DEFINITIVE PLAN FOR THE SUBDIVISION OF LAND

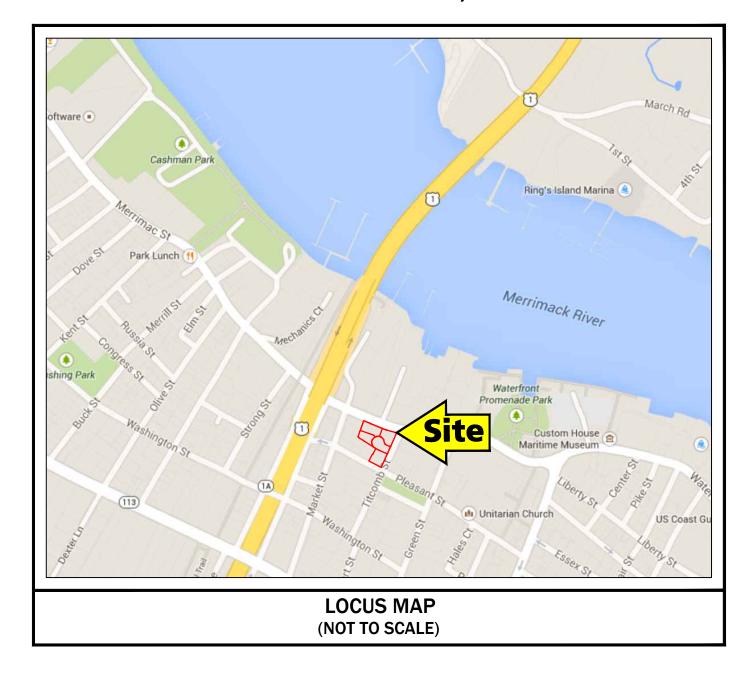
GALLAGHER DRIVE

NEWBURYPORT, MA

OCTOBER 24, 2014

INDEX:

DRAWING DATE	DRAWING NUMBER	DRAWING DESCRIPTION
10/24/2014		SITE PLAN COVER SHEET
10/24/2011	1 OF 1	EXISTING CONDITIONS PLAN (FELDMAN LAND SURVEYORS)
10/24/2014	1 OF 1	LOTTING PLAN (FELDMAN LAND SURVEYORS)
10/24/2014	N-1	GENERAL NOTES & LEGEND
10/24/2014	C-1	DEMOLITION AND EROSION CONTROL PLAN
10/24/2014	C-2	GRADING, DRAINAGE AND UTILITY PLAN
10/24/2014	C-3	STREET PLAN AND PROFILE
10/24/2014	C-4	SITE DETAILS 1
10/24/2014	C-5	SITE DETAILS 2



OWNER:

90 PLEASANT STREET NOMINEE TRUST 81-83 MERRIMAC STREET NOMINEE TRUST c/o NEW ENGLAND DEVELOPMENT ONE WELLS AVENUE NEWTON, MA 02459

ZONING DISTRICT:
DOWNTOWN BUSINESS DISTRICT (B-2)

CONSULTANTS:

OWNER'S LEGAL COUNSEL
GOULSTON & STORRS
400 ATLANTIC AVENUE
BOSTON, MA 02110
(617) 482-1776
(617) 574-4112 FAX

SURVEYOR
FELDMAN LAND SURVEYORS
112 SHAWMUT AVENUE
BOSTON, MA 02118
(617) 357-9740

CIVIL ENGINEER
RJ O'CONNELL & ASSOCIATES, INC.
80 MONTVALE AVENUE
STONEHAM, MA 02180
(781) 279-0180

BENCH MARK INFORMATION:

BENCH MARK USED:

TIDAL BENCHMARK F1 DESCRIBED BY NATIONAL GEODETIC SURVEY 1966 "AT NEWBURYPORT, ALONG GREEN STREET, BETWEEN MERRIMACK STREET AND PLEASANT STREET, DIRECTLY BEHIND CITY HALL, SET VERTICALLY IN THE SOUTH FACE AT THE SOUTHWEST CORNER OF THE POLICE STATION AND DISTRICT COURT A TWO-STORIED BRICK BUILDING, 54 FEET WEST OF THE WEST CURB OF GREEN STREET, 1.5 FEET EAST OF THE SOUTHWEST CORNER OF THE BUILDING, AND ABOUT 1.7 FEET ABOVE THE ELEVATION = 25.85

TEMPORARY BENCH MARKS SET:

TBM-1 X-CUT SET ON THE LEFT REAR HYDRANT BOLT ON THE NORTH SIDE OF MERRIMAC STREET NEAR THE ENTRANCE TO MICHAEL'S HARBORSIDE RESTAURANT AS SHOWN ON THIS PLAN.

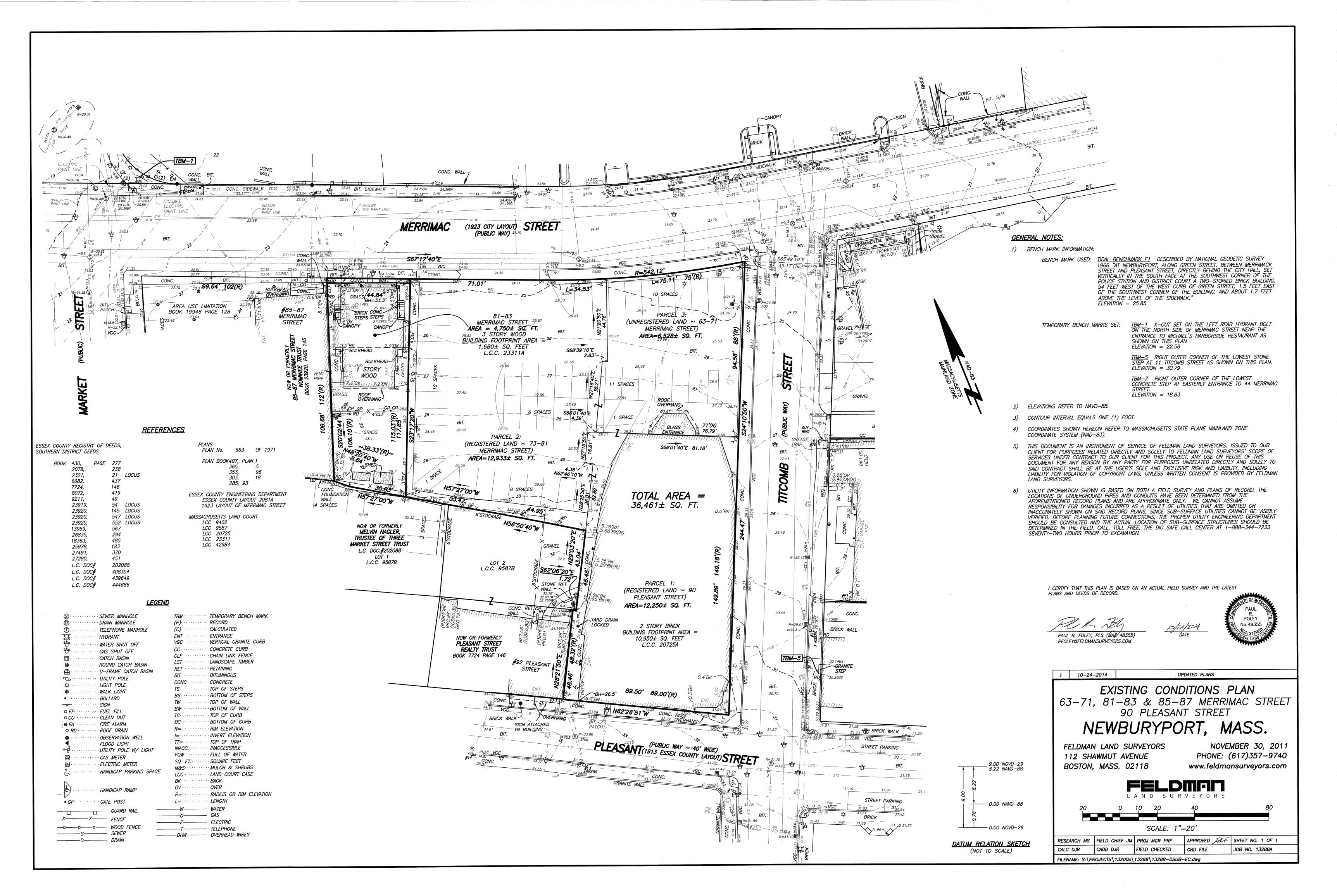
ELEVATION = 22.58

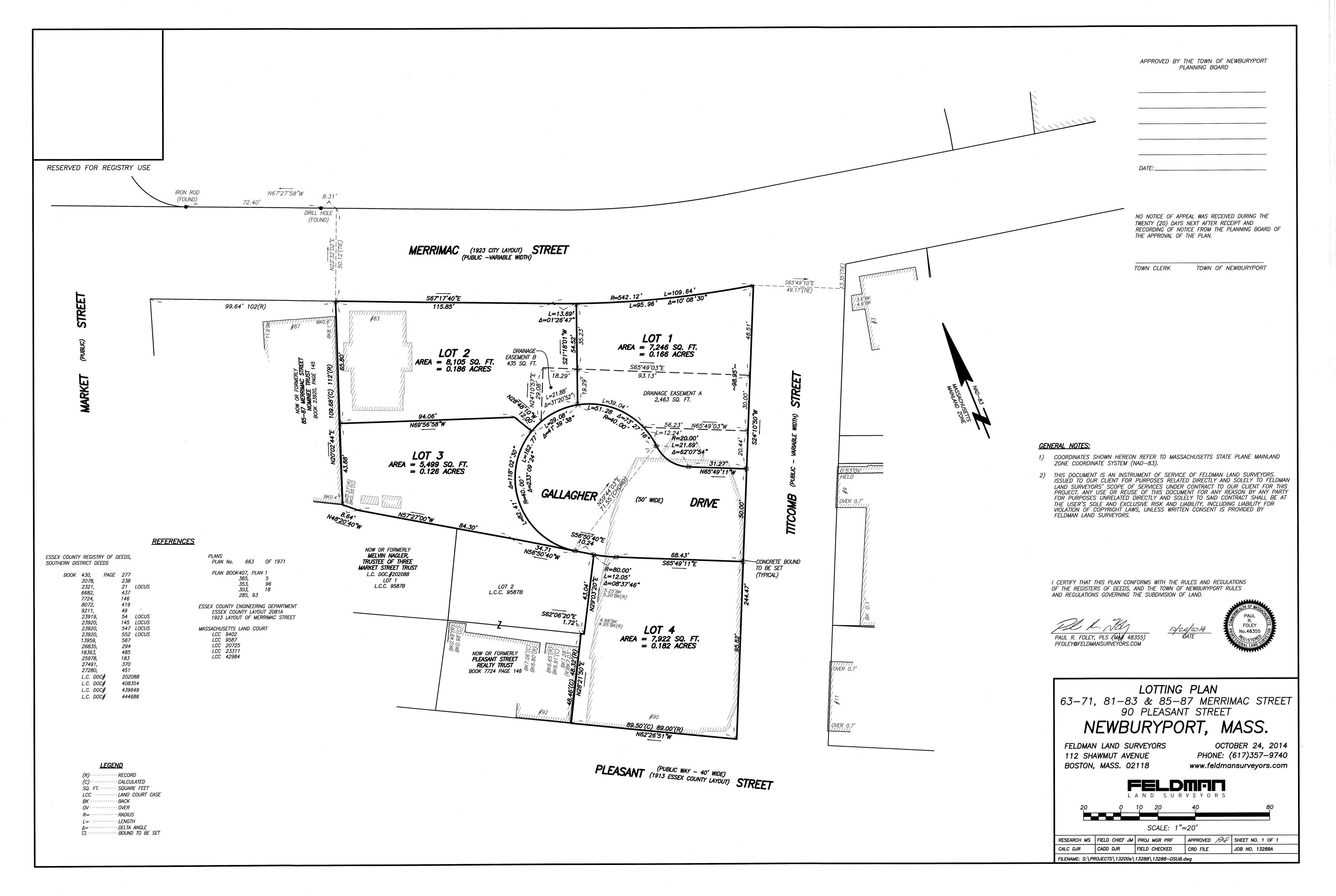
TBM-5 RIGHT OUTER CORNER OF THE LOWEST STONE STEP AT 11 TITCOMB STREET AS SHOWN ON THIS PLAN.

ELEVATION = 30.79

TBM-7 RIGHT OUTER CORNER OF THE LOWEST CONCRETE STEP AT EASTERLY ENTRANCE TO 44 MERRIMACK STREET AS SHOWN ON THIS PLAN.
ELEVATION = 18.83

_	LERK CERTIFIC	





- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES, PARTICULARLY WHERE NEW UTILITIES CONNECT TO EXISTING, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST TWO (2) WEEKS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL HORIZONTAL CONTROL POINTS AND VERTICAL BENCH MARKS NECESSARY FOR THE WORK.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- 5. DISPOSAL OF ALL DEMOLISHED MATERIALS MUST BE OFF-SITE BY THE CONTRACTOR AND IN ACCORDANCE WITH ALL FEDERAL, STATE AND MUNICIPAL REQUIREMENTS. THE APPLICABLE AUTHORITY FOR THE CITY OF NEWBURYPORT SHALL BE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL INFORMATION SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND EXISTING SITE CONDITIONS AS SHOWN ON THESE PLANS.
- . ALL CONSTRUCTION DUMPSTERS SHALL BE PROPERLY MAINTAINED. ALL DUMPSTERS SHALL BE LOCATED ON A BITUMINOUS CONCRETE OR CONCRETE SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRASH DISPOSAL ON A REGULAR BASIS AND SHALL ENSURE THAT THE DUMPSTER AREAS ARE PROPERLY MAINTAINED.
- 8. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE GENERAL UPKEEP AND ROUTINE MAINTENANCE OF THE ENTIRE SITE TO ENSURE AN AESTHETICALLY PLEASING APPEARANCE DURING ALL PHASES OF CONSTRUCTION.
- 9. UNLESS OTHERWISE INDICATED, AREAS DISTURBED BY CONSTRUCTION SHALL HAVE 6-INCHES OF LOAM EVENLY SPREAD AND COMPACTED ON A PREPARED SUBGRADE AND PLANTED WITH LAWN SEED MIX PER THE SPECIFICATIONS
- 10. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN THE SITE SHALL MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER, OR OTHER CAUSES.

 DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME VEGETATION.
- 11. THE CONTRACTOR SHALL SUPPLY AND MAINTAIN ALL MATERIAL AND LABOR ASSOCIATED WITH TEMPORARY TRAFFIC DIVERSIONS FOR ALL PHASES OF CONSTRUCTION IN ACCORDANCE WITH M.U.T.C.D. STANDARDS AND AS APPROVED BY THE
- CITY OF NEWBURYPORT 12. NO AUTHORIZED ACTIVITY SHALL AFFECT ABUTTING PROPERTIES. IF THE APPLICANT MUST WORK ON AN ABUTTING PROPERTY, WRITTEN AUTHORIZATION FROM THE OWNER OF SAID LAND SHALL BE OBTAINED AND PROVIDED TO THE OWNER
- 13. THE OWNER, OWNER'S REPRESENTATIVE AND/OR GENERAL CONTRACTOR WILL CONTACT THE DEPARTMENT OF PUBLIC HEALTH, THE NEWBURYPORT FIRE DEPARTMENT, AND THE DEP'S HAZARDOUS WASTE INCIDENT RESPONSE GROUP AT (617)
- 14. ALL TYPES OF FILL MATERIAL IMPORTED TO THE SITE MUST BE CLEAN AND SUITABLE FOR THE USE SPECIFIED. THE GENERAL CONTRACTOR WILL PROVIDE THE OWNER'S GEOTECHNICAL ENGINEER WITH RECORDS INDICATING THE TYPE, QUANTITY, ORIGIN AND SOURCE OF ANY FILL MATERIAL IMPORTED TO THE SITE.

EROSION CONTROL NOTES:

OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK.

792-7653 IN THE EVENT OF A HAZARDOUS LEAK OR SPILL.

- 1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROLS SHOWN DRAWING PLAN C-1 SHALL BE SET IN PLACE.
- 2. ALL PROPOSED SLOPES WILL BE NO STEEPER THAN 2H:1V. ALL 3H:1V SLOPES OR STEEPER WILL BE STABILIZED WITH A CURLEX EROSION CONTROL MATTING BY AMERICAN EXCELSIOR COMPANY (OR ENGINEER APPROVED EQUAL) PRIOR TO HYDRO SEEDING AND PROTECTED FROM EROSION
- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL HAYBALES, WATTLES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
- 4. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED
- OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY. 5. CATCH BASINS WITH SILT SACKS MUST BE INSPECTED EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAIN EVENT OF 0.25 INCHES OR GREATER. SILT BAGS WILL BE REMOVED FROM EACH BASIN IN ACCORDANCE WITH THE SILT SACK
- MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. 6. UPON COMPLETION OF ALL SITE WORK CONSTRUCTION, SITE CONTRACTOR SHALL INSPECT ALL ON-SITE CATCH BASINS AND DRAINAGE STRUCTURES AND REMOVE ALL SEDIMENT, TRASH AND DEBRIS THAT HAS ACCUMULATED WITHIN EACH STRUCTURE
- DURING THE COURSE OF CONSTRUCTION. 7. PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE GENERAL CONTRACTOR SHALL SUBMIT FOR INFORMATION A DUST CONTROL PLAN TO THE ENGINEER. THE DUST CONTROL PLAN WILL OUTLINE MEASURES TO CONTROL AND MITIGATE DUST DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION AND IN ALL TYPES OF WEATHER CONDITIONS. THE APPROVED DUST CONTROL PLAN SHALL BE IMPLEMENTED DURING ALL PHASES OF THE AUTHORIZED ACTIVITIES AND WILL CONTINUE
- UNTIL THE PROJECT HAS BEEN GRANTED AS-BUILT APPROVAL. . THE EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPICT THE MINIMUM REQUIRED CONTROL AND ARE REPRESENTATIVE OF A SINGLE PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING. RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND SITE DRAINAGE
- 9. THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES IF REQUIRED DUE TO WEATHER CONDITIONS, SEASON AND/OR CONSTRUCTION ACTIVITIES.
- 10. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
- 11. THE PROJECT REQUIRES AN EPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES
- 12. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR DETAILED DESCRIPTIONS OF THE TYPE, INSTALLATION, INSPECTION AND MAINTENANCE PROCEDURES OF STRUCTURAL AND NON-STRUCTURAL MEASURES REQUIRED
- TO CONTROL SEDIMENT AND EROSION ON-SITE DURING CONSTRUCTION. 13. WATTLE DIKES OR SILT BAGS SHALL BE INSTALLED AT ALL EXISTING & PROPOSED CATCH BASINS AS INDICATED ON DWG.
- C-1 AND THAT ARE SUBJECT TO STORMWATER RUN-OFF FROM THE CONSTRUCTION AREA, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENTS SHALL ENTER THE ON-SITE DRAINAGE SYSTEM AT ANY TIME
- 14. WINTER CONSTRUCTION AND STABILIZATION: THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15 SEDIMENT BARRIERS: DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES OR SILT FENCES.

MULCHING: ALL AREAS SHALL BE CONSIDERED TO BE DENUDED UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1000 SF OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A 1-INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. BETWEEN NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH WORKDAY DURING FINAL GRADING ACTIVITIES.

SOIL STOCKPILING: STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL.

SEEDING: BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOOMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. DORMANT SEEDING MAY BE PLACED PRIOR TO THE PLACEMENT OF MULCH OR EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEED AT AN APPLICATION RATE OF 5 LBS/1000 SF. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING BY REPLACING LOAM, SEED AND MULCH, IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE RE-VEGETATED IN THE SPRING.

WINTER STABILIZATION OF DITCHES AND CHANNELS: ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE DITCH: INSTALL A SOD LINING IN THE DITCH: A DITCH MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 1 PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SCD TO GUARANTEE CONTACT BETWEEN THE SOD ONTO AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS. INSTALL A STONE LINING IN THE DITCH: A DITCH MUST BE LINED WITH STONE RIP RAP BY NOVEMBER 15. CONTACT REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND

THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH.

WINTER STABILIZATION OF DISTURBED SLOPES: ALL STONE-COVERED SLOPES GREATER THAN 15% MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. AND ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE. TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1 THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL

SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER

INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE—SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE. EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE. STONE RIP RAP: PLACE A LAYER OF STONE RIP RAP ON THE SLOPE BY NOVEMBER 15. CONTACT THE PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER

WINTER STABILIZATION OF DISTURBED SOILS: BY SEPTEMBER 15, ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15% MUST BE SEEDED AND MULCHED. IF THE DISTURBED AREAS ARE NOT STABILIZED BY THIS DATE, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN: TEMPORARY VEGETATION: BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SF, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN MULCH THE AREA FOR WINTER PROTECTION AS DESCRIBED BELOW. SOD: STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. WULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 LBS PER 1000 SF ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING HE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE

- 15. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEQE'S (D.E.P.)

 EROSION AND SEDIMENT CONTROL GUIDELINES, FOR URBAN AND SUBURBAN AREAS, MARCH 1997 AND USDA S.C.S.

 EROSION AND SEDIMENT CONTROL SITE DEVELOPMENT, MASSACHUSETTS CONSERVATION GUIDE, SEPTEMBER 1983 AND
 ALL LOCAL MUNICIPAL RECULATIONS
- 16. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND
- 17. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED WATTLES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.
- 18. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
- 19. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. NO AREA SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN 14 DAYS AFTER
- 20. LOCATION OF TEMPORARY DRAINAGE SWALES AND SEDIMENTATION TRAPS ARE APPROXIMATE ONLY AND SHALL BE LOCATED AND/OR RELOCATED AS REQUIRED AS CONSTRUCTION PROGRESSES.
- 21. SILT SACKS SHALL BE INSTALLED, OR WATTLES SHALL BE PLACED AROUND CATCH BASINS WITH FILTER FABRIC UNDER THE CATCH BASIN'S RIM DURING CONSTRUCTION TO CONTROL SILT BUILD-UP IN THE CATCH BASINS.
- 22. ALL EROSION CONTROL MEASURES SHALL BE POUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
- 23. ANY DE-WATERING ACTIVITIES IN WHICH WATER WILL BE DISCHARGED TO A RESOURCE AREA AS DEFINED UNDER CHAPTER 131 M.G.L. OR TO A STORM DRAIN, SHALL USE A SETTLING POND OR SIMILAR DEVICE TO REMOVE SEDIMENT BEFORE
- 24. THE ROWS OF STAKED WATTLES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION IN GOOD WORKING ORDER AND SHALL NOT BE REMOVED UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. UPON COMPLETION OF THE PROJECT, THE WATTLES SHALL BE PROPERLY DISPOSED OF OR RECYCLED.
- 25. ALL CONSTRUCTION MATERIAL, DEBRIS, FILL AND EXCAVATED MATERIAL SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER'S REPRESENTATIVE. ALL MATERIAL SHALL BE STABILIZED TO PREVENT EROSION. ALL EXCESS FILL AND EXCAVATED MATERIALS THAT ARE NOT USED IN CONJUNCTION WITH CONSTRUCTION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL REGULATIONS. THE DEPARTMENT OF PLANNING AND CONSERVATION SHALL BE NOTIFIED IN WRITING OF FINAL DISPOSITION. AT NO TIME SHALL ANY DEBRIS OR OTHER CONSTRUCTION RELATED MATERIALS BE BURIED.
- DEMOLITION NOTES 1. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF DEMOLISHED MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- 2. PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES, ON-SITE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON DRAWING C-1 MUST BE INSTALLED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- 3. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON—SITE UTILITY SERVICES WHETHER DESIGNATED ON THESE DRAWINGS OR DISCOVERED IN THE FIELD. SERVICES SHALL BE CAPPED OFF AT THE PROPERTY IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY/CITY STANDARDS.
- 4. REUSE OF EXISTING GRANULAR PAVEMENT SUBBASE MATERIAL AND EXCAVATED MATERIAL SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL EXISTING AND NEW DRAINAGE AND UTILITIES TO REMAIN AND/OR BE CONSTRUCTED.
- 6. DURING ON-SITE DEMOLITION WORK, STORM RUNOFF SHALL BE CONTROLLED AND DIRECTED TOWARD TEMPORARY SEDIMENT AND EROSION CONTROLS. UTILITY NOTES (GENERAL):
- 1. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY THE BUILDING INSPECTIONS DEPT. AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO FINAL CONNECTION AND BACKFILLING OF SERVICES.
- 2. THE SITE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY/ALL PERMITS REQUIRED FOR THE
- 3. EXISTING STRUCTURES TO BE REMOVED ARE TO BE DISPOSED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND
- 4. ALL EXISTING UTILITY CASTINGS SCHEDULED TO REMAIN SHALL BE RESET TO FINISHED GRADE AS REQUIRED.
- 5. DETECTABLE WARNING TAPE SHALL BE INSTALLED A MINIMUM ONE (1') FOOT ABOVE NEW UTILITIES AND IN ACCORDANCE
- 6. PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE SITE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FROM THE CITY OF NEWBURYPORT AND PROVIDE COPIES TO THE OWNER.

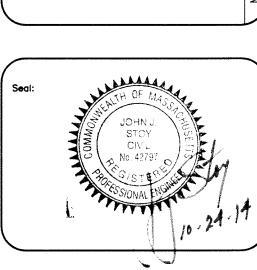
DRAINAGE NOTES:

- 1. ALL PROPOSED DRAINAGE PIPES SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) AND STRUCTURES PRECAST CONCRETE UNLESS NOTED OTHERWISE. RCP PIPE ASTM C76. PIPE JOINTS SHALL BE BELL AND SPIGOT EITH RUBBER GASKETS CONFORMING TO ASTM C443.
- 2. ALL CATCH BASINS AND OTHER DRAINAGE STRUCTURES TO BE CONSTRUCTED, REPLACED, OR RECONSTRUCTED SHALL CONFORM TO CURRENT MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS. ALL NEW CATCH BASINS SHALL BE EQUIPPED WITH APPROPRIATELY SIZED "TEE" OR ENVIRONMENTAL HOOD. THREE (3') FOOT SUMPS SHALL BE PROVIDED IN ALL NEW
- 3. ALL MANHOLES, CATCH BASINS AND DRAINAGE STRUCTURES SHALL BE PUMPED AND CLEANED AT THE END OF CONSTRUCTION. SEDIMENT AND OTHER POLLUTANTS SHALL BE REMOVED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- 4. NEW AND EXISTING PIPES AND/OR CULVERTS WITHIN THE LIMIT OF WORK AREA SHALL BE CLEANED OF ANY DEBRIS AND/OR SEDIMENTATION.
- 5. ALL PROPOSED CATCH BASIN FRAMES AND GRATES SHALL BE AS SPECIFIED.
- 6. THE EXISTING UTILITIES SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE, CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION AND CONFIRM WITH TEST PITS PRIOR TO EXCAVATION AND CONSTRUCTION.
- 7. ALL EXISTING UTILITY SERVICES MAY NOT BE SHOWN ON THE UTILITY PLANS. THE SITE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR LOCATION AND ELEVATION.
- 8. ALL PROPOSED DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY-DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- PAVEMENT & TRAFFIC CONTROL PLAN NOTES:
- 1. ALL PROPOSED CURBING SHALL BE VERTICAL GRANITE CURB TYPE VA4 UNLESS OTHERWISE NOTED.
- 2. ALL PAVEMENT STRIPING SHALL BE PAINTED WITH 2 COATS OF PAINT FOUR (4) INCHES WIDE.
- 3. ALL EXISTING CURBING TO BE REMOVED WILL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
- 4. FOR PAVEMENT SECTION SEE DETAIL SHEET C-4.
- 5. ALL LIMITS OF PAVEMENT SHALL BE CURBED UNLESS NOTED OR INDICATED OTHERWISE.
- 6. WHERE NEW PAVEMENT MEETS EXISTING, SAW-CUT THE EXISTING PAVEMENT IN A NEAT, UNIFORM LINE AS SHOWN ON THE
- 7. THE CONTRACTOR SHALL ADJUST ALL UTILITY CASTINGS TO THE PROPER LINE AND ELEVATION PRIOR TO PLACING THE TOP COURSE OF PAVEMENT. NECESSARY ADJUSTMENTS SHALL BE MADE TO CASTINGS IF REQUIRED, TO MAKE THEM FLUSH WITH FINISHED PAVEMENT SURFACE. NO DEPRESSIONS OR MOUNDS TO ACCOMMODATE CASTINGS WILL BE PERMITTED.

LEGEND

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	— CONCRETE CURB
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Designed by: JWC BMS Drawn by: Checked by: NOT TO SCALE Scale:

Date:

617-965-8700

Prepared for: ONE WELLS AVENUE NEWTON, MA 02459

10/24/2014

Prepared by: RJO'CONNELL & Associates, Inc. **CIVIL ENGINEERS, SURVEYORS** & LAND PLANNERS

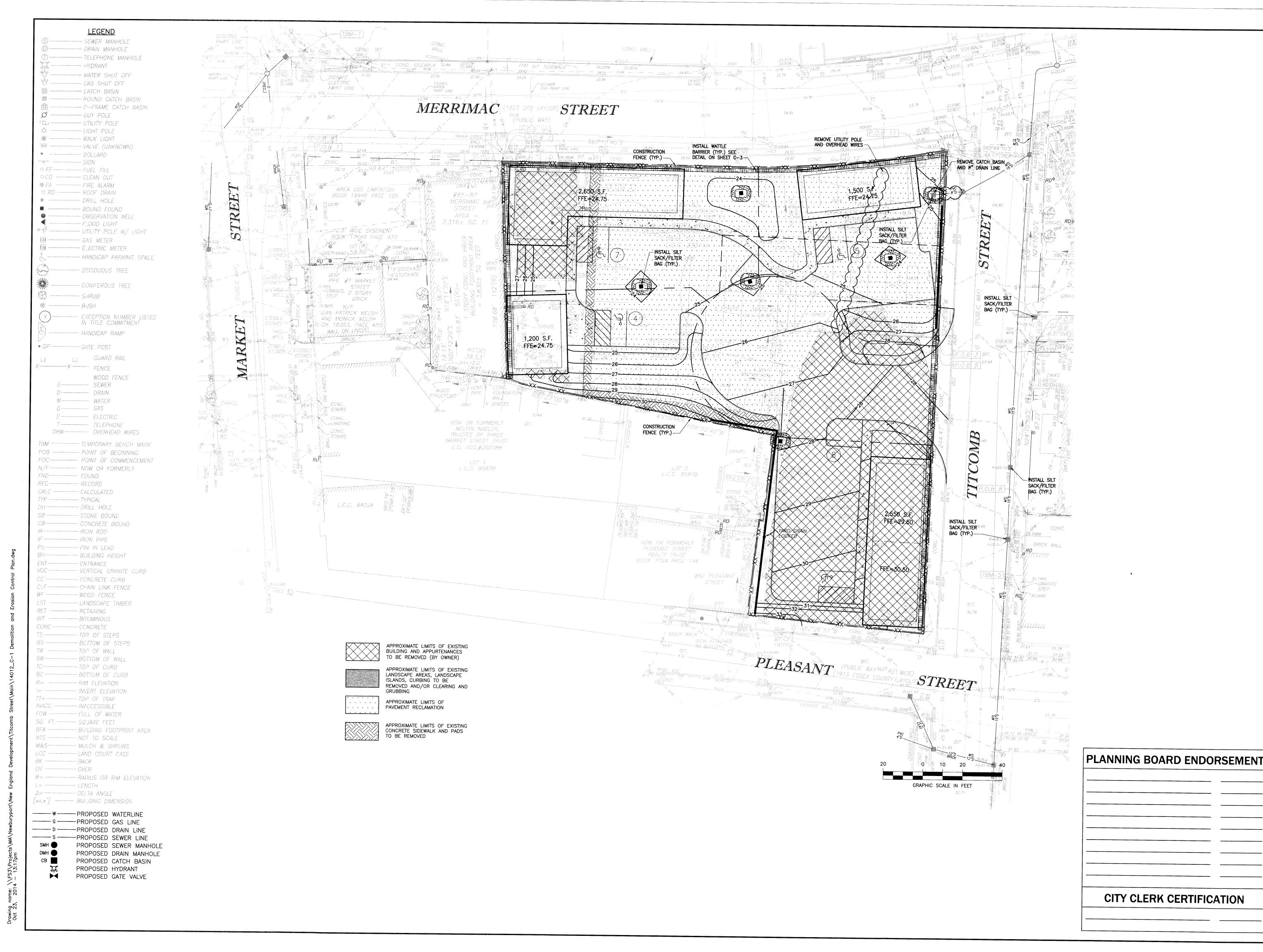
80 MONTVALE AVE STONEHAM, MA 02180 PHONE: 781-279-0180 FAX: 781-279-0173

Project Name: GALLAGHER DRIVE **NEWBURYPORT, MA**

GENERAL NOTES AND LEGEND

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No. Revision Date No. Revision Date

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Drawn by: BMS
Checked by: SPG
Scale: 1"=20'

10/24/2014

Prepared for:

NewEngland

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Date:

ONE WELLS AVENUE NEWTON, MA 02459 617-965-8700

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& ASSOCIATES, INC.
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& LAND PLANNERS

80 MONTVALE AVE
STONEHAM, MA 02180
PHONE: 781-279-0180
FAX: 781-279-0173

Project Name:

GALLAGHER DRIVE

NEWBURYPORT, MA

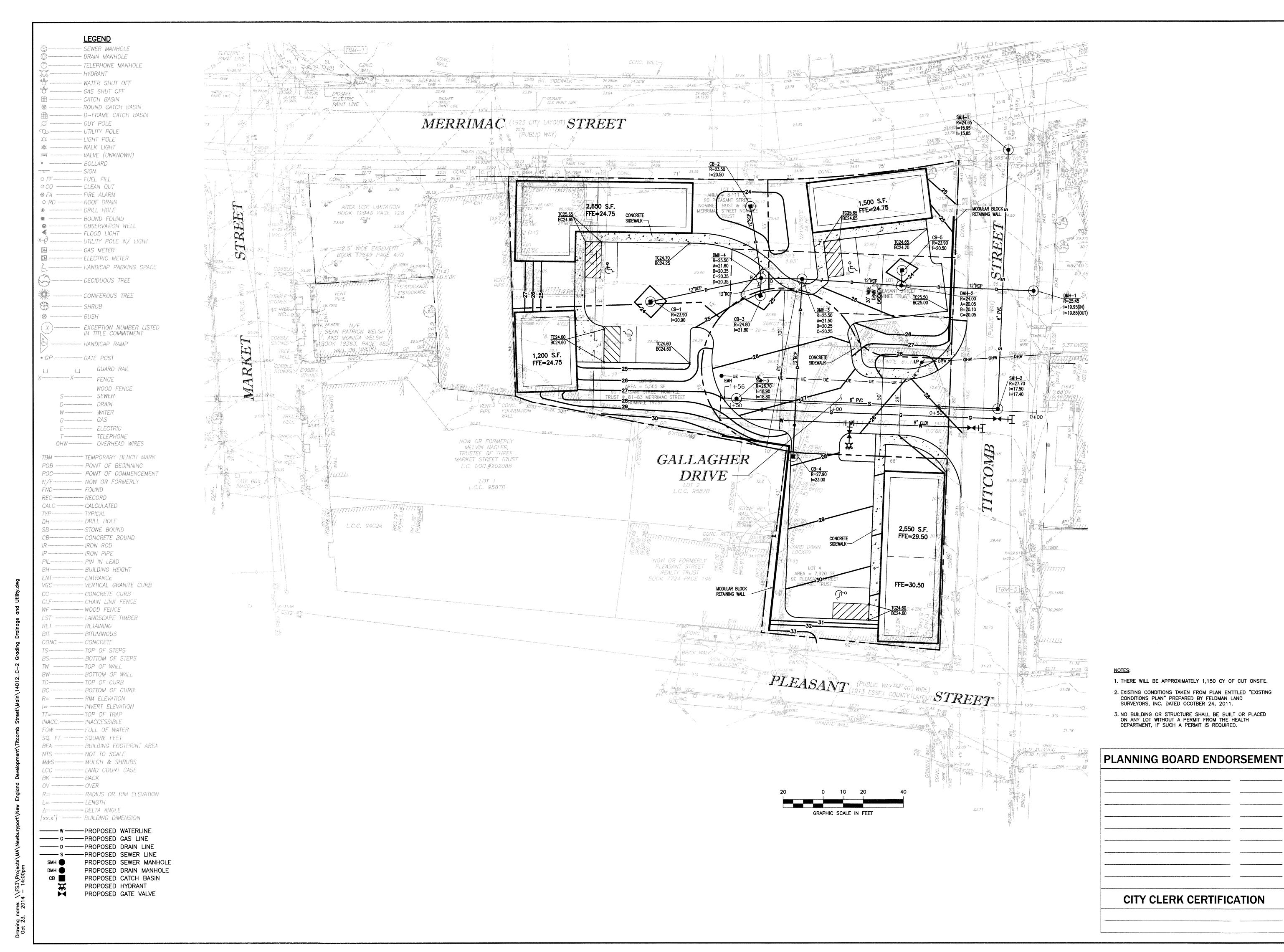
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DEMOLITION AND EROSION CONTROL PLAN

Drawing No.:

C-1

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Sedi:

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No. 51913

No.

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Scale: 1"=20'
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FAX: 781-279-0173

Project Name:

GALLAGHER DRIVE

NEWBURYBORT MA

NEWBURYPORT, MA

Drawing Name:

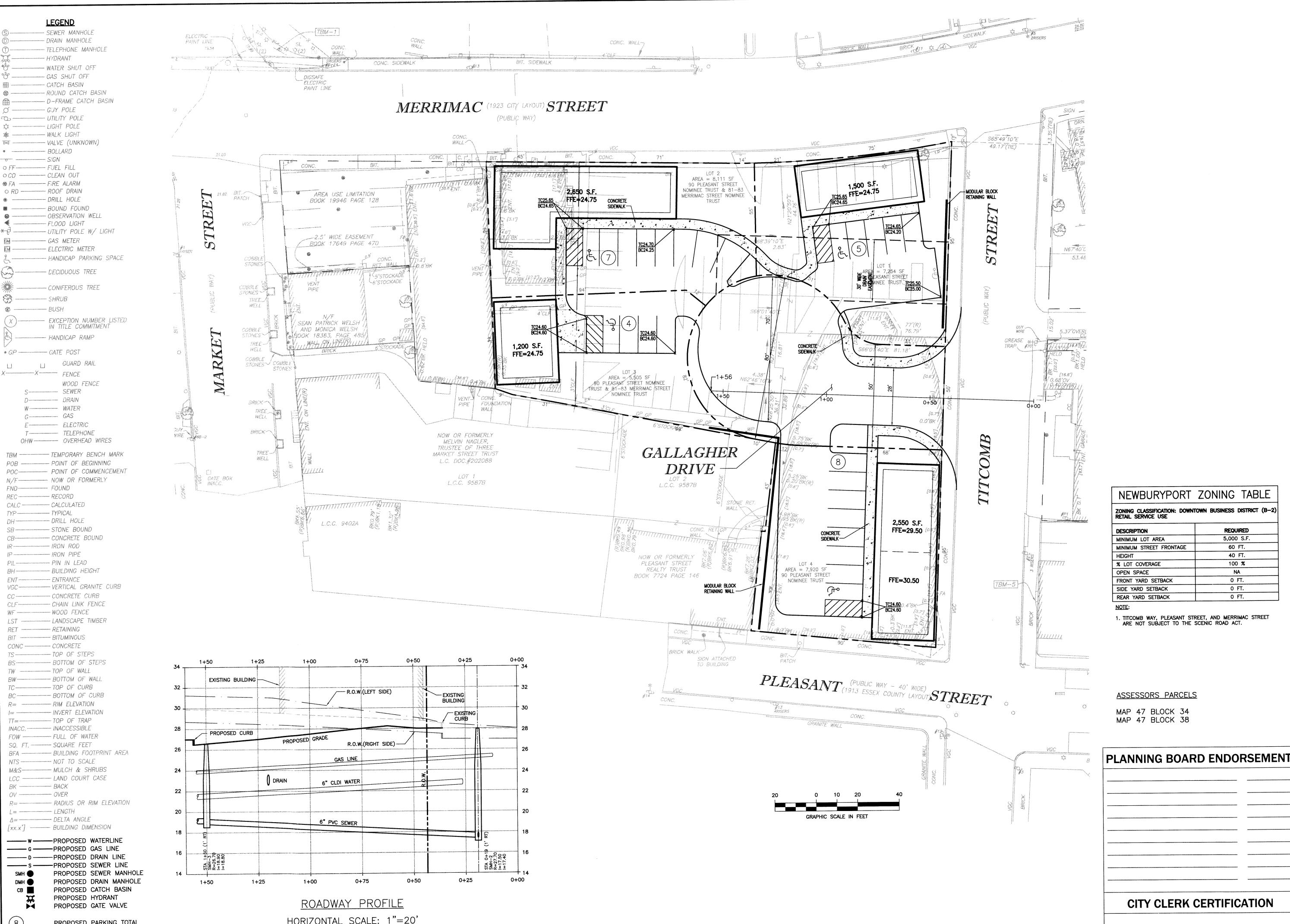
CRADING DRAINIAG

GRADING, DRAINAGE AND UTILITY PLAN

C-2

Project No.: 14012

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Designed by: JWC Drawn by: Checked by: SPG 1"=20' Scale: 10/24/2014

REQUIRED

5,000 S.F.

60 FT.

40 FT.

100 %

NA

0 FT.

0 FT.

0 FT.

Prepared for: **NewEngland**

DEVELOPMEN ONE WELLS AVENUE NEWTON, MA 02459

617-965-8700

RJO'CONNELL & Associates, Inc. CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS

80 MONTVALE AVE STONEHAM, MA 02180 PHONE: 781-279-0180 FAX: 781-279-0173

Project Name: GALLAGHER DRIVE

NEWBURYPORT, MA

STREET PLAN AND PROFILE

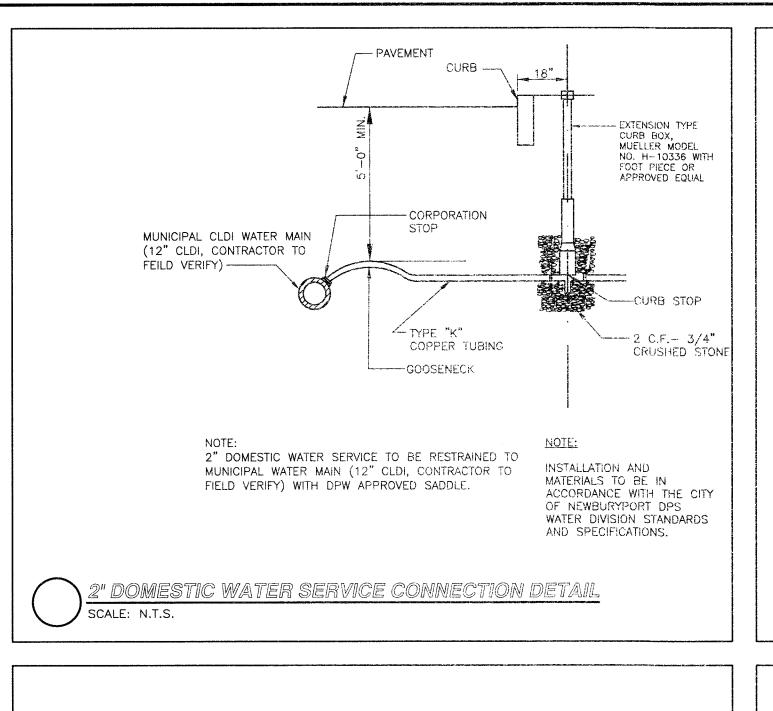
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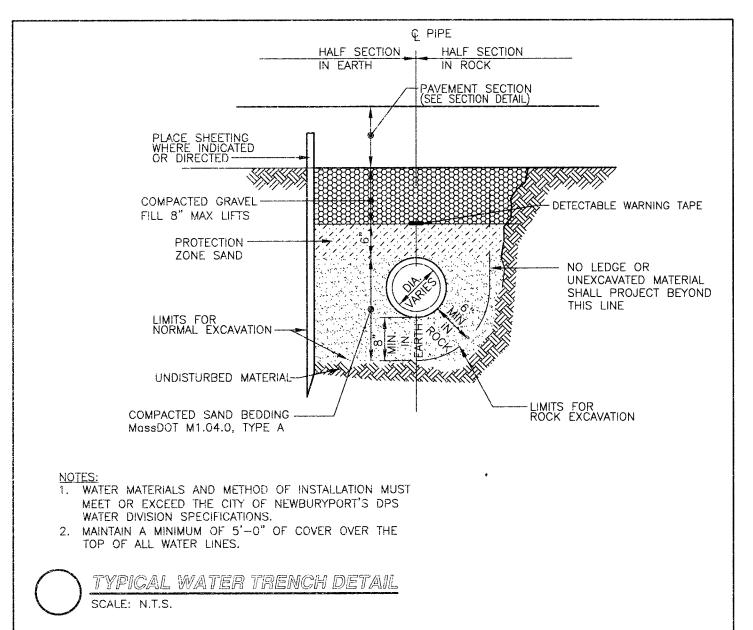
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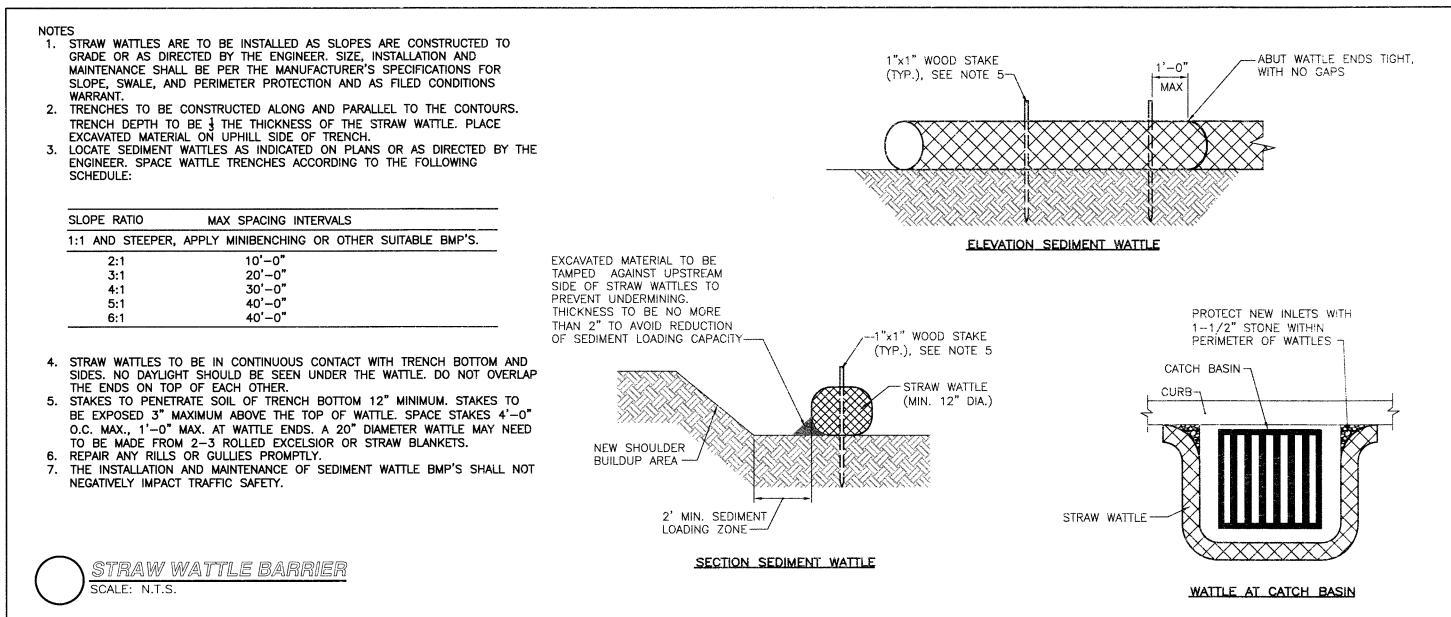
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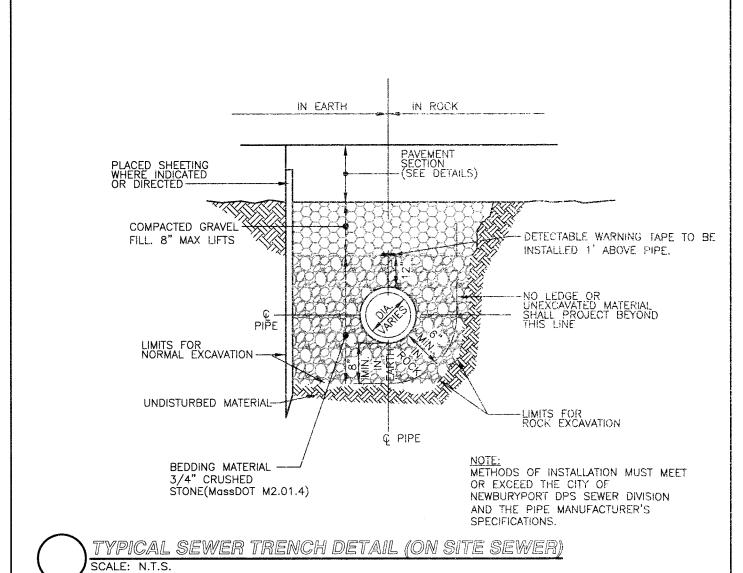
PROPOSED PARKING TOTAL

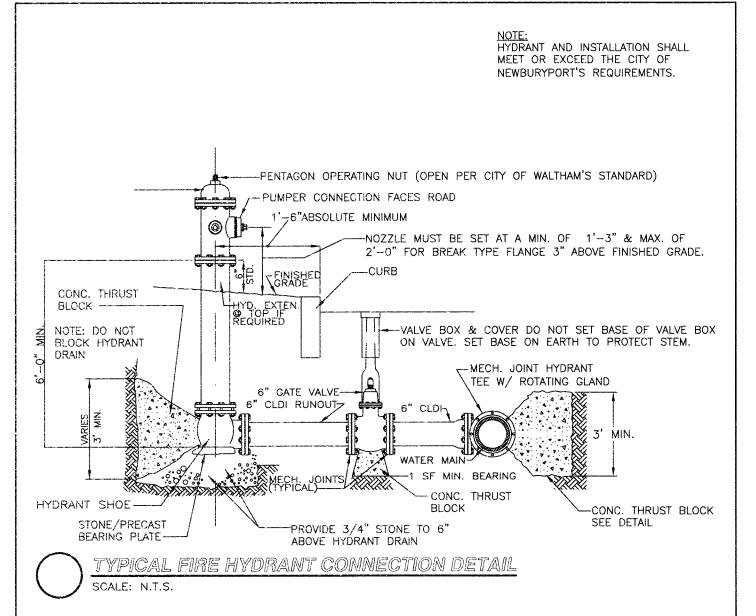
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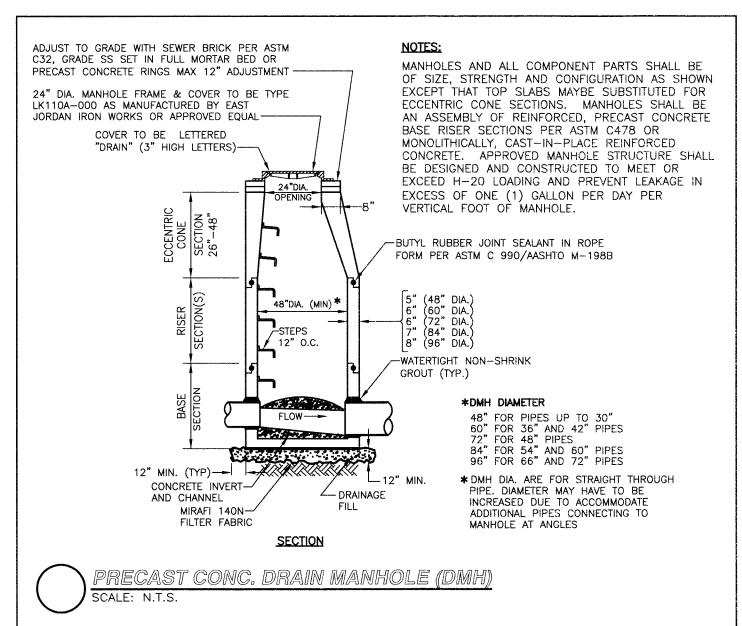


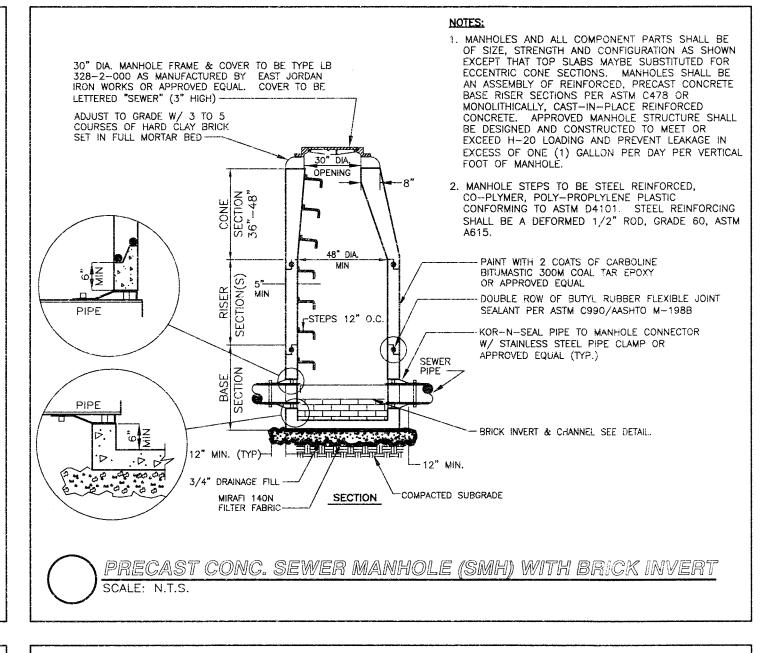


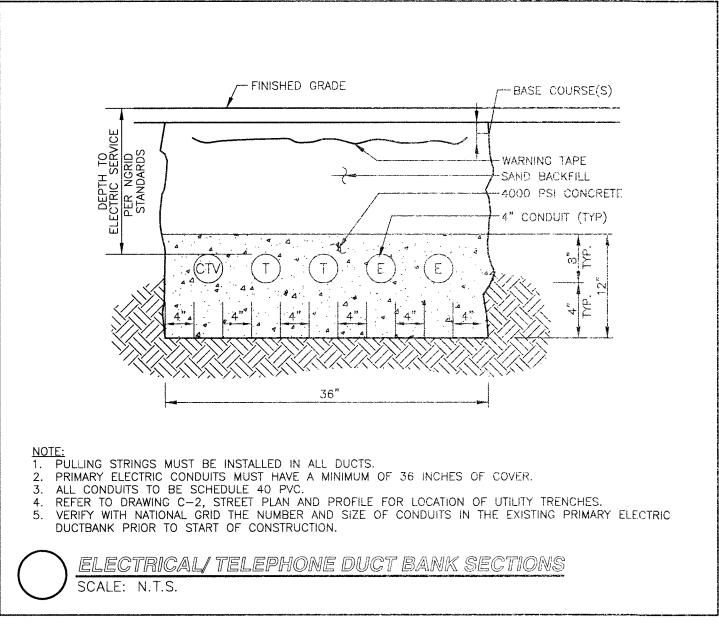


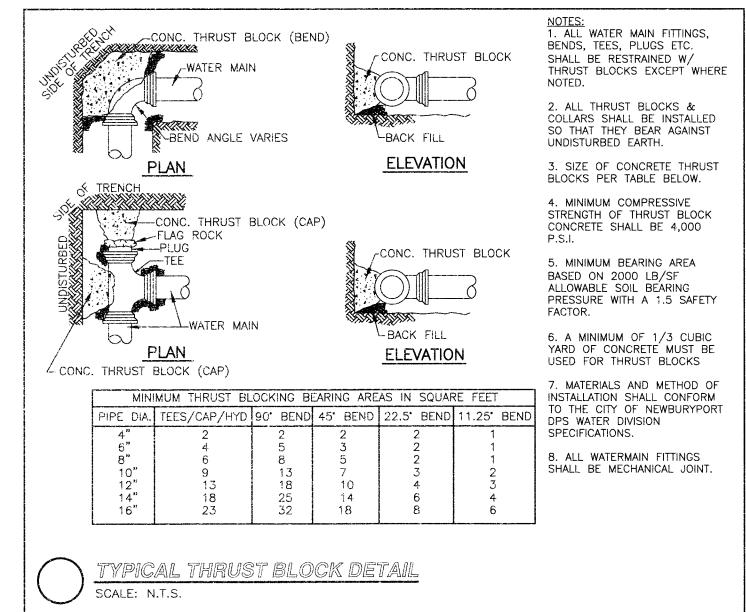


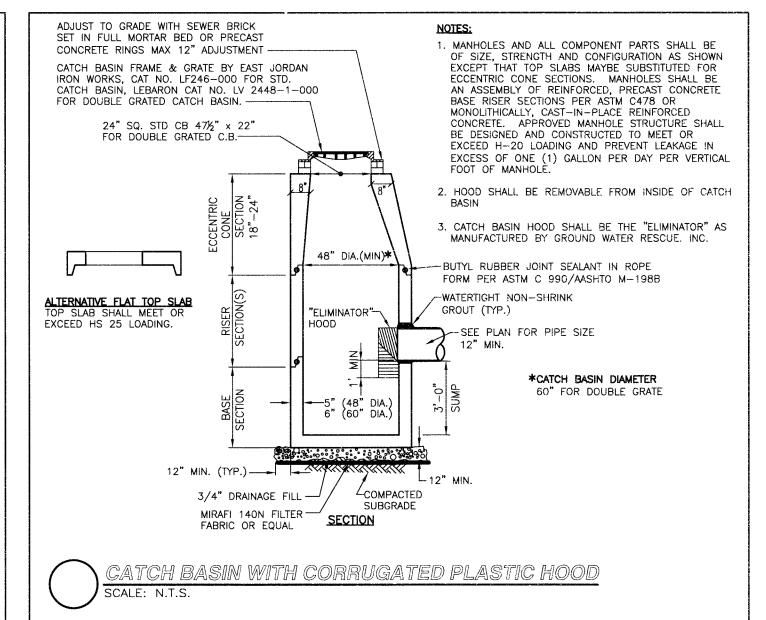


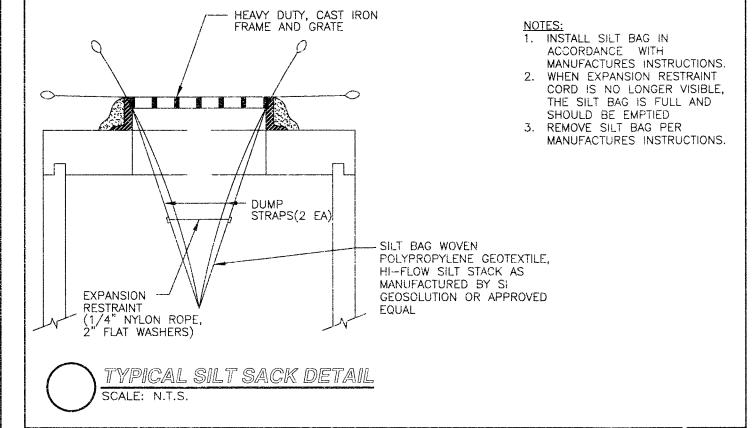






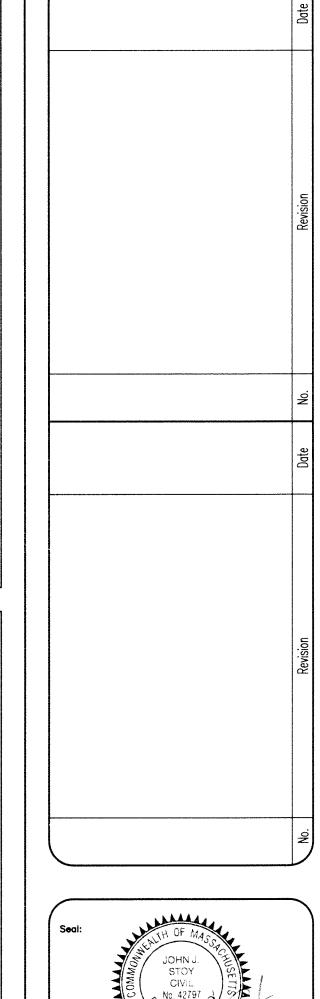


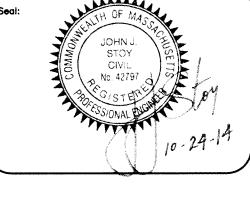




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Designed by: JWC
Drawn by: BMS
Checked by: SPG
Scale: AS SHOWN
Date: 10/24/2014

Prepared for:

NewEngland

D E V E L O P M E N T

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NEWTON, MA 02459

617-965-8700

Prepared by:

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& ASSOCIATES, INC.

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Project Name:

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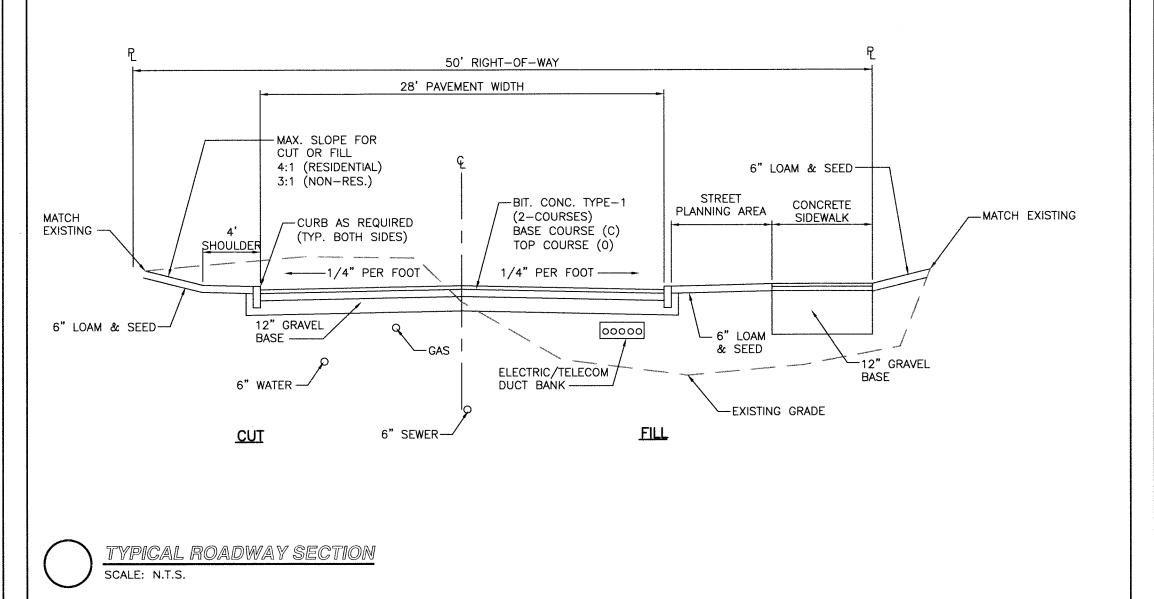
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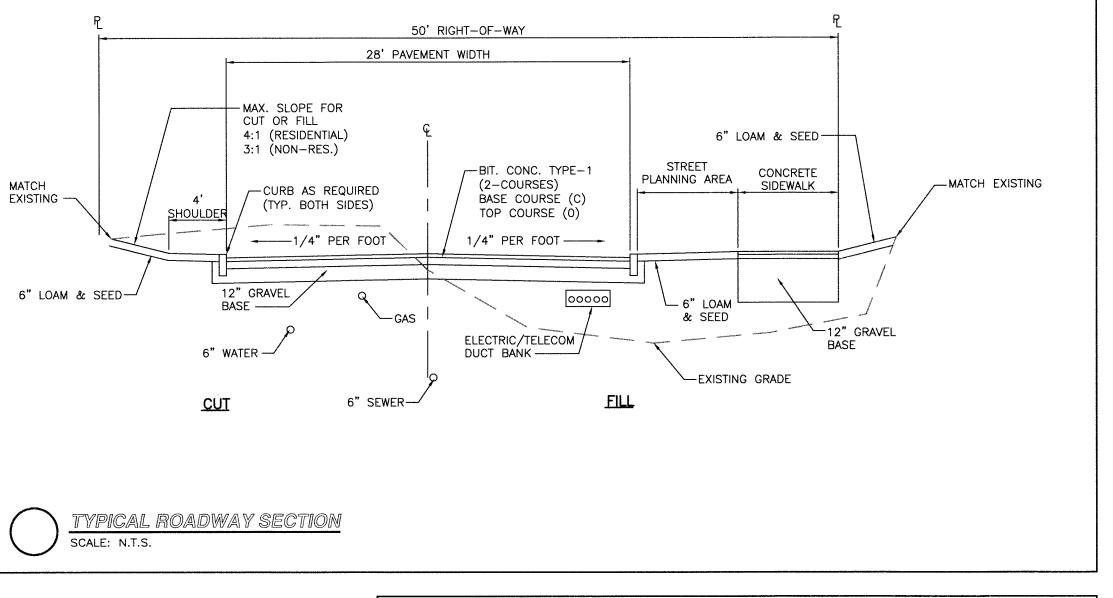
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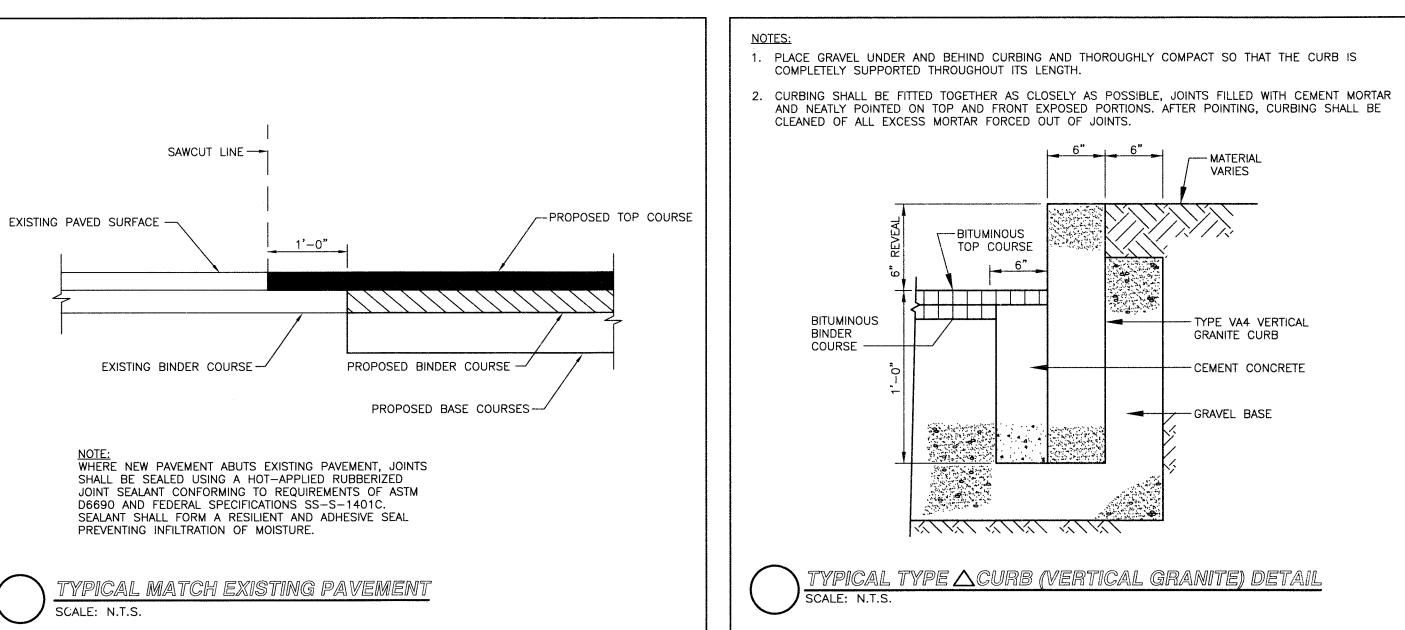
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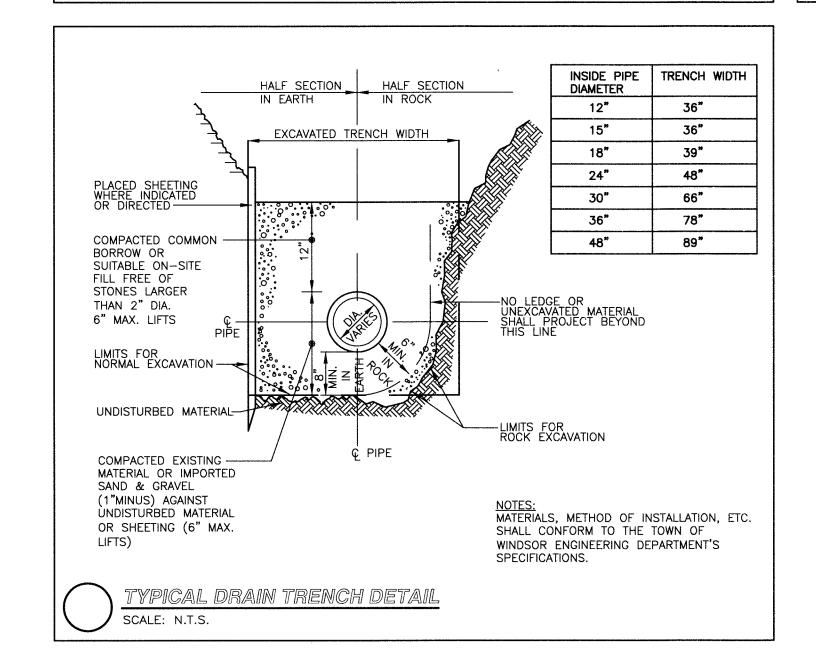
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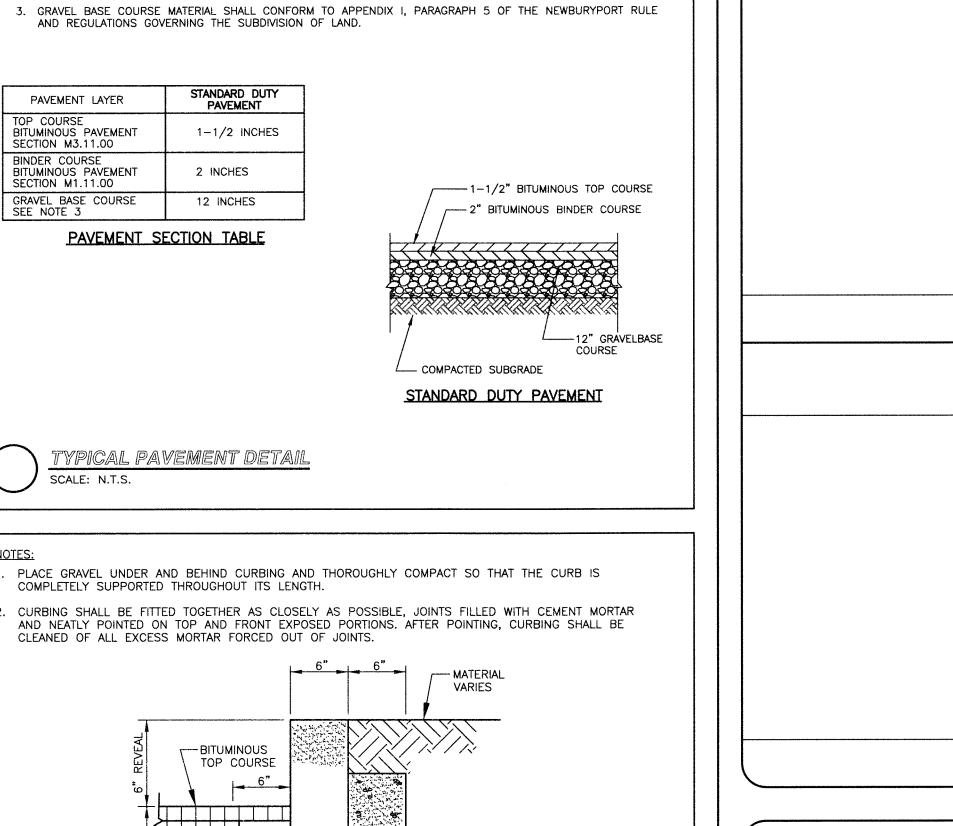
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1. BITUMINOUS TOP COURSE SHALL MEET MASS DOT ITEM M3.11.00 TABLE A (TOP COURSE)

1-1/2 INCHES

2 INCHES

PAVEMENT SECTION TABLE

TYPICAL PAVEMENT DETAIL

PAVEMENT LAYER

TOP COURSE BITUMINOUS PAVEMENT

BITUMINOUS PAVEMENT

GRAVEL BASE COURSE SEE NOTE 3

SCALE: N.T.S.

SECTION M3.11.00

SECTION M1.11.00

BINDER COURSE

2. BITUMINOUS BINDER COURSE SHALL MEET MASS DOT ITEM M3.11.00 TABLE A (BINDER COURSE)

Designed by: Drawn by: SPG Checked by: AS SHOWN Scale:

Date:

ONE WELLS AVENUE NEWTON, MA 02459 617-965-8700

10/24/2014

RJO'CONNELL & Associates, Inc. CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS

80 MONTVALE AVE STONEHAM, MA 02180 PHONE: 781-279-0180 FAX: 781-279-0173

GALLAGHER DRIVE NEWBURYPORT, MA

SITE DETAILS 2

rawing name: \\FS3\Projec Oct 23, 2014 — 13:58pm

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CITY CLERK CERTIFICATION

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