



# INSTITUTION FOR SAVINGS

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**Building Stronger Communities Together Since 1820**

PLANNING BOARD

*March 17, 2021*

# Civil Drawings



**PERMIT SITE DEVELOPMENT PLANS**  
(TO ACCOMPANY A SITE PLAN REVIEW APPLICATION)

**93 STATE STREET**  
(MAP: 14 LOTS: 39 & 40)

LOCATED IN  
**NEWBURYPORT, MASSACHUSETTS**

DATE: JANUARY 8, 2020  
REVISED: FEBRUARY 6, 2020  
REVISED: MARCH 25, 2020  
REVISED: MAY 20, 2020  
REVISED: OCTOBER 14, 2020  
REVISED: JANUARY 06, 2021  
REVISED: MARCH 10, 2021

OWNER/APPLICANT:  
**INSTITUTION FOR SAVINGS**  
93 STATE STREET  
NEWBURYPORT, MASSACHUSETTS 01950

 **MERIDIAN ASSOCIATES**  
500 CUMMINGS CENTER SUITE 9996 BEVERLY, MASSACHUSETTS 01915 TELEPHONE: (978) 299-0447 WWW.MERIDIANASSOC.COM  
60 MILK STREET SUITE 208 WESTBOROUGH, MASSACHUSETTS 01581 TELEPHONE: (508) 871-7000

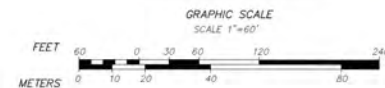
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- SHEET 1 COVER SHEET
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- SHEET 3 SITE LAYOUT, GRADING & EROSION CONTROL PLAN
- SHEET 4 SITE UTILITY PLAN
- SHEET 5 LANDSCAPING PLAN
- SHEET 6 SITE DETAILS
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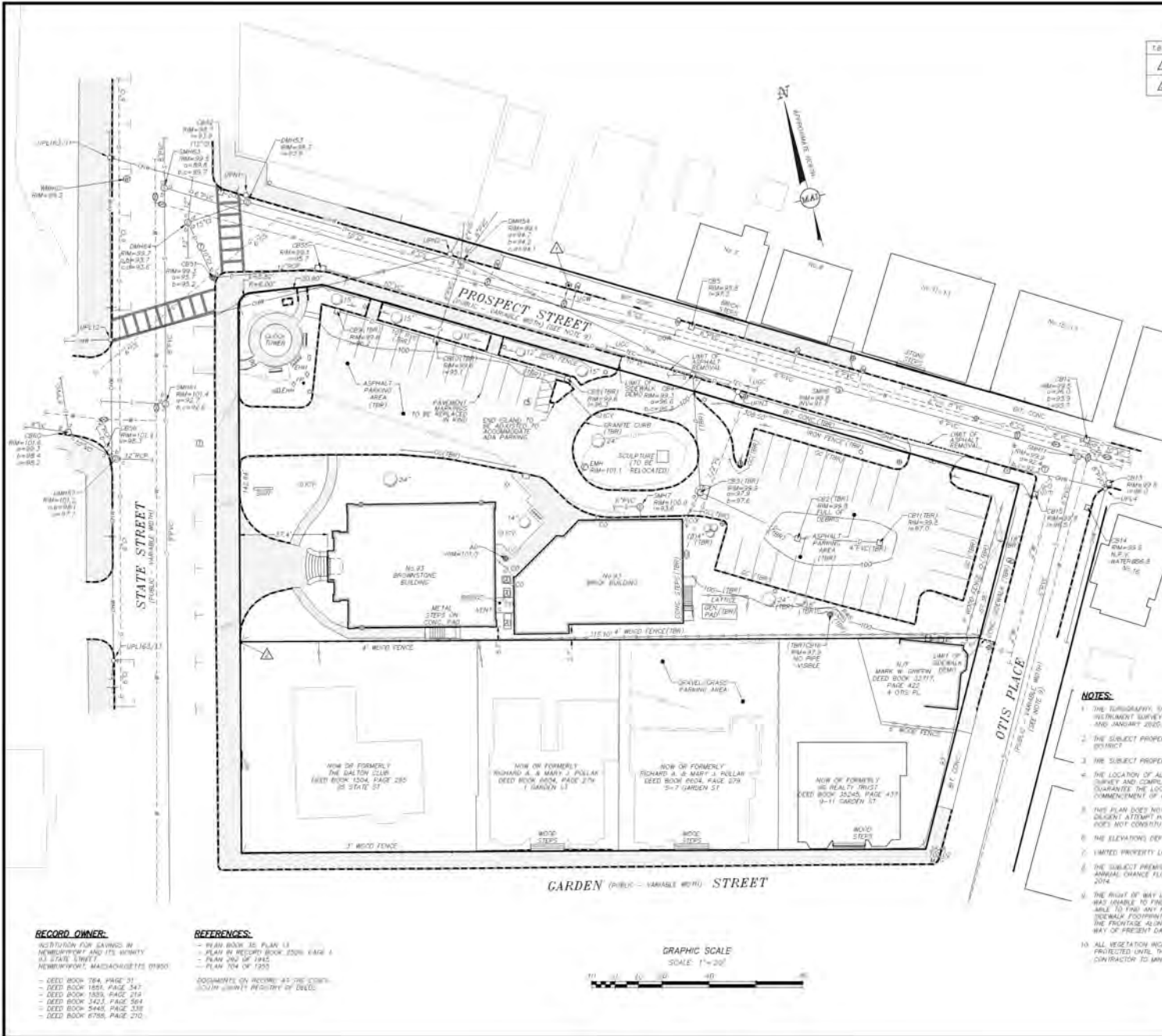
APPROVED BY PLANNING BOARD

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\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_

LOCUS CONTEXT MAP



DWG. No. 6215\_CW  
(IMAGE: USGS Color Ortho Imagery (2013/2014))



**TEMPORARY BENCHMARK CHART**

T.B.M.#	DESCRIPTION	ELEVATION
△	4-CUT RIGHT FRONT CAP BOLT HEIGHT 2.87 ± 0.5	102.83
△	TOP OF GRANITE POST, 3.5' ± 0	107.26

(SEE NOTE #1)



- EXISTING LEGEND:**
- ONE FOOT CONTOUR
  - FIVE FOOT CONTOUR
  - GRANITE CURB
  - IRON FENCE
  - WOOD FENCE
  - RETAINING WALL
  - BRICK
  - CONCRETE
  - ASPHALT PAVING AREA TO BE REMOVED
  - GRAVEL/GRASS PAVING AREA
  - SOIL
  - HANDICAP RAMP
  - WALKWAY
  - BENCH
  - DECIDUOUS TREE
  - UNIDENTIFIED TREE
  - COMPLETED GAS LINE
  - GAS GATE
  - GAS METER
  - COMMUNICATIONS LINE
  - UNDERGROUND CABLE PAINT MARKING
  - TELEPHONE MANHOLE
  - OVERHEAD WIRES
  - COMPLETED ELECTRIC LINE
  - LIGHT POLE
  - ELECTRIC MANHOLE
  - UTILITY POLE
  - UTILITY POLE WITH LIGHT
  - UTILITY
  - ELECTRIC HANDSILE
  - AIR CONDITIONER
  - DRYAN LINE
  - COMPLETED DRAIN LINE
  - DRYAN MANHOLE
  - COMPLETED DRAIN MANHOLE
  - CATCH BASIN
  - COMPLETED CATCH BASIN
  - AREA DRAIN/ROUND CATCH BASIN
  - SCOURABLE CATCH BASIN
  - SCOURABLE CATCH BASIN
  - SEALANT
  - WATER LINE
  - COMPLETED WATER LINE
  - UNDERGROUND WATER EAST MARKING
  - WATER GATE
  - COMPLETED WATER GATE
  - HYDRANT
  - WATER SERVICE
  - REGULATED CONTROL VALVE
  - SEWER LINE
  - COMPLETED SEWER LINE
  - SEWER MANHOLE
  - COMPLETED SEWER MANHOLE
  - TERMINAL ENHANCEMENT
  - INDICE LINDING
  - BITUMINOUS CONCRETE
  - CAST IRON
  - CONCRETE
  - CONCRETE STEEL
  - FINISHED FIRST FLOOR
  - SOIL
  - GENERATOR
  - GRANITE CURB
  - WALKWAY
  - POLYURETHANE CHORDS
  - POLE
  - STONE AS TAMPON WALL
  - TO BE REMOVED

**REVISIONS**

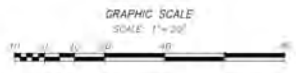
NO.	DATE	DESCRIPTION
1	03/02/21	REVISED SUBMISSION
2	07/06/21	REVISED SUBMISSION
3	07/06/21	REVISED SUBMISSION



**93 STATE STREET  
RECORD CONDITIONS & DEMO PLAN  
LOCATED IN  
NEWBURYPORT, MASSACHUSETTS  
(ESSEX COUNTY)  
NOTIFIED BY  
INSTITUTION FOR SAVINGS**

- NOTES:**
- THE TOPOGRAPHY, SITE DATA & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN "INDEPENDENT SURVEY" CONDUCTED BY THE BOUNDARY SURVEYING ASSOCIATES, INC. (BSA) IN APRIL 1992, 2015, AND JANUARY 2020.
  - THE SUBJECT PROPERTY IS LOCATED IN THE DOWNTOWN BUSINESS DISTRICT (BD2) AND THE DOWNTOWN OVERLAY (DOH) DISTRICT.
  - THE SUBJECT PROPERTY IS DEPICTED AS LOTS 29 & 30 ON CITY OF NEWBURYPORT ASSESSOR'S MAP 14.
  - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT ANY GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT THE STATE AT 811.
  - THIS PLAN DOES NOT SHOW ANY UNDERGROUND OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO DISCOVER ANY APPLICABLE USABLE USES OF THE LAND; HOWEVER, THE NOTES DO NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
  - THE ELEVATIONS DEPICTED HEREON ARE BASED ON AN ASSUMED DATUM.
  - LIMITED PROPERTY LINES ARE DEPICTED HEREON.
  - THE SUBJECT PREMISES IS LOCATED IN FLOOD ZONE 4 (UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 220003010M DATED JULY 10, 2014.
  - THE RIGHT OF WAY LINES FOR 105' AND PROSPECT STREET WERE BASED UPON EVIDENCE OF OCCUPATION. AN ATTEMPT WAS MADE TO OBTAIN ANY APPLICABLE USABLE USES OF THE LAND; HOWEVER, THE NOTES DO NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
  - ALL VEGETATION INCLUDING TREES, SHRUBS, AND LANDSCAPED AREAS NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED UNTIL THE COMPLETION OF ALL CONSTRUCTION RELATED ACTIVITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MINIMIZE THE DISTURBANCE OF ANY WORK PERFORMED INSIDE OF THE "ROOT ZONE".

- RECORD OWNER:**  
INSTITUTION FOR SAVINGS BY  
NEWBURYPORT AND ITS SIBS  
NEWBURYPORT, MASSACHUSETTS 01960
- REFERENCES:**  
- PLAN BOOK 15, PAGE 13  
- PLAN BY RECORD BOOK 2526, PAGE 4  
- PLAN NO. OF 1945  
- PLAN NO. OF 1295
- DOCUMENTS ON RECORD AS THE CITY OF NEWBURYPORT PROPERTY OF DEED:
- DEED BOOK 264, PAGE 31
  - DEED BOOK 1854, PAGE 347
  - DEED BOOK 1855, PAGE 314
  - DEED BOOK 1423, PAGE 564
  - DEED BOOK 3448, PAGE 338
  - DEED BOOK 6786, PAGE 210

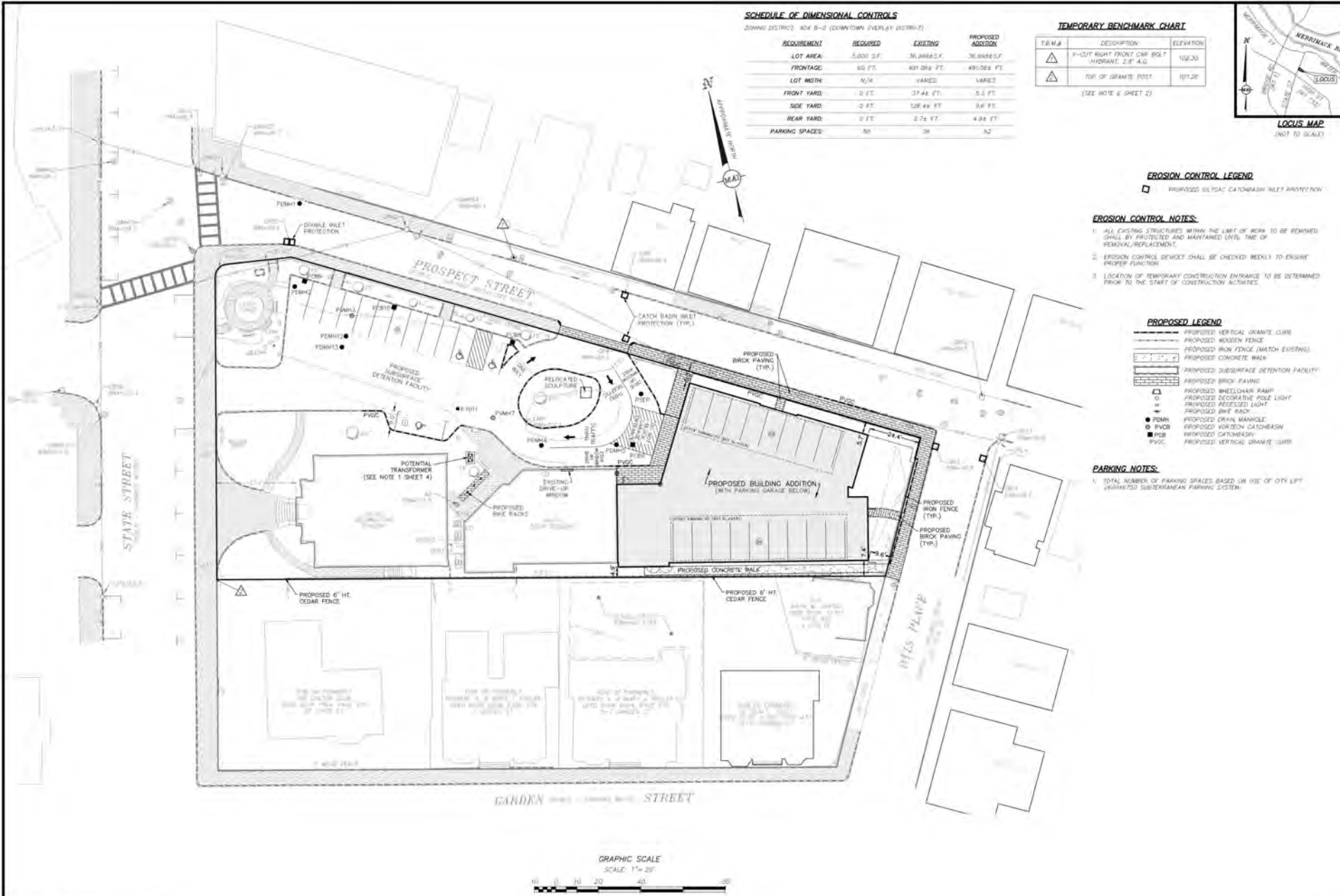


ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

**MERIDIAN ASSOCIATES**  
100 WASHINGTON STREET, SUITE 1000  
NEWBURYPORT, MASSACHUSETTS 01960  
TEL: 978.251.2100  
WWW.MERIDIANSURV.COM

DATE: OCTOBER 14, 2020  
SCALE: 1"=20'  
SHEET NO: 2 of 7  
PROJECT NO: 6215

PREPARED BY: MEE  
CHECKED BY: DCF



**SCHEDULE OF DIMENSIONAL CONTROLS**

zoning district: R24 B-2 (COURTOWN OVERLAY DISTRICT)

REQUIREMENT	REQUIRED	EXISTING	PROPOSED ADDITION
LOT AREA:	5,000 S.F.	36,388 S.F.	36,888 S.F.
FRONTAGE:	60 FT.	491.082 FT.	491.082 FT.
LOT WIDTH:	N/A	VARIABLE	VARIABLE
FRONT YARD:	0 FT.	37.44 FT.	5.3 FT.
SIDE YARD:	0 FT.	126.44 FT.	3.6 FT.
REAR YARD:	0 FT.	272 FT.	4.92 FT.
PARKING SPACES:	58	36	42

**TEMPORARY BENCHMARK CHART**

T.B.M.#	DESCRIPTION	ELEVATION
△	X-CUT RIGHT FRONT CORNER HYDRANT 2.8' A.G.	102.30
△	TOP OF GRANITE POST	107.20

(SEE NOTE 6 SHEET 2)



**EROSION CONTROL LEGEND**

- PROPOSED SILT/SAC CATCH BASIN W/LET PAVEMENT

**EROSION CONTROL NOTES:**

- ALL EXISTING STRUCTURES WITHIN THE LIMIT OF WORK TO BE REMOVED SHALL BE PROTECTED AND MAINTAINED UNTIL TIME OF REMOVAL/REPLACEMENT.
- EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY TO ENSURE PROPER FUNCTION.
- LOCATION OF TEMPORARY CONSTRUCTION ENTRANCE TO BE DETERMINED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

**PROPOSED LEGEND**

- PROPOSED VERTICAL GRANITE CURB
- PROPOSED WOODEN FENCE
- PROPOSED IRON FENCE (MATCH EXISTING)
- PROPOSED CONCRETE WALK
- PROPOSED SUBSURFACE DETENTION FACILITY
- PROPOSED BRICK PAVING
- PROPOSED WHEELCHAIR RAMP
- PROPOSED RECESSED POLE LIGHT
- PROPOSED RECESSED LIGHT
- PROPOSED BIKE RACK
- P.M.H.
- P.V.C.B.
- P.C.B.
- P.V.C.
- PROPOSED DRAIN MANHOLE
- PROPOSED VORTEX CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED VERTICAL GRANITE CURB

**PARKING NOTES:**

- TOTAL NUMBER OF PARKING SPACES BASED ON USE OF CITY LEFT HANDSIDE SUBTERRANEAN PARKING SYSTEM.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	01/26/21	REVISED SUBMISSION
2	01/26/21	REVISED SUBMISSION
3	01/26/21	REVISED SUBMISSION



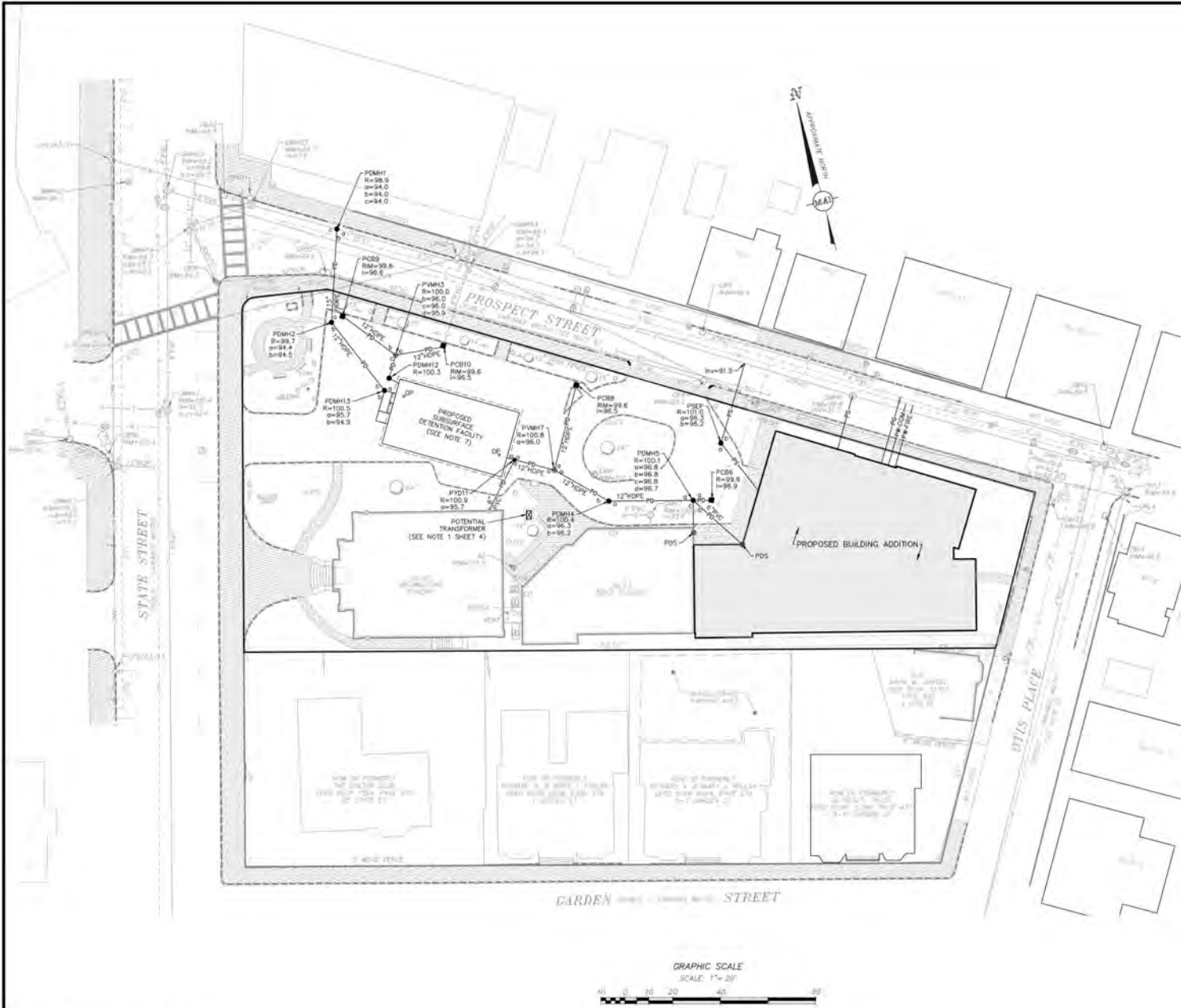
**93 STATE STREET**  
**SITE LAYOUT, GRADING & EROSION CONTROL PLAN**  
 LOCATED IN  
**NEWBURYPORT, MASSACHUSETTS**  
 (ESSEX COUNTY)  
**INSTITUTION FOR SAVINGS**

**MERIDIAN ASSOCIATES**  
 300 GARDEN STREET, SUITE 1000  
 NEWBURYPORT, MASSACHUSETTS 01951  
 TELEPHONE: 978-254-4444  
 WWW.MERIDIANASSOCIATES.COM  
 DESIGNED BY: MAE

DATE: OCTOBER 14, 2020  
 SCALE: 1"=20'  
 SHEET No. **3 of 7**  
 PROJECT No. **6215**

FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION

(REV# 6215-REV)  
DATE: 01/26/21



- PROPOSED LEGEND:**
- PD — PROPOSED DRAIN LINE
  - PDMH PROPOSED DRAIN MANHOLE
  - PDS PROPOSED DOWNSPOUT
  - PSM PROPOSED VORTEX MANHOLE
  - PSL — PROPOSED SEWER LINE
  - PFD PROPOSED FLOOR DRAIN
  - PSD PROPOSED OIL & GRT SEPARATOR
  - PW — PROPOSED WATER LINE
  - PH — PROPOSED HYDRANT
  - PG — PROPOSED GAS LINE
  - GP PROPOSED OBSERVATION POINT
  - R- RM ELEVATION
  - W- WE ELEVATION

- PROPOSED UTILITY NOTES:**
1. PROPOSED TRANSFORMER LOCATION IS APPROXIMATE AND MAY CHANGE PER REQUEST OF UTILITY COMPANY. ADDITIONAL UTILITY INFORMATION IS NEEDED TO VERIFY THE FINAL LOCATION.
  2. COORDINATE UTILITY CONSTRUCTION WITH ALL TRADES AND CORRESPONDING DESIGN PLANS FOR CONNECTION TO PROPOSED BUILDING AND SITE UTILITIES.
  3. PROPOSED ELECTRIC AND UTILITY CONNECTIONS DEPICTED HEREON HAVE BEEN PROVIDED FOR SCHEMATIC PURPOSE ONLY. ACTUAL UTILITY CONFIGURATIONS SHALL BE DETERMINED BY RESPECTIVE UTILITY PROVIDERS, MEP SPECIFICATIONS AND ARCHITECTURAL PLANS.
  4. LOCATION OF PROPOSED OIL AND GRT SEPARATOR SHOWN FOR SCHEMATIC PURPOSES ONLY. ALL DESIGN CALCULATIONS AND DETAIL FOR SYSTEM SHALL BE SHOWN ON THE CONSTRUCTION PLANS WHICH WILL BE PROVIDED TO THE BOARD OF HEALTH FOR REVIEW AND APPROVAL.
  5. INTERIOR FLOOR DRAIN SYSTEM SHALL BE DESIGNED BY MEP AND SUBMITTED TO THE OPS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  6. LOCATIONS OF ROOF DRAIN GUTTER DOWNSPOUTS TO BE COORDINATED WITH ARCHITECTURAL PLANS.
  7. REFER TO SHOULDER DETENTION FACILITY DETAIL (SHEET 6) FOR ADDITIONAL INLET INFORMATION.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	02/02/21	REVISED SUBMISSION
2	07/26/21	REVISED SUBMISSION
3	10/14/21	REVISED SUBMISSION



93 STATE STREET  
 LOCATED IN  
**SITE UTILITY PLAN**  
 NEWBURYPORT, MASSACHUSETTS  
 (ESSEX COUNTY)  
 INSTITUTION FOR SAVINGS

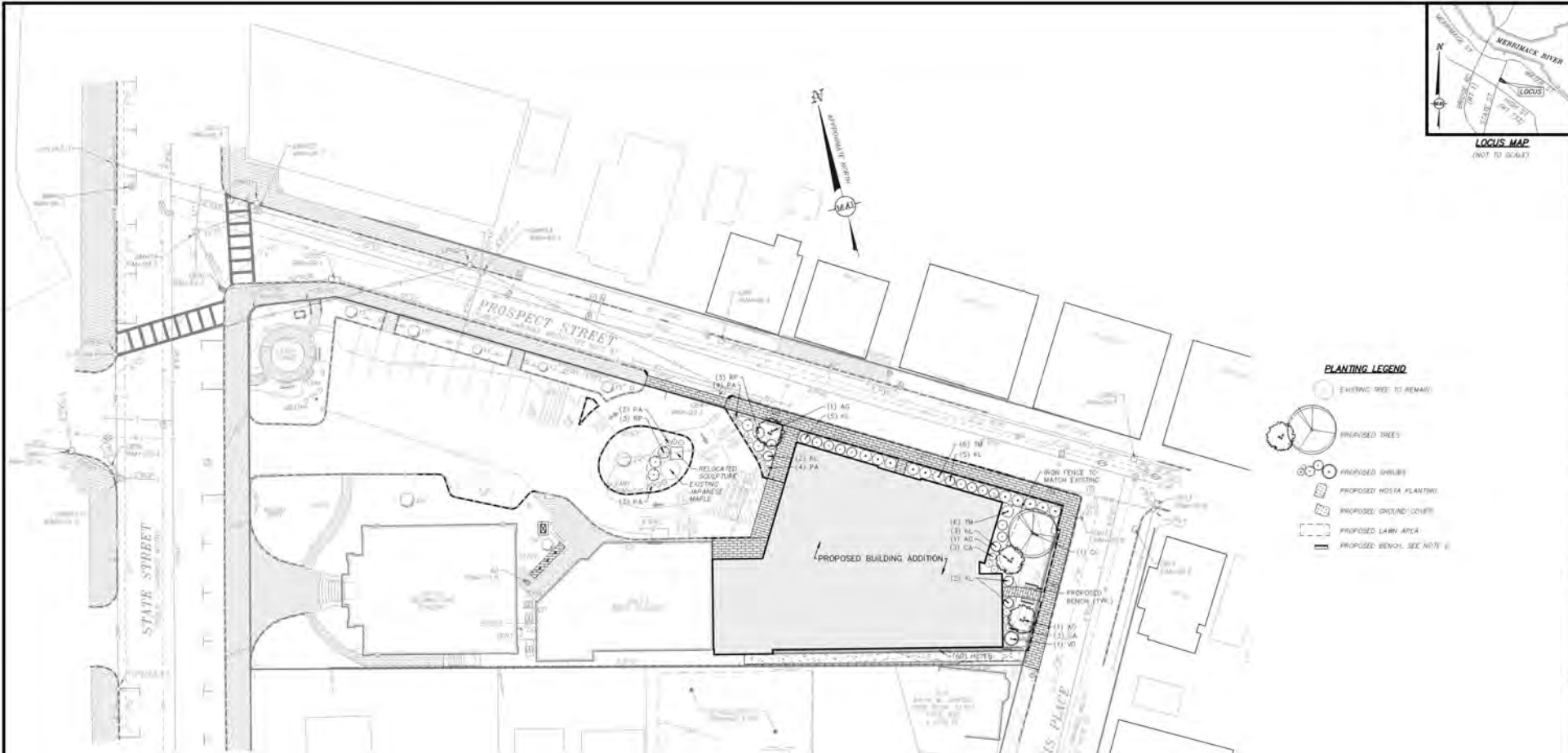
**MERIDIAN ASSOCIATES**  
 300 COMMONWEALTH AVENUE, SUITE 1000  
 WESTPORT, MASSACHUSETTS 01881  
 TELEPHONE: 978-294-8244 FAX: 978-294-8245  
 WWW.MERIDIANASSOCIATES.COM

DATE: OCTOBER 14, 2020  
 SCALE: 1"=20'  
 SHEET No. 4 of 7  
 PROJECT No. 6215

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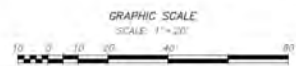
(REV'D 6215-REC)  
 DATE: 10/14/2020



PLANT SCHEDULE						
QTY	SYM	LATIN NAME	COMMON NAME	SIZE	NOTES	
<b>TREES</b>						
3	AG	Ametricher x grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	6'-8" Ht.   M5   B&B	BR   N   ST   White   Birds   Showy   Edible Fruit   Fall Color   April-May	
1	CC	Carpinus caroliniana	American Hornbeam	3'-3.5' Cal.   B&B	DT   N   White   Street Tree   Fall Color   February	
<b>SHRUBS</b>						
8	CA	Chaetochloa	Summersweet	24"-30" Ht.   #3 Pot	BR   N   ST   White   Butterflies   Showy   Fragrant   Heavy Shade   July-August	
17	KL	Ipomoea latifolia	Mountain Laurel	30"-36" Ht.   B&B	N   DT   ST   Evergreen   Winter Interest   Heavy Shade	
6	RP	Rhododendron x FIM	FIM Rhododendron	24"-30" Ht.   #5 Pot	DR   60" OC   Purple   Winter Interest   April	
12	TM	Taxus x media 'Hartfield'	Hartfield Yew	30"-36" Ht.   B&B	DT   ST   60" OC   Evergreen   Winter Interest   Heavy Shade	
1	VD	Viburnum dentatum 'Ratjak Senior'	Autumn Jazz Arrowwood Viburnum	36"-60" Ht.   #7 Pot	BR   DR   N   ST   6' OC   White   Birds/Butterflies   May-June	
<b>PERENNIALS &amp; GROUND COVER</b>						
14	PA	Penstemon albertianus	Penion Sage	#1 Pot	DR   DT   ST   18" OC   Purple   Birds/Butterflies   June-August	
30	HS	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	ST   30" OC   White-Pink Lavender   Hummingbirds   Showy   Heavy Shade   July-August	
30	FB	Hosta 'Fragrant Bouquet'	Fragrant Bouquet Hosta	#2 Pot	ST   30" OC   White   Fragrant   Hummingbirds   Heavy Shade   June-July	

DR = DEER RESISTANT | DT = DROUGHT TOLERANT | N = NATIVE | ST = SALT TOLERANT | OC = ON-CENTER | B&B = BALLED AND BURLAPPED

- NOTES:**
- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AMERICANHORT 2014 AND AS AMENDED.
  - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
  - NO DEVIATIONS OR SUBSTITUTIONS FROM THE PLANT SCHEDULE SHALL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANT MATERIAL INCLUDING EXISTING TREES AGAINST DAMAGE DURING THE CONSTRUCTION PERIOD. PROTECTION SHALL BEGIN PRIOR TO COMMENCEMENT OF ANY WORK AND CONTINUE UNTIL FINAL ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
  - ALL NEW PLANTING AREAS SHALL BE ENSURED TO A DEPTH THAT CONFORMS WITH THE PLANTING DETAILS (SHEET 7 OF THIS PLAN SET) AND REMOVE NEW PLANTING SOIL.
  - PROPOSED BENCHES SHALL MATCH SIZE AND STYLE OF EXISTING BENCHES FOUND ON SITE. INSTALLATION REQUIREMENTS WILL BE PROVIDED BY MANUFACTURER.
  - ALL MATERIALS REMOVED FROM SITE SHALL BE DISPOSED OF IN A LEGAL AND PROFESSIONAL MANNER.
  - ALL DISTURBED AREAS SHALL BE RE-SEED WITHIN 15 DAYS OF DISTURBANCE OR RE-PLANTING AS SHOWN HEREON WITH A DROUGHT-TOLERANT TURFGRASS SEED MIX (BSE FALF FESCUE, 10% PERENNA, 80% GRASS, 10% PERENNIAL BLEND) AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
  - BALLED AND BURLAPPED PLANTS MAY BE PLANTED IN THE SPRING FROM APRIL 1ST UNTIL JUNE 15TH AND IN THE FALL FROM AUGUST 15TH TO NOVEMBER 1ST.



**REVISIONS**

NO.	DATE	DESCRIPTION



**93 STATE STREET  
SITE LANDSCAPE PLAN  
NEWBURYPORT, MASSACHUSETTS  
(ESSEX COUNTY)**

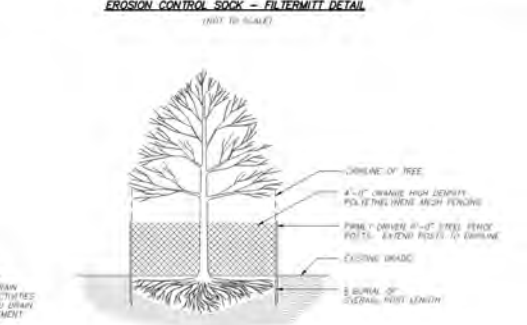
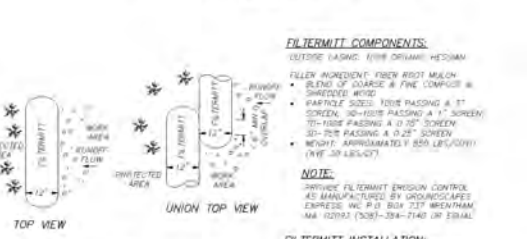
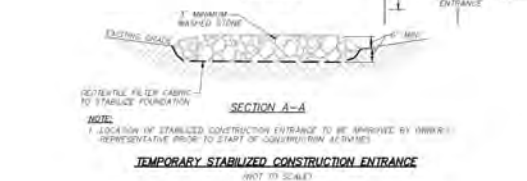
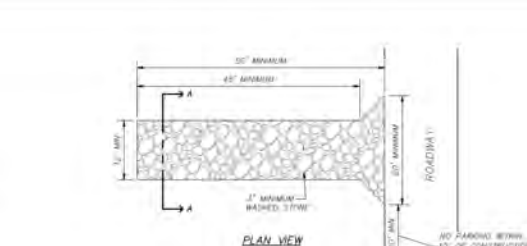
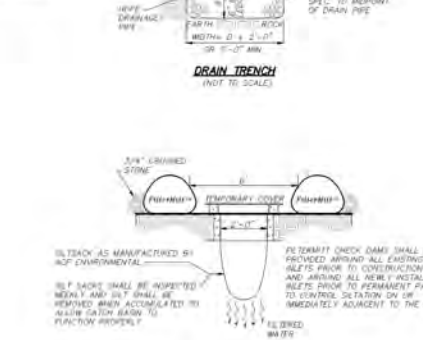
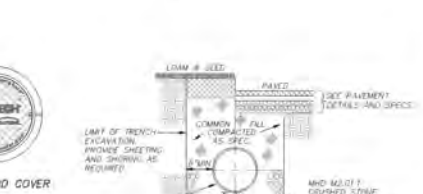
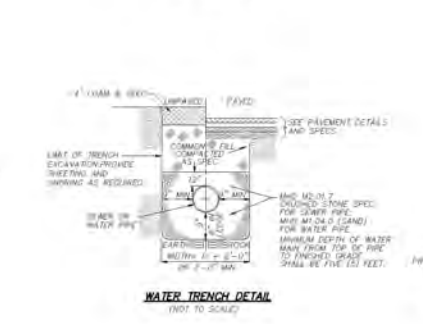
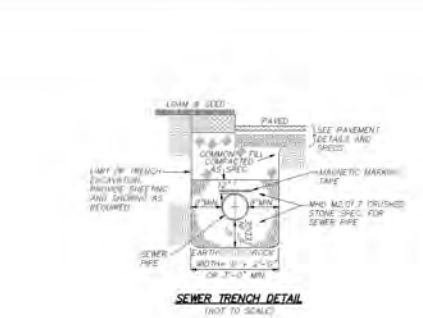
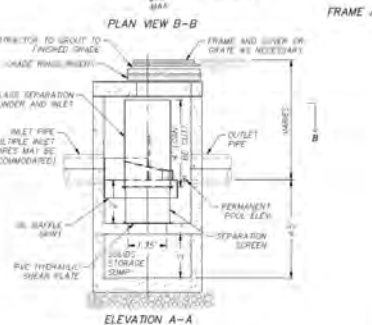
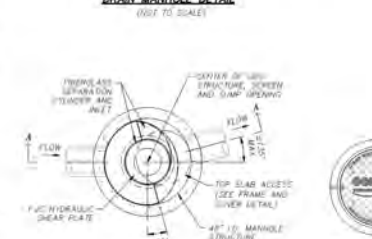
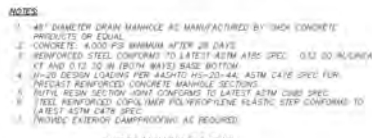
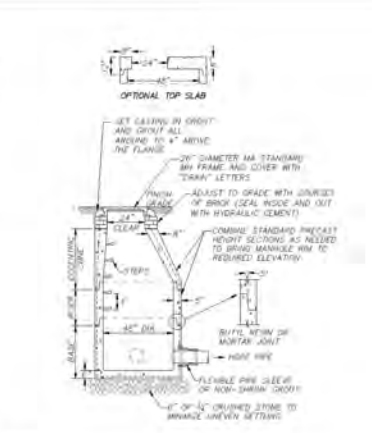
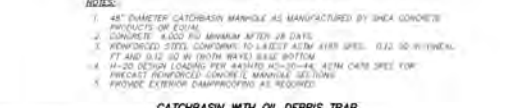
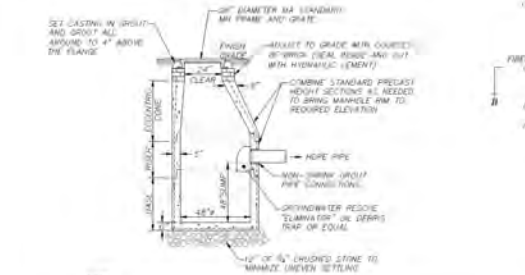
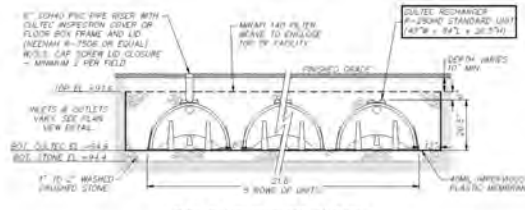
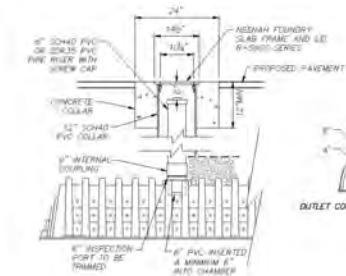
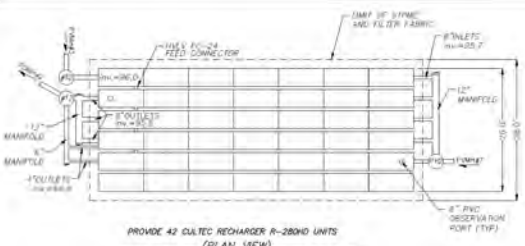
DESIGNED BY: MAE

**MERIDIAN ASSOCIATES**  
300 COMMONWEALTH STREET, SUITE 100  
NEWBURYPORT, MASSACHUSETTS 01941  
TELEPHONE: 978-256-4444  
WWW.MERIDIANASSOCIATES.COM

DATE: DECEMBER 03, 2020  
SCALE: 1" = 20'  
SHEET No. 5 OF 7  
PROJECT No. 6215

FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION

(XREF: 6215-REC)  
DWG. No. 0248-3102-000



- NOTES**
- 48" DIAMETER DRAIN MANHOLE AS MANUFACTURED BY TROX CONCRETE PRODUCTS OF EQUAL
  - CONCRETE 4000 PSI MINIMUM AFTER 28 DAYS
  - REINFORCED STEEL CONFORMS TO LATEST ASTM STEEL SPEC. 0.12 30 INVERTICAL, 0.17 AND 0.12 30 IN (BOTH WAYS) BASE BOTTOM
  - H-20 DESIGN LOADING PER AASHTO H-20-44, ASTM C476 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS
  - RUBBLE REIN SECTION JOINT CONFORMS TO LATEST ASTM CONG SPEC
  - TEEL REINFORCED CONCRETE MANHOLE POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C476 SPEC
  - NUMBER EXTERIOR DAMPROOFING AS REQUIRED

- NOTES**
- LOCATION OF STABILIZED CONSTRUCTION ENTRANCE TO BE APPROVED BY OWNER REPRESENTATIVE PRIOR TO START OF CONSTRUCTION ACTIVITIES

- NOTES**
- 48" DIAMETER CATCHBASIN MANHOLE AS MANUFACTURED BY SNEYA CONCRETE PRODUCTS OF EQUAL
  - CONCRETE 4000 PSI MINIMUM AFTER 28 DAYS
  - REINFORCED STEEL CONFORMS TO LATEST ASTM STEEL SPEC. 0.12 30 INVERTICAL, 0.17 AND 0.12 30 IN (BOTH WAYS) BASE BOTTOM
  - H-20 DESIGN LOADING PER AASHTO H-20-44, ASTM C476 SPEC FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS
  - PROVIDE EXTERIOR DAMPROOFING AS REQUIRED

- NOTES**
- PROVIDE (2) 3015-F-20 AS MANUFACTURED BY CONTECH ENGINEERED SOLUTIONS OF EQUAL
  - UNIT CAN BE CONSTRUCTED WITH GRADED STONE AS NECESSARY

- NOTES**
- PROVIDE (2) 3015-F-20 AS MANUFACTURED BY CONTECH ENGINEERED SOLUTIONS OF EQUAL
  - UNIT CAN BE CONSTRUCTED WITH GRADED STONE AS NECESSARY

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- PROVIDE (2) 3015-F-20 AS MANUFACTURED BY CONTECH ENGINEERED SOLUTIONS OF EQUAL
  - UNIT CAN BE CONSTRUCTED WITH GRADED STONE AS NECESSARY

- NOTES**
- ALL TREES AT JOB WITHIN THE LIMIT OF WORK SHALL RECEIVE TREE PROTECTION PRIOR TO THE START OF CONSTRUCTION ACTIVITIES

NO.	DATE	REVISIONS
1	01/08/21	REVISED DIMENSIONS
2	01/08/21	REVISED DIMENSIONS
3	01/08/21	REVISED DIMENSIONS



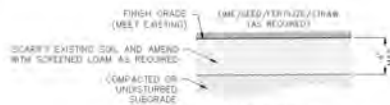
93 STATE STREET  
 SITE DETAILS  
 LOCATED IN  
 NEWBURYPOR, MASSACHUSETTS  
 (ESSEX COUNTY)  
 INSTITUTION FOR SAVINGS

**MERIDIAN ASSOCIATES**  
 300 WASHINGTON STREET, SUITE 1000  
 WASHINGTON, MA 01890  
 TEL: 978-234-1100  
 FAX: 978-234-1101  
 WWW.MERIDIANASSOCIATES.COM

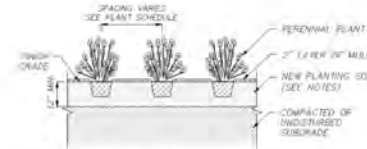
DATE: OCTOBER 14, 2020  
 SCALE: AS NOTED  
 SHEET NO: 6 OF 7  
 PROJECT NO: 6215

FOR PERMITTING ONLY  
 NOT FOR CONSTRUCTION





**LOAM & SEEDING**  
(NOT TO SCALE)



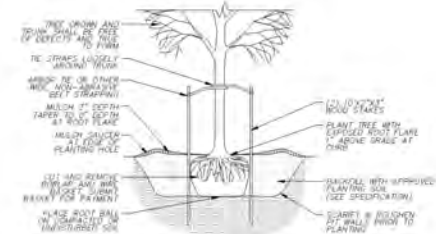
- NOTE:**
- SEE LANDSCAPE NOTES FOR ADDITIONAL PLANNING REQUIREMENTS.
  - SPACE PLANTS EQUALLY TO PROVIDE CONSISTENT COVER OVER INDICATED PLANTING BED.
  - ALL ROOT BALLS TO BE SCARIFIED PRIOR TO BACKFILLING.

**GROUNDCOVER / ANNUAL / PERENNIAL PLANTING**  
(NOT TO SCALE)

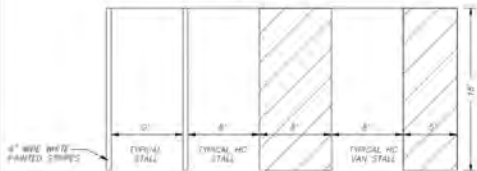


- NOTES:**
- BACKFILL PLANTING HOLE WITH NEW PLANTING SOIL.
  - BACKFILL HALF THE SOIL AND WATER TO SETTLE. JUST AIR PRICKETS COMPLETE. BACKFILLING AND REPEAT WATERING.
  - IF ROOTS ARE OBSTRUCTING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

**SHRUB PLANTING**  
(NOT TO SCALE)

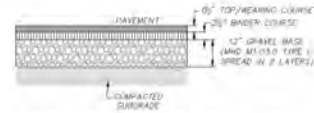


**TREE PLANTING**  
(NOT TO SCALE)



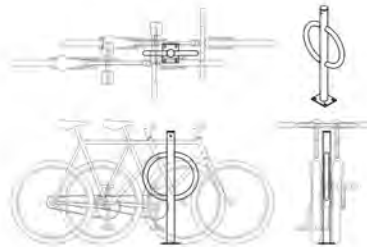
**NOTE:** FOR LOCATION AND DIMENSIONS OF ALL PAVEMENT STRIPS, SEE SITE PLAN.

**PAVEMENT MARKING DETAIL**  
(NOT TO SCALE)



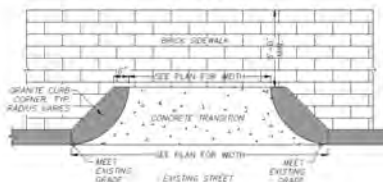
**NOTE:** THE WEARING AND BINDER COURSES SHALL CONSIST OF CLASS II TYPE II BITUMINOUS CONCRETE (SEE MIX DESIGN).

**BITUMINOUS CONCRETE PAVEMENT**  
(NOT TO SCALE)



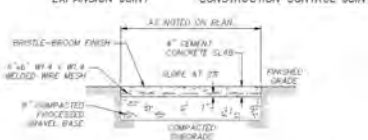
**NOTE:** MAKE AND MODEL TO BE APPROVED BY PROJECT OWNER PRIOR TO INSTALLATION. REFER TO MANUFACTURER'S SPECIFICATIONS FOR DETAILS.

**BICYCLE RACK**  
(NOT TO SCALE)



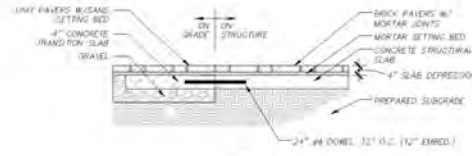
GRANITE CURB CORNER SHALL MEET THE REQUIREMENTS OF MASS HIGHWAY STANDARD SPECIFICATIONS, M 0104.

**PARKING ENTRANCE/EXIT TRANSITION**  
(NOT TO SCALE)

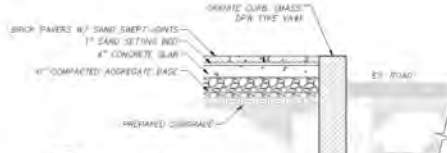


- NOTES:**
- TYPICAL EXPANSION JOINT SPACING EVERY 20' O.C.
  - TYPICAL CONTROL JOINT SPACING EVERY 5' O.C.

**CONCRETE WALKWAY**  
(NOT TO SCALE)

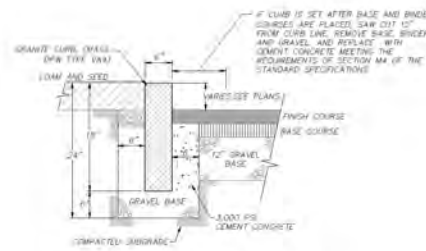


**BRICK PAVERS**  
(NOT TO SCALE)

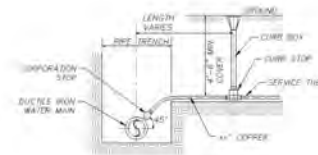


**NOTE:** PAVERS SHALL BE AS SPECIFIED.

**BRICK PAVER SIDEWALK/CROSSWALK**  
(NOT TO SCALE)



**VERTICAL GRANITE CURB**  
(NOT TO SCALE)



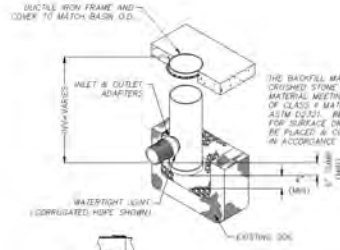
**TYPICAL WATER SERVICE**  
(NOT TO SCALE)



**NOTES:**

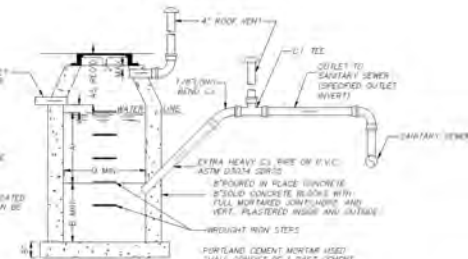
- FILL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC CLAY, CONCRETE OR IRON PIPE.
- SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE SECURED WITH STRAPS. SADDLES WILL NOT BE CEMENTED INTO THE PIPE.
- FILL WIRE CONNECTION FITTINGS MAY BE USED.
- PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
- CONNECTING DIRECTLY WITH THE EXISTING PIPE WITHOUT A SADDLE OR TELL WIRE FITTING ARE NOT ALLOWED.
- BUILDING CONNECTIONS SHALL BE BEDDED IN 3/4\"/>

**SEWER CONNECTION DETAIL**  
(NOT TO SCALE)



- NOTE:**
- PROVIDE 1/4\"/>

**PROPOSED YARD DRAIN**  
(NOT TO SCALE)



- NOTES:**
- FOR WELLS LARGER THAN 12\"/>

**OIL / WATER SEPARATOR**  
(NOT TO SCALE)

**NOTE:** THIS DETAIL IS FOR SCHEMATIC PURPOSES ONLY. THE OIL/WATER SEPARATOR SHALL BE DESIGNED BY THE PLUMBING PROFESSIONAL.

NO.	DATE	REVISIONS
1	01/05/21	REVISED SUBMITTALS
2	02/02/21	REVISED SUBMITTALS
3	02/02/21	REVISED SUBMITTALS
4	02/02/21	REVISED SUBMITTALS
5	02/02/21	REVISED SUBMITTALS



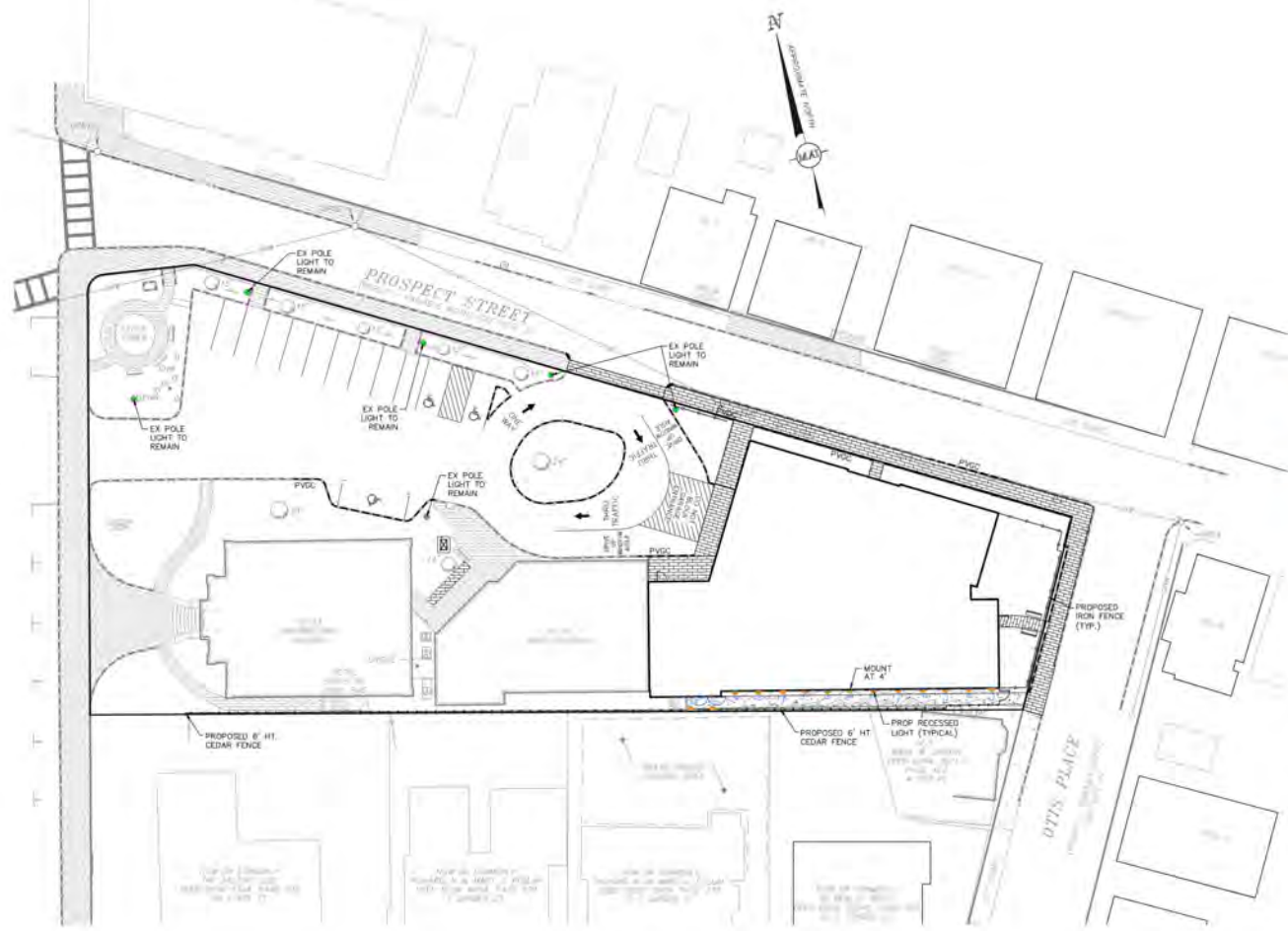
93 STATE STREET  
SITE DETAILS  
LOCATED IN  
NEWBURYPOR, MASSACHUSETTS  
(ESSEX COUNTY)  
INSTITUTION FOR SAVINGS

**MERIDIAN ASSOCIATES**  
300 WASHINGTON STREET, SUITE 1000  
NEWBURYPOR, MASSACHUSETTS 01891  
TEL: 978.366.1100 FAX: 978.366.1101  
WWW.MERIDIANASSOCIATES.COM

DATE: OCTOBER 14, 2020  
SCALE: AS NOTED  
SHEET NO.: 7 OF 7  
PROJECT NO.: 6215

FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION

DATE: 10/14/2020



**LIGHTING NOTES:**

1. THE SOLE PURPOSE OF THIS PLAN IS TO DENOTE THE PHOTOMETRICS OF THE PROPOSED BOLLARD LIGHTS ALONG THE PROPOSED SOUTHERN WALKWAY.
2. LIGHT SELECTION AND DETAIL PROVIDED BY THE ARCHITECT.
3. EXISTING POLE LIGHTS WITHIN THE EXISTING PARKING LOT SHALL REMAIN AS NOTED. ONE NEW POLE LIGHT IS PROPOSED AT THE ENTRY OF THE ADDITION AND SHALL MATCH THE EXISTING LIGHTING IN THE PARKING LOT. POLE LIGHT TO BE DETERMINED BY ARCHITECT.
4. RECESSED LIGHTING TO BE MOUNTED AT 4' HEIGHT UNLESS OTHERWISE SPECIFIED ON THE PLAN.

**PROPOSED LIGHTING LEGEND**

- EXISTING POLE LIGHT
- PROPOSED RECESSED LIGHT
- PROPOSED 7' FC CONTOUR
- PROPOSED 1' FC CONTOUR
- PROPOSED 0.5' FC CONTOUR
- PROPOSED 0.25' FC CONTOUR
- PROPOSED FOOTCANDLE
- FC

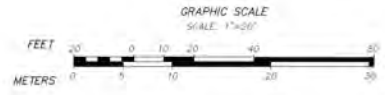
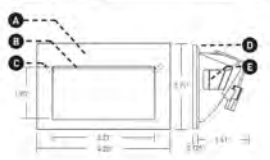
**PATHLIGHTS  
DOUBLE IMPACT**

Low glare path lights help the way through the dark at night, reducing the risk of tripping accidents.



ITEM	QTY	DESCRIPTION	UNIT
1	1	Pathlight	EA

- 1. **LMC**  
Lighting Manufacturer's Catalogue
- 2. **EFFECTS DEVICE**  
Provides high quality illumination for architectural lighting applications.
- 3. **LOCKING**  
Security feature which prevents tampering with the device.
- 4. **BASKET**  
Holds the device and provides a secure mounting point.
- 5. **REVISION**  
Changes to the drawing are indicated by a revision cloud and a number.



**RECORD OWNER:**  
INSTITUTION FOR SAVINGS IN  
NEWBURYPORT AND ITS WING  
93 STATE STREET  
NEWBURYPORT, MASSACHUSETTS 01950

**LUCIFER**  
LIGHTING CONSULTANTS  
1000 STATE STREET, SUITE 100  
NEWBURYPORT, MASSACHUSETTS 01950  
TELEPHONE: 978-251-1111 FAX: 978-251-1112

**REVISIONS**

NO.	DATE	DESCRIPTION
01	03/20/21	REVISED SUBMISSION
02	03/20/21	REVISED SUBMISSION
03	03/20/21	REVISED SUBMISSION

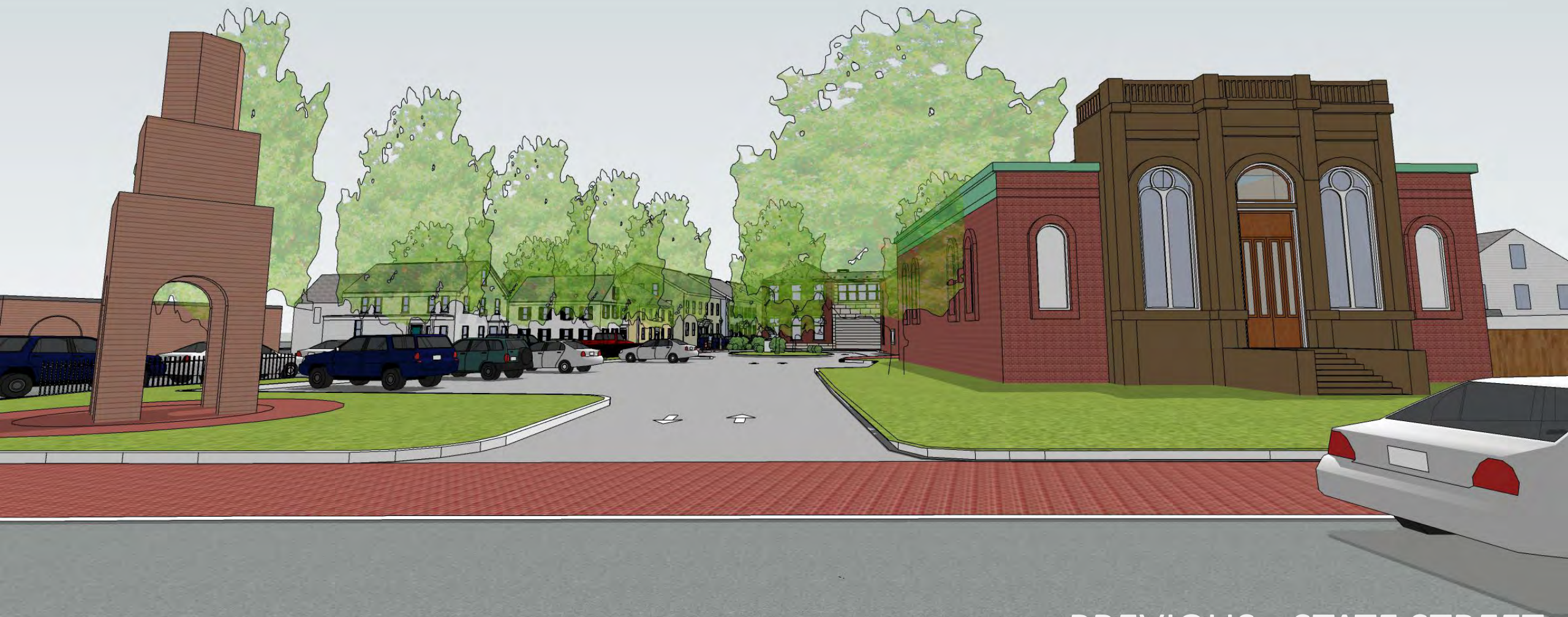
93 STATE STREET  
BOLLARD PHOTOMETRIC PLAN  
NEWBURYPORT, MASSACHUSETTS  
(ASSISTED BY ARCHITECT)  
INSTITUTION FOR SAVINGS

**MERIDIAN ASSOCIATES**  
100 STATE STREET, SUITE 100  
NEWBURYPORT, MASSACHUSETTS 01950  
TELEPHONE: 978-251-1111 FAX: 978-251-1112

DATE: OCTOBER 14, 2020  
SCALE: 1" = 20'  
SHEET NO.: 1 OF 1  
PROJECT NO.: 6215

DATE PLOTTED: 10/14/2020 10:00 AM  
DRAWN BY: JLM  
CHECKED BY: JLM

# Model Views



PREVIOUS - STATE STREET



PROPOSED - STATE STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - STATE AND PROSPECT STREET





PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - GARDEN STREET



PROPOSED - GARDEN STREET



PREVIOUS - OTIS PLACE





PROPOSED - OTIS PLACE



PREVIOUS - OTIS PLACE



PROPOSED - OTIS PLACE



PREVIOUS - OTIS PLACE



PROPOSED - OTIS PLACE



PREVIOUS - FAÇADE DETAIL



PROPOSED - FAÇADE DETAIL







PROPOSED - AERIAL NORTHWEST



PREVIOUS - AERIAL NORTHEAST



PROPOSED - AERIAL NORTHEAST

# Tangram Renderings

















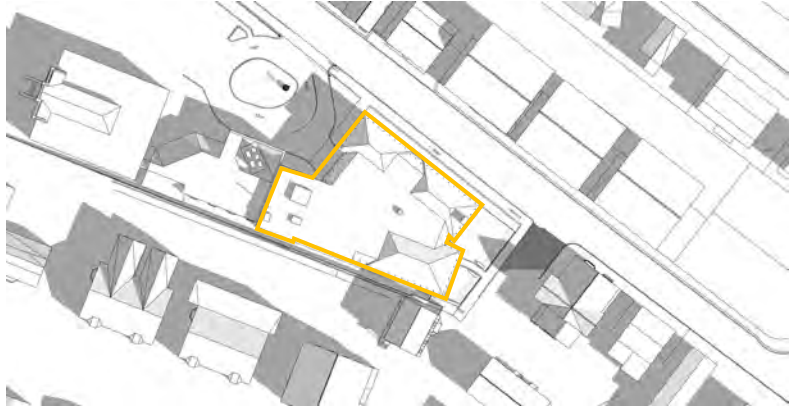




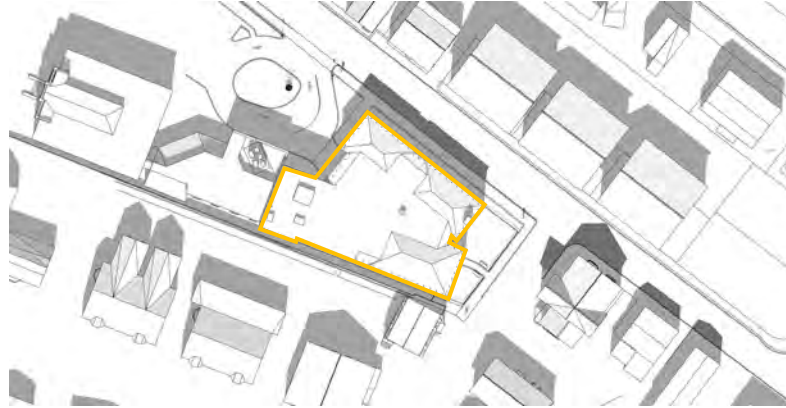


# Shadow Studies

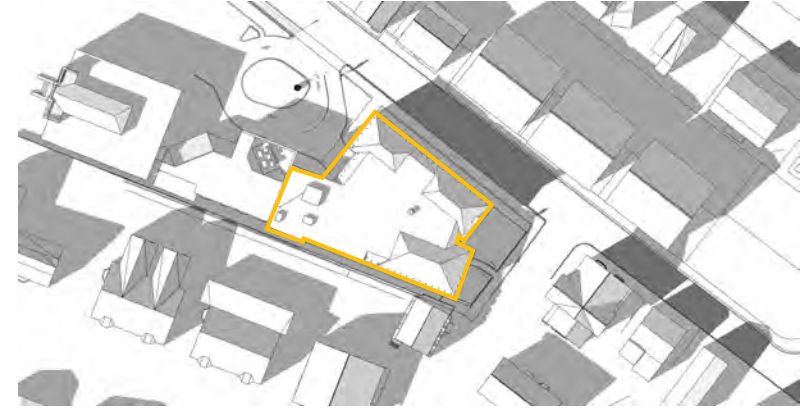
Vernal Equinox  
March 21



9AM



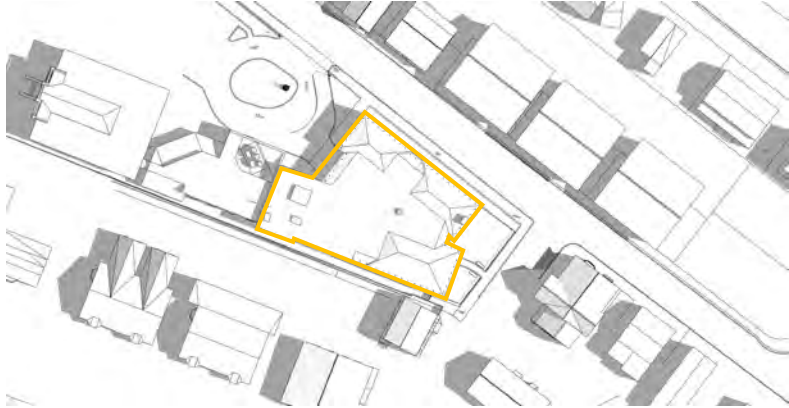
12PM



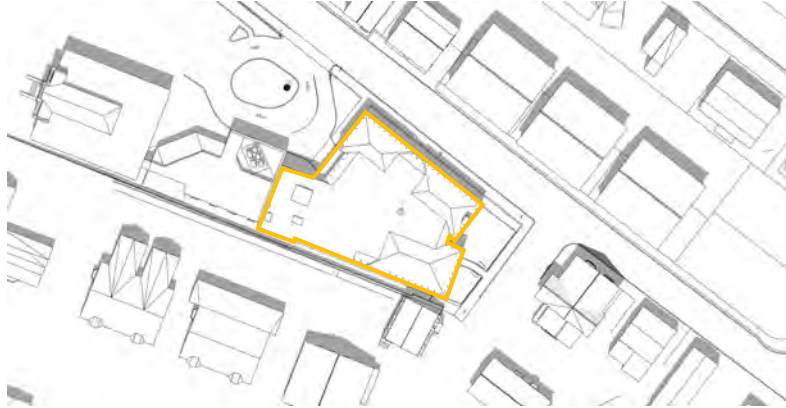
3PM



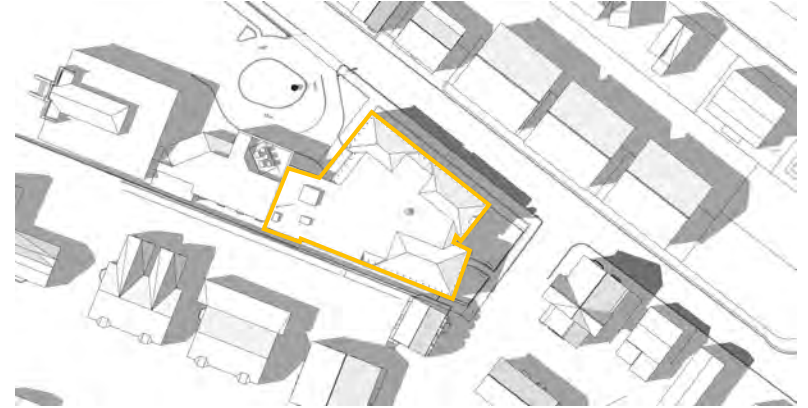
Summer Solstice  
June 21



9AM

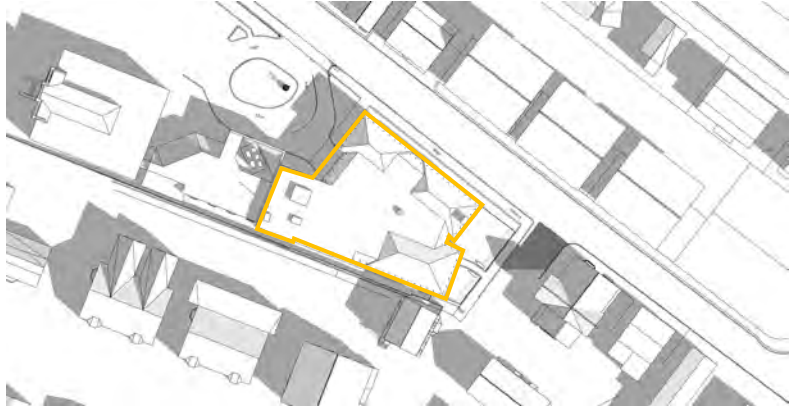


12PM

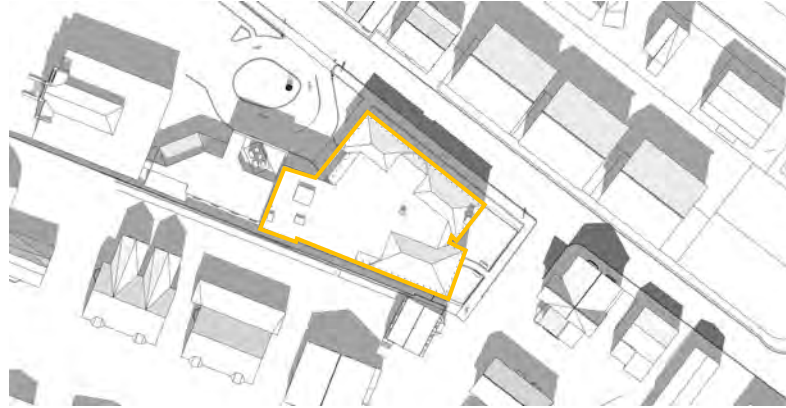


3PM

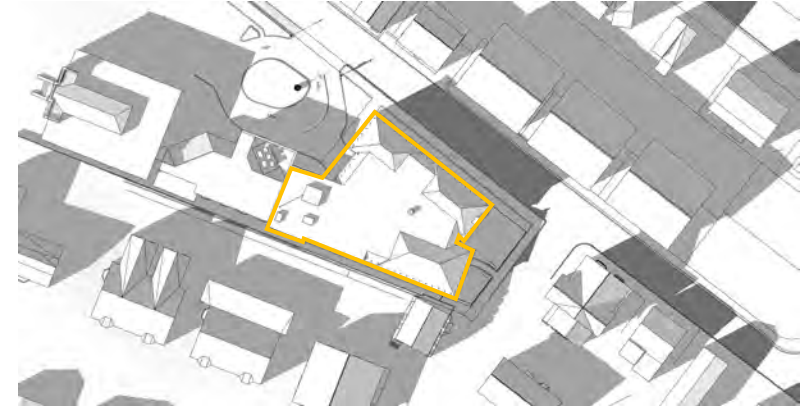
Autumnal Equinox  
September 21



9AM



12PM

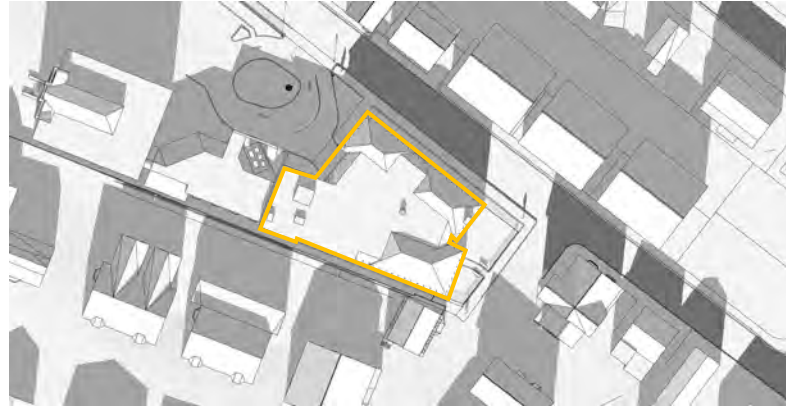


3PM

Winter Solstice  
December 21



9AM



12PM



3PM

# Comparisons



**Thomas Crane Public Library**  
Quincy, Massachusetts  
Built in 1881 | Expansion completed in 2001



**Needham Free Public Library**  
Needham, Massachusetts  
Built in 1915 | Expansion completed in 2008



**Milton Public Library**

Milton, Massachusetts

Built 1902 | Expansion completed in 2010



Data Sources: Produced by Merrimack Valley Planning Commission (MVPC) using data provided by the City of Newburyport & Merrimack Valley Planning Commission. MVPC AND THE CITY OF NEWBURYPORT MAKE NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY, COMPLETENESS, RELIABILITY OR SUITABILITY OF THESE DATA. THE CITY OF NEWBURYPORT AND MVPC DOES NOT ASSUME ANY LIABILITY ASSOCIATED WITH THE USE OR MISUSE OF THIS INFORMATION.



Municipal Boundary		Roads		Zoning Overlay		Historic		Legend	
Parcel	City	State	Local	WMD	WMU	POD	POD	Local Road	State Road
WMD	WMU	State	Local	Zone A	Zone B	POD	POD	3000	3000
Zone A	Zone B	Water Resource Protection	Road Right of Way	Zone C	Zone D	POD	POD	3000-B	3000-C
Zone C	Zone D	Intermittent Stream	Intermittent Stream	Zone E	Zone F	POD	POD	Zone C	3000-D
Zone E	Zone F			Zone G	Zone H	POD	POD	Zone D	3000-E
				Zone I	Zone J	POD	POD	Zone E	3000-F
				Zone K	Zone L	POD	POD	Zone F	3000-G
				Zone M	Zone N	POD	POD	Zone G	3000-H
				Zone O	Zone P	POD	POD	Zone H	3000-I
				Zone Q	Zone R	POD	POD	Zone I	3000-J
				Zone S	Zone T	POD	POD	Zone J	3000-K
				Zone U	Zone V	POD	POD	Zone K	3000-L
				Zone W	Zone X	POD	POD	Zone L	3000-M
				Zone Y	Zone Z	POD	POD	Zone M	3000-N
				Zone AA	Zone AB	POD	POD	Zone N	3000-O
				Zone AC	Zone AD	POD	POD	Zone O	3000-P
				Zone AE	Zone AF	POD	POD	Zone P	3000-Q
				Zone AG	Zone AH	POD	POD	Zone Q	3000-R
				Zone AI	Zone AJ	POD	POD	Zone R	3000-S
				Zone AK	Zone AL	POD	POD	Zone S	3000-T
				Zone AM	Zone AN	POD	POD	Zone T	3000-U
				Zone AO	Zone AP	POD	POD	Zone U	3000-V
				Zone AQ	Zone AR	POD	POD	Zone V	3000-W
				Zone AS	Zone AT	POD	POD	Zone W	3000-X
				Zone AU	Zone AV	POD	POD	Zone X	3000-Y
				Zone AW	Zone AX	POD	POD	Zone Y	3000-Z
				Zone AY	Zone AZ	POD	POD	Zone Z	3000-AA
				Zone BA	Zone BB	POD	POD	Zone AA	3000-AB
				Zone BC	Zone BD	POD	POD	Zone AB	3000-AC
				Zone BE	Zone BF	POD	POD	Zone AC	3000-AD
				Zone BG	Zone BH	POD	POD	Zone AD	3000-AE
				Zone BI	Zone BJ	POD	POD	Zone AE	3000-AF
				Zone BK	Zone BL	POD	POD	Zone AF	3000-AG
				Zone BM	Zone BN	POD	POD	Zone AG	3000-AH
				Zone BO	Zone BP	POD	POD	Zone AH	3000-AI
				Zone BQ	Zone BR	POD	POD	Zone AI	3000-AJ
				Zone BS	Zone BT	POD	POD	Zone AJ	3000-AK
				Zone BU	Zone BV	POD	POD	Zone AK	3000-AL
				Zone BW	Zone BX	POD	POD	Zone AL	3000-AM
				Zone BY	Zone BZ	POD	POD	Zone AM	3000-AN
				Zone CA	Zone CB	POD	POD	Zone AN	3000-AO
				Zone CC	Zone CD	POD	POD	Zone AO	3000-AP
				Zone CE	Zone CF	POD	POD	Zone AP	3000-AQ
				Zone CG	Zone CH	POD	POD	Zone AQ	3000-AR
				Zone CI	Zone CJ	POD	POD	Zone AR	3000-AS
				Zone CK	Zone CL	POD	POD	Zone AS	3000-AT
				Zone CM	Zone CN	POD	POD	Zone AT	3000-AU
				Zone CO	Zone CP	POD	POD	Zone AU	3000-AV
				Zone CQ	Zone CR	POD	POD	Zone AV	3000-AW
				Zone CS	Zone CT	POD	POD	Zone AW	3000-AX
				Zone CU	Zone CV	POD	POD	Zone AX	3000-AY
				Zone CW	Zone CX	POD	POD	Zone AY	3000-AZ
				Zone CY	Zone CZ	POD	POD	Zone AZ	3000-BA
				Zone DA	Zone DB	POD	POD	Zone BA	3000-AB
				Zone DC	Zone DD	POD	POD	Zone AB	3000-AC
				Zone DE	Zone DF	POD	POD	Zone AC	3000-AD
				Zone DG	Zone DH	POD	POD	Zone AD	3000-AE
				Zone DI	Zone DJ	POD	POD	Zone AE	3000-AF
				Zone DK	Zone DL	POD	POD	Zone AF	3000-AG
				Zone DM	Zone DN	POD	POD	Zone AG	3000-AH
				Zone DO	Zone DP	POD	POD	Zone AH	3000-AI
				Zone DQ	Zone DR	POD	POD	Zone AI	3000-AJ
				Zone DS	Zone DT	POD	POD	Zone AJ	3000-AK
				Zone DU	Zone DV	POD	POD	Zone AK	3000-AL
				Zone DW	Zone DX	POD	POD	Zone AL	3000-AM
				Zone DY	Zone DZ	POD	POD	Zone AM	3000-AN
				Zone EA	Zone EB	POD	POD	Zone AN	3000-AO
				Zone EC	Zone ED	POD	POD	Zone AO	3000-AP
				Zone EE	Zone EF	POD	POD	Zone AP	3000-AQ
				Zone EG	Zone EH	POD	POD	Zone AQ	3000-AR
				Zone EI	Zone EJ	POD	POD	Zone AR	3000-AS
				Zone EK	Zone EL	POD	POD	Zone AS	3000-AT
				Zone EM	Zone EN	POD	POD	Zone AT	3000-AU
				Zone EO	Zone EP	POD	POD	Zone AU	3000-AV
				Zone EQ	Zone ER	POD	POD	Zone AV	3000-AW
				Zone ES	Zone ET	POD	POD	Zone AW	3000-AX
				Zone EU	Zone EV	POD	POD	Zone AX	3000-AY
				Zone EW	Zone EX	POD	POD	Zone AY	3000-AZ
				Zone EY	Zone EZ	POD	POD	Zone AZ	3000-BA
				Zone FA	Zone FB	POD	POD	Zone BA	3000-AB
				Zone FC	Zone FD	POD	POD	Zone AB	3000-AC
				Zone FE	Zone FF	POD	POD	Zone AC	3000-AD
				Zone FG	Zone FH	POD	POD	Zone AD	3000-AE
				Zone FI	Zone FJ	POD	POD	Zone AE	3000-AF
				Zone FK	Zone FL	POD	POD	Zone AF	3000-AG
				Zone FM	Zone FN	POD	POD	Zone AG	3000-AH
				Zone FO	Zone FP	POD	POD	Zone AH	3000-AI
				Zone FQ	Zone FR	POD	POD	Zone AI	3000-AJ
				Zone FS	Zone FT	POD	POD	Zone AJ	3000-AK
				Zone FU	Zone FV	POD	POD	Zone AK	3000-AL
				Zone FW	Zone FX	POD	POD	Zone AL	3000-AM
				Zone FY	Zone FZ	POD	POD	Zone AM	3000-AN
				Zone GA	Zone GB	POD	POD	Zone AN	3000-AO
				Zone GC	Zone GD	POD	POD	Zone AO	3000-AP
				Zone GE	Zone GF	POD	POD	Zone AP	3000-AQ
				Zone GG	Zone GH	POD	POD	Zone AQ	3000-AR
				Zone GI	Zone GJ	POD	POD	Zone AR	3000-AS
				Zone GK	Zone GL	POD	POD	Zone AS	3000-AT
				Zone GM	Zone GN	POD	POD	Zone AT	3000-AU
				Zone GO	Zone GP	POD	POD	Zone AU	3000-AV
				Zone GQ	Zone GR	POD	POD	Zone AV	3000-AW
				Zone GS	Zone GT	POD	POD	Zone AW	3000-AX
				Zone GU	Zone GV	POD	POD	Zone AX	3000-AY
				Zone GW	Zone GX	POD	POD	Zone AY	3000-AZ
				Zone GY	Zone GZ	POD	POD	Zone AZ	3000-BA
				Zone HA	Zone HB	POD	POD	Zone BA	3000-AB
				Zone HC	Zone HD	POD	POD	Zone AB	3000-AC
				Zone HE	Zone HF	POD	POD	Zone AC	3000-AD
				Zone HG	Zone HH	POD	POD	Zone AD	3000-AE
				Zone HI	Zone HJ	POD	POD	Zone AE	3000-AF
				Zone HK	Zone HL	POD	POD	Zone AF	3000-AG
				Zone HM	Zone HN	POD	POD	Zone AG	3000-AH
				Zone HO	Zone HP	POD	POD	Zone AH	3000-AI
				Zone HQ	Zone HR	POD	POD	Zone AI	3000-AJ
				Zone HS	Zone HT	POD	POD	Zone AJ	3000-AK
				Zone HU	Zone HV	POD	POD	Zone AK	3000-AL
				Zone HW	Zone HX	POD	POD	Zone AL	3000-AM
				Zone HY	Zone HZ	POD	POD	Zone AM	3000-AN
				Zone IA	Zone IB	POD	POD	Zone AN	3000-AO
				Zone IC	Zone ID	POD	POD	Zone AO	3000-AP
				Zone IE	Zone IF	POD	POD	Zone AP	3000-AQ
				Zone IG	Zone IH	POD	POD	Zone AQ	3000-AR
				Zone II	Zone IJ	POD	POD	Zone AR	3000-AS
				Zone IK	Zone IL	POD	POD	Zone AS	3000-AT
				Zone IM	Zone IN	POD	POD	Zone AT	3000-AU
				Zone IO	Zone IP	POD	POD	Zone AU	3000-AV
				Zone IQ	Zone IR	POD	POD	Zone AV	3000-AW
				Zone IS	Zone IT	POD	POD	Zone AW	3000-AX
				Zone IU	Zone IV	POD	POD	Zone AX	3000-AY
				Zone IW	Zone IX	POD	POD	Zone AY	3000-AZ
				Zone IY	Zone IZ	POD	POD	Zone AZ	3000-BA
				Zone JA	Zone JB	POD	POD	Zone BA	3000-AB
				Zone JC	Zone JD	POD	POD	Zone AB	3000-AC
				Zone JE	Zone JF	POD	POD	Zone AC	3000-AD
				Zone JG	Zone JH	POD	POD	Zone AD	3000-AE
				Zone JI	Zone JJ	POD	POD	Zone AE	3000-AF
				Zone JK	Zone JL	POD	POD	Zone AF	3000-AG
				Zone JM	Zone JN	POD	POD	Zone AG	3000-AH
				Zone JO	Zone JP	POD	POD	Zone AH	3000-AI
				Zone JQ	Zone JR	POD	POD	Zone AI	3000-AJ
				Zone JS	Zone JT	POD	POD	Zone AJ	3000-AK
				Zone JU	Zone JV	POD	POD	Zone AK	3000-AL
				Zone JW	Zone JX	POD	POD	Zone AL	3000-AM
				Zone JY	Zone JZ	POD	POD	Zone AM	3000-AN
				Zone KA	Zone KB	POD	POD	Zone AN	3000-AO
				Zone KC	Zone KD	POD	POD	Zone AO	3000-AP
				Zone KE	Zone KF	POD	POD	Zone AP	3000-AQ
				Zone KG	Zone KH	POD	POD	Zone AQ	3000-AR
				Zone KI	Zone KJ	POD	POD	Zone AR	3000-AS



