

LEGEND OF SYMBOLS & ABBREVIATIONS:

EXISTING:		PROPOSED:
---	PROPERTY LINE	---
---	BORDERING VEGETATED WETLAND	N/A
---	BUFFER ZONE TO RESOURCE AREA	N/A
102	INTERMEDIATE CONTOUR	102
110	INDEX CONTOUR	110
EP	EDGE OF PAVEMENT	EP
BB	BITUMINOUS BERM	BB
VGC	VERTICAL GRANITE CURB	VGC
SGC	SLOPED GRANITE CURB	SGC
CC	CONCRETE CURB	CC
	GUARD RAIL	
	DRAIN	
	SEWER	
	WATER	
	UNDERGROUND ELECTRIC	
	OVERHEAD WIRE	
	TELEPHONE	
	NATURAL GAS	
	CHAIN LINK FENCE	
	WOOD FENCE	
	SILT FENCE	
	HAY BALES	
	TREE LINE	
	RETAINING WALL	
	STONE WALL	
SB(SET)	STONE BOUND	SB(SET)
CB(SET)	CONCRETE BOUND	CB(SET)
IP(SET)	IRON PIPE	IP(SET)
DH(SET)	DRILL HOLE	DH(SET)
#A-11	WETLAND FLAG	N/A
x	SPOT ELEVATION	(103x5)
	CATCH BASIN	
	DRY WELL	
	DRAIN MANHOLE	
	SEWER MANHOLE	
	ELECTRIC MANHOLE	
	UTILITY MANHOLE	
	FIRE HYDRANT	
	GATE VALVE	
	LIGHT	
	UTILITY POLE	
	GUY WIRE	
	WELL	
PMW1	MONITORING WELL	PMW1
T-1	TEST PIT	N/A
P	PERCOLATION TEST	N/A
B.M.	BENCH MARK	N/A
	TRAFFIC FLOW DIRECTION	
	DRAINAGE FLOW DIRECTION	

COURTS & LANES SPECIAL PERMIT 21-27 HANCOCK STREET LEAVITT COURT IMPROVEMENTS

NEWBURYPORT, MASSACHUSETTS PREPARED FOR: CASWELL DEVELOPMENT 24 GRAF ROAD NEWBURYPORT MA

OWNER REFERENCES

21-25 HANCOCK STREET

OWNER: G&S MASSACHUSETTS REALTY TRUST

DEED REFERENCE: BK 34044, PG 272

ASSESSORS: MAP 25, PARCEL 42

PLAN REF: LOTS 1, 3, 5, 7 & LEVITT COURT AS SHOWN ON PLAN RECORDED IN BOOK 2342 PAGE 600

27 HANCOCK STREET

OWNER: WILLIAM & JOYCE COLBY

DEED REFERENCE: BK 7229, PG 301

ASSESSORS: MAP 25, PARCEL 43

PLAN REF: LOTS 1, 3, 5, 7 & LEVITT COURT AS SHOWN ON PLAN RECORDED IN BOOK 2342 PAGE 600



SITE

LOCUS PLAN

SCALE: 1"=500'±

ZONING MATRIX: RESIDENCE 2

	21 HANCOCK STREET				27 HANCOCK STREET			
	REQUIRED (INDUSTRIAL SERVICE - 607)	EXISTING (INDUSTRIAL SERVICE - 607)	REQUIRED (TWO-FAMILY - 102)	PROPOSED (TWO-FAMILY - 102)	REQUIRED (SINGLE-FAMILY - 101)	EXISTING (SINGLE-FAMILY - 101)	REQUIRED (TWO-FAMILY - 102)	PROPOSED (TWO-FAMILY - 102)
MINIMUM LOT AREA	50,000 SQUARE FEET	16,228 SQUARE FEET	15,000 SQUARE FEET	16,228 SQUARE FEET	10,000 SQUARE FEET	16,400 SQUARE FEET	15,000 SQUARE FEET	16,400 SQUARE FEET
MINIMUM LOT FRONTAGE	200 FEET	96.52 FEET	120 FEET	96.52 FEET	90 FEET	95.92 FEET	120 FEET	267.40 FEET *
FRONT SETBACK	60 FEET	124.1 FEET	25 FEET	25.0 FEET	25 FEET	58.1 FEET	25 FEET	11.7 FEET
SIDE SETBACK (R)	50 FEET	18.3 FEET OVER	20 FEET	21.0 FEET	10 FEET	50.7 FEET	20 FEET	31.5 FEET
SIDE SETBACK (L)	50 FEET	5.9 FEET	20 FEET	25.8 FEET	10 FEET	5.7 FEET	20 FEET	24.5 FEET
REAR SETBACK	60 FEET	3.8 FEET	25 FEET	25.7 FEET	25 FEET	91.1 FEET	25 FEET	25.6 FEET
MAXIMUM LOT COVERAGE(%)	30.0%	22.3%	25.0%	22.5%	25.0%	5.0%	25.0%	24.7%
MAXIMUM HEIGHT	35 FEET	12 FEET	35 FEET	25 FEET	35 FEET	22 FEET	35 FEET	25 FEET
MINIMUM OPEN SPACE	N/A	46.7%	40.0%	67.0%	40.0%	90.7%	40.0%	64.7%
MINIMUM PARKING REQUIRED	?	4+	4	4+	2	0	4	4+

FOR REGISTRY OF DEEDS USE ONLY

"I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

ROADWAY CONSTRUCTION WAIVERS

6.8.1 - (TABLES) MINIMUM RIGHT OF WAY WIDTH OF 40' REQUIRED. LEVITT COURT IS AN EXISTING 25' PRIVATE WAY TO BE IMPROVED.

6.8.1- (TABLES) PROVIDE CUL-DE-SAC OR T / Y TURNAROUND. NO CUL-DE-SAC OR TURNAROUND PROPOSED. ALL BUILDINGS TO INCLUDE FIRE SUPPRESSION SPRINKLER SYSTEM AND TOTAL ROAD LENGTH ONLY 150'. TURN AROUND PROVIDED FOR BACKING OF CARS OUT OF TWO DRIVEWAYS AT AND OF LEAVITT COURT.

6.8.1- (TABLES) CURB RADIUS OF 25 FEET AT INTERSECTION. 12 FEET IS PROPOSED AT INTERSECTION WITH HANCOCK STREET.

6.9 CURBING - 6" VERTICAL GRANITE REQUIRED, GRANITE CURBING ONLY PROVIDED AT THE INTERSECTION WITH HANCOCK STREET.

6.11.1 SIDEWALKS - SIDEWALK REQUIRED ON ONE SIDE OF ROAD - NO SIDEWALKS PROPOSED.

PRIVATE MAINTENANCE NOTE -THE ROADWAY, UTILITIES AND DRAINAGE FACILITIES TO BE PRIVATELY MAINTAINED IN ACCORDANCE WITH THE HOMEOWNERS ASSOCIATION AGREEMENT.

WATER DISTRICT:

THE SUBJECT PROPERTY RESIDES IN THE CITY OF NEWBURYPORT WATER DISTRICT

SHEET INDEX:

SHEET No. DESCRIPTION

T1	TITLE SHEET
S1	EXISTING CONDITION PLAN OF LAND
C1	SITE LAYOUT & UTILITIES PLAN
C2	GRADING & DRAINAGE PLAN
D1	CONSTRUCTION DETAILS
D2	CONSTRUCTION DETAILS
D3	EROSION CONTROL PLAN

NORTH



DEVELOPER:
CASWELL DEVELOPMENT
24 GRAF ROAD
NEWBURYPORT MA

ARCHITECT:
GRAF ARCHITECTS
2 LIBERTY STREET
NEWBURYPORT MA

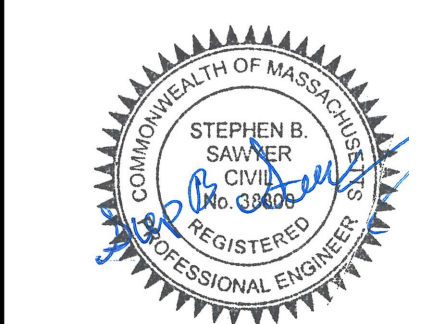
SURVEYOR
WINTER GEC
44 MERRIMAC ST. UNIT 312
NEWBURYPORT, MA

PROJECT TEAM

21-27 HANCOCK
NEWBURYPORT, MA.

PROJECT INFO

REV	DESCRIPTION	DATE
1	PLAN UPDATE	03/19/2021



STAMP:

TITLE SHEET

SHEET NAME:

T1

SHT NO:

DR BY: GS

CHK BY: SS

PROJ NO: 20-087

DATE: 02-17-2021

SCALE: NOT TO SCALE

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK

"PLANNING BOARD APPROVAL UNDER
SUBDIVISION CONTROL LAW"
NEWBURYPORT PLANNING BOARD

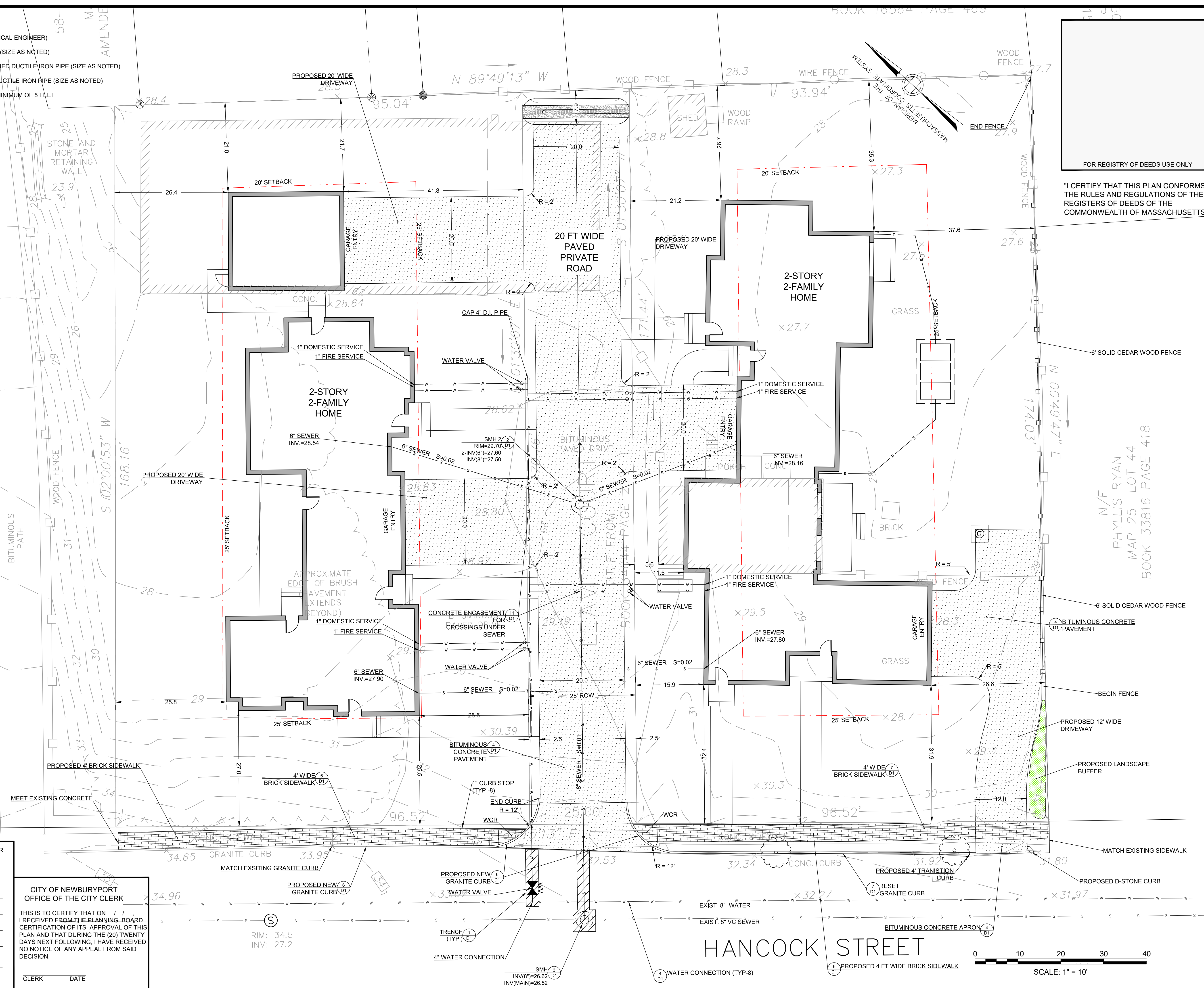
THIS IS TO CERTIFY THAT ON / / ,
I RECEIVED FROM THE PLANNING BOARD
CERTIFICATION OF ITS APPROVAL OF THIS
PLAN AND THAT DURING THE (20) TWENTY
DAYS NEXT FOLLOWING, I HAVE RECEIVED
NO NOTICE OF ANY APPEAL FROM SAID
DECISION.

CLERK DATE

DATE

PIPE MATERIALS:
 (TO BE CONFIRMED WITH MECHANICAL ENGINEER)
 SEWER: PVC ASTM D3034-SDR 35. (SIZE AS NOTED)
 WATER: DOMESTIC: CONCRETE LINED DUCTILE IRON PIPE (SIZE AS NOTED)
 FIRE: CONCRETE LINED DUCTILE IRON PIPE (SIZE AS NOTED)
 ALL WATER LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER.

"CLIPPER CITY RAIL TRAIL"
 N/F
 CITY OF NEWBURYPORT
 BOOK 25956 PAGE 191



"I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

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 Somerville - Quincy - Newburyport
 www.dci-ma.com

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 24 GRAF ROAD
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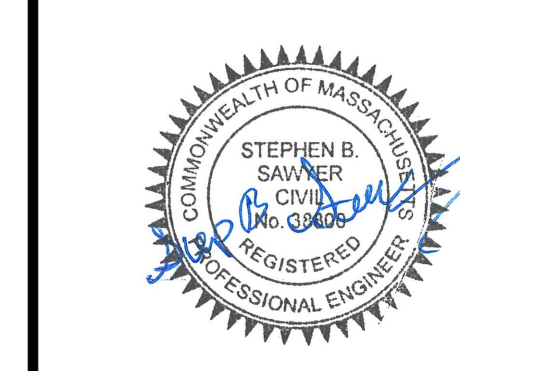
SURVEYOR
 WINTER GEC
 44 MERRIMAC ST. UNIT 312
 NEWBURYPORT, MA

PROJECT TEAM

21-27 HANCOCK
 NEWBURYPORT, MA.

PROJECT INFO

REV	DESCRIPTION	DATE
1	PLAN UPDATE	03/19/2021



STAMP:

SITE LAYOUT & UTILITIES PLAN

SHEET NAME:
C1

SHT NO:
 DR BY: GS
 CHK BY: SS
 PROJ NO: PLAN
 DATE: 12/14/2020
 SCALE: 1"=10'

"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW"
 NEWBURYPORT PLANNING BOARD

DATE _____

CITY OF NEWBURYPORT
 OFFICE OF THE CITY CLERK

THIS IS TO CERTIFY THAT ON _____ I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

CLERK _____ DATE _____

P:\2020 Projects\2020-087 Leavitt Ct Newburyport\Drawings\ENGINEERING\20-087_LAYOUT_MATL.dwg

* ALL GUTTERS TO BE PIPED TO INFILTRATION CHAMBERS.
* THE PROJECT REDUCES IMPERVIOUS SURFACES AND AS SUCH REDUCES OFFSITE STORMWATER FLOW FROM THE PROPERTY

RAIN GARDEN
BOTTOM=27.68
RIM(8")=28.18

PERFORATE PIPE
INV(12")=25.18
TOS=26.68
BOS=24.68

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NORTH



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Design Consultants Inc.
Somerville - Quincy - Newburyport
www.dci-ma.com

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CASWELL DEVELOPMENT
24 GRAF ROAD
NEWBURYPORT MA

ARCHITECT:
GRAF ARCHITECTS
2 LIBERTY STREET
NEWBURYPORT MA

SURVEYOR
WINTER GEC
44 MERRIMAC ST. UNIT 312
NEWBURYPORT, MA

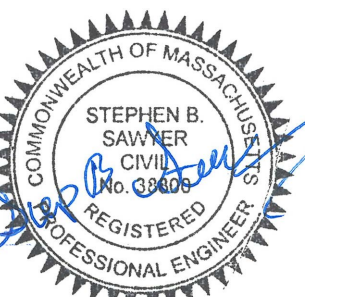
PROJECT TEAM

21-27 HANCOCK
NEWBURYPORT, MA.

PROJECT INFO

REV	DESCRIPTION	DATE
1	PLAN UPDATE	03/19/2021

"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD



STAMP:

GRADING & DRAINAGE PLAN

SHEET NAME:

C2

SHT NO:

DR BY: GS

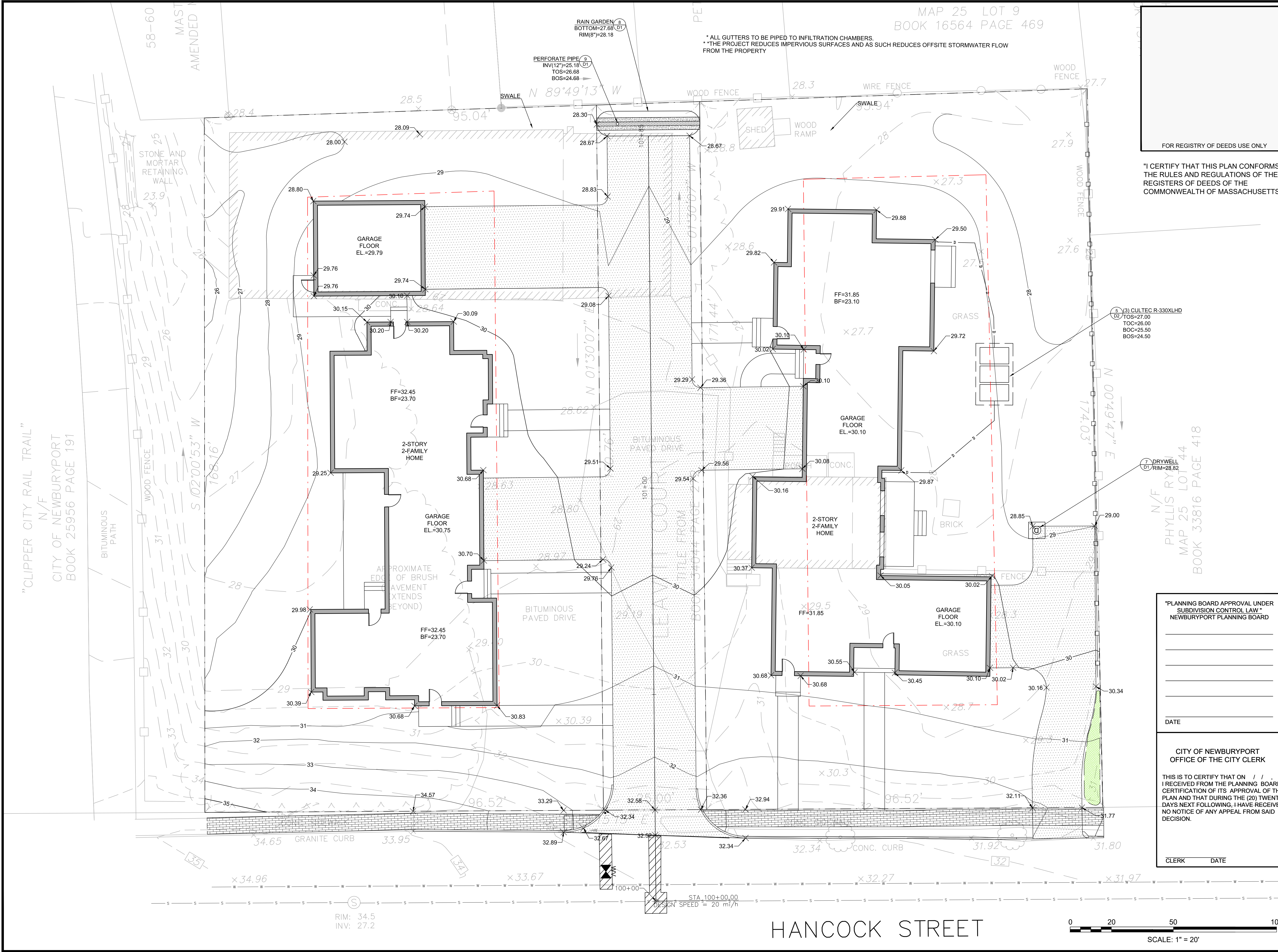
CHK BY: SS

PROJ NO: 20-087

DATE: 02/17/2021

SCALE: 1"=10'

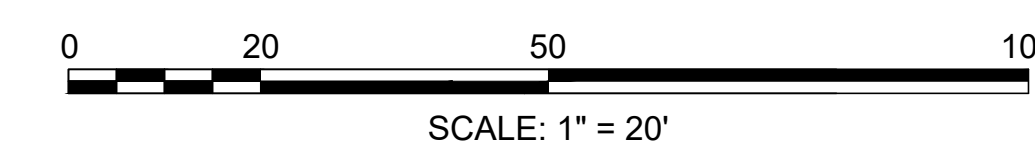
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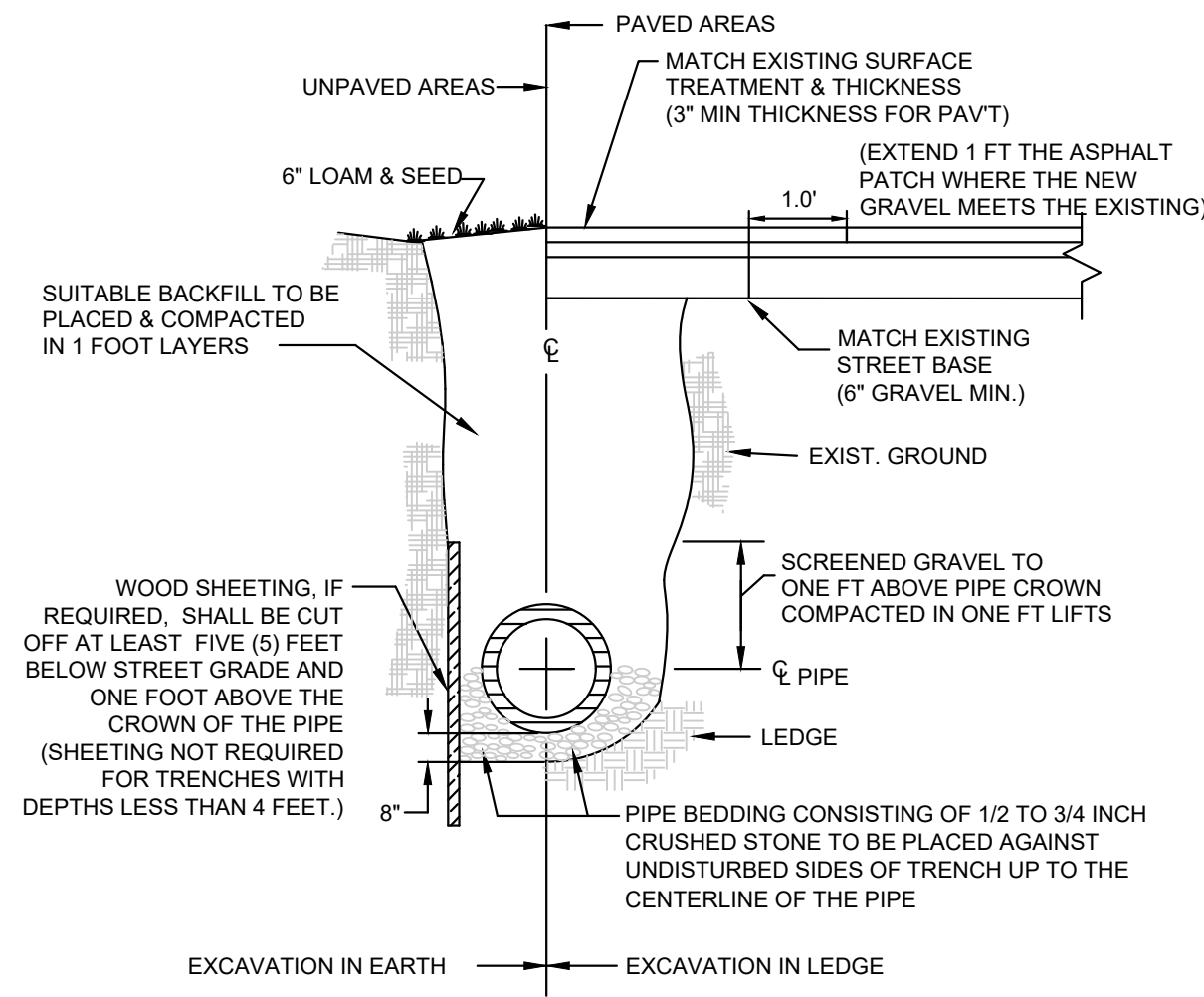


RIM: 34.5
INV: 27.2

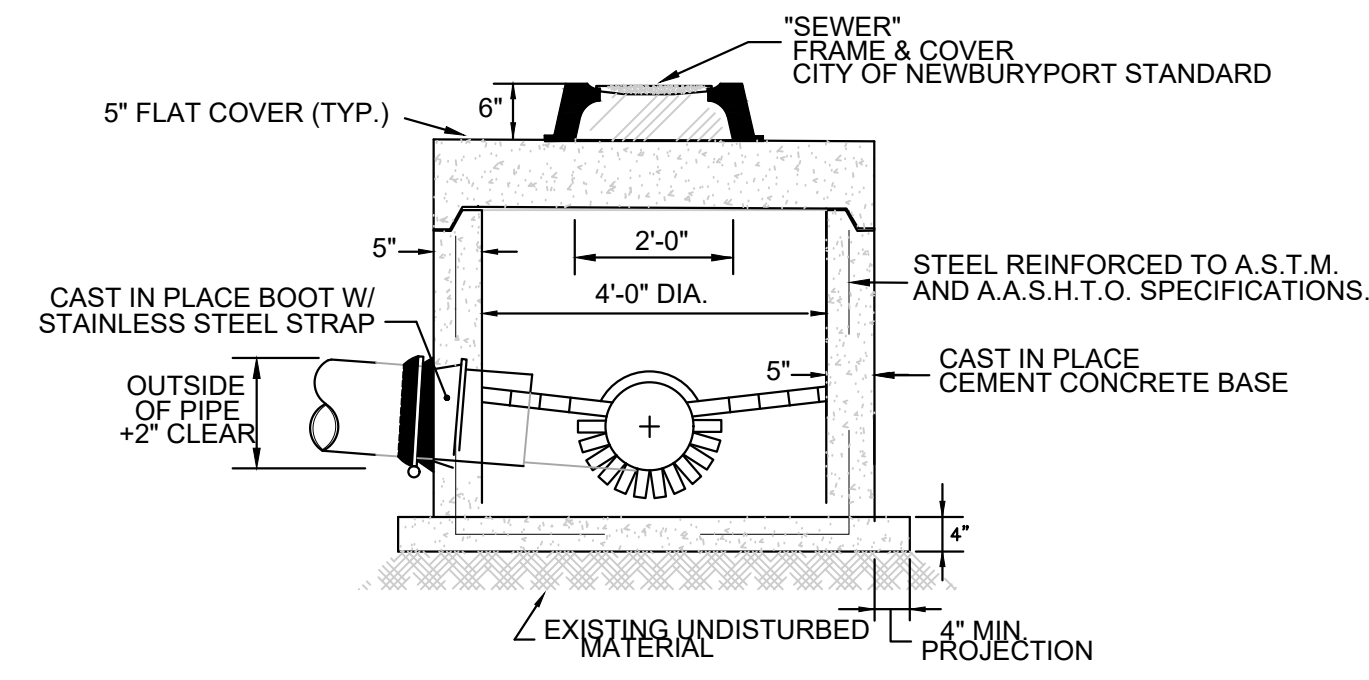
STA 100+00.00
DESIGN SPEED = 20 mi/h

HANCOCK STREET

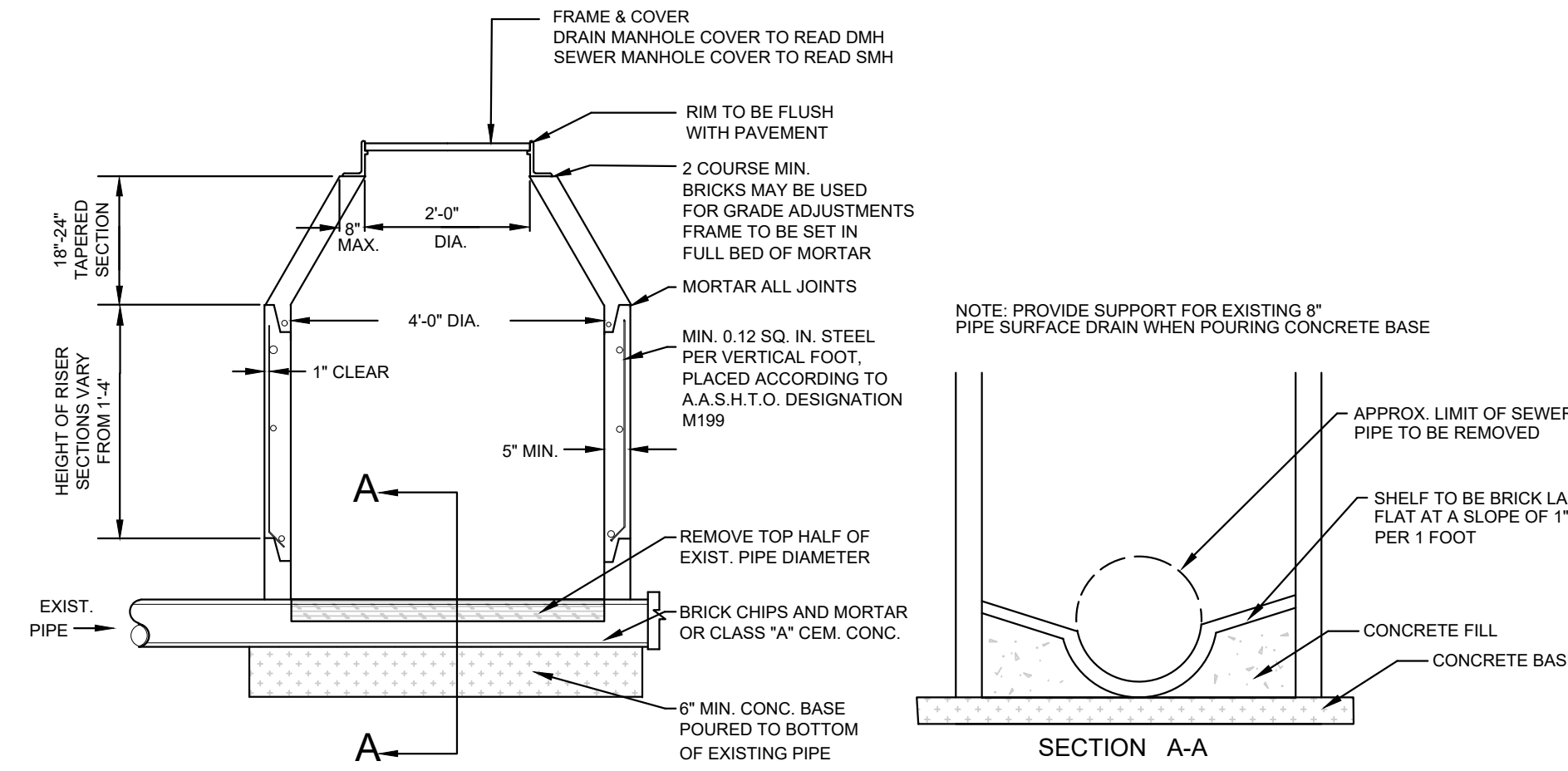




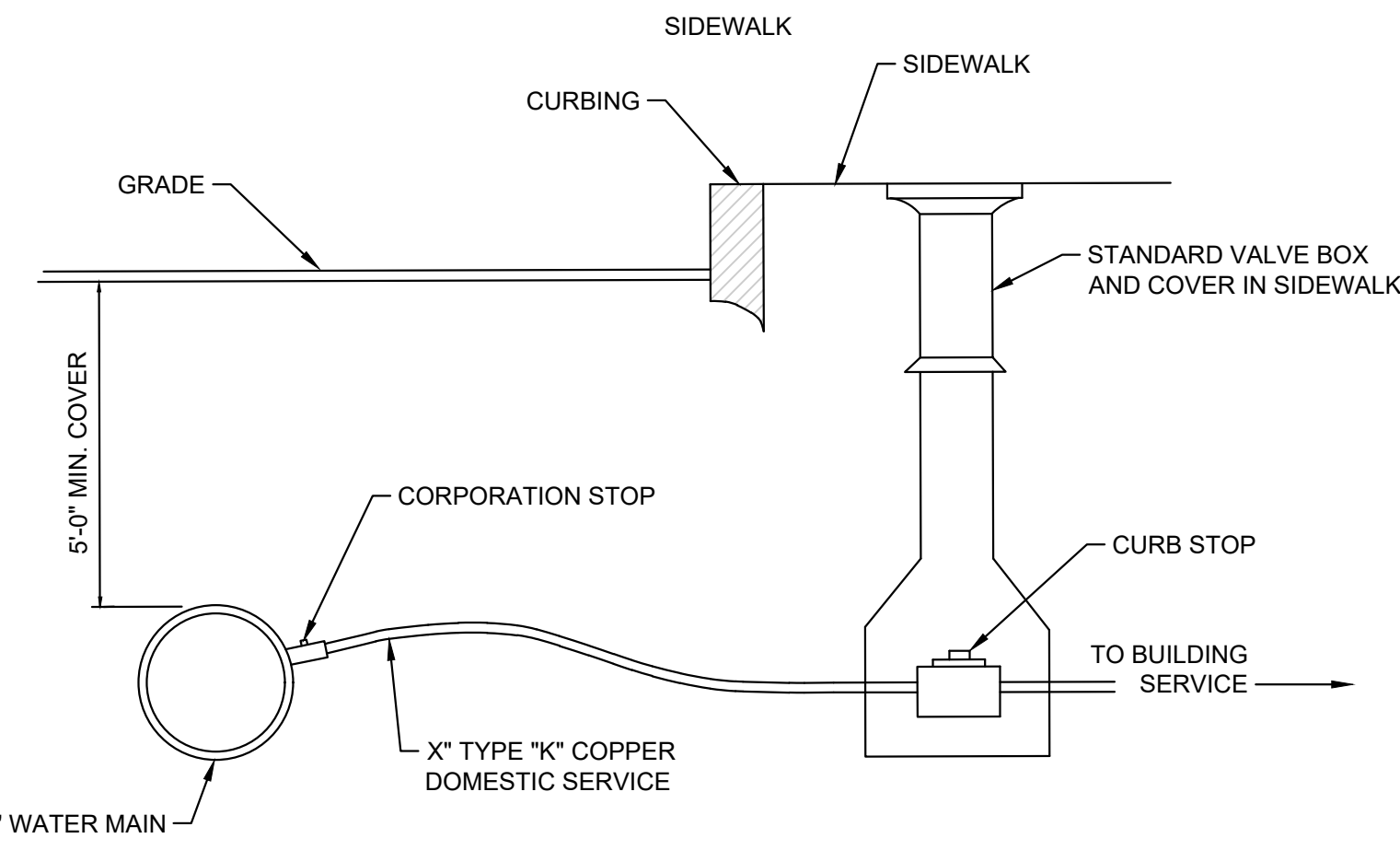
1 UTILITY TRENCH
NOT TO SCALE



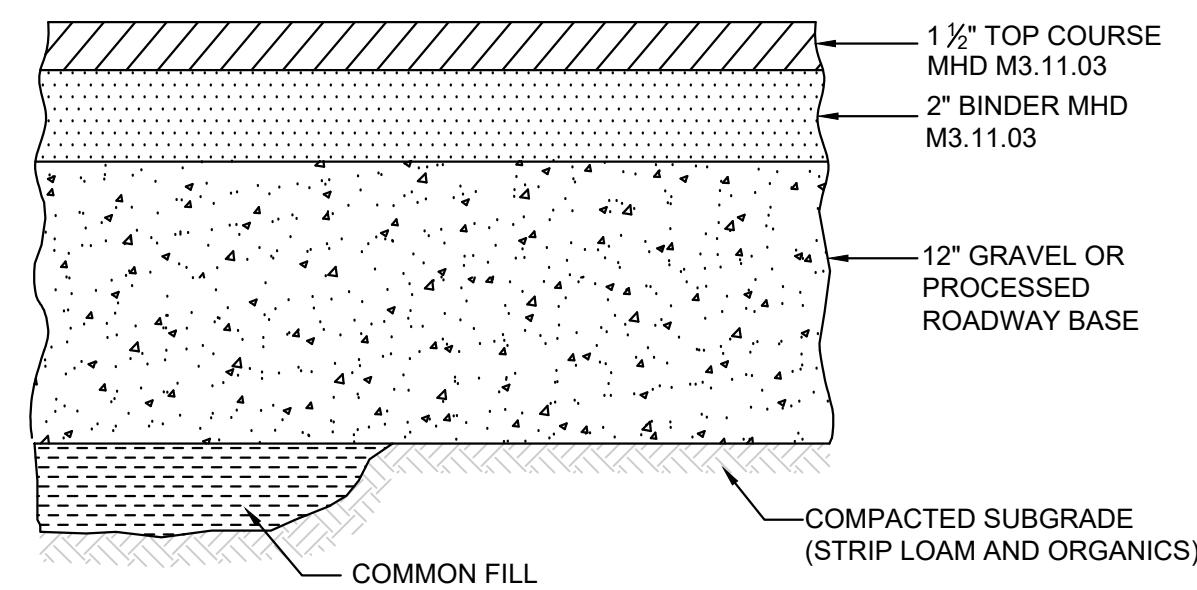
2 PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE



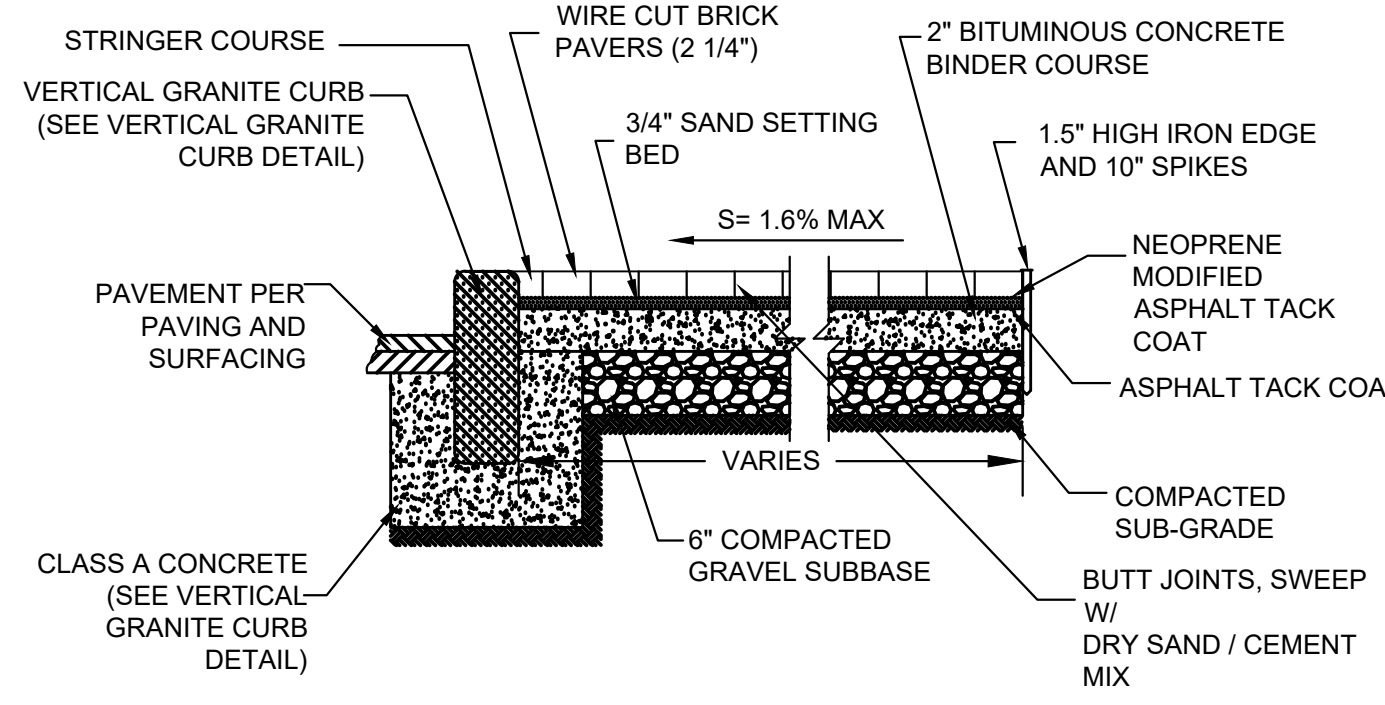
3 MANHOLE OVER EXISTING PIPE
NOT TO SCALE



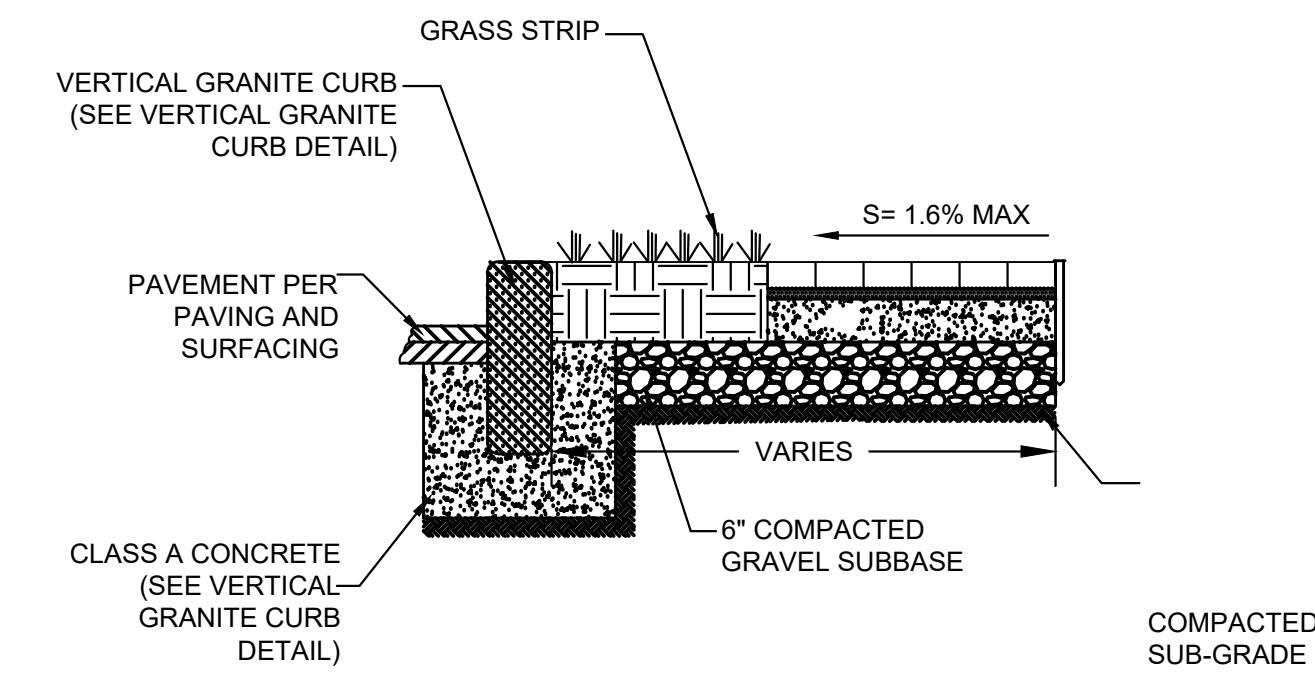
4 COPPER WATER SERVICE CONNECTION
NOT TO SCALE



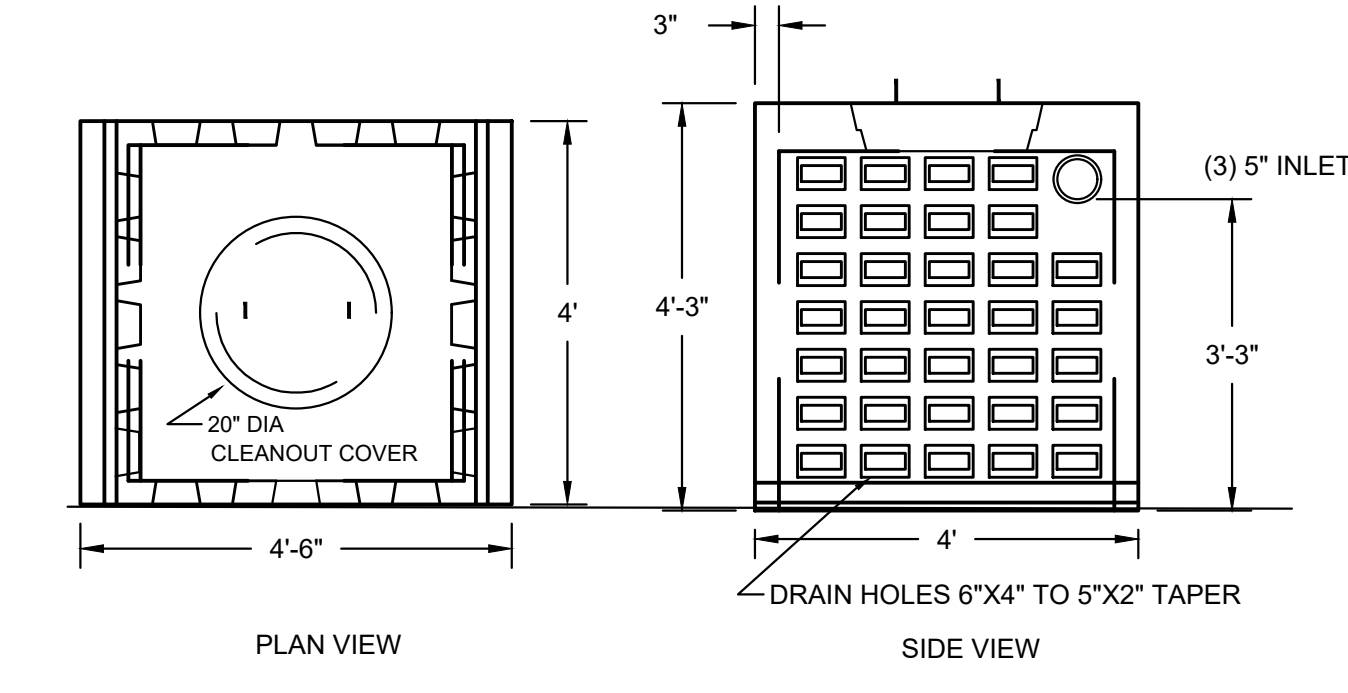
5 BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



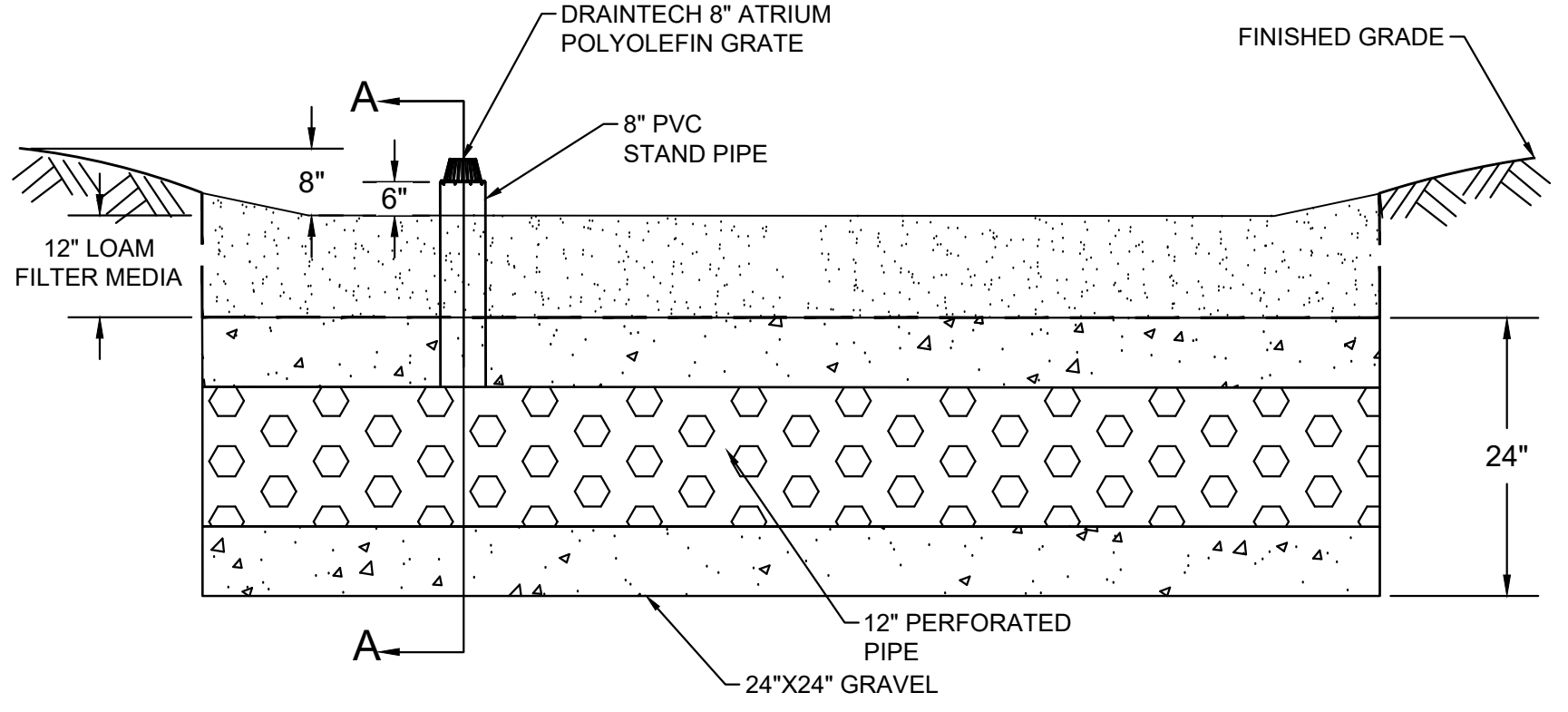
6 BRICK SIDEWALK
NOT TO SCALE



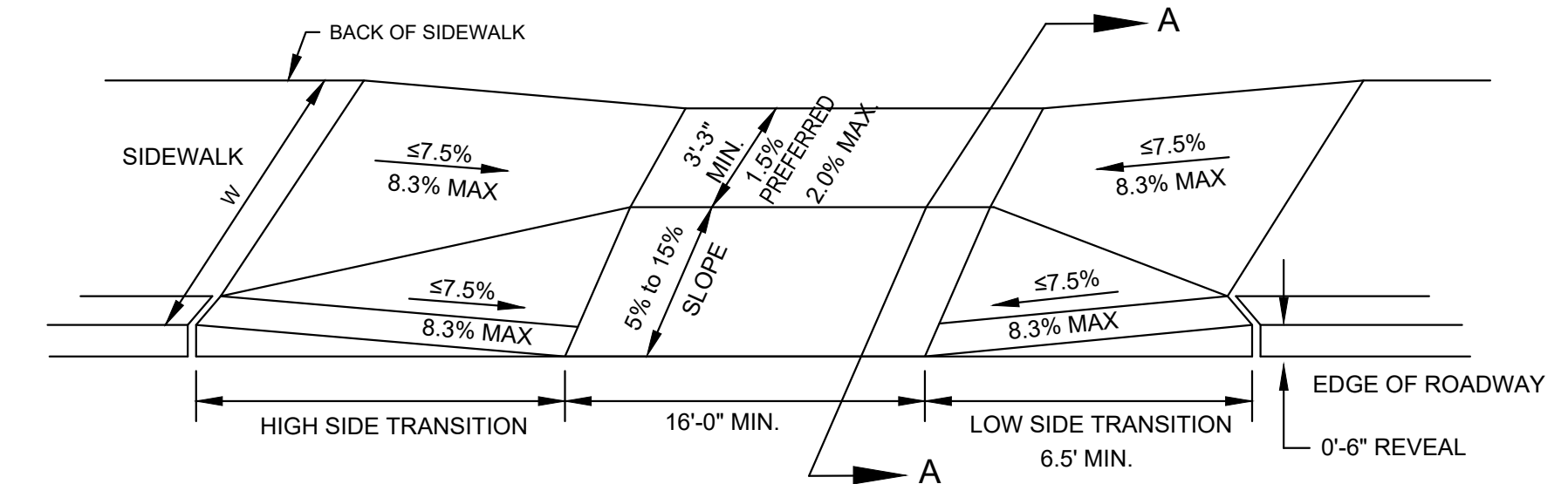
7 BRICK SIDEWALK & GRASS STRIP
NOT TO SCALE



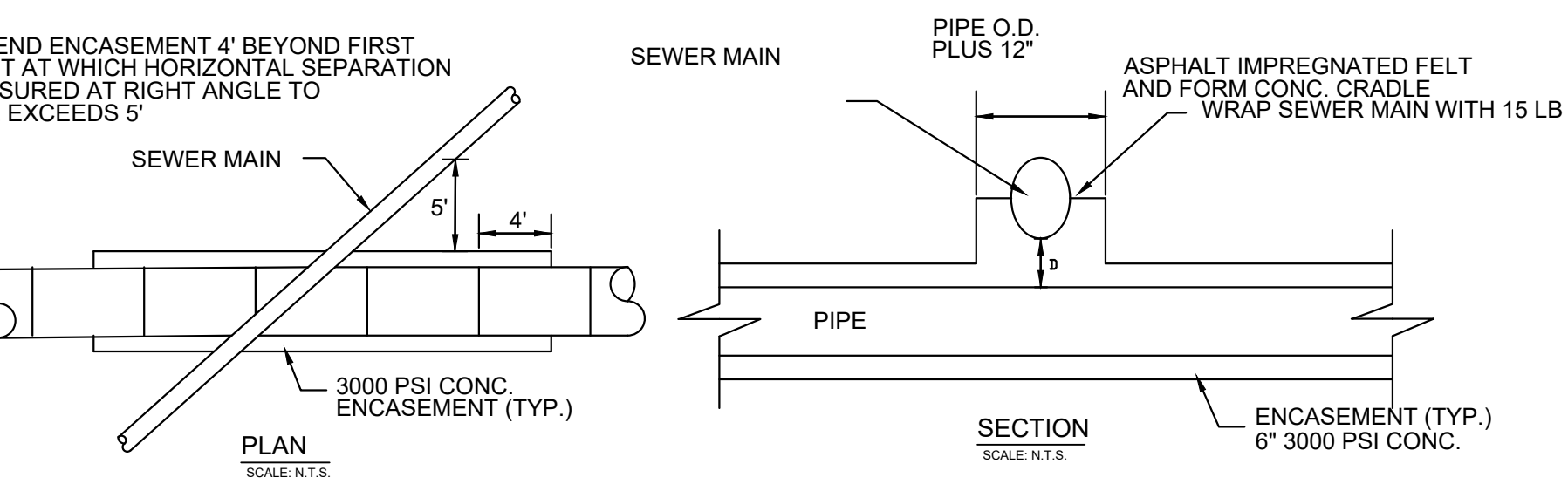
8 DRY WELL 300 GALLON
NOT TO SCALE



9 RAIN GARDEN
NOT TO SCALE



10 DRIVEWAY WITH TIPDOWNS
NOT TO SCALE



11 CONCRETE ENCASUREMENT DETAIL
NOT TO SCALE

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK

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CLERK _____ DATE _____

"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW"
NEWBURYPORT PLANNING BOARD

DATE _____



DEVELOPER:
CASWELL DEVELOPMENT
24 GRAF ROAD
NEWBURYPORT MA

ARCHITECT:
GRAF ARCHITECTS
2 LIBERTY STREET
NEWBURYPORT MA

SURVEYOR
WINTER GEC
44 MERRIMAC ST. UNIT 312
NEWBURYPORT, MA

PROJECT TEAM

21-27 HANCOCK
NEWBURYPORT, MA.

REV	DESCRIPTION	DATE
1	PLAN UPDATE	03/19/2021



STAMP:

CONSTRUCTION
DETAILS

SHEET NAME:
D1

SHT NO:
DR BY: MCH
CHK BY: SBS
PROJ NO: 20-087
DATE: 02/17/2021
SCALE: NOT TO SCALE

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NORTH



DEVELOPER: CASWELL DEVELOPMENT
24 GRAF ROAD
NEWBURYPORT MA

ARCHITECT: GRAF ARCHITECTS
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NEWBURYPORT MA

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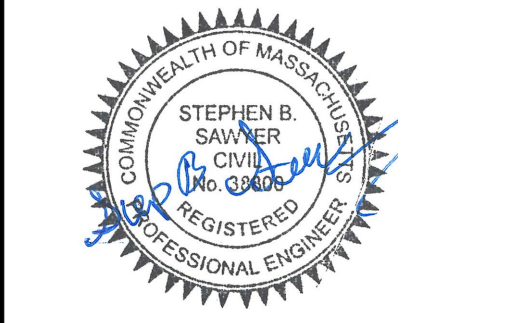
PROJECT TEAM

21-27 HANCOCK
NEWBURYPORT, MA.

PROJECT INFO

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1	PLAN UPDATE	03/19/2021

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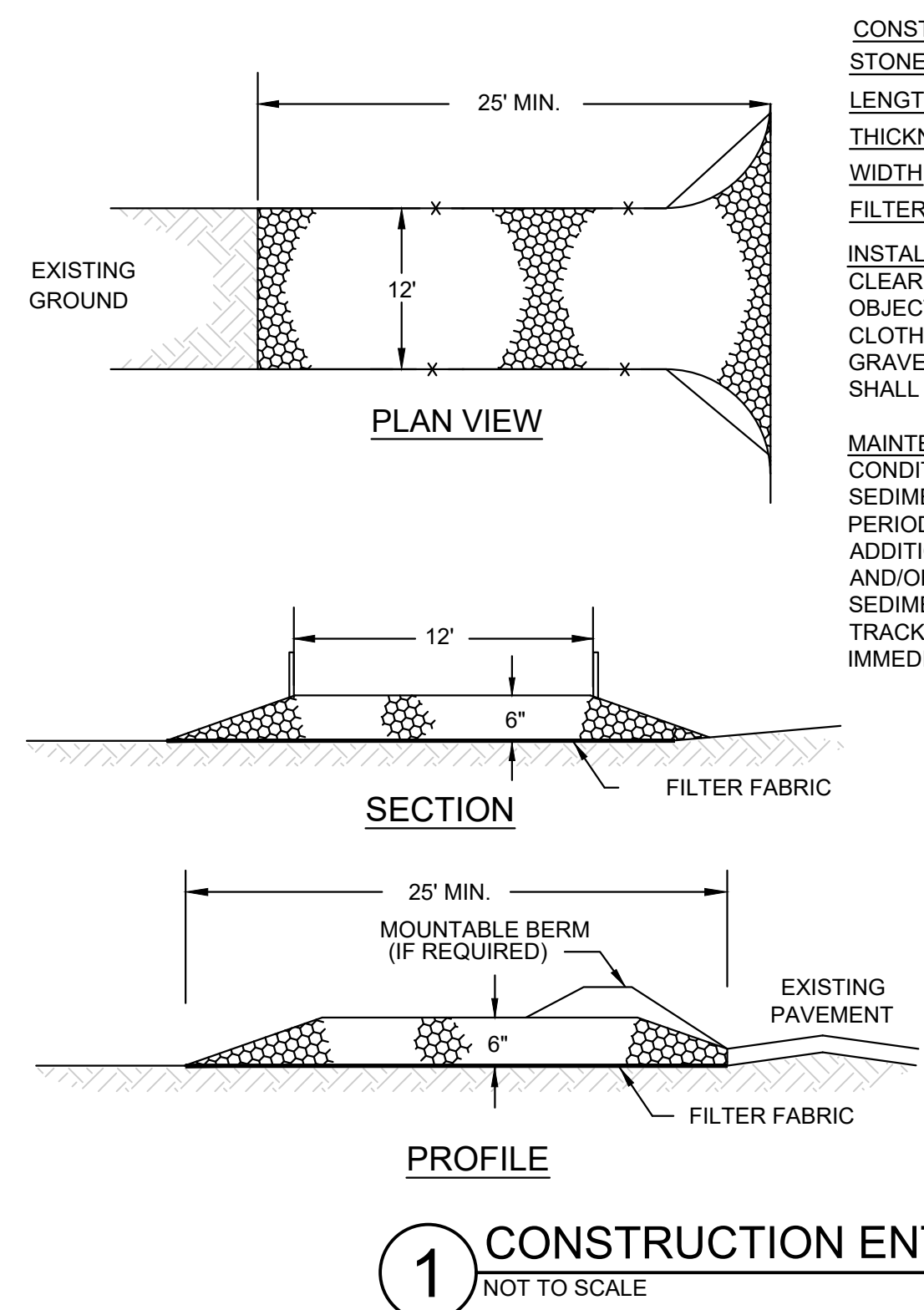
CONSTRUCTION DETAILS

SHEET NAME: **D2**

SHT NO: _____
 DR BY: MCH
 CHK BY: SBS
 PROJ NO: 20-087
 DATE: 02/17/2021
 SCALE: NOT TO SCALE

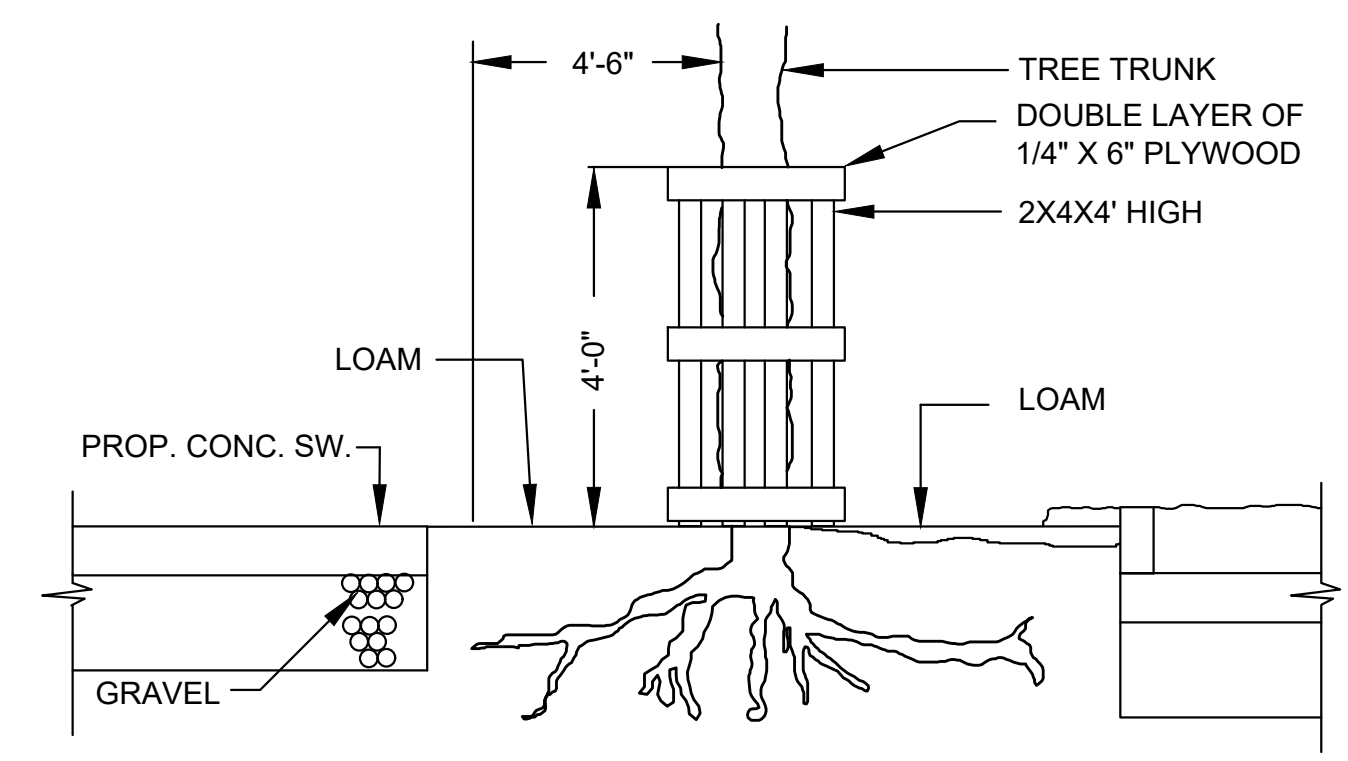
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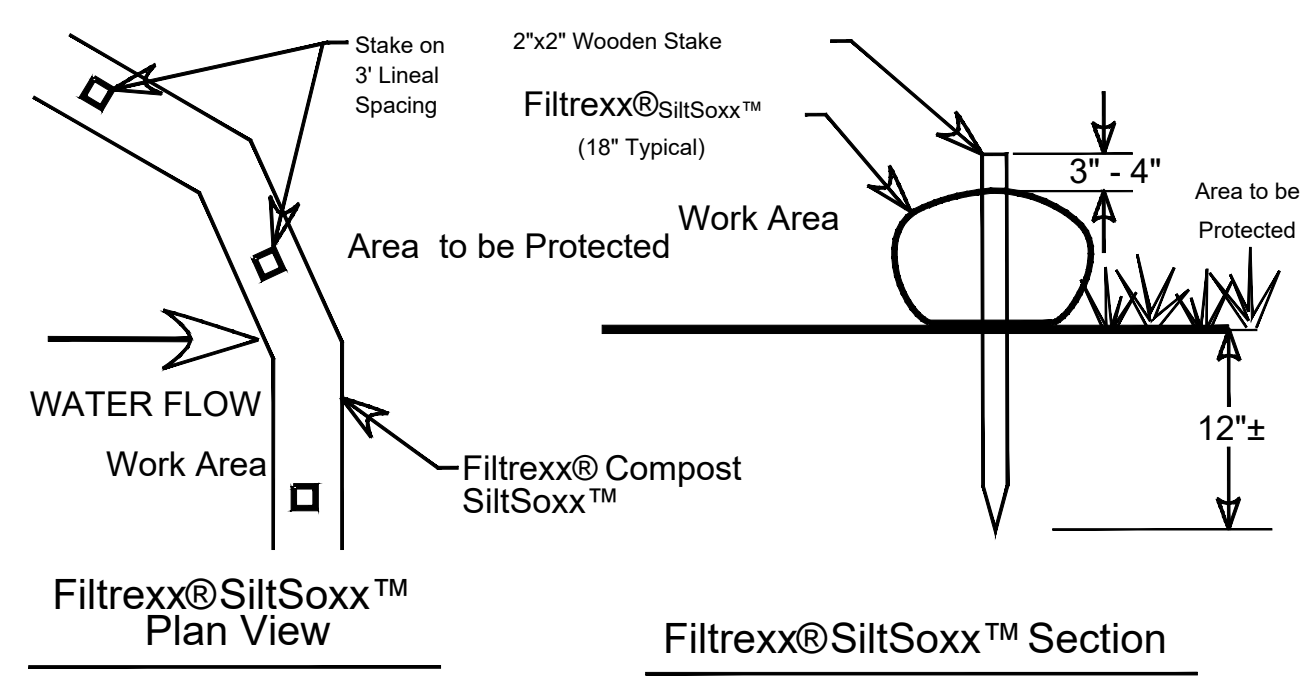


CRUSHED STONE GRADATION TABLE

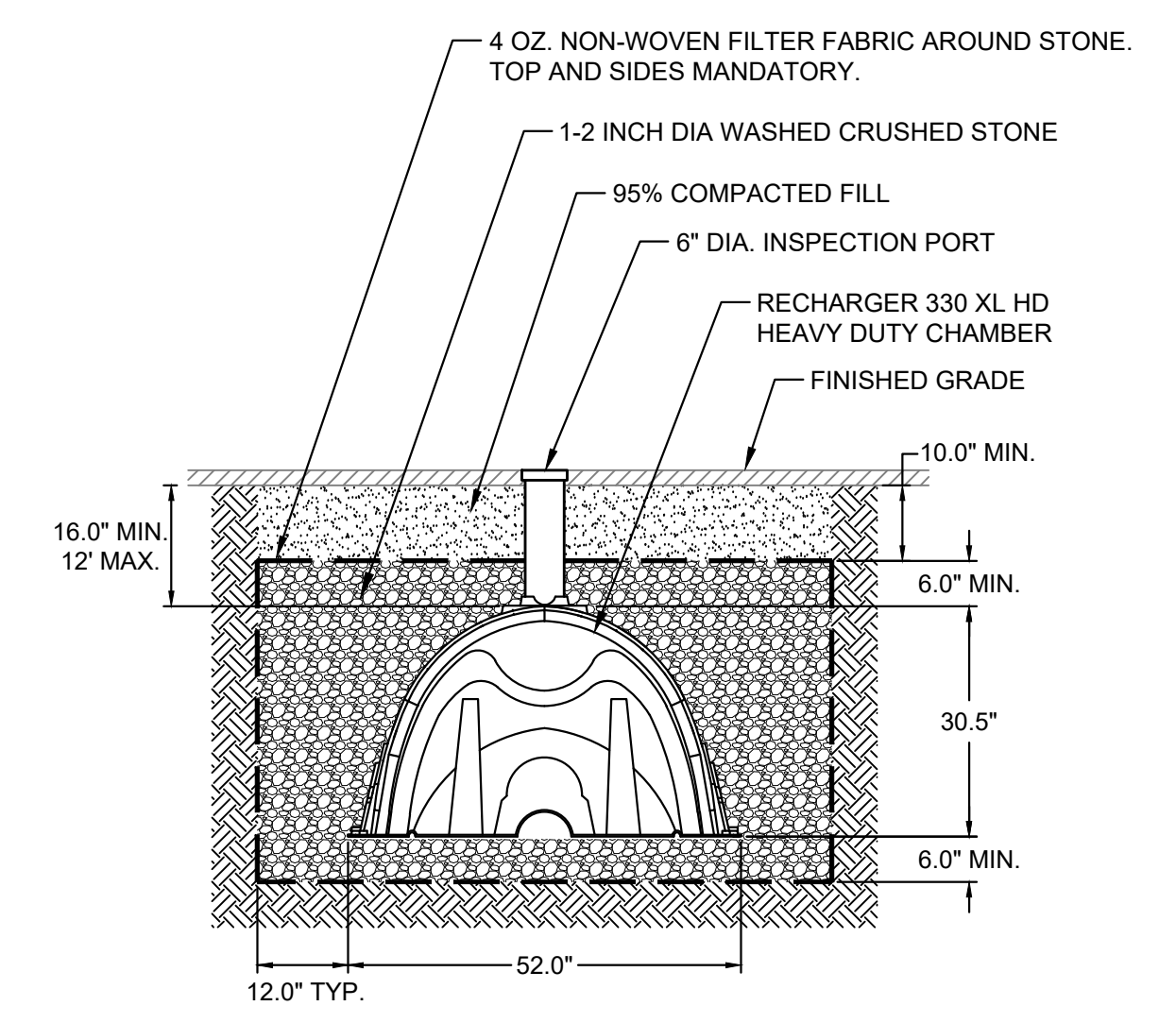
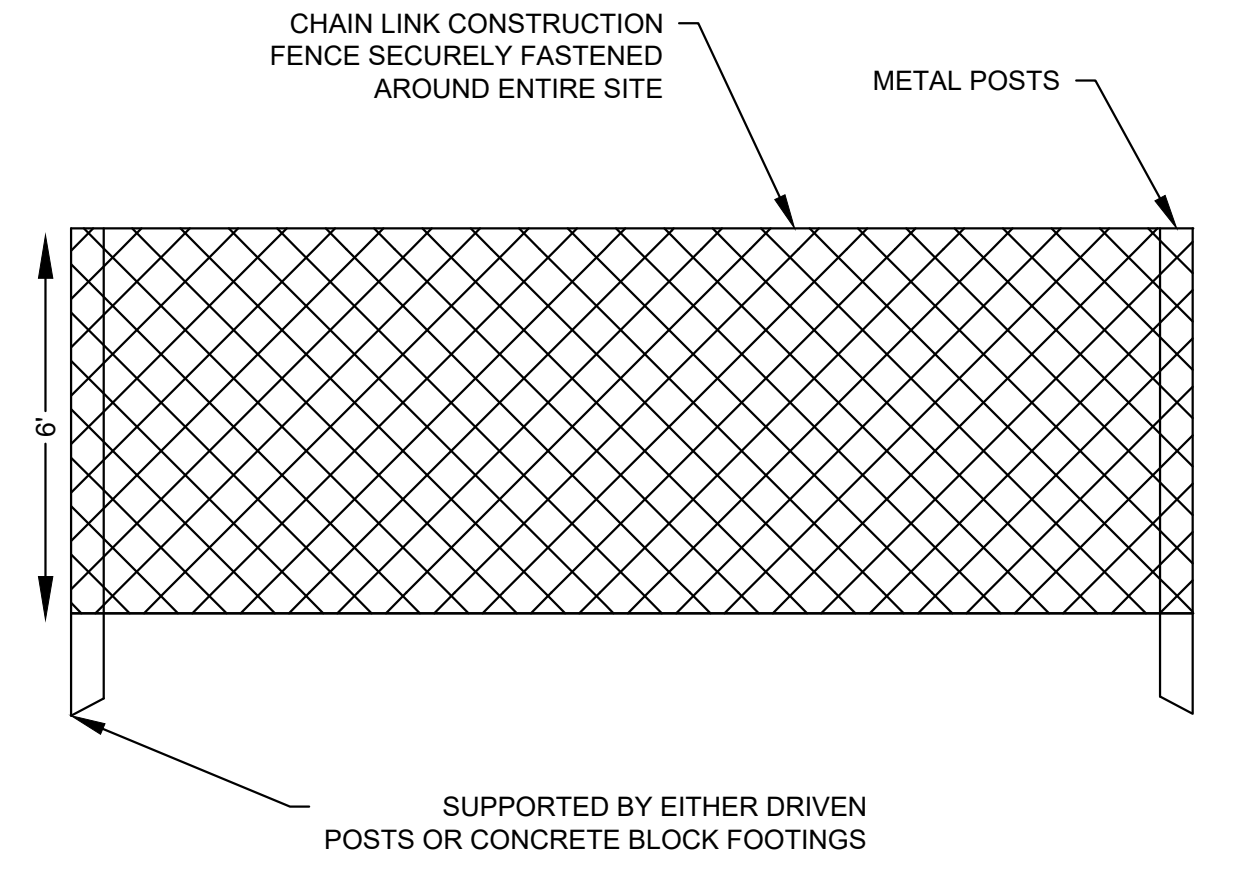
SIEVE SIZE	% PASSING BY WEIGHT
2 inches	100
1 1/2 inches	90-100
1 inch	40-55
3/4 inch	0-15
3/8 inch	0-5



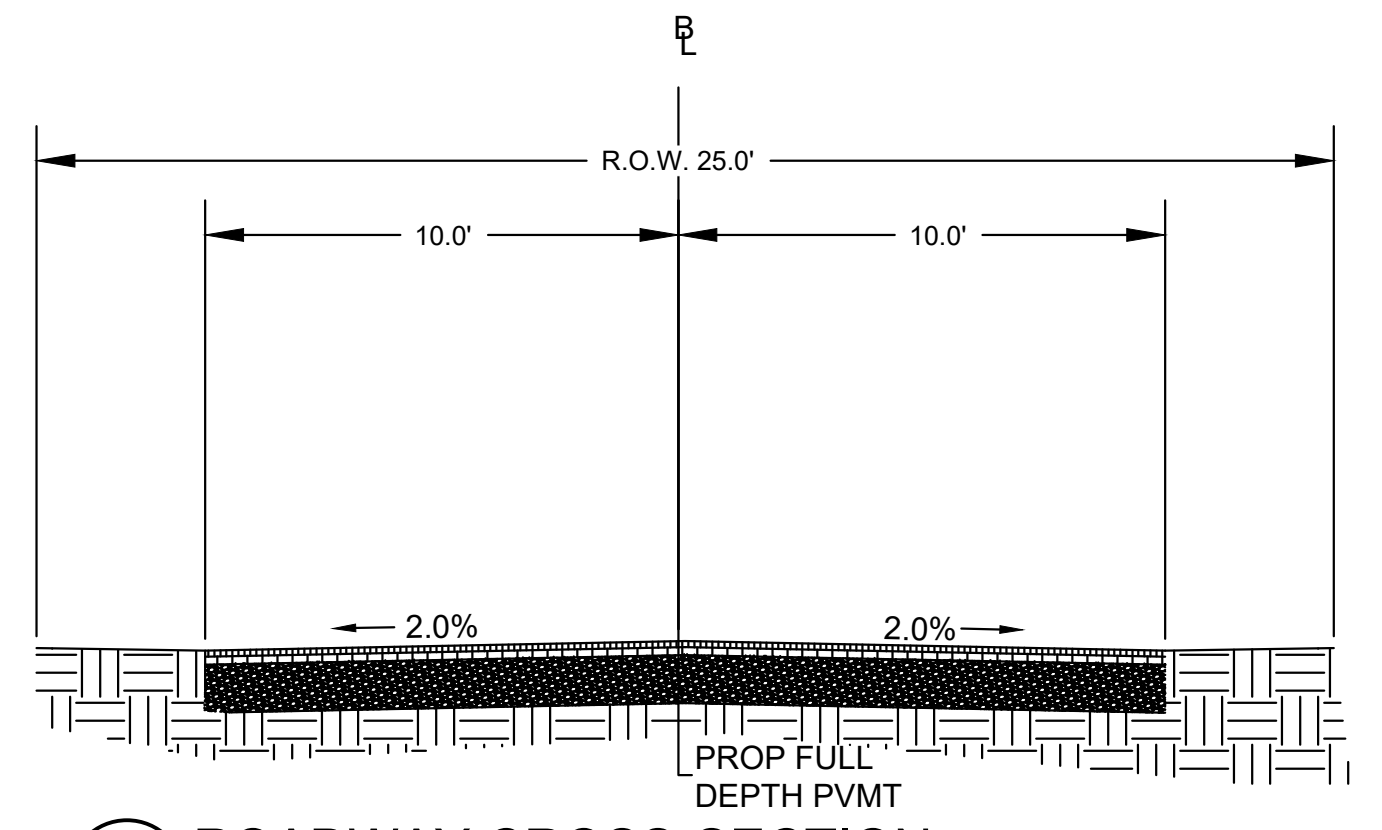
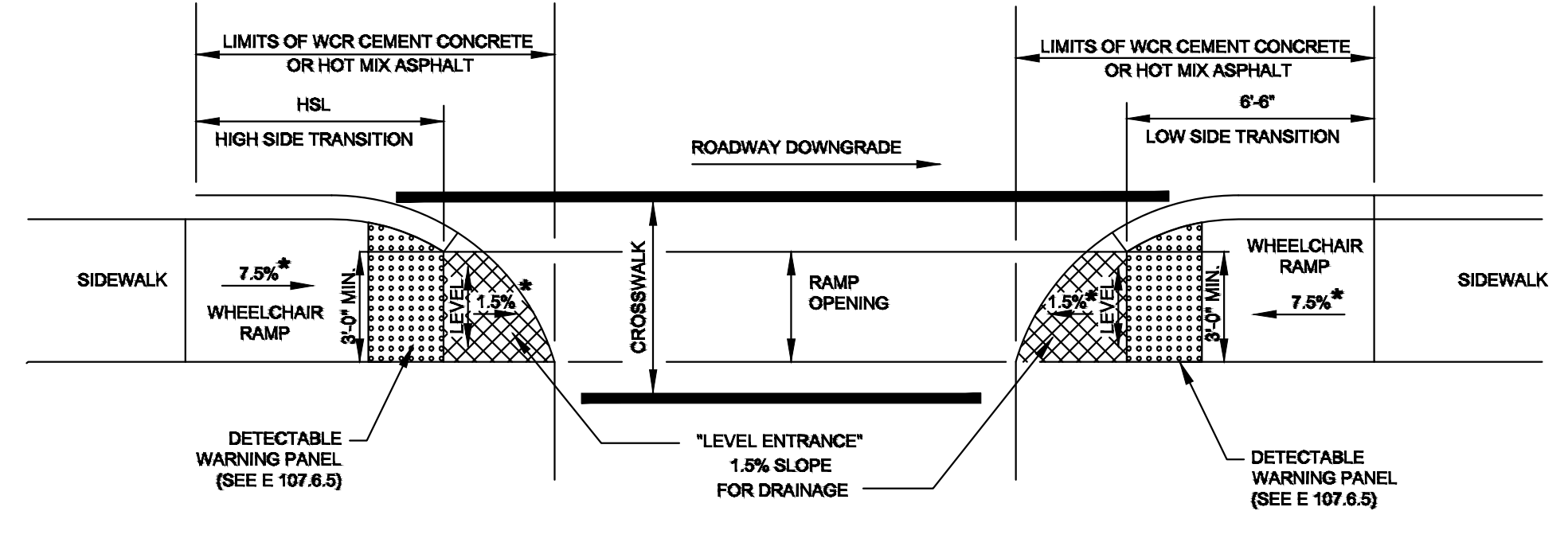
- NOTES:
- RESTRICT PASSAGE OF CONSTRUCTION EQUIPMENT THAT WILL INJURE EXPOSED OR UNDISTURBED TREE ROOTS OR OTHER PARTS OF THE TREE.
 - TREE ROOTS LOCATED LOWER THAN 10" BELOW FINISH GRADE WITHIN TREE PROTECTION WORKING AREA SHALL BE CUT ONLY IF NECESSARY.
 - PROVIDE 2X4X4' HIGH WOOD FRAME CAGE WITH HORIZONTAL PLYWOOD PLANKING AS PROTECTION FOR THE TREE DURING CONSTRUCTION OR AS DIRECTED BY THE ENGINEER.



- NOTES:
- ALL MATERIAL TO MEET FILTREXX@ SPECIFICATIONS.
 - SILTSOXX™ COMPOST/JSOIL/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



GENERAL NOTES
 RECHARGER 330XL HD BY CULTTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
 ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



CITY OF NEWBURYPORT
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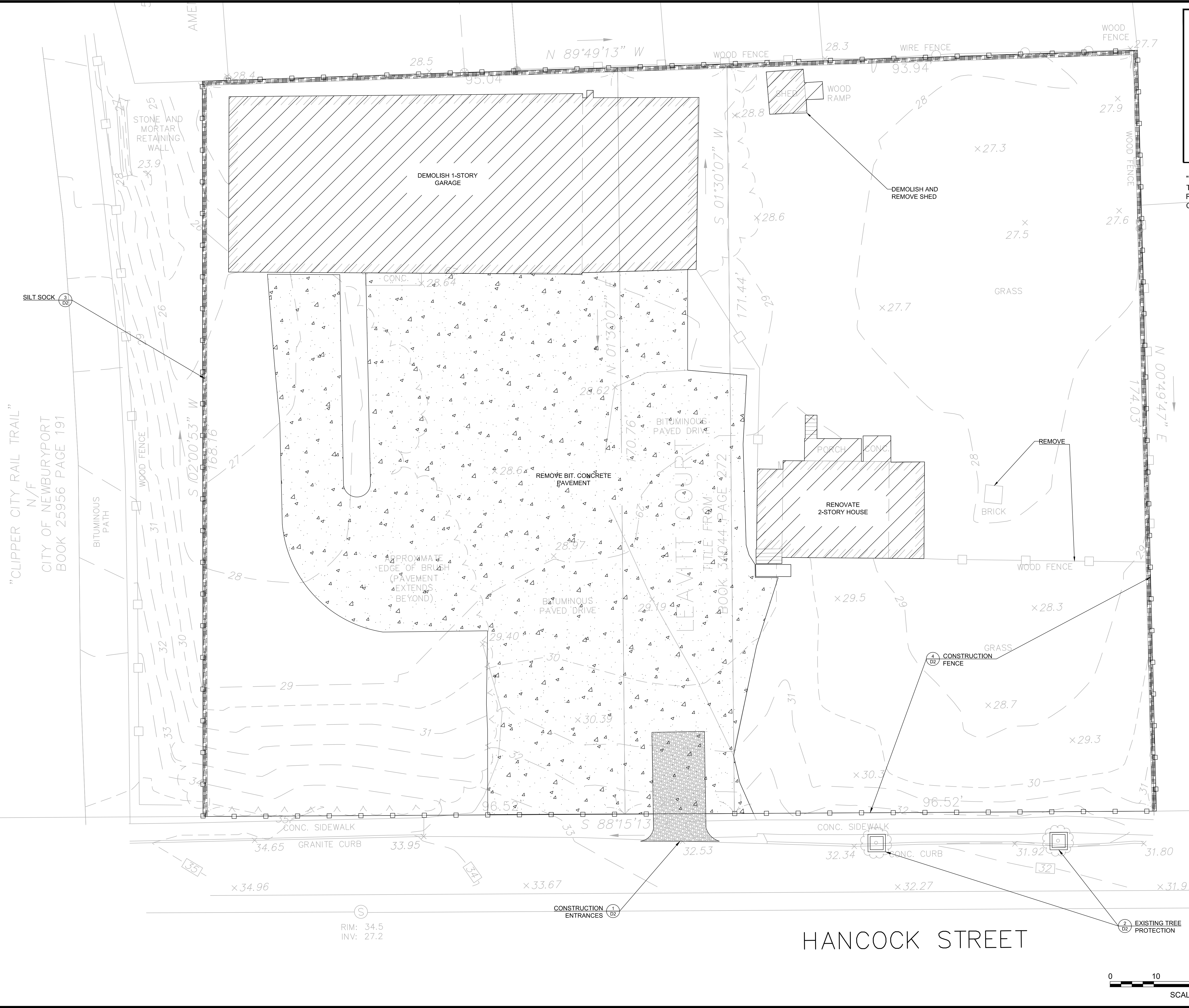
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N/O
NOMINEE TRUST
LOT 8
PAGE 582

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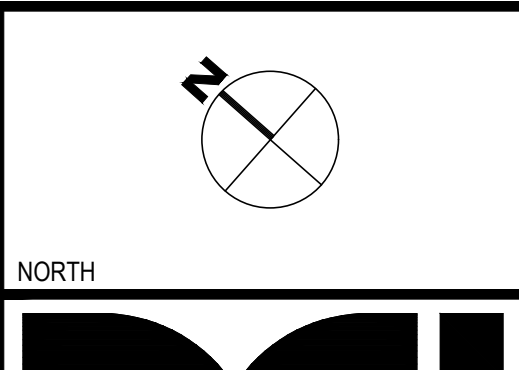
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PROJECT TEAM



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21-27 HANCOCK
NEWBURYPORT, MA.

PHYLIS RYAN
MAP 25 LOT 44
BOOK 33816 PAGE 418

N/O
NOMINEE TRUST
LOT 8
PAGE 582

"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD

REV	DESCRIPTION	DATE
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REV	DESCRIPTION	DATE



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EROSION CONTROL PLAN

SHEET NAME:

D3

SHT NO:
DR BY: GS
CHK BY: SS
PROJ NO: 20-087
DATE: 02/17/2021
SCALE: 1"=10'



HANCOCK STREET

RIM: 34.5
INV: 27.2

CONSTRUCTION ENTRANCES