

DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND GALLAGHER DRIVE

NEWBURYPORT, MA

OCTOBER 24, 2014

INDEX:

DRAWING DATE	DRAWING NUMBER	DRAWING DESCRIPTION
10/24/2014		SITE PLAN COVER SHEET
10/24/2011	1 OF 1	EXISTING CONDITIONS PLAN (FELDMAN LAND SURVEYORS)
10/24/2014	1 OF 1	LOTTING PLAN (FELDMAN LAND SURVEYORS)
10/24/2014	N-1	GENERAL NOTES & LEGEND
10/24/2014	C-1	DEMOLITION AND EROSION CONTROL PLAN
10/24/2014	C-2	GRADING, DRAINAGE AND UTILITY PLAN
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10/24/2014	C-4	SITE DETAILS 1
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OWNER:

**90 PLEASANT STREET NOMINEE TRUST
81-83 MERRIMAC STREET NOMINEE TRUST
c/o NEW ENGLAND DEVELOPMENT
ONE WELLS AVENUE
NEWTON, MA 02459**

**ZONING DISTRICT:
DOWNTOWN BUSINESS DISTRICT (B-2)**

CONSULTANTS:

OWNER'S LEGAL COUNSEL
GOULSTON & STORRS
400 ATLANTIC AVENUE
BOSTON, MA 02110
(617) 482-1776
(617) 574-4112 FAX

SURVEYOR
FELDMAN LAND SURVEYORS
112 SHAWMUT AVENUE
BOSTON, MA 02118
(617) 357-9740

CIVIL ENGINEER
RJ O'CONNELL & ASSOCIATES, INC.
80 MONTVALE AVENUE
STONEHAM, MA 02180
(781) 279-0180

BENCH MARK INFORMATION:

BENCH MARK USED:
TIDAL BENCHMARK F1 DESCRIBED BY NATIONAL GEODETIC SURVEY 1966 "AT NEWBURYPORT, ALONG GREEN STREET, BETWEEN MERRIMACK STREET AND PLEASANT STREET, DIRECTLY BEHIND CITY HALL, SET VERTICALLY IN THE SOUTH FACE AT THE SOUTHWEST CORNER OF THE POLICE STATION AND DISTRICT COURT A TWO-STORIED BRICK BUILDING, 54 FEET WEST OF THE WEST CURB OF GREEN STREET, 1.5 FEET EAST OF THE SOUTHWEST CORNER OF THE BUILDING, AND ABOUT 1.7 FEET ABOVE THE ELEVATION = 25.85

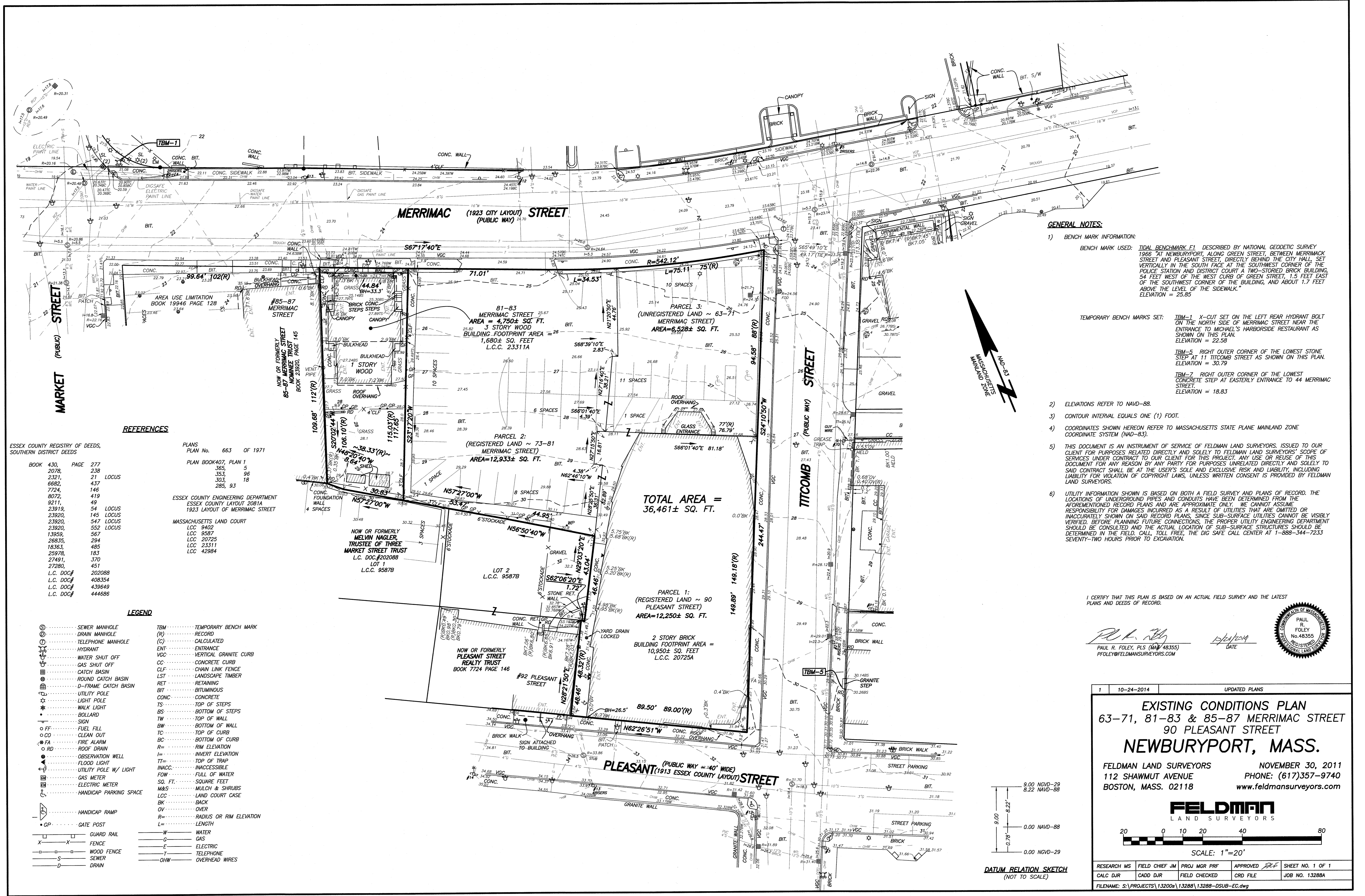
TEMPORARY BENCH MARKS SET:
TBM-1 X-CUT SET ON THE LEFT REAR HYDRANT BOLT ON THE NORTH SIDE OF MERRIMACK STREET NEAR THE ENTRANCE TO MICHAEL'S HARBORSIDE RESTAURANT AS SHOWN ON THIS PLAN.
ELEVATION = 22.58

TBM-5 RIGHT OUTER CORNER OF THE LOWEST STONE STEP AT 11 TITCOMB STREET AS SHOWN ON THIS PLAN.
ELEVATION = 30.79

TBM-7 RIGHT OUTER CORNER OF THE LOWEST CONCRETE STEP AT EASTERLY ENTRANCE TO 44 MERRIMACK STREET AS SHOWN ON THIS PLAN.
ELEVATION = 18.83

PLANNING BOARD ENDORSEMENT

CITY CLERK CERTIFICATION



GENERAL NOTES:

- 1) BENCH MARK INFORMATION:
 BENCH MARK USED: TIDAL BENCHMARK E1 DESCRIBED BY NATIONAL GEODETIC SURVEY 1966 AT NEWBURYPORT, ALONG GREEN STREET, BETWEEN MERRIMACK STREET AND PLEASANT STREET, DIRECTLY BEHIND THE CITY HALL, SET VERTICALLY IN THE SOUTH FACE AT THE SOUTHWEST CORNER OF THE POLICE STATION AND DISTRICT COURT A TWO-STORIED BRICK BUILDING, 54 FEET WEST OF THE WEST CURB OF GREEN STREET, 1.5 FEET EAST OF THE SOUTHWEST CORNER OF THE BUILDING, AND ABOUT 1.7 FEET ABOVE THE LEVEL OF THE SIDEWALK.
 ELEVATION = 25.85
- 2) ELEVATIONS REFER TO NAVD-88.
- 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 4) COORDINATES SHOWN HEREON REFER TO MASSACHUSETTS STATE PLANE MAINLAND ZONE COORDINATE SYSTEM (NAD-83).
- 5) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS, ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.
- 6) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED BEFORE PLANNING FUTURE CONNECTIONS. THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD, CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.

REFERENCES

ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT DEEDS	PLANS PLAN No. 663 OF 1971
BOOK 430, PAGE 277	PLAN BOOK 407, PLAN 1
2078, 238	365, 5
2321, 21 LOCUS	353, 96
6682, 437	303, 18
7724, 146	285, 93
8072, 419	
9211, 49	
23919, 54 LOCUS	
23920, 145 LOCUS	
23920, 547 LOCUS	
23920, 552 LOCUS	
13959, 567	
26835, 294	
18363, 485	
25979, 183	
27491, 370	
27280, 451	
L.C. DOC# 202088	
L.C. DOC# 408354	
L.C. DOC# 439649	
L.C. DOC# 444886	

LEGEND

⊙	SEWER MANHOLE	TBM	TEMPORARY BENCH MARK
⊖	DRAIN MANHOLE	(R)	RECORD
⊕	TELEPHONE MANHOLE	(C)	CALCULATED
⊙	HYDRANT	ENT	ENTRANCE
⊙	WATER SHUT OFF	VGC	VERTICAL GRANITE CURB
⊙	CATCH BASIN	CC	CONCRETE CURB
⊙	ROUND CATCH BASIN	CLF	CHAIN LINK FENCE
⊙	D-FRAME CATCH BASIN	LST	LANDSCAPE TIMBER
⊙	UTILITY POLE	RET	RETAINING
⊙	LIGHT POLE	BIT	BITUMINOUS
⊙	WALK LIGHT	CONC	CONCRETE
⊙	BOLLARD	TS	TOP OF STEPS
⊙	SIGN	BS	BOTTOM OF STEPS
⊙	FUEL FILL	TW	TOP OF WALL
⊙	CLEAN OUT	BW	BOTTOM OF WALL
⊙	FIRE ALARM	TC	TOP OF CURB
⊙	ROOF DRAIN	BC	BOTTOM OF CURB
⊙	OBSERVATION WELL	R=	RIM ELEVATION
⊙	FLOOD LIGHT	IN	INVERT ELEVATION
⊙	UTILITY POLE W/ LIGHT	TT	TOP OF TRAP
⊙	GAS METER	INACC	INACCESSIBLE
⊙	ELECTRIC METER	FOW	FULL OF WATER
⊙	HANDICAP PARKING SPACE	SQ. FT.	SQUARE FEET
⊙	HANDICAP RAMP	M&S	MULCH & SHRUBS
⊙	GUARD RAIL	LCC	LAND COURT CASE
⊙	FENCE	BK	BACK
⊙	WOOD FENCE	OV	OVER
⊙	SEWER	R=	RADIUS OR RIM ELEVATION
⊙	DRAIN	L=	LENGTH
⊙		W	WATER
⊙		G	GAS
⊙		E	ELECTRIC
⊙		T	TELEPHONE
⊙		OHW	OVERHEAD WIRES

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

PAUL R. FOLEY, PLS (MA) 48355
 PFOLEY@FELDMANSURVEYORS.COM

12/21/2011 DATE



10-24-2014 UPDATED PLANS

EXISTING CONDITIONS PLAN
 63-71, 81-83 & 85-87 MERRIMAC STREET
 90 PLEASANT STREET
 NEWBURYPORT, MASS.

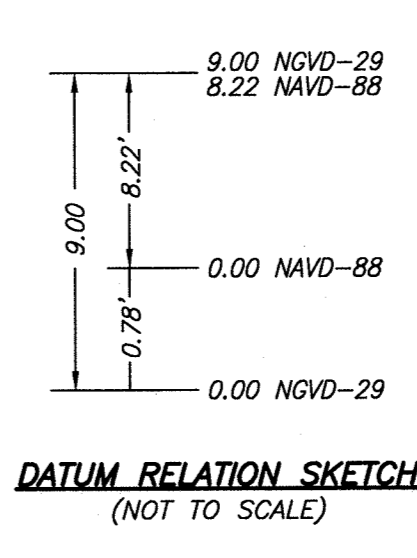
FELDMAN LAND SURVEYORS
 112 SHAWMUT AVENUE
 BOSTON, MASS. 02118

NOVEMBER 30, 2011
 PHONE: (617)357-9740
 www.feldmansurveyors.com

FELDMAN
 LAND SURVEYORS

SCALE: 1"=20'

RESEARCH MS FIELD CHIEF JM PROJ MGR PRF APPROVED [Signature] SHEET NO. 1 OF 1
 CALC DJR CADD DJR FIELD CHECKED CRD FILE JOB NO. 13288A
 FILENAME: S:\PROJECTS\132006\13288\13288-DSUB-EC.dwg



DATE: _____

NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE FROM THE PLANNING BOARD OF THE APPROVAL OF THE PLAN.

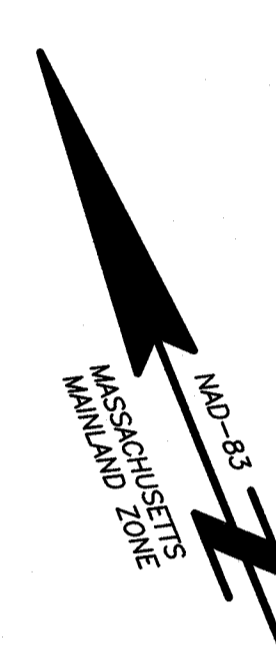
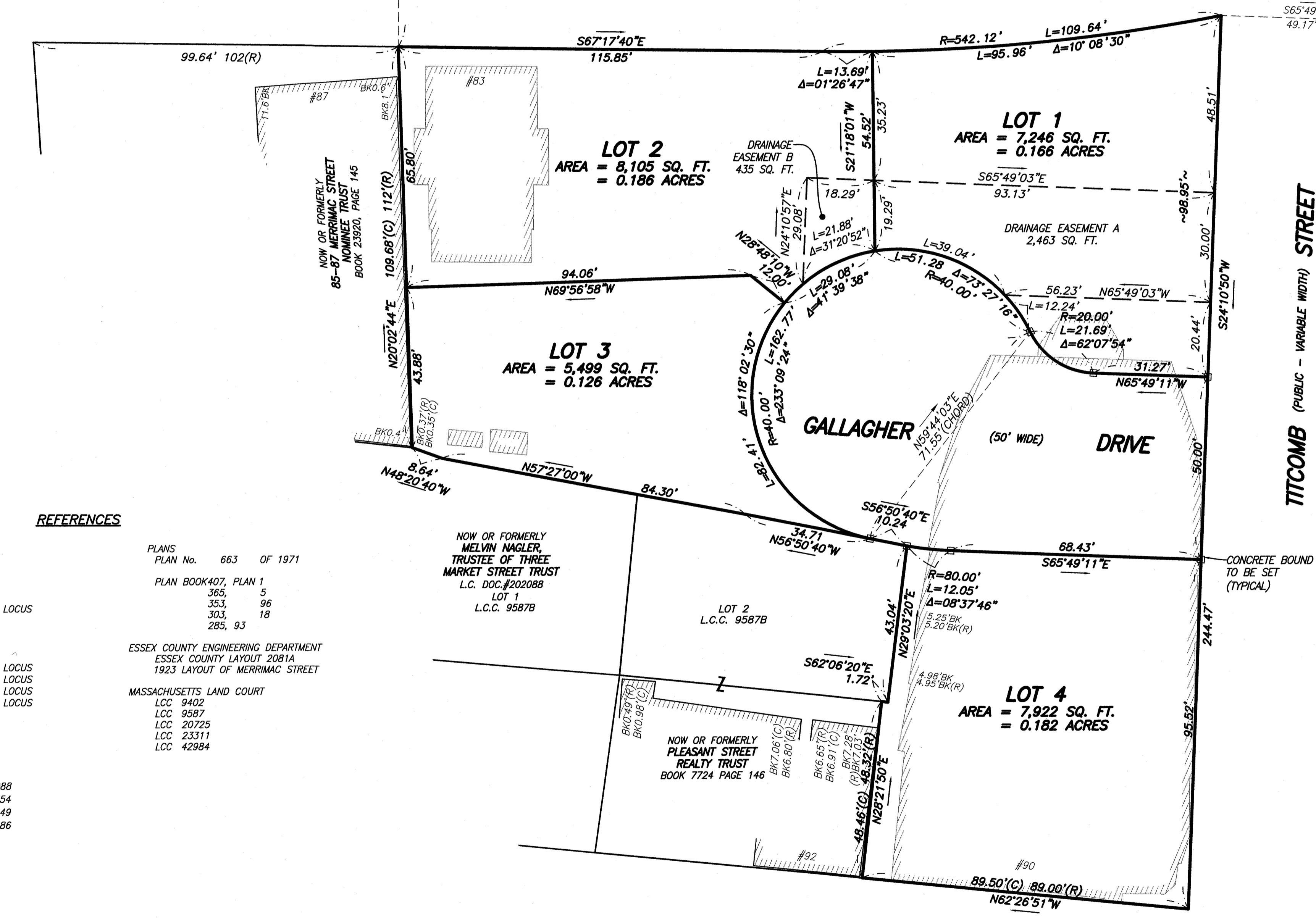
TOWN CLERK TOWN OF NEWBURYPORT

RESERVED FOR REGISTRY USE

MERRIMAC (1923 CITY LAYOUT) STREET
(PUBLIC - VARIABLE WIDTH)

MARKET STREET (PUBLIC)

TITCOMB STREET (PUBLIC - VARIABLE WIDTH)



GENERAL NOTES:

- COORDINATES SHOWN HEREON REFER TO MASSACHUSETTS STATE PLANE MAINLAND ZONE COORDINATE SYSTEM (NAD-83).
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS, ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS, AND THE TOWN OF NEWBURYPORT RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND.

Paul R. Foley
PAUL R. FOLEY, PLS (MA) 48355
PFOLEY@FELDMANSURVEYORS.COM

10/24/2014
DATE



REFERENCES

ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT DEEDS

BOOK	PAGE	277
430	277	
2078	238	
2321	21 LOCUS	
6682	437	
7724	146	
8072	419	
9211	49	
23919	54 LOCUS	
23920	145 LOCUS	
23920	547 LOCUS	
23920	552 LOCUS	
13959	567	
26835	294	
18363	485	
25978	183	
27491	370	
27280	451	
L.C. DOC#	202088	
L.C. DOC#	408354	
L.C. DOC#	439649	
L.C. DOC#	444686	

PLANS

PLAN No.	663	OF 1971
PLAN BOOK 407, PLAN 1		
365,	5	
353,	96	
303,	18	
285,	93	

ESSEX COUNTY ENGINEERING DEPARTMENT
ESSEX COUNTY LAYOUT 2081A
1923 LAYOUT OF MERRIMAC STREET

MASSACHUSETTS LAND COURT

LCC 9402
LCC 9587
LCC 20725
LCC 23511
LCC 42984

NOW OR FORMERLY MELVIN NAGLER, TRUSTEE OF THREE MARKET STREET TRUST
L.C. DOC. #202088
LOT 1
L.C.C. 9587B

LOT 2
L.C.C. 9587B

NOW OR FORMERLY PLEASANT STREET REALTY TRUST
BOOK 7724 PAGE 146

PLEASANT (PUBLIC WAY - 40' WIDE) STREET
(1913 ESSEX COUNTY LAYOUT)

LOTING PLAN
63-71, 81-83 & 85-87 MERRIMAC STREET
90 PLEASANT STREET
NEWBURYPORT, MASS.

FELDMAN LAND SURVEYORS
112 SHAWMUT AVENUE
BOSTON, MASS. 02118

OCTOBER 24, 2014
PHONE: (617)357-9740
www.feldmansurveyors.com



SCALE: 1"=20'

RESEARCH MS	FIELD CHIEF JM	PROJ MGR PRF	APPROVED PFF	SHEET NO. 1 OF 1
CALC DJR	CADD DJR	FIELD CHECKED	CRD FILE	JOB NO. 13288A

FILENAME: S:\PROJECTS\132006\13288\13288-DSUB.dwg

- LEGEND**
- (R).....RECORD
 - (C).....CALCULATED
 - SQ. FT.....SQUARE FEET
 - LCC.....LAND COURT CASE
 - BK.....BACK
 - OV.....OVER
 - R=.....RADIUS
 - L=.....LENGTH
 - Δ=.....DELTA ANGLE
 - EQ.....BOUND TO BE SET

GENERAL NOTES:

- 1. THESE PLANS HAVE BEEN PREPARED FROM PLANS ENTITLED 'EXISTING CONDITIONS--445 CENTRAL STREET IN STOUGHTON (NORFOLK COUNTY) MASSACHUSETTS, SHEETS 1 THRU 4 OF 4', DATED JULY 9, 2014 PREPARED BY JACOBUS DRISCOLL, ENGINEERING, NO. EASTON, MASS. TOPOGRAPHIC SURVEY ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD88) OF 1988.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD...

EROSION CONTROL NOTES:

- 1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROLS SHOWN DRAWING PLAN C-1 SHALL BE SET IN PLACE.
2. ALL PROPOSED SLOPES WILL BE NO STEEPER THAN 2H:1V. ALL 3H:1V SLOPES OR STEEPER WILL BE STABILIZED WITH A CURLEX EROSION CONTROL MATTING BY ANIMAL EXCELSION COMPANY (OR ENGINEER APPROVED EQUAL) PRIOR TO HYDRO SEEDING AND PROTECTED FROM EROSION.
3. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL HAYBALES, WATTLENS AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.

INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL...

WINTER STABILIZATION OF DISTURBED SOILS: BY SEPTEMBER 15, ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15% MUST BE SEEDED AND MULCHED. IF THE DISTURBED AREAS ARE NOT STABILIZED BY THIS DATE, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN:
TEMPORARY VEGETATION: BY OCTOBER 15 THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF...

25. ALL CONSTRUCTION MATERIAL, DEBRIS, FILL AND EXCAVATED MATERIAL SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER'S REPRESENTATIVE. ALL MATERIAL SHALL BE STABILIZED TO PREVENT EROSION, ALL EXCESS FILL AND EXCAVATED MATERIALS THAT ARE NOT USED IN CONJUNCTION WITH CONSTRUCTION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL REGULATIONS...

16. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.

17. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED WATTLENS AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.

18. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.

19. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. NO AREA SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN 14 DAYS AFTER SOIL HAS BEEN DISTURBED.

20. LOCATION OF TEMPORARY DRAINAGE SWALES AND SEDIMENTATION TRAPS ARE APPROXIMATE ONLY AND SHALL BE LOCATED AND/OR RELOCATED AS REQUIRED AS CONSTRUCTION PROGRESSES.

21. SILT SACKS SHALL BE INSTALLED, OR WATTLENS SHALL BE PLACED AROUND CATCH BASINS WITH FILTER FABRIC UNDER THE CATCH BASIN'S RIM DURING CONSTRUCTION TO CONTROL SILT BUILD-UP IN THE CATCH BASINS.

22. ALL EROSION CONTROL MEASURES SHALL BE POUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.

23. ANY DE-WATERING ACTIVITIES IN WHICH WATER WILL BE DISCHARGED TO A RESOURCE AREA AS DEFINED UNDER CHAPTER 131 M.G.L. OR TO A STORM DRAIN, SHALL USE A SETTLING POND OR SIMILAR DEVICE TO REMOVE SEDIMENT BEFORE WATER IS RELEASED.

24. THE ROWS OF STAKED WATTLENS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION IN GOOD WORKING ORDER AND SHALL NOT BE RELOCATED OR REMOVED UNTIL PERMANENT PAVING HAS BEEN ESTABLISHED. UPON COMPLETION OF THE PROJECT, THE WATTLENS SHALL BE PROPERLY DISPOSED OF OR RECYCLED.

25. ALL CONSTRUCTION MATERIAL, DEBRIS, FILL AND EXCAVATED MATERIAL SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER'S REPRESENTATIVE. ALL MATERIAL SHALL BE STABILIZED TO PREVENT EROSION, ALL EXCESS FILL AND EXCAVATED MATERIALS THAT ARE NOT USED IN CONJUNCTION WITH CONSTRUCTION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL REGULATIONS...

DEMOLITION NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF DEMOLISHED MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
2. PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES, ON-SITE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON DRAWING C-1 MUST BE INSTALLED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES WHETHER DESIGNATED ON THESE DRAWINGS OR DISCOVERED IN THE FIELD...

UTILITY NOTES(GENERAL):

- 1. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY THE BUILDING INSPECTIONS DEPT. AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO FINAL CONNECTION AND BACKFILLING OF SERVICES.
2. THE SITE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY/ALL PERMITS REQUIRED FOR THE INSTALLATION OF ALL SITE UTILITIES.
3. EXISTING STRUCTURES TO BE REMOVED ARE TO BE DISPOSED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.

DRAINAGE NOTES:

- 1. ALL PROPOSED DRAINAGE PIPES SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) AND STRUCTURES PRECAST CONCRETE UNLESS NOTED OTHERWISE. RCP PIPE ASTM C76. PIPE JOINTS SHALL BE BELL AND SPIGOT WITH RUBBER GASKETS CONFORMING TO ASTM C443.
2. ALL CATCH BASINS AND OTHER DRAINAGE STRUCTURES TO BE CONSTRUCTED, REPLACED, OR RECONSTRUCTED SHALL CONFORM TO CURRENT MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS. ALL NEW CATCH BASINS SHALL BE EQUIPPED WITH APPROPRIATELY SIZED "TEE" OR ENVIRONMENTAL HOOD. THREE (3) FOOT SUMPS SHALL BE PROVIDED IN ALL NEW CATCH BASINS.
3. ALL MANHOLES, CATCH BASINS AND DRAINAGE STRUCTURES SHALL BE PUMPED AND CLEANED AT THE END OF CONSTRUCTION. SEDIMENT AND OTHER POLLUTANTS SHALL BE REMOVED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.

PAVEMENT & TRAFFIC CONTROL PLAN NOTES:

- 1. ALL PROPOSED CURBING SHALL BE VERTICAL GRANITE CURB TYPE VA4 UNLESS OTHERWISE NOTED.
2. ALL PAVEMENT STRIPING SHALL BE PAINTED WITH 2 COATS OF PAINT FOUR (4) INCHES WIDE.
3. ALL EXISTING CURBING TO BE REMOVED WILL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
4. FOR PAVEMENT SECTION SEE DETAIL SHEET C-4.
5. ALL LIMITS OF PAVEMENT SHALL BE CURBED UNLESS NOTED OR INDICATED OTHERWISE.

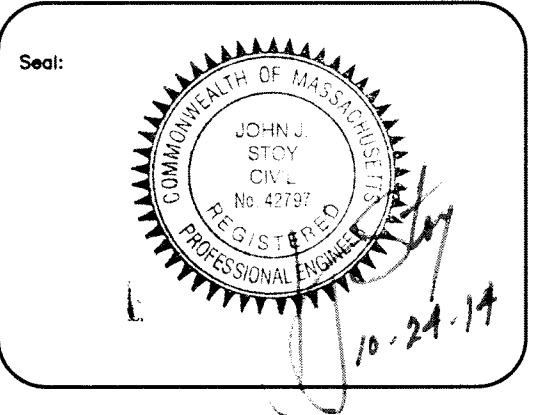
WINTER STABILIZATION OF DISTURBED SLOPES: ALL STONE-COVERED SLOPES GREATER THAN 15% MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15, AND ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE:
TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1 THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING...

LEGEND

LEGEND table containing symbols and descriptions for various features: SWER MANHOLE, DRAIN MANHOLE, TELEPHONE MANHOLE, HYDRANT, WATER SHUT OFF, GAS SHUT OFF, CATCH BASIN, ROUND CATCH BASIN, D-FRAME CATCH BASIN, GUY POLE, UTILITY POLE, LIGHT POLE, WALK LIGHT, VALVE (UNKNOWN), BOLLARD, SIGN, FUEL FILL, CLEAN OUT, FIRE ALARM, ROOF DRAIN, DRILL HOLE, BOUND ROUND, OBSERVATION WELL, FLOOD LIGHT, UTILITY POLE W/ LIGHT, GAS METER, ELECTRIC METER, HANDICAP PARKING SPACE, DECIDUOUS TREE, CONIFEROUS TREE, SHRUB, BUSH, EXCEPTION NUMBER LISTED IN TITLE COMMITMENT, GATE POST, GUARD RAIL, FENCE, WOOD FENCE, SEWER, DRAIN, WATER, GAS, ELECTRIC, TELEPHONE, OVERHEAD WIRES, TEMPORARY BENCH MARK, POINT OF BEGINNING, POINT OF COMMENCEMENT, NEW OR FORMER, FOUND, RECORD, CALCULATED, TYPICAL, DRILL HOLE, STONE BOUND, CONCRETE BOUND, IRON ROD, IRON PIPE, PIN IN LEAD, BUILDING HEIGHT, ENTRANCE, VERTICAL GRANITE CURB, CONCRETE CURB, CHAIN LINK FENCE, WOOD FENCE, LANDSCAPE TIMBER, RETAINING, BITUMINOUS, CONCRETE, TOP OF STEPS, BOTTOM OF STEPS, TOP OF WALL, BOTTOM OF WALL, TOP OF CURB, BOTTOM OF CURB, RIM ELEVATION, INVERT ELEVATION, TOP OF TRAP, INACCESSIBLE, FULL OF WATER, SQUARE FEET, BUILDING FOOTPRINT, NOT TO SCALE, MULCH & SHRUBS, LAND COURT CASE, BACK, OVER, RADIUS OR RIM ELEVATION, LENGTH, DELTA ANGLE, BUILDING DIMENSION.

- W PROPOSED WATERLINE
G PROPOSED GAS LINE
D PROPOSED DRAIN LINE
S PROPOSED SEWER LINE
SMH PROPOSED SEWER MANHOLE
DMH PROPOSED DRAIN MANHOLE
CB PROPOSED CATCH BASIN
HYDRANT PROPOSED HYDRANT
VALVE PROPOSED GATE VALVE

Table with columns for Date, Revision, and No., used for tracking changes to the drawing.



Designed by: JWC
Drawn by: BMS
Checked by: SPG
Scale: NOT TO SCALE
Date: 10/24/2014

New England DEVELOPMENT logo and address: ONE WELLS AVENUE, NEWTON, MA 02459, 617-965-8700

Prepared by: RJO'CONNELL & ASSOCIATES, INC. CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS, 80 MONTVALE AVE, STONEHAM, MA 02180, PHONE: 781-279-0180, FAX: 781-279-0173

PLANNING BOARD ENDORSEMENT

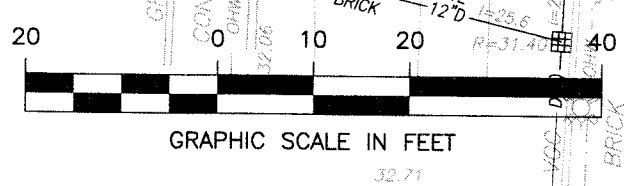
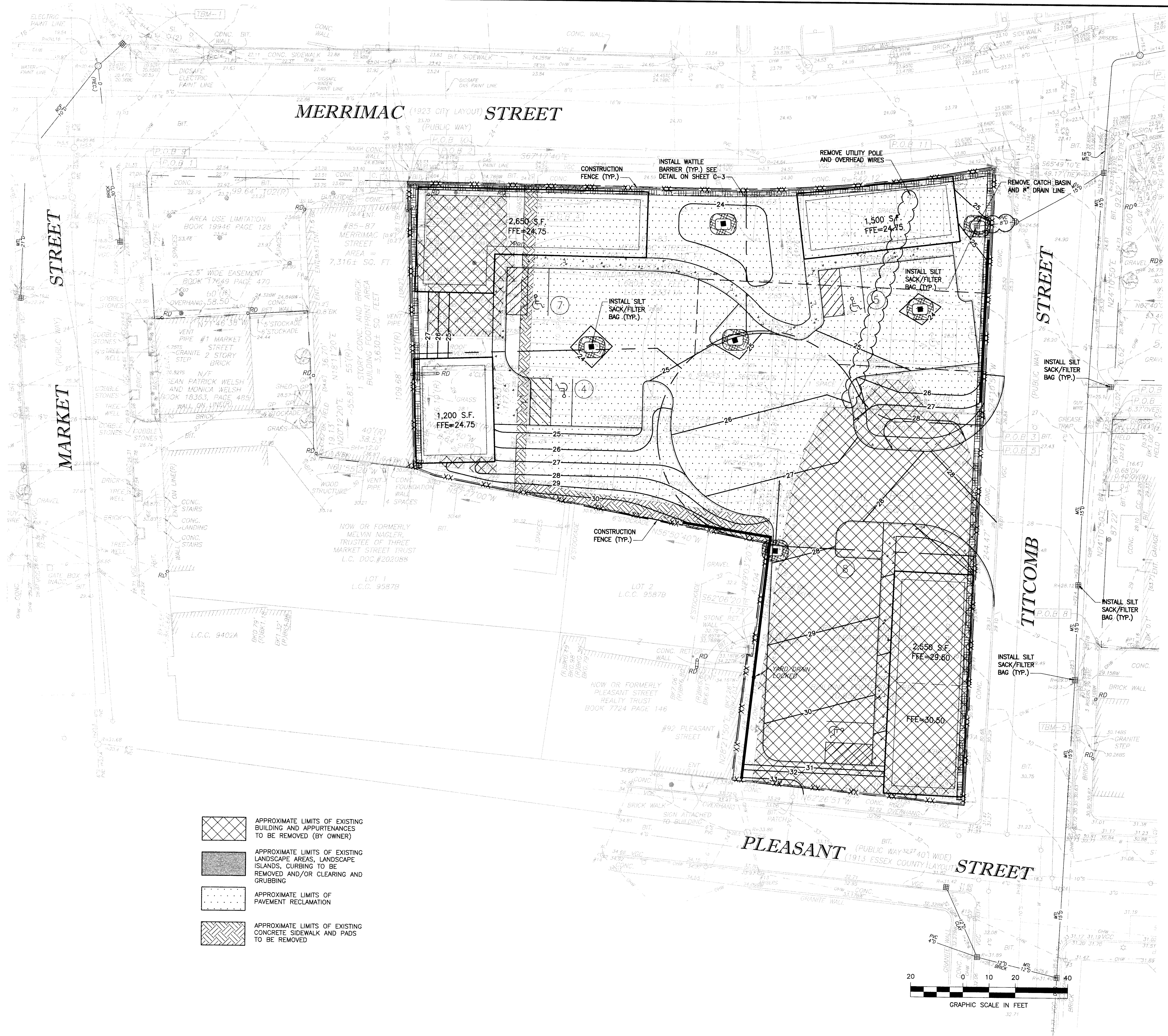
Form with multiple lines for text entry, intended for Planning Board Endorsement and City Clerk Certification.

Project Name: GALLAGHER DRIVE, NEWBURYPORT, MA. Drawing Name: GENERAL NOTES AND LEGEND.

Drawing No.: N-1, Project No.: 14012

LEGEND

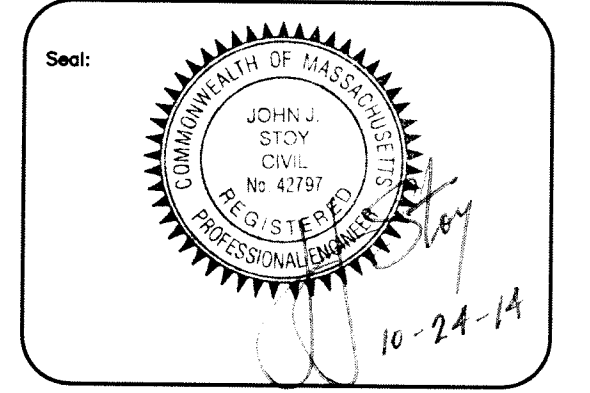
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- HYDRANT
- WATER SHUT OFF
- GAS SHUT OFF
- CATCH BASIN
- ROUND CATCH BASIN
- D-FRAME CATCH BASIN
- GUY POLE
- UTILITY POLE
- LIGHT POLE
- WALK LIGHT
- VALVE (UNKNOWN)
- EOLLARD
- SIGN
- FF FUEL FILL
- CO CLEAN OUT
- FA FIRE ALARM
- RD ROOF DRAIN
- DRILL HOLE
- BOUND FOUND
- OBSERVATION WELL
- FLOOD LIGHT
- UTILITY POLE W/ LIGHT
- GAS METER
- ELECTRIC METER
- HANDICAP PARKING SPACE
- DECIDUOUS TREE
- CONIFEROUS TREE
- S-SHRUB
- BUSH
- EXCEPTION NUMBER LISTED IN TITLE COMMITMENT
- HANDICAP RAMP
- GP GATE POST
- GUARD RAIL
- FENCE
- WOOD FENCE
- SEWER
- DRAIN
- WATER
- GAS
- ELECTRIC
- TELEPHONE
- OHW OVERHEAD WIRES
- TBM TEMPORARY BENCH MARK
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- N/F NOW OR FORMERLY
- FND FOUND
- REC RECORD
- CALC CALCULATED
- TYP TYPICAL
- DH DRILL HOLE
- SB STONE BOUND
- CB CONCRETE BOUND
- IR IRON ROD
- IP IRON PIPE
- PIL PIN IN LEAD
- BH BUILDING HEIGHT
- ENT ENTRANCE
- VCC VERTICAL GRANITE CURB
- CC CONCRETE CURB
- CLF CHAIN LINK FENCE
- WF WOOD FENCE
- LST LANDSCAPE TIMBER
- RET RETAINING
- BIT BITUMINOUS
- CONC CONCRETE
- TS TOP OF STEPS
- BS BOTTOM OF STEPS
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TC TOP OF CURB
- BC BOTTOM OF CURB
- R RIM ELEVATION
- I INVERT ELEVATION
- TT TOP OF TRAP
- INACC INACCESSIBLE
- FOW FULL OF WATER
- SQ. FT. SQUARE FEET
- BFA BUILDING FOOTPRINT AREA
- NTS NOT TO SCALE
- M&S MULCH & SHRUBS
- LCC LAND COURT CASE
- BK BACK
- OV OVER
- R RADIUS OR RIM ELEVATION
- L LENGTH
- Δ DELTA ANGLE
- [xxx] BUILDING DIMENSION
- W PROPOSED WATERLINE
- G PROPOSED GAS LINE
- D PROPOSED DRAIN LINE
- S PROPOSED SEWER LINE
- SMH PROPOSED SEWER MANHOLE
- DMH PROPOSED DRAIN MANHOLE
- CB PROPOSED CATCH BASIN
- PROPOSED HYDRANT
- PROPOSED GATE VALVE



- APPROXIMATE LIMITS OF EXISTING BUILDING AND APPURTENANCES TO BE REMOVED (BY OWNER)
- APPROXIMATE LIMITS OF EXISTING LANDSCAPE AREAS, LANDSCAPE ISLANDS, CURBING TO BE REMOVED AND/OR CLEARING AND GRUBBING
- APPROXIMATE LIMITS OF PAVEMENT RECLAMATION
- APPROXIMATE LIMITS OF EXISTING CONCRETE SIDEWALK AND PADS TO BE REMOVED

PLANNING BOARD ENDORSEMENT

CITY CLERK CERTIFICATION



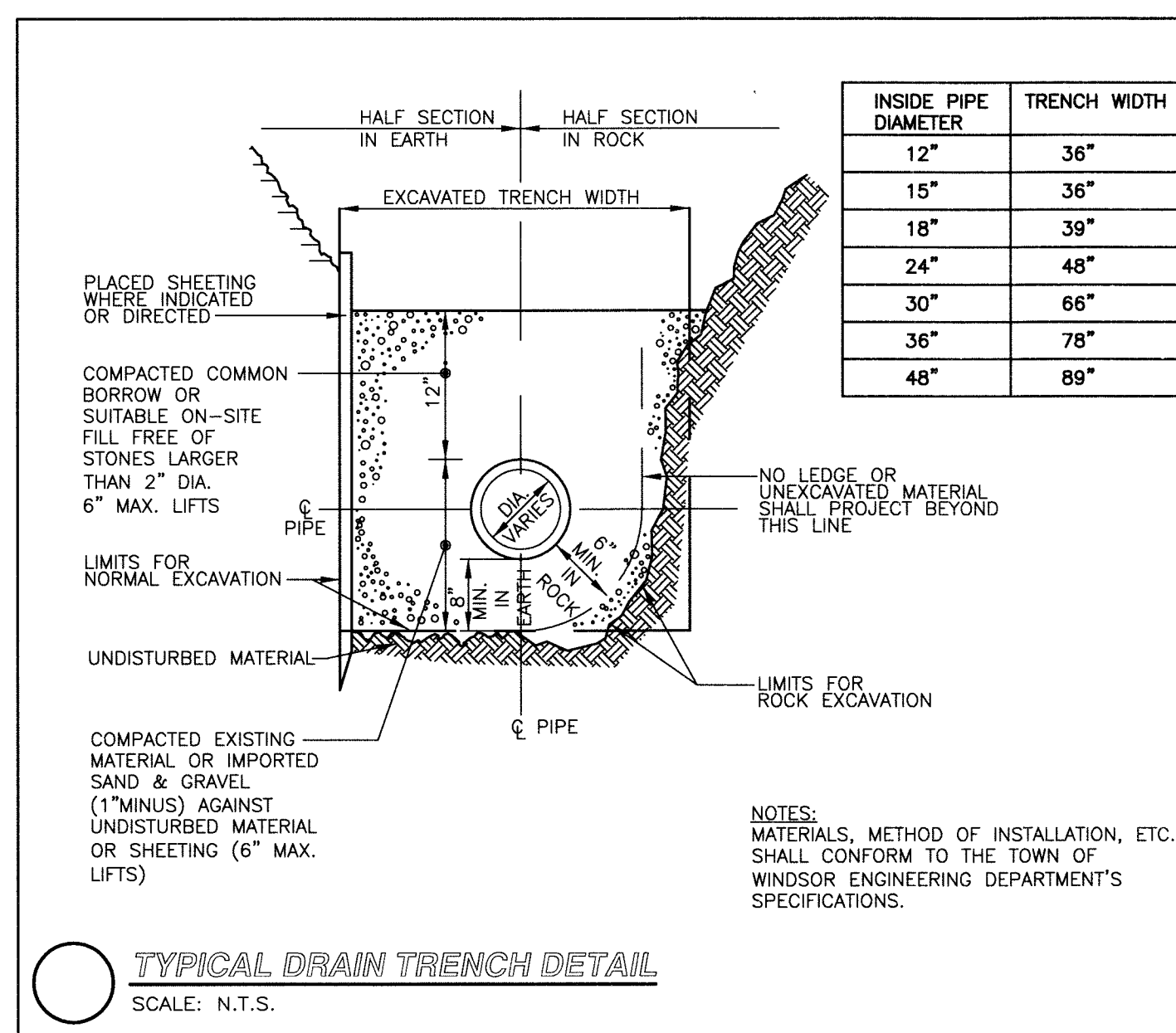
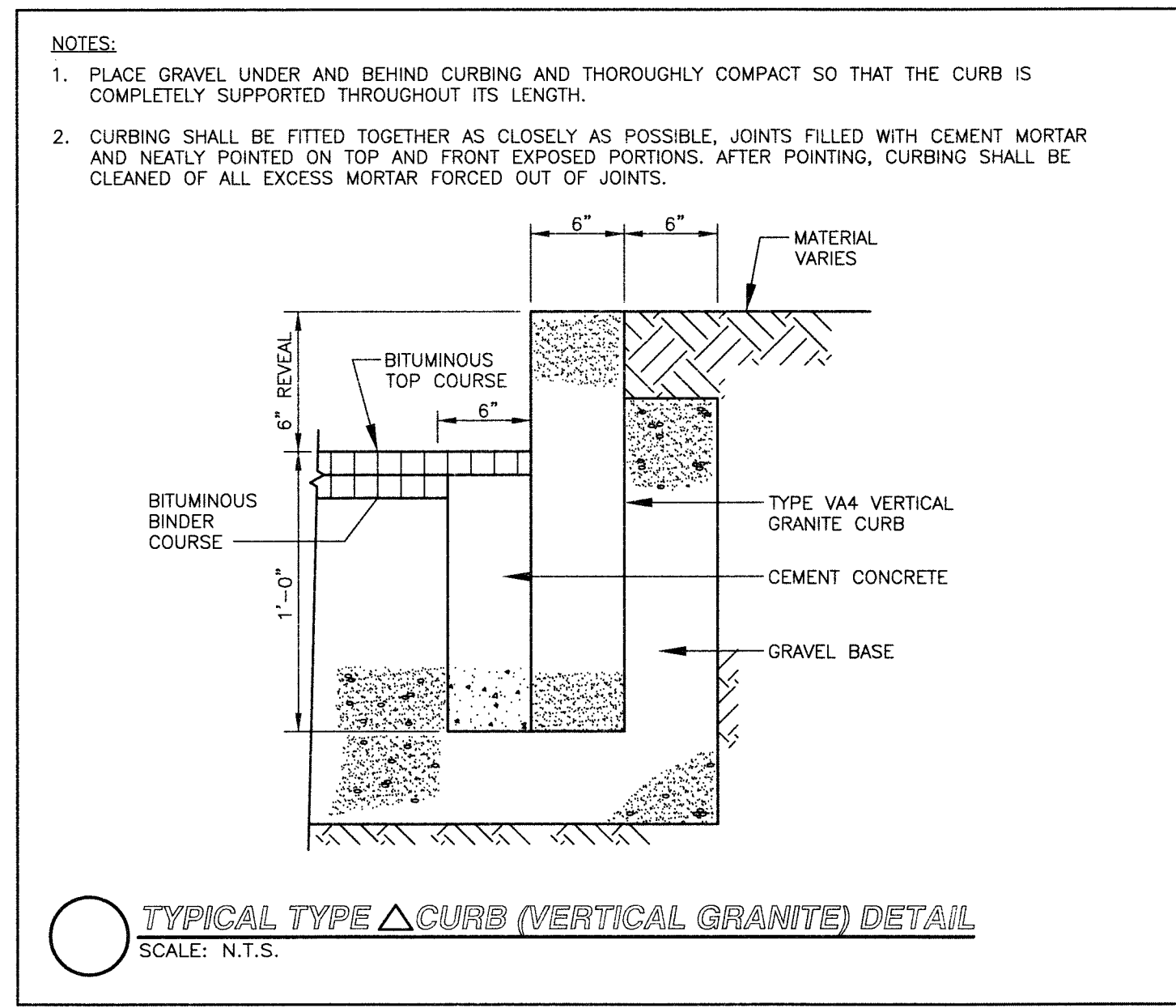
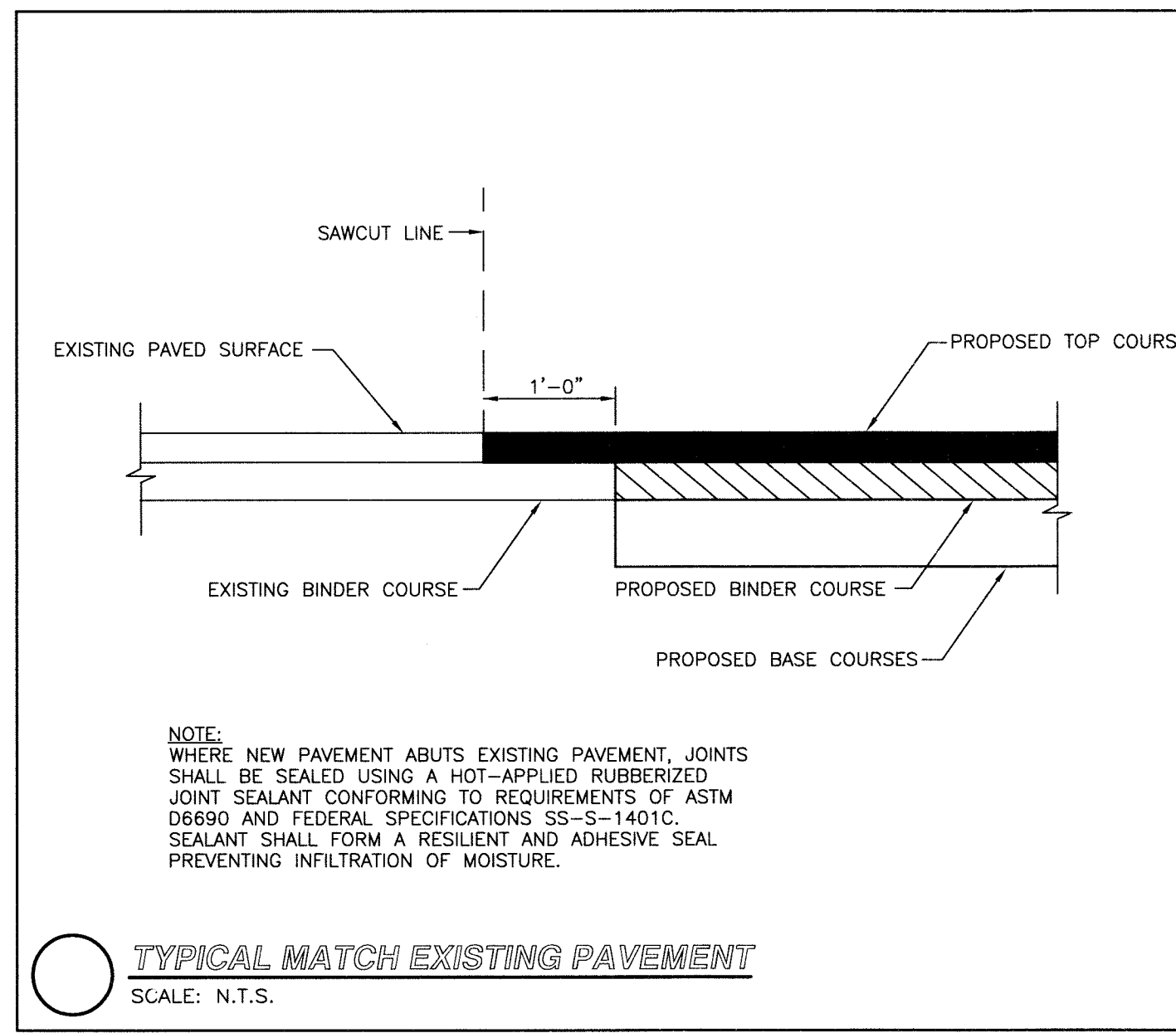
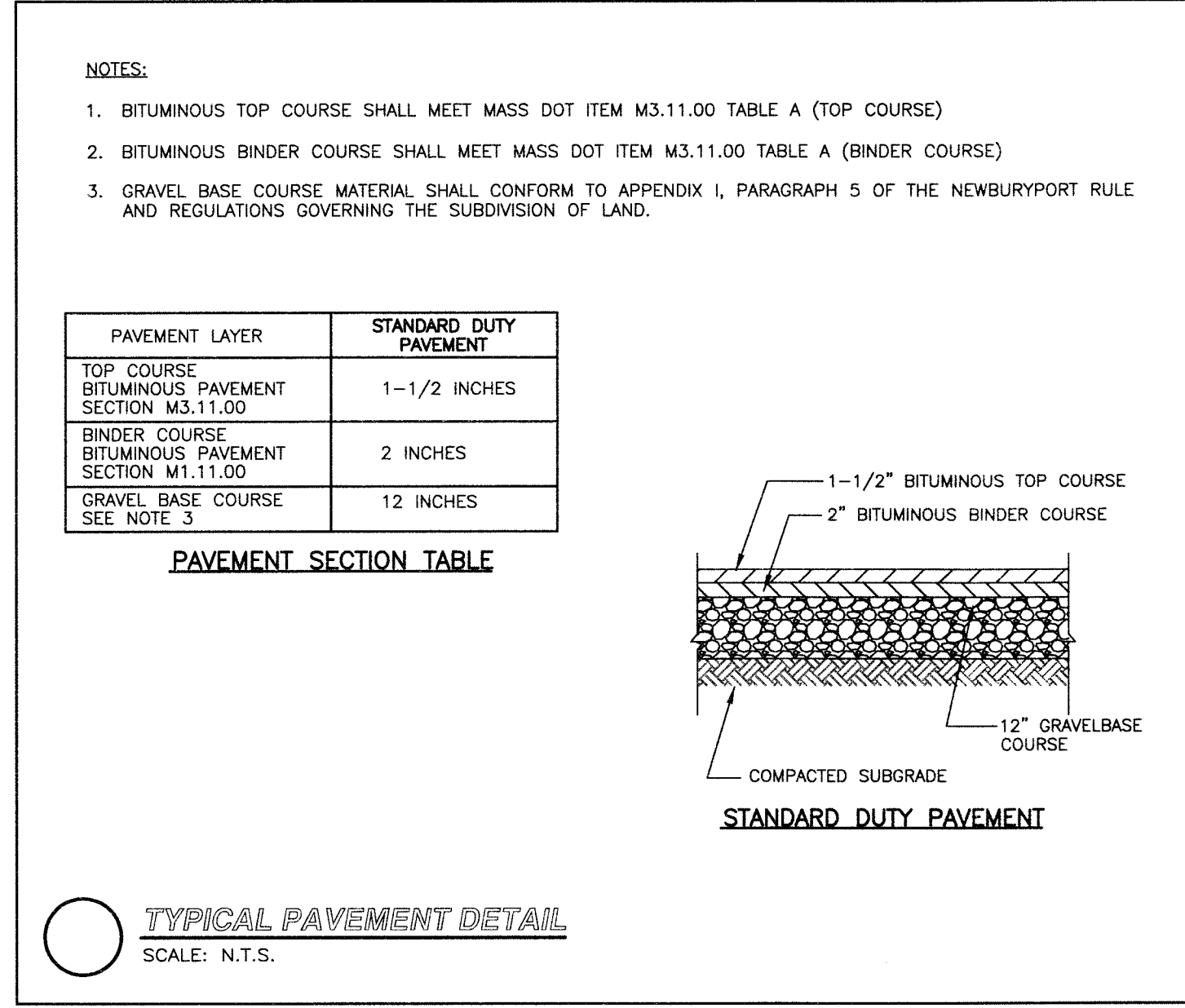
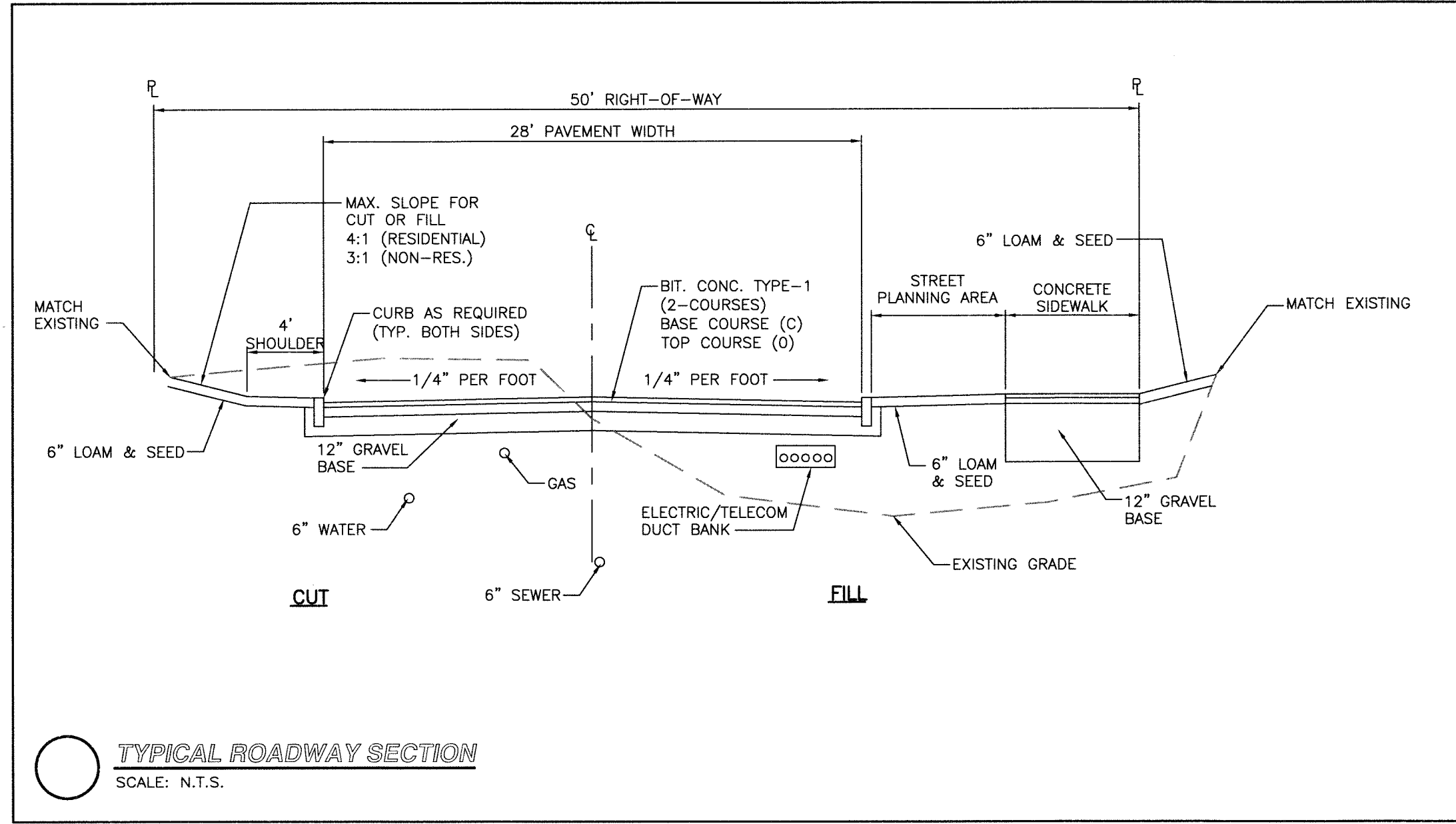
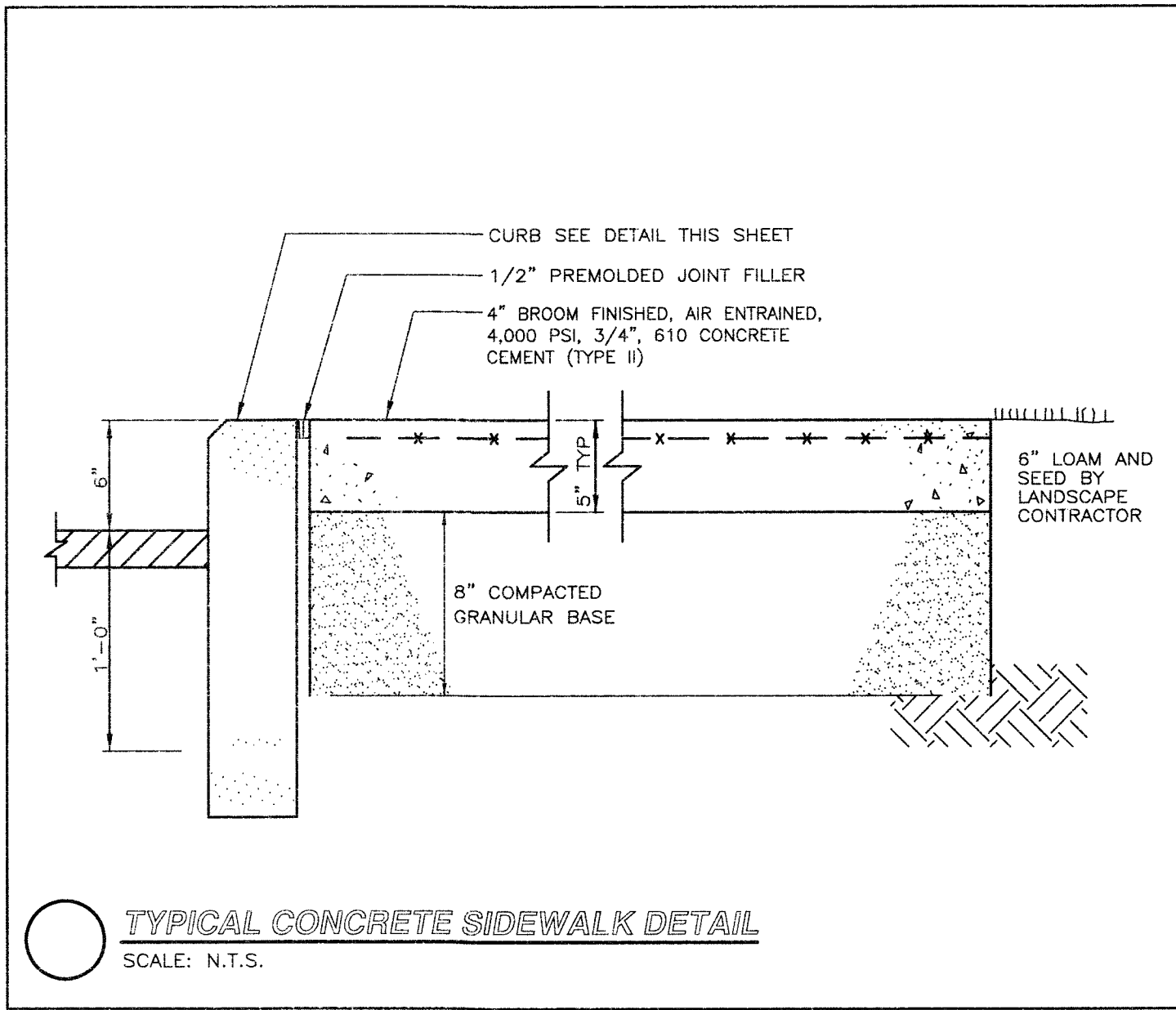
Designed by: JWC
 Drawn by: BMS
 Checked by: SPG
 Scale: 1"=20'
 Date: 10/24/2014

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Project Name:
**GALLAGHER DRIVE
 NEWBURYPORT, MA**
 Drawing Name:
**DEMOLITION AND
 EROSION CONTROL
 PLAN**

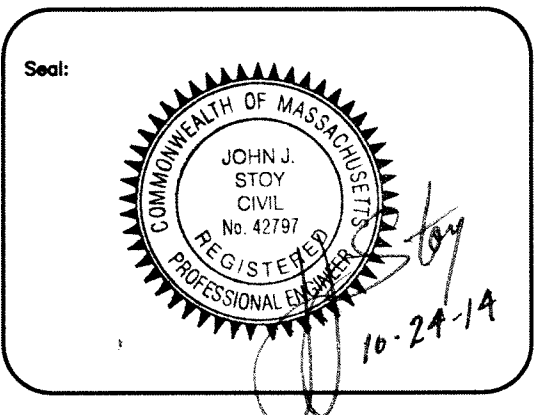
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 Project No.: 14012



PLANNING BOARD ENDORSEMENT

CITY CLERK CERTIFICATION

No.	Date	Revision



Designed by: JWC
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 Checked by: SPG
 Scale: AS SHOWN
 Date: 10/24/2014

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Project Name:
GALLAGHER DRIVE NEWBURYPORT, MA
 Drawing Name:
SITE DETAILS 2

Drawing No.:
C-5
 Project No.: 14012