



August 13, 2018

**Members of Newburyport Planning and Zoning Boards**

Re: Minor Revision Request to Hillside Center for Sustainable Living

To Members of the Planning and Zoning Boards;

The design process is moving along at Hillside and we are gathering our materials for the Building Permit for our first residential building. We have a foundation permit and have been solidifying our building design since the mock-up was erected. We have been staying in touch with Zoning Enforcement Officer and the City Engineer as well as other Dept Heads as needed. Recently Jennifer Blanchet and Jon-Eric White went on site to review the design changes on Hillside and it boils down to the following, that we believe to be minor revisions. We request that a minor revision be approved by the Planning and Zoning Boards.

Attached find 3 attachments. The attachment **Hillside Site Layout Minor Revisions.pdf** highlights the 3 minor revisions which are as follows:

1. We have eliminated two greenhouses and made the remaining greenhouse a bit larger.
2. We have lowered the first-floor elevation for most of Cottage Court so that we could meet accessibility requirements on the west side. We discovered, a bit late in the game, that all of the Level 1 units on the site need to have an accessible path to the entrance. Previously each T-House shaped building rose 24" in elevation as Cottage Court travels north up the hill. In order to meet the standards, we left CC-6 (the southernmost T-House) untouched, but we pushed down the remaining 5 T-Houses 24" in elevation. As a result, CC-5 and CC-6 are now at the same level. CC-4 through CC-1 still travel up the hill as before, but are 24" lower than before. The change in elevation can be seen on the "**Hillside Cottage Court Elevation Revision\_1.pdf**".
3. We have changed from pavement to crushed stone for a portion of the parking area under the South Solar Canopy. The roadways will remain asphalt as will the HP spaces, but the remaining area will be crushed stone. **See attached South Solar Canopy Parking Surface.pdf.**

David Hall will be on hand to answer any questions at the meetings.

Thank you for your consideration.

David Hall, President

Hall and Moskow/Hillside Center for Sustainable Living

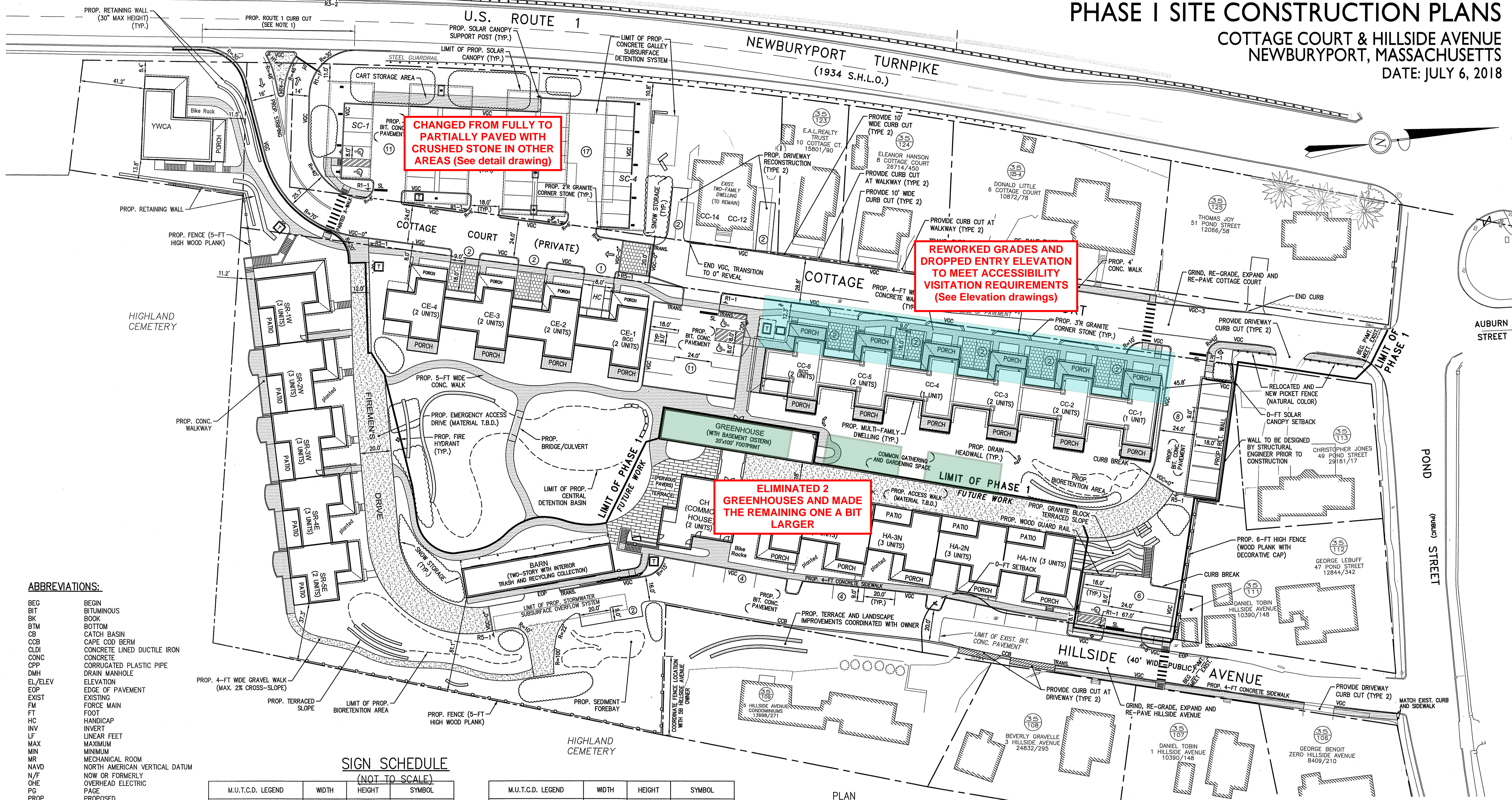
Attachments: Hillside Site Layout Minor Revisions, Hillside Cottage Court Elevation Revision, South Solar Canopy Parking Surface

CC: Kate Newhall-Smith

# HILLSIDE CENTER FOR SUSTAINABLE LIVING PHASE I SITE CONSTRUCTION PLANS

COTTAGE COURT & HILLSIDE AVENUE  
NEWBURYPORT, MASSACHUSETTS  
DATE: JULY 6, 2018

**The Morin-Cameron GROUP, INC.**  
CIVIL ENGINEERS, ENVIRONMENTAL CONSULTANTS  
LAND SURVEYORS | LAND USE PLANNERS  
66 ELM STREET, DANVERS, MASSACHUSETTS 01923  
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**CHANGED FROM FULLY TO PARTIALLY PAVED WITH CRUSHED STONE IN OTHER AREAS (See detail drawing)**

**REWORKED GRADES AND DROPPED ENTRY ELEVATION TO MEET ACCESSIBILITY VISITATION REQUIREMENTS (See Elevation drawings)**

**ELIMINATED 2 GREENHOUSES AND MADE THE REMAINING ONE A BIT LARGER**

- ABBREVIATIONS:**
- BEG BEGIN
  - BIT BITUMINOUS
  - BOOK BOTTOM
  - BTM BOTTOM
  - CB CATCH BASIN
  - CCB CAPE COD BERM
  - CLDI CONCRETE LINED DUCTILE IRON
  - CONC CONCRETE
  - CPP CORRUGATED PLASTIC PIPE
  - DMH DRAIN MANHOLE
  - EOP/ELEV ELEVATION
  - EDGE OF PAVEMENT
  - EXIST EXISTING
  - FM FORCE MAIN
  - FT FOOT
  - HC HANDICAP
  - INV INVERT
  - LF LINEAR FEET
  - MAX MAXIMUM
  - MIN MINIMUM
  - MR MECHANICAL ROOM
  - NAVD NORTH AMERICAN VERTICAL DATUM
  - N/F NOW OR FORMERLY
  - OHE OVERHEAD ELECTRIC
  - PG PAGE
  - PROP PROPOSED
  - PVC POLYVINYL CHLORIDE
  - PWMT PAVEMENT
  - R RADIUS
  - RET RETAINING
  - SF SQUARE FEET
  - SSE SLOPED GRANITE EDGE
  - SMH SEWER MANHOLE
  - STRUC STRUCTURE
  - TBD TO BE DEMOLISHED
  - TBR TO BE REMOVED
  - TR TRANSFORMER
  - TRANS TRANSITION (TO 0" CURB REVEAL)
  - Typ TYPICAL
  - UGE UNDERGROUND ELECTRIC
  - UP UTILITY POLE
  - VGC VERTICAL GRANITE CURB
  - VGC-0 VERTICAL GRANITE CURB SET FLUSH
  - VGC-3 VERTICAL GRANITE CURB 3" REVEAL
- STRIPING LEGEND:**
- SWLL 4" WHITE
  - X-WALK 10" WHITE X 5' LONG
  - PARKING 4" WHITE
  - SL 10" WHITE

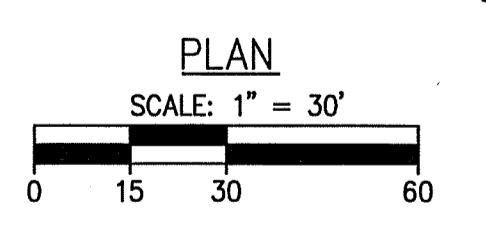
**SIGN SCHEDULE (NOT TO SCALE)**

M.U.T.C.D. LEGEND	WIDTH	HEIGHT	SYMBOL
R1-1	30"	30"	
R5-1	30"	30"	
R4-7	30"	24"	

M.U.T.C.D. LEGEND	WIDTH	HEIGHT	SYMBOL
R6-1R	36"	12"	
R3-2	24"	24"	
M.A.S.S.D.O.T. LEGEND	WIDTH	HEIGHT	SYMBOL
H1-2	24"	24"	

**NOTE:** SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS FOR THE LATEST SIGN SPECIFICATIONS.

**NOTE:** SEE STANDARD DRAWINGS FOR SIGNS AND SUPPORTS FOR SPECIFICATIONS, TEXT, DIMENSIONS, COLOR AND NOMEN



**SITE LAYOUT NOTES:**

- FOR CONSTRUCTION LAYOUT AND ADDITIONAL DETAIL FOR ROUTE 1 CURB CUT, REFER TO PLANS ENTITLED "HILLSIDE CENTER FOR SUSTAINABLE LIVING ACCESS/EGRESS IMPROVEMENTS FOR NEWBURYPORT TURNPIKE (ROUTE 1) AT SITE DRIVE IN THE CITY OF NEWBURYPORT," PREPARED BY MDM TRANSPORTATION CONSULTANTS INC. ON DECEMBER 19, 2016.
- SITE CONSTRUCTION SHALL COMPLY WITH 521 CMR: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD, INCLUDING BUT NOT LIMITED TO WALKWAYS, STAIRS, RAMP, PARKING AND ACCESSIBLE ROUTES.
- FIREMAN'S DRIVE AND FIREMAN'S WALK ARE NOT INTENDED FOR REGULAR VEHICULAR USE. THEY ARE DESIGNED FOR PEDESTRIAN USE AND FOR ACCESS BY EMERGENCY VEHICLES ONLY.
- OFFSITE IMPROVEMENTS ILLUSTRATED HEREON SHALL NOT COMMENCE UNTIL WRITTEN PERMISSION IS OBTAINED FROM ALL APPLICABLE LAND OWNERS.
- SEE ZONING ANALYSIS PLAN FOR DIMENSIONAL AND DENSITY INFORMATION.
- IMPROVEMENTS WITHIN THE PUBLIC WAYS WILL BE COORDINATED WITH THE NEWBURYPORT DEPARTMENT OF PUBLIC SERVICES DURING CONSTRUCTION.
- ALL DRIVEWAYS SHALL BE "TYPE 1" UNLESS NOTED OTHERWISE. SEE SHEET D-1.

**PLAN REFERENCE:**

- EXISTING CONDITIONS PLAN OF LAND PREPARED BY DGT SURVEY GROUP-NORTH SHORE, DATED JULY 30, 2015 AND REVISED THROUGH JULY 1, 2016.

**GENERAL NOTE:**

ANY DISCREPANCIES OBSERVED BETWEEN THE SITE CONSTRUCTION PLANS AND FIELD CONDITIONS SHALL BE REPORTED TO THE MORIN-CAMERON GROUP, INC. PRIOR TO COMPLETION OF WORK IN THE ASSOCIATED AREA.

**SHEET INDEX:**

- C-0 ZONING ANALYSIS PLAN\*
  - E-1 EXISTING CONDITIONS PLAN\*
  - C-1 SITE LAYOUT PLAN
  - C-2 LOTTING AND EASEMENT PLAN\*
  - C-3A GRADING & DRAINAGE PLAN I\*
  - C-3B GRADING & DRAINAGE PLAN II\*
  - C-4A UTILITY PLAN I
  - C-4B UTILITY PLAN II
  - C-5 ROADWAY PROFILES
  - C-6 EROSION CONTROL & SITE PREPARATION PLAN
  - C-7 COTTAGE COURT EXTENSION GRADING PLAN
  - C-8 CC BUILDING GRADING PLAN
  - D-1 CONSTRUCTION DETAILS
  - D-2 CONSTRUCTION DETAILS
  - D-3 CONSTRUCTION DETAILS
  - D-4 CONSTRUCTION DETAILS
  - D-5 CONSTRUCTION DETAILS
  - D-6 CONSTRUCTION DETAILS
- \* REFER TO SITE PLAN APPROVAL PERMIT PLAN SET DATED JULY 5, 2016 AND REVISED THROUGH JULY 29, 2016, PREPARED BY THE MORIN-CAMERON GROUP, INC. (SHEET E-1 PREPARED BY DGT SURVEY GROUP-NORTH SHORE)

**REVISIONS**

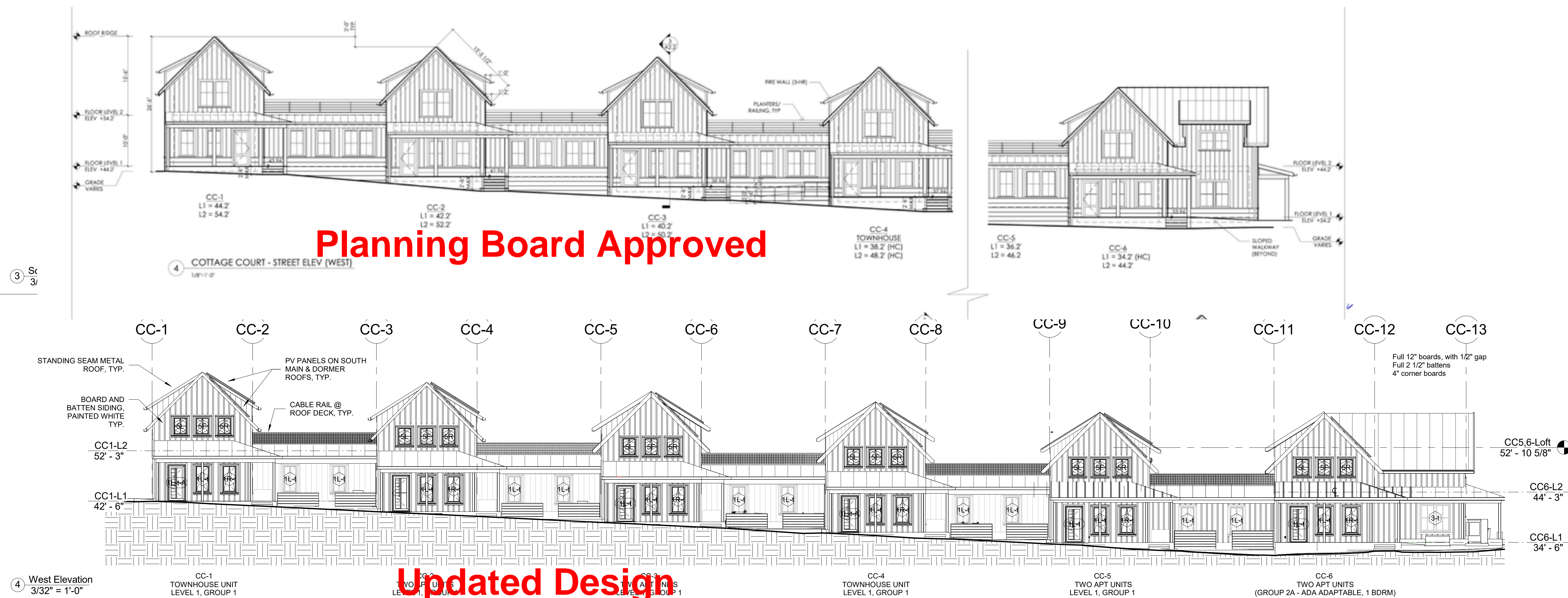
NO.	DATE	DESCRIPTION

HILLSIDE CENTER FOR SUSTAINABLE LIVING  
IN  
NEWBURYPORT, MASSACHUSETTS  
COTTAGE COURT & HILLSIDE AVENUE  
PHASE I SITE CONSTRUCTION PLANS  
SITE LAYOUT PLAN  
DRAWING NO. C-1

# Cottage Court Elevation Comparison due to Accessibility Design Changes

Planning Board Approved

Updated Design



Date	Issue
05.26.2017	Structural Review
11.16.2017	Design Development Set

SCALE: 3/32" = 1'-0"	DATE: 7/2/18	DRAWN BY: PB/KS/SC
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**MOSKOW LINN ARCHITECTS, INC.**  
 88 BROAD STREET, BOSTON, MA 02110  
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Cottage Court CC-1 - CC-6  
 Hillside - Center for Sustainable Development  
 Newburyport, MA  
 EXTERIOR ELEVATIONS

A2.0

PROP. ROUTE 1 CURB CUT  
(SEE NOTE 1)

# U.S. ROUTE 1

PROP. SOLAR CANOPY  
SUPPORT POST (TYP.)

LIMIT OF PROP. SOLAR  
CANOPY (TYP.)

Pavement

LIMIT OF PROP.  
CONCRETE GALLEY  
SUBSURFACE  
DETENTION SYSTEM

CART STORAGE AREA

7,265 sf unpaved  
39 spaces of  
gravel and  
curbstop

537.339 sf

PROP.  
BIT. CONC.  
PAVEMENT

2,277.984 sf

2,880.43 sf

1,570.421 sf

PROP. 2"R GRANITE  
CORNER STONE (TYP.)

SNOW STORAGE  
(TYP.)

EXIST.  
TWO-FAMILY  
DWELLING  
(TO REMAIN)

CC-14 CC-12

END VGC, TRANSI  
TO 0" REVEAL

COTTAGE

COURT

(PRIVATE)

SR-1W  
(3 UNITS)

CE-4  
(2 UNITS)

CE-3  
(2 UNITS)

CE-2  
(2 UNITS)

CE-1  
acc  
(2 UNITS)

PROP.  
BIT. CONC.  
PAVEMENT

