
- NOTE:**
1. SEE LANDSCAPE NOTES FOR ADDITIONAL PLANNING REQUIREMENTS.
 2. SPACE PLANTS EQUALLY TO PROVIDE CONSISTENT COVER OVER INDICATED PLANTING BED.
 3. ALL ROOT BALLS TO BE SCARIFIED PRIOR TO BACKFILLING.

GROUNDCOVER / ANNUAL / PERENNIAL PLANTING
(NOT TO SCALE)

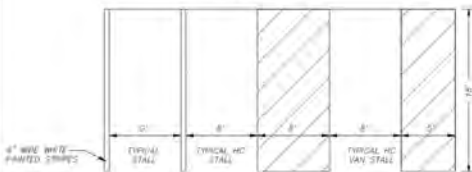


- NOTES:**
1. BACKFILL PLANTING HOLE WITH NEW PLANTING SOIL.
 2. BACKFILL HALF THE SOIL AND WATER TO SETTLE. JUST AIR PRICKERS COMPLETE. BACKFILLING AND REPEAT WATERING.
 3. IF ROOTS ARE OBSCURING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

SHRUB PLANTING
(NOT TO SCALE)

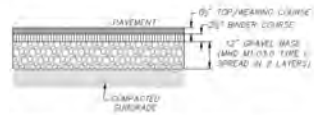


TREE PLANTING
(NOT TO SCALE)



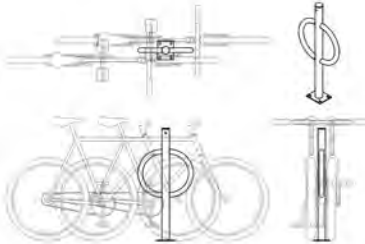
NOTE: FOR LOCATION AND DIMENSIONS OF ALL PAVEMENT STRIPING, SEE SITE PLAN.

PAVEMENT MARKING DETAIL
(NOT TO SCALE)



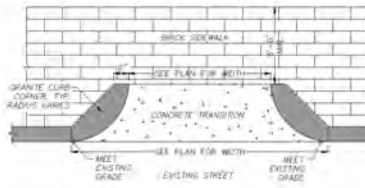
NOTE: THE WEARING AND BINDER COURSES SHALL CONSIST OF CLASS II TYPE II BITUMINOUS CONCRETE (SEE MIX DESIGN).

BITUMINOUS CONCRETE PAVEMENT
(NOT TO SCALE)



NOTE: MAKE AND MODEL TO BE APPROVED BY PROJECT OWNER PRIOR TO INSTALLATION. REFER TO MANUFACTURER'S SPECIFICATIONS FOR DETAILS.

BICYCLE RACK
(NOT TO SCALE)



GRANITE CURB CORNER SHALL MEET THE REQUIREMENTS OF MASS HIGHWAY STANDARD SPECIFICATIONS, M 0 1 1 6.

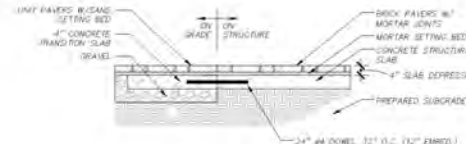
PARKING ENTRANCE/EXIT TRANSITION
(NOT TO SCALE)



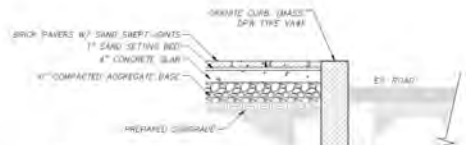
NOTES:

1. TYPICAL EXPANSION JOINT SPACING EVERY 20' O.C.
2. TYPICAL CONTROL JOINT SPACING EVERY 5' O.C.

CONCRETE WALKWAY
(NOT TO SCALE)

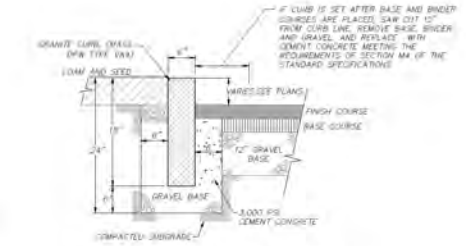


BRICK PAVERS
(NOT TO SCALE)



NOTE: PAVERS SHALL BE AS SPECIFIED.

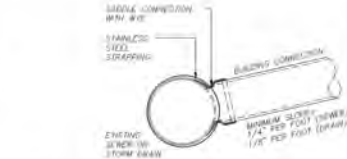
BRICK PAVER SIDEWALK/CROSSWALK
(NOT TO SCALE)



VERTICAL GRANITE CURB
(NOT TO SCALE)

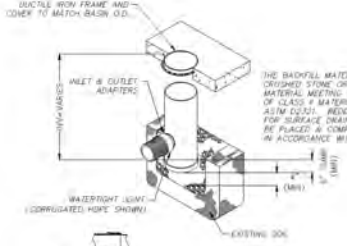


TYPICAL WATER SERVICE
(NOT TO SCALE)



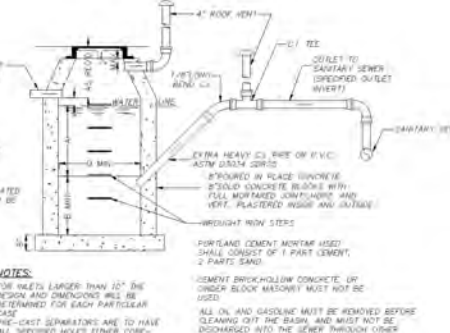
- NOTES:**
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC CLAY, CONCRETE OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED INTO THE PIPE.
 3. FULL WIRE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 5. CONNECTIONS DIRECTLY WITH THE EXISTING PIPE WITHOUT A SADDLE OR FULL WIRE FITTING ARE NOT ALLOWED.
 6. BUILDING CONNECTIONS SHALL BE BEDDED IN 3/4\"/>

SEWER CONNECTION DETAIL
(NOT TO SCALE)



- NOTE:**
1. PROVIDE 1/4\"/>

PROPOSED YARD DRAIN
(NOT TO SCALE)



- NOTES:**
1. FOR WELLS LARGER THAN 12\"/>

OIL / WATER SEPARATOR
(NOT TO SCALE)

NOTE: THIS DETAIL IS FOR SCHEMATIC PURPOSES ONLY. THE OIL/WATER SEPARATOR SHALL BE DESIGNED BY THE PLUMBING PROFESSIONAL.

REVISIONS	
NO.	DATE
1	01/05/21
2	02/02/21
3	02/02/21
4	02/02/21
5	02/02/21



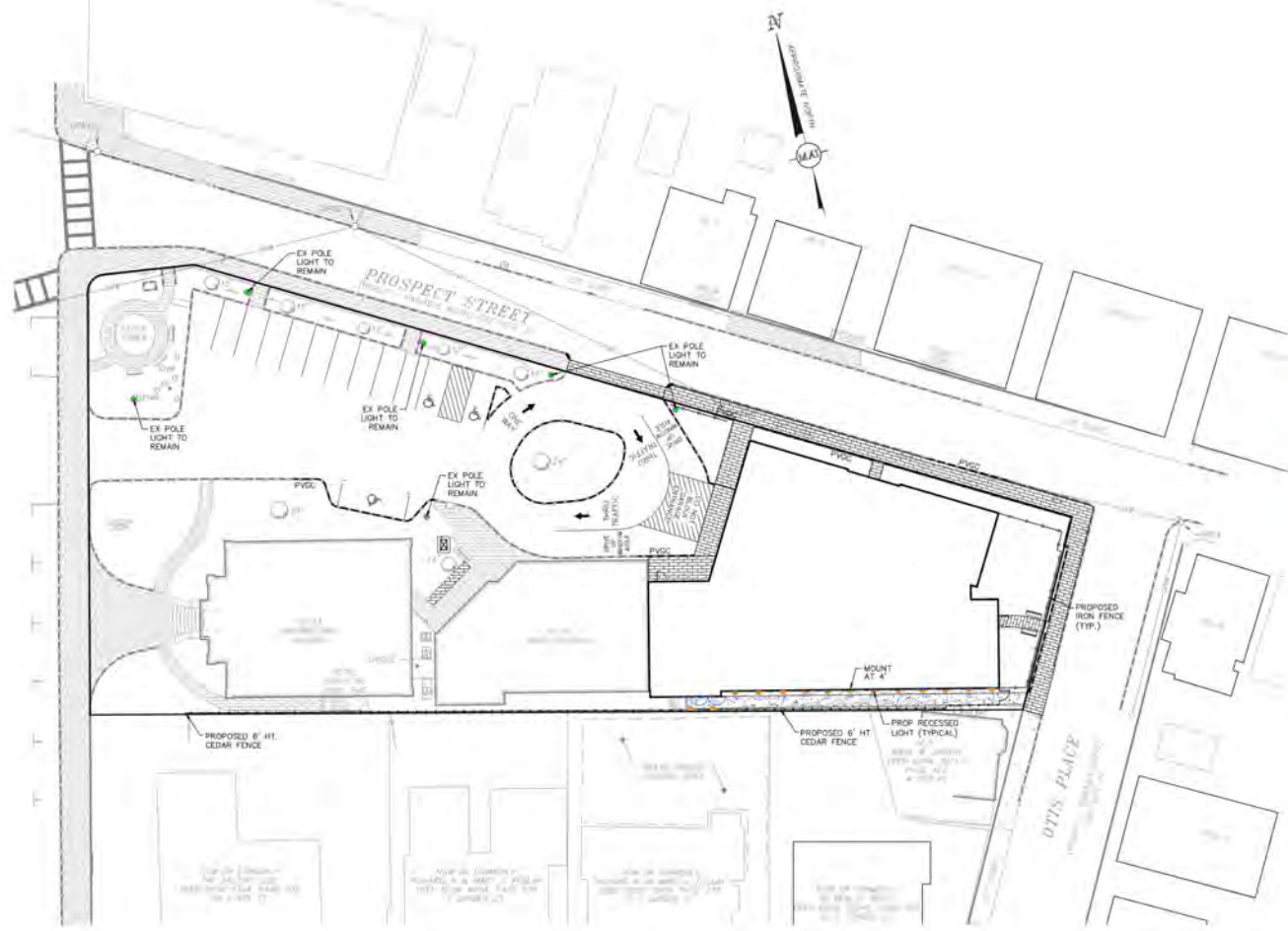
93 STATE STREET
SITE DETAILS
LOCATED IN
NEWBURYPORT, MASSACHUSETTS
(ESSEX COUNTY)
INSTITUTION FOR SAVINGS

MERIDIAN ASSOCIATES
300 WASHINGTON STREET, SUITE 1000
NEWBURYPORT, MASSACHUSETTS 01945
TEL: 978.534.1100 FAX: 978.534.1101
WWW.MERIDIANASSOCIATES.COM

DATE: OCTOBER 14, 2020
SCALE: AS NOTED
SHEET NO.: 7 OF 7
PROJECT NO.: 6215

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

DWG. NO. F04-SET004



LIGHTING NOTES:

1. THE SOLE PURPOSE OF THIS PLAN IS TO DENOTE THE PHOTOMETRICS OF THE PROPOSED HOLLAND LIGHTS ALONG THE PROPOSED SOUTHERN WALKWAY.
2. LIGHT SELECTION AND DETAIL PROVIDED BY THE ARCHITECT.
3. EXISTING POLE LIGHTS WITHIN THE EXISTING PARKING LOT SHALL REMAIN AS NOTED. ONE NEW POLE LIGHT IS PROPOSED AT THE ENTRY OF THE ADDITION AND SHALL MATCH THE EXISTING LIGHTING IN THE PARKING LOT. POLE LIGHT TO BE DETERMINED BY ARCHITECT.
4. RECESSED LIGHTING TO BE MOUNTED AT 4' HEIGHT UNLESS OTHERWISE SPECIFIED ON THE PLAN.

PROPOSED LIGHTING LEGEND

- EXISTING POLE LIGHT
- PROPOSED RECESSED LIGHT
- PROPOSED 2' FC CONTOUR
- PROPOSED 1' FC CONTOUR
- PROPOSED 0.5' FC CONTOUR
- PROPOSED 0.25' FC CONTOUR
- PROPOSED FOOTCHANDLE
- FC

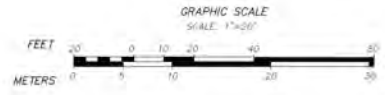
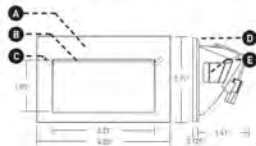
**PATHLIGHTS
DOUBLE IMPACT**

Low glare path lights from the area through the back of house, including front landscaping lighting.

See www.luciferlighting.com/technology for more details.

TYPE	SIZE	LOCATION	COMMENTS
1	1.5" x 1.5"	Along the back of house walkway	Low glare path lights
2	2' x 2'	Along the back of house walkway	Low glare path lights
3	1' x 1'	Along the back of house walkway	Low glare path lights
4	0.5' x 0.5'	Along the back of house walkway	Low glare path lights
5	0.25' x 0.25'	Along the back of house walkway	Low glare path lights

- **LMC**
Light Mounting Component (LMC) is designed for quick, easy, single-handed installation and easy adjustment for height, beam angle, and beam width. It is also designed for easy removal.
- **EFFECTS DEVICE**
Provides a wide range of lighting effects, including color, beam angle, and beam width. It is also designed for easy removal.
- **LOCKING**
Security feature that prevents tampering with the device when it is not in use.
- **BASKET**
Holds the device and provides a secure mounting point.
- **REVISION**
This device is designed for use in a variety of applications, including outdoor lighting.



RECORD OWNER:
INSTITUTION FOR SAVINGS IN
NEWBURYPORT AND ITS WING
93 STATE STREET
NEWBURYPORT, MASSACHUSETTS 01950

LUCIFER
LIGHTING COMPANY
1000 W. 10TH STREET, SUITE 100
DENVER, CO 80202
TEL: 303.733.8888
WWW.LUCIFERLIGHTING.COM

REVISIONS

NO.	DATE	DESCRIPTION
01	03/21/2021	REVISED SUBMISSION
02	03/21/2021	REVISED SUBMISSION
03	03/21/2021	REVISED SUBMISSION

REVISIONS

NO.	DATE	DESCRIPTION
01	03/21/2021	REVISED SUBMISSION
02	03/21/2021	REVISED SUBMISSION
03	03/21/2021	REVISED SUBMISSION

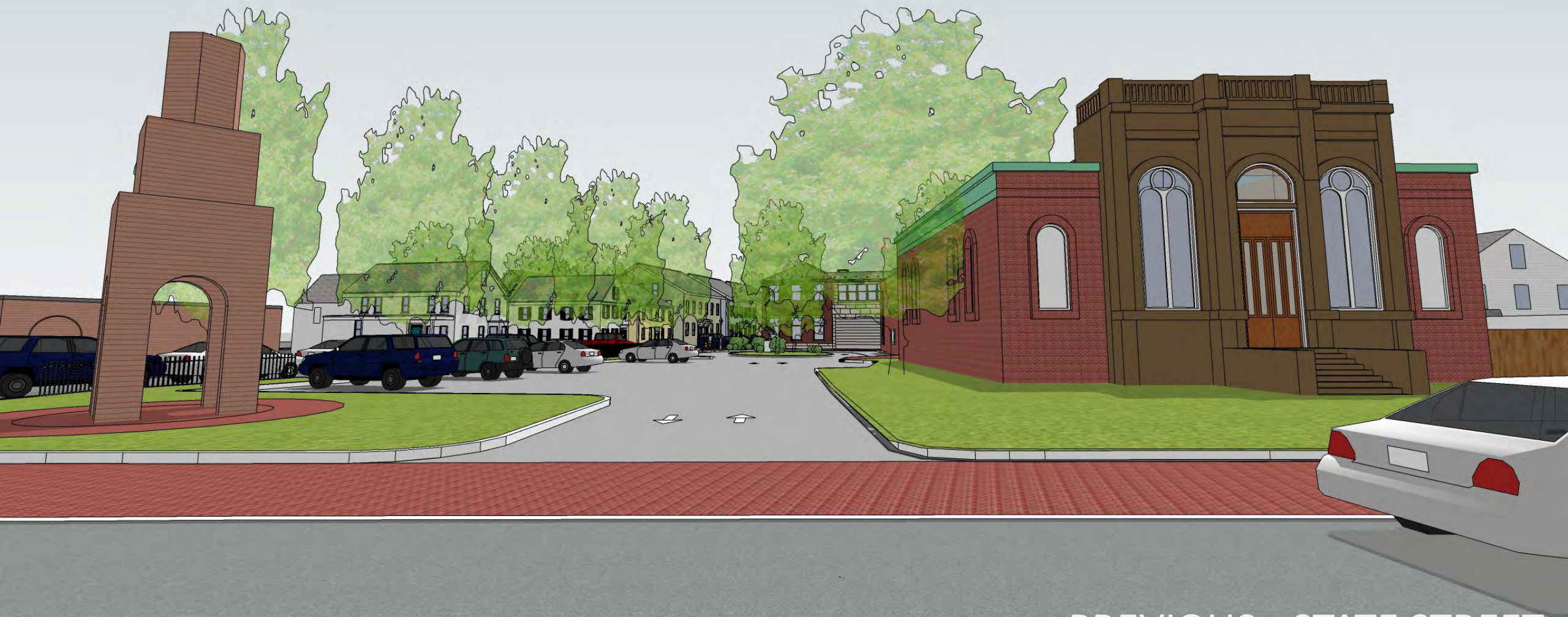
93 STATE STREET
BOLLARD PHOTOMETRIC PLAN
NEWBURYPORT, MASSACHUSETTS
(ASSISTED BY: JEFFREY W. BROWN)
INSTITUTION FOR SAVINGS

MERIDIAN ASSOCIATES
100 W. 10TH STREET, SUITE 100
DENVER, CO 80202
TEL: 303.733.8888
WWW.MERIDIANASSOCIATES.COM

DATE: OCTOBER 14, 2020
SCALE: 1" = 20'
SHEET NO.: 1 OF 1
PROJECT NO.: 6215

DATE: OCTOBER 14, 2020
SCALE: 1" = 20'
SHEET NO.: 1 OF 1
PROJECT NO.: 6215

Model Views



PREVIOUS - STATE STREET



PROPOSED - STATE STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - GARDEN STREET



PROPOSED - GARDEN STREET



PREVIOUS - OTIS PLACE



PROPOSED - OTIS PLACE



PREVIOUS - OTIS PLACE



PROPOSED - OTIS PLACE



PREVIOUS - OTIS PLACE



PROPOSED - OTIS PLACE



PREVIOUS - FAÇADE DETAIL



PROPOSED - FAÇADE DETAIL





PROPOSED - AERIAL NORTHWEST



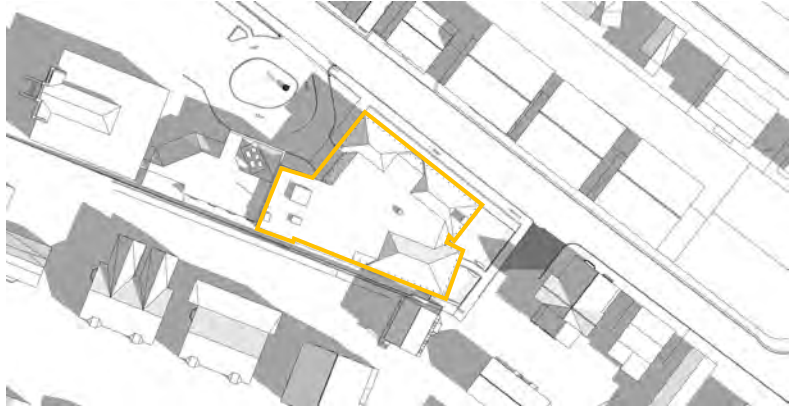
PREVIOUS - AERIAL NORTHEAST



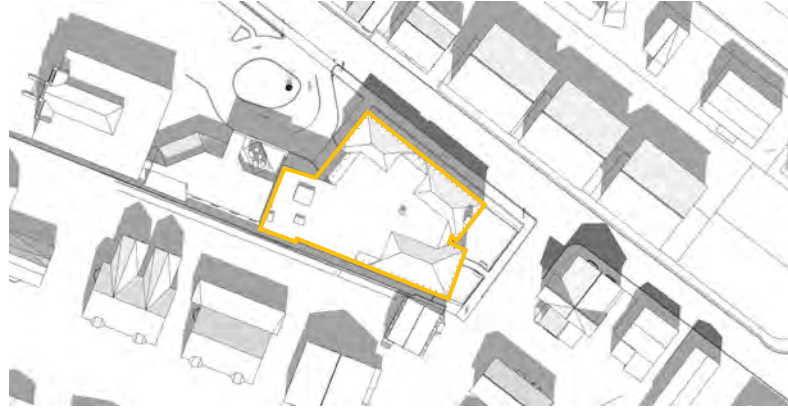
PROPOSED - AERIAL NORTHEAST

Shadow Studies

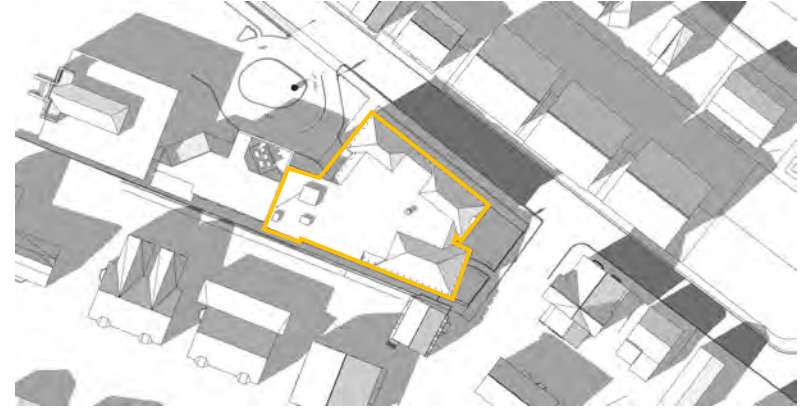
Vernal Equinox
March 21



9AM

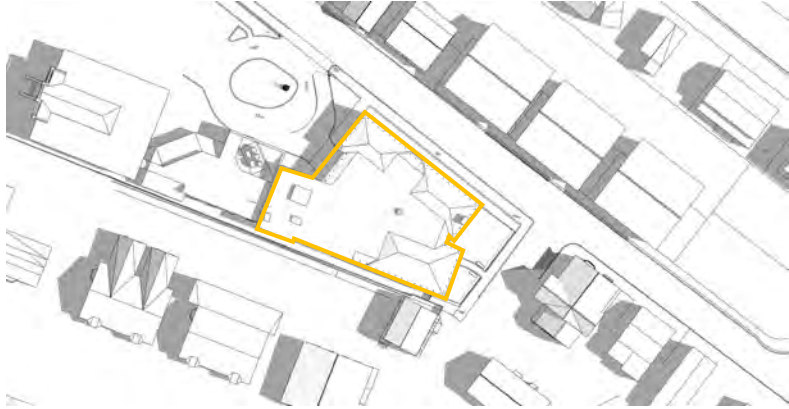


12PM

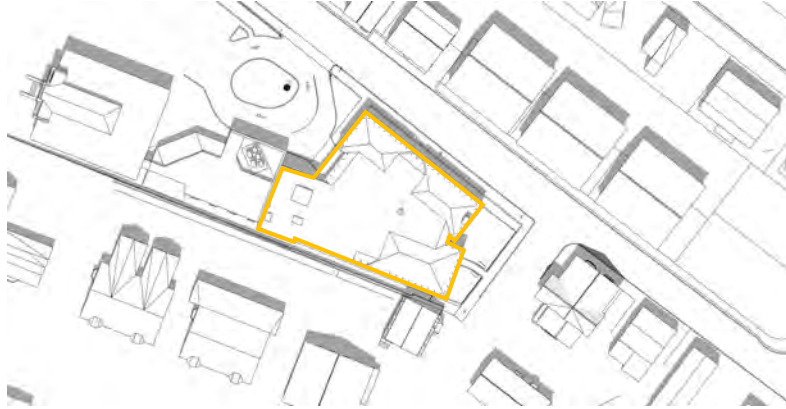


3PM

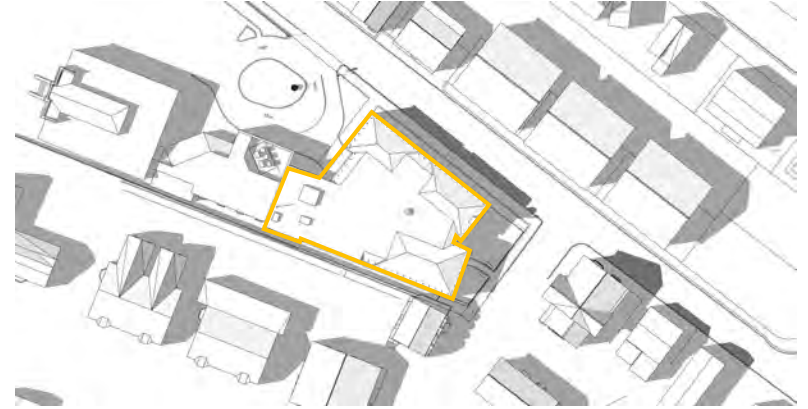
Summer Solstice
June 21



9AM

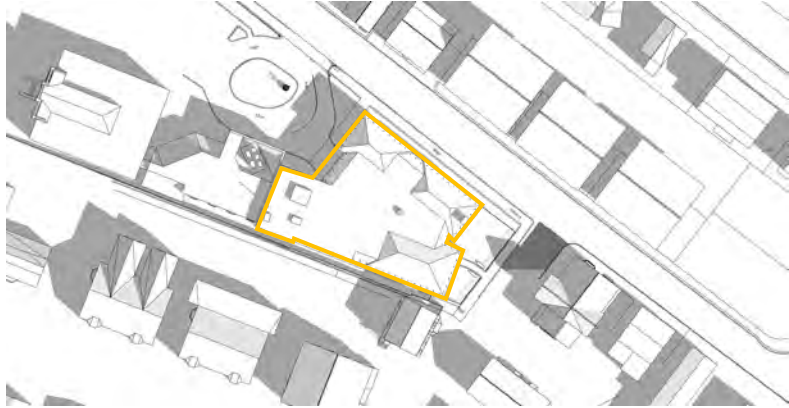


12PM

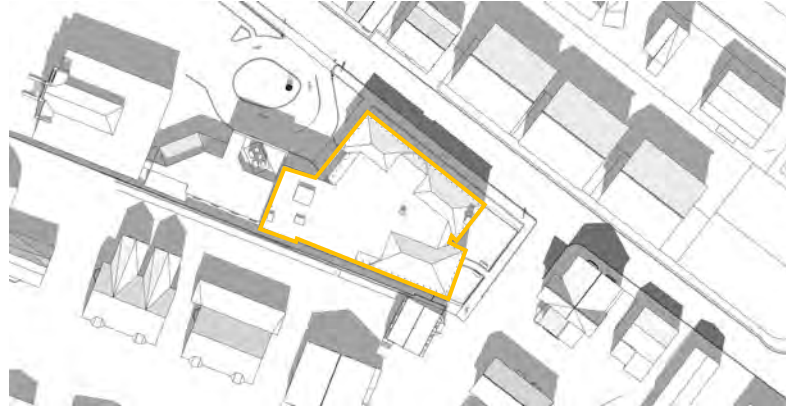


3PM

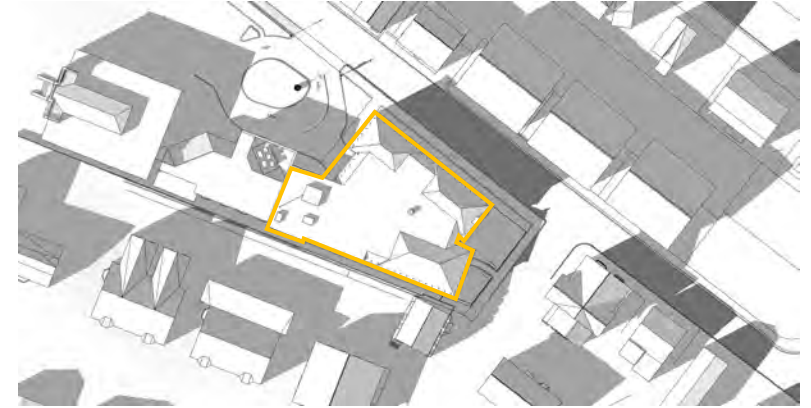
Autumnal Equinox
September 21



9AM



12PM

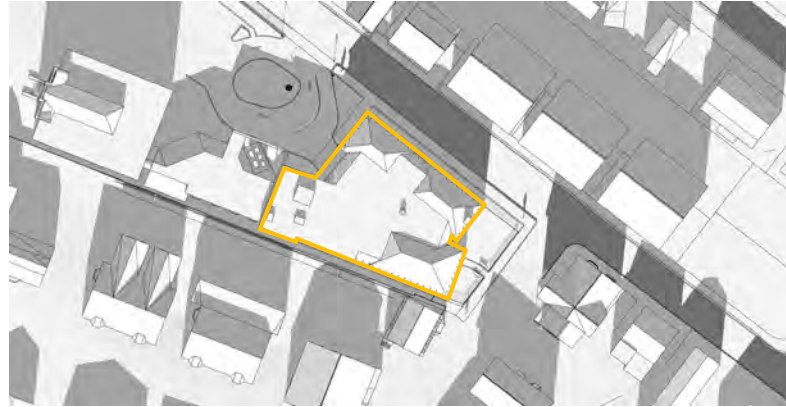


3PM

Winter Solstice
December 21



9AM

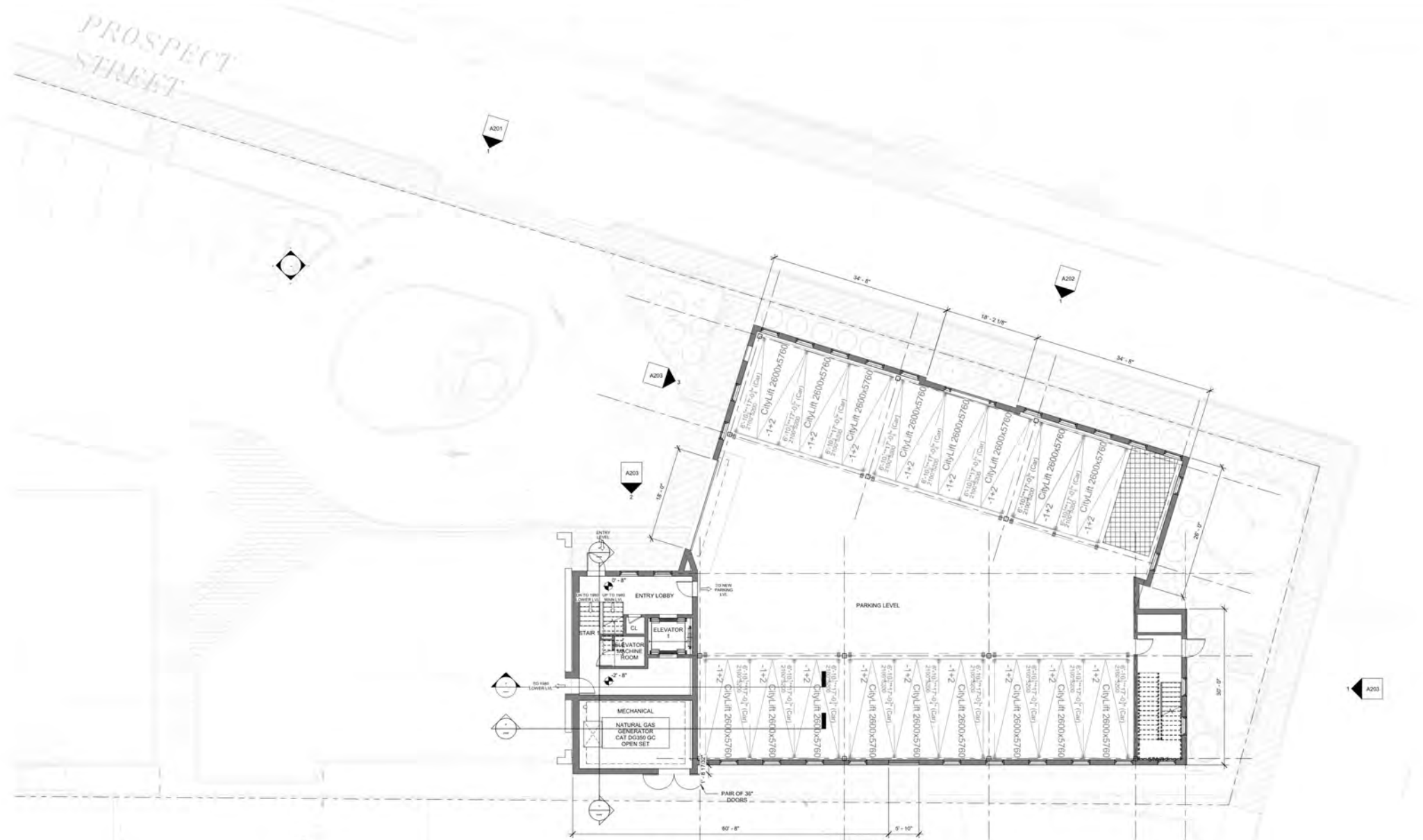


12PM



3PM

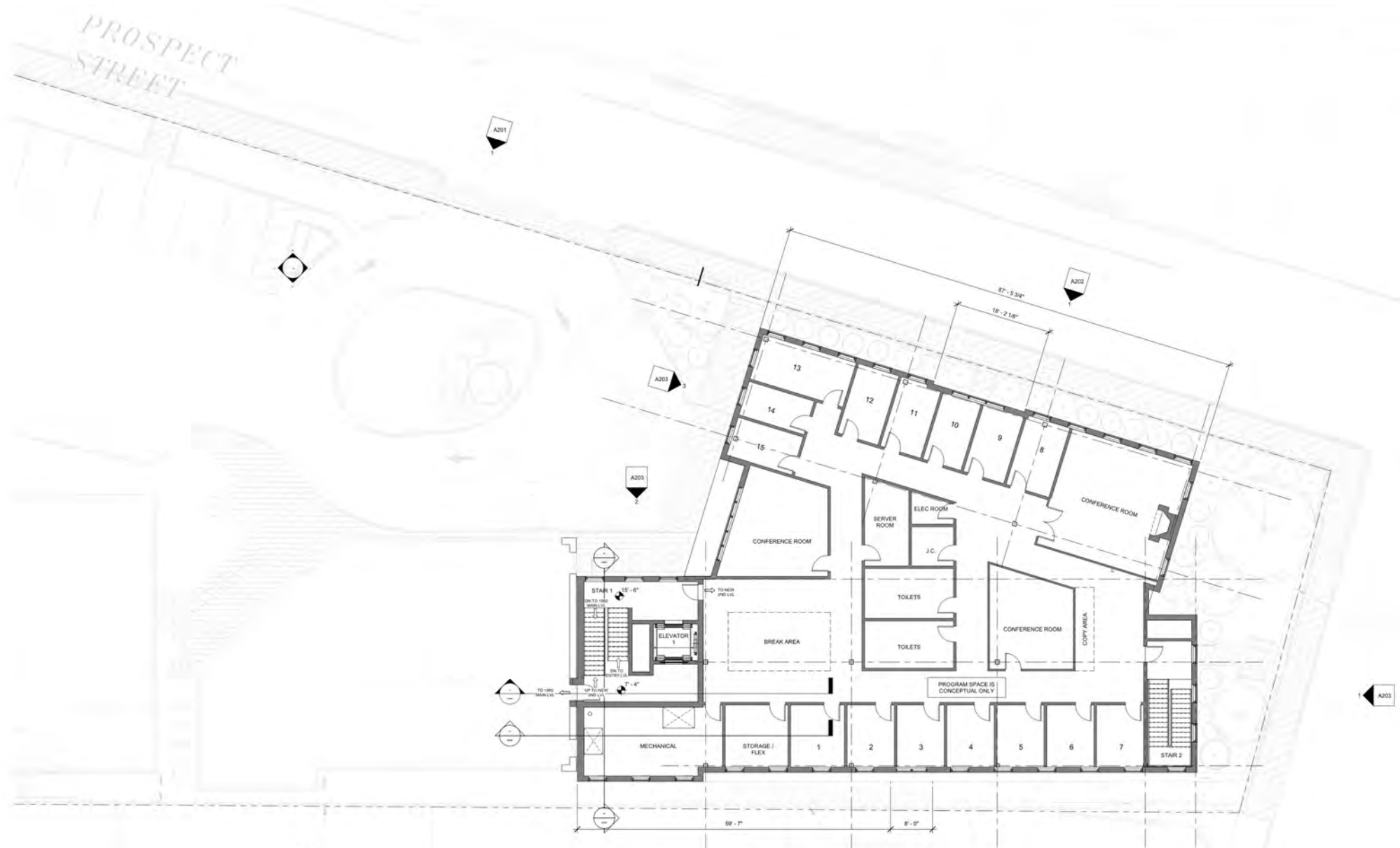
Plan Views



**Institution for Savings
Office Addition**

FIRST FLOOR PLAN

03/10/2020

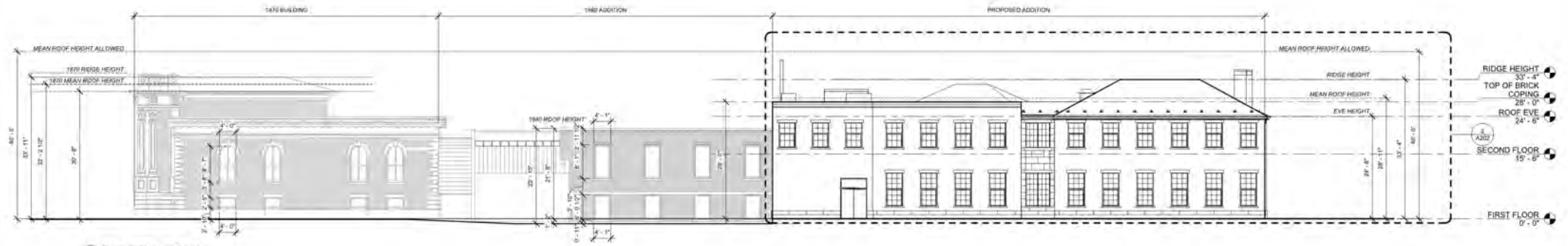


**Institution for Savings
Office Addition**

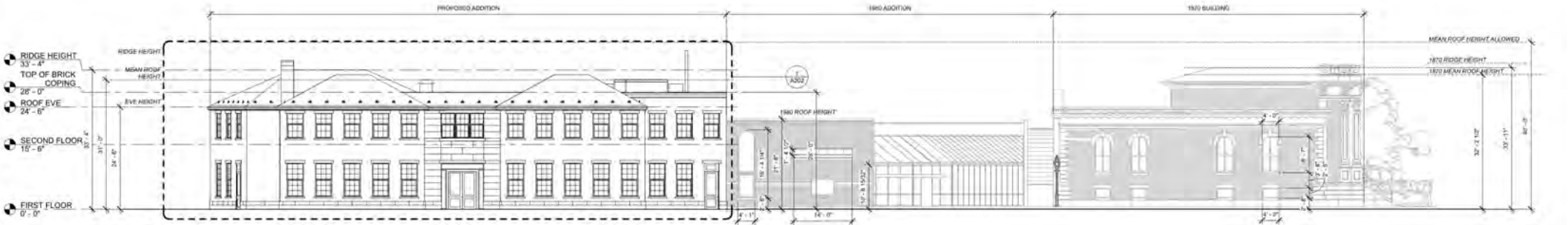
SECOND FLOOR PLAN

03/10/2020

Elevation and Section Views



2 Garden St Elevation Overall
3/32" = 1'-0"

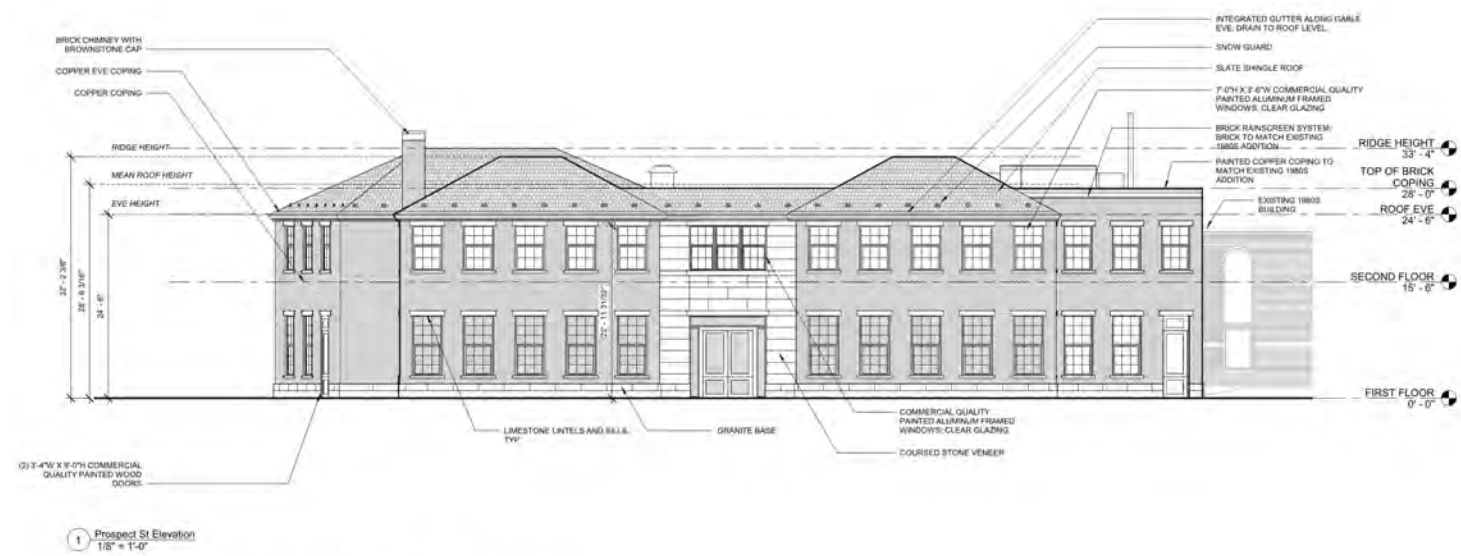
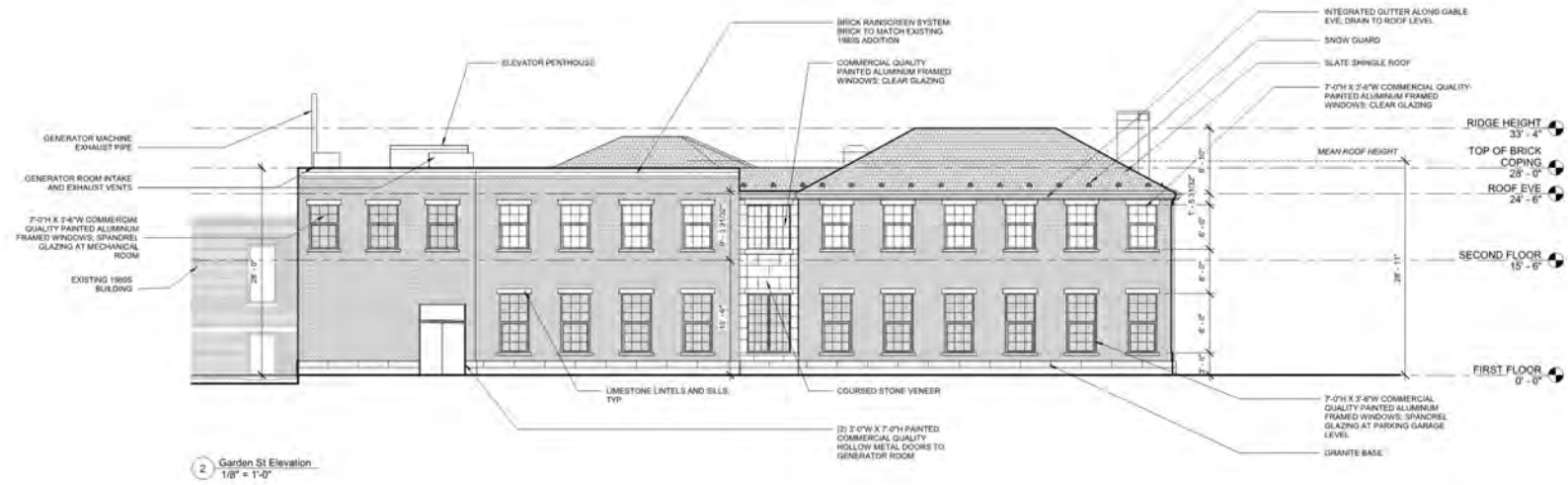


1 Prospect St Elevation Overall
3/32" = 1'-0"

Institution for Savings Office Addition

03/10/2020

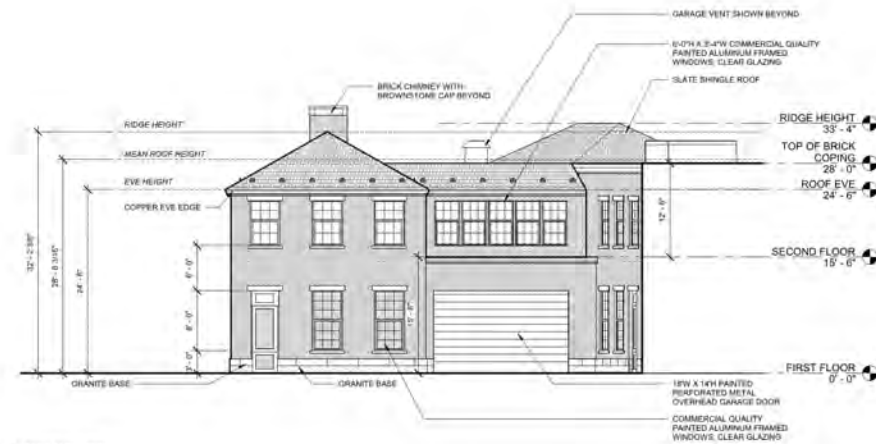
BUILDING ELEVATIONS



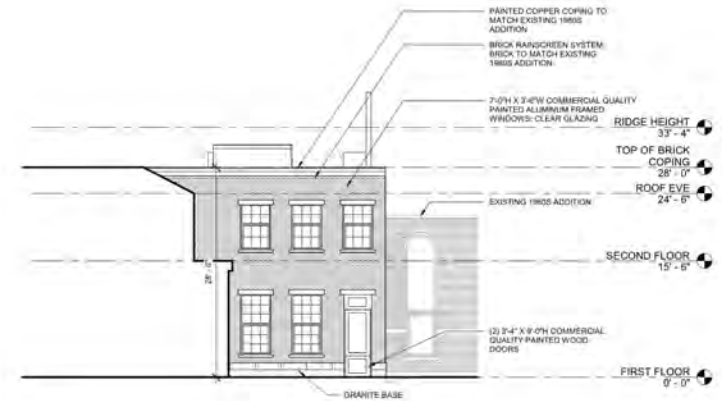
Institution for Savings Office Addition

03/10/2020

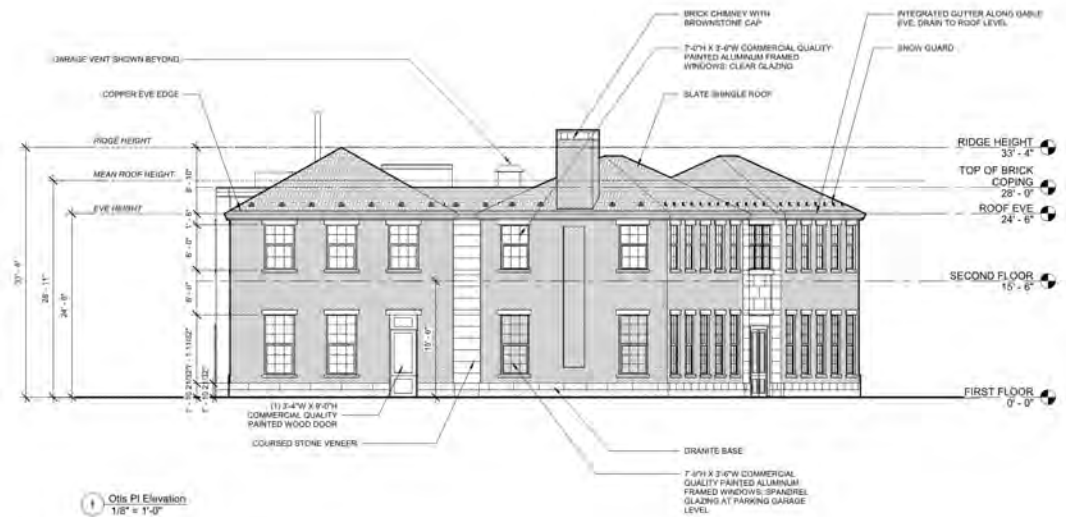
BUILDING ELEVATIONS



3 State St Elevation
1/8" = 1'-0"



2 Prospect St Elevation
1/8" = 1'-0"



1 Otis Pl Elevation
1/8" = 1'-0"

Institution for Savings Office Addition

93 STATE STREET
NEWBURYPORT, MA 01950

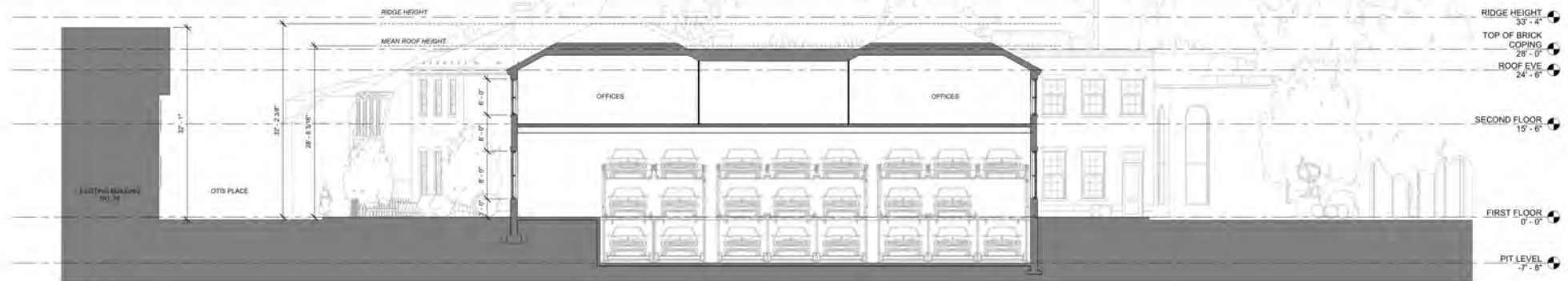
03/10/2020

ARC Architectural Resources Cambridge
501 Boylston Street, Suite 4101, Boston, MA 02116
617.547.3200 www.arcusa.com

BUILDING ELEVATIONS

A203

SCALE: 1/8" = 1'-0"



2 Otis Place Building Section
1/8" = 1'-0"



1 Prospect St Building Section
1/8" = 1'-0"

Institution for Savings Office Addition

93 STATE STREET
NEWBURYPORT, MA 01950

03/10/2020

ARC Architectural Resources Cambridge
501 Boylston Street, Suite 4101, Boston, MA 02116
617.547.2200 www.arcusa.com

A301

BUILDING SECTIONS

SCALE: 1/8" = 1'-0"