

## Dianne Boisvert

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**From:** Jon-Eric White  
**Sent:** April 08, 2020 10:28 AM  
**To:** Katelyn E. Sullivan; Dianne Boisvert; Anthony Furnari; Diane Gagnon; Frank Giacalone; Jamie Tuccolo; Jennifer Blanchet; Julia Godtfredsen; Mark Murray; Matthew Coogan; Peter Binette; Richard Siemasko; Steve Bradbury; Phil Christiansen; ncodchair@gmail.com; Bob Armstrong; Andrew Port; Molly Ettenborough  
**Subject:** RE: Applications for 8,10,12 & 18 Colby Farm Lane  
**Attachments:** the\_stables\_at\_bashaw\_-\_planning\_board REV BY JEW.pdf

Katelyn,

The following are our comments on the subject applications. This email supercedes my previous email to Andy P with my comments (email date Thurs, Apr 2, 2020, 12:14pm). Some comments changed, I edited the format, and removed the email chain. See you all at the 11am TRC virtual mtg.

General:

- The layout could be improved upon to reduce impervious and improve vehicular access. Although not a technical review comment, moving the units to the rear of the lot would provide better views from the rear of the units than overlooking asphalt (see attached redmarks). My intent was to review the layout in terms of reducing impervious, which I think swapping the units will do.
- I read Phil's peer review comments on stormwater and do not have any additional comments to make.

Sh 4/9:

- The property lot lines do not 'close' and because bearings are not shown, there's a good chance that there's a problem with them. This should be resolved and confirmed by a PLS peer reviewer.
- A maintenance easement of 5' wide is extremely narrow. For what purpose is this?

Sh 5/9:

- It is highly likely that the walkway on the west side will never be used. People will walk down the driveway. This seems like an unnecessary amount of pavement and materials and reduces show storage areas. Suggest relocating as redmarked or do not install at all.
- 20' foot driveways are very narrow, especially at the entrance and the 90-degree turn where two cars won't be able to pass simultaneously. Widening 2'-4' would help.
- Suggest making the walkway public and placing in the ROW. Also suggest adding a piece of sidewalk to the east/right of the playground parking to the property line in case the street ever gets a sidewalk built.
- The pavement of Colby Farm Lane is in very bad shape in this area and has an inconsistent pavement width. Suggest having it improved so the entrances for this project can meet new roadway pavement and so the entrances don't have to be realigned in the future. (Colby Farm Lane appears to need widening in this location, which will impact these entrances. I have no opinion on who should pay for this improvement, but it should be done so it's well-coordinated.)

Sh 6/9 Grading/Utilities:

- The sewer pump chamber should not be installed in the entrance driveway. When they need to maintain it, the entrance will be blocked and the maintenance crew will be parked in the street, which is very narrow at that location. Suggest moving it onto the property somewhere. Where will the controls be located?

End of comments.

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**From:** Katelyn E. Sullivan

**Sent:** Thursday, March 12, 2020 11:31 AM

**To:** Dianne Boisvert; Anthony Furnari; Diane Gagnon; Frank Giacalone; Jamie Tuccolo; Jennifer Blanchet; Jon-Eric White; Julia Godtfredsen; Mark Murray; Matthew Coogan; Peter Binette; Richard Siemasko; Steve Bradbury; Phil Christiansen; [ncodchair@gmail.com](mailto:ncodchair@gmail.com); Bob Armstrong; Andrew Port; Molly Ettenborough

**Subject:** Applications for 8,10,12 & 18 Colby Farm Lane

Good Morning-

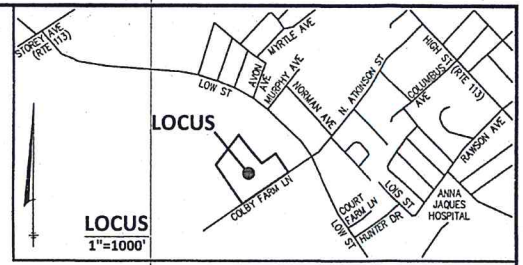
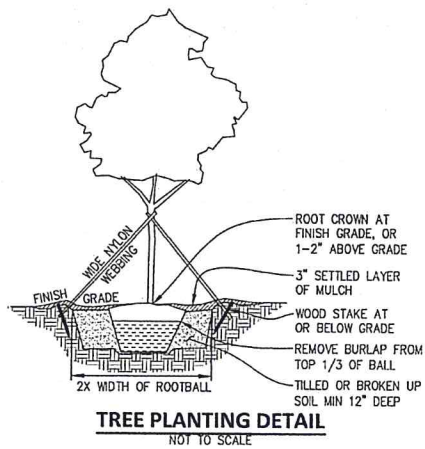
Please note that the Office of Planning & Development has received applications for a Definitive Subdivision, Site Plan Review, and Special Permits filed by The Daly Group LLC c/o Lisa Mead, Mead, Talerman & Costa, LLC for property owned by Ellsworth Eaton, located at **8, 10, 12 and 18 Colby Farm Lane** in the R2/CFLOD district and indicated as Assessor's map and parcels 98-4, 98-5, 98-26, and 98-27. The applications are for the following request: *Three lot definitive subdivision, major site plan review, open space residential development special permit, and special permit to allow eight dwelling units on two lots.*

Please send in your comments to [kesullivan@cityofnewburyport.com](mailto:kesullivan@cityofnewburyport.com) . The applicant is most likely going to the Planning Board for a Public Hearing on April 1, 2020.

<https://www.cityofnewburyport.com/planning-board/agenda-items/8-10-12-18-colby-farm-lane>

Thank you,  
Katelyn

Katelyn Sullivan  
Office of Planning &  
Development  
City of Newburyport  
60 Pleasant Street  
Newburyport, MA 01950  
978.465.4400



**ASSESSORS**

- MAP 98, LOT 26 (8 COLBY FARM LANE)
- MAP 98, LOT 27 (10 COLBY FARM LANE)
- MAP 98, LOT 5 (12 COLBY FARM LANE)
- MAP 98, LOT 4 (18 COLBY FARM LANE)

**PROPERTY OWNER**

ELLSWORTH M. EATON, JR., TRUSTEE  
EATON CROW REALTY TRUST

ELLSWORTH M. EATON, JR., TRUSTEE  
CROW'S NEST REALTY TRUST

**DEED REFERENCES**

- SOUTHERN ESSEX REGISTRY OF DEEDS
- BOOK 26178, PAGE 1.
  - BOOK 26178, PAGE 3.
  - BOOK 15799, PAGE 31.

**PLAN REFERENCES**

- SOUTHERN ESSEX REGISTRY OF DEEDS
- PLAN BOOK 473, PLAN 21.
  - PLAN BOOK 335, PLAN 92.
  - PLAN BOOK 338, PLAN 72.
  - PLAN 262 OF 1975.
  - PLAN 462 OF 1961.

**NOTES**

- EXISTING CONDITIONS AND BOUNDARY LOCATION SHOWN HEREON FROM AN INSTRUMENT SURVEY IN DECEMBER OF 2019. TOPOGRAPHY SHOWN HEREON REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- NO PORTION OF THE PREMISES SHOWN HEREON IS LOCATED WITHIN A FLOOD HAZARD AREA AS SHOWN ON DEPARTMENT H.U.D. FEDERAL INSURANCE ADMINISTRATION MAPS, PER COMMUNITY PANEL 25009C0109F, EFFECTIVE DATE JULY 3, 2012.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST. CALL DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

**ZONING INFORMATION**

UNDERLYING DISTRICT: R1, RESIDENTIAL  
OVERLAY DISTRICT: COLBY FARM LANE RESIDENTIAL OVERLAY DISTRICT (CFL-ROD)  
FOR CFL-ROD, USE R2 ZONING REQUIREMENTS

SINGLE-FAMILY REQUIREMENTS	REQUIRED (R2)	PROP.	PROP.	PROP.
		LOT 1	LOT 2	LOT 3
DESCRIPTION				
MIN. LOT AREA	10,000 SF	10,000 SF	49,942±SF	272,462±SF
MIN. FRONTAGE	90'	100.00'	186.64'	369.04'
MIN. FRONT YARD	25'	25.0'	25.0'	N/A
MIN. SIDE YARD	10'	15.0'	12.0'	N/A
MIN. REAR YARD	25'	37.0'	76.9'	N/A

TWO-FAMILY REQUIREMENTS	REQUIRED (R2)	PROP.	PROP.	PROP.
		LOT 1	LOT 2	LOT 3
DESCRIPTION				
MIN. LOT AREA	15,000 SF			
MIN. FRONTAGE	120'			
MIN. FRONT YARD	25'			
MIN. SIDE YARD	20'			
MIN. REAR YARD	25'			

Engineering Div comments 4-8-20 (see also email same date)

Suggest to relocate or eliminate walkway, widen driveway 2' to be more beneficial.

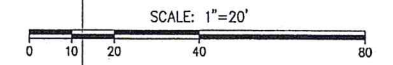
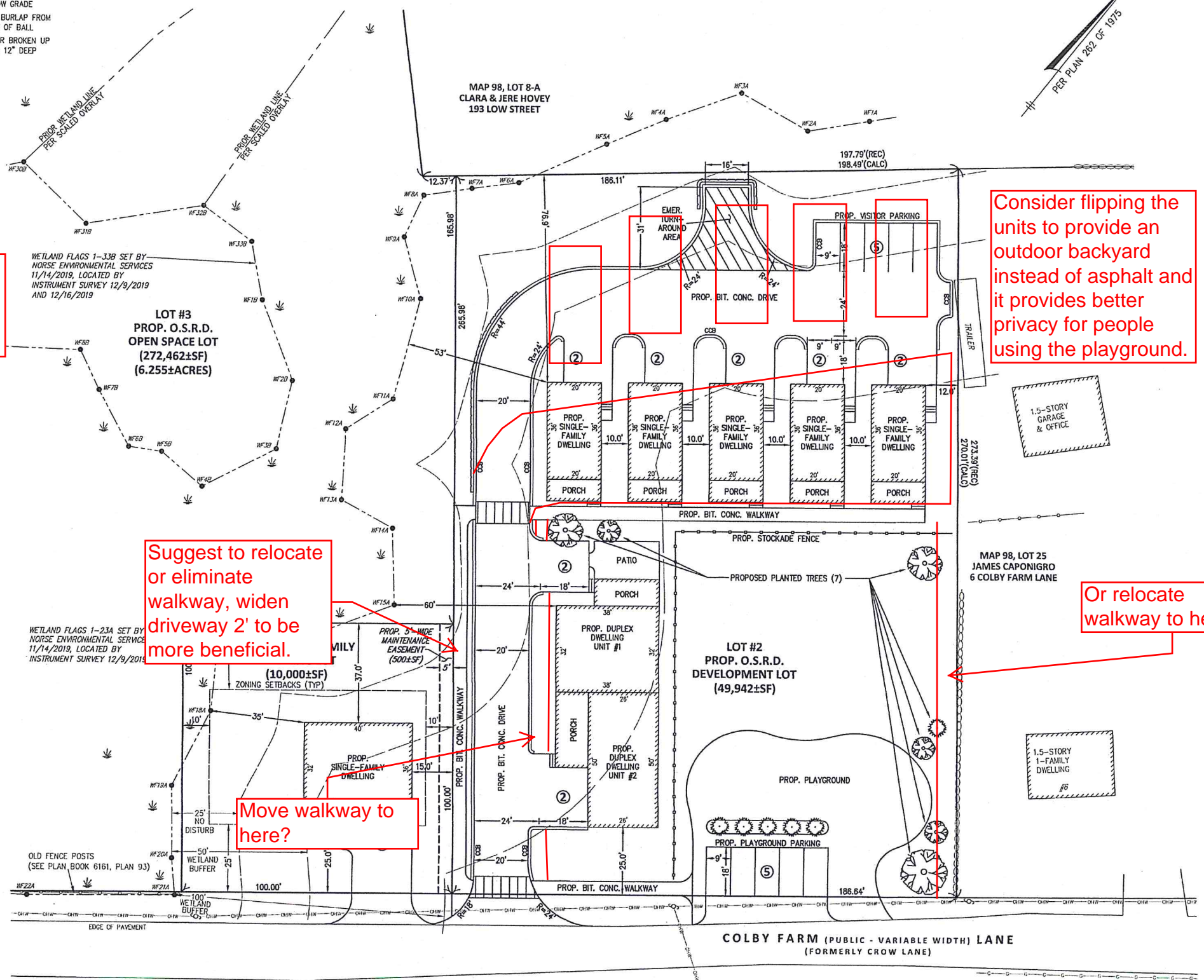
Consider flipping the units to provide an outdoor backyard instead of asphalt and it provides better privacy for people using the playground.

Or relocate walkway to here

Move walkway to here?

- ABBREVIATIONS**
- BDG. BUILDING
  - BIT. BITUMINOUS
  - CALC. CALCULATED
  - CONC. CONCRETE
  - REC. RECORD
  - SF SQUARE FEET
  - TYP. TYPICAL

- LEGEND**
- STONEWALL
  - SEWER MANHOLE
  - DRAIN MANHOLE
  - STONE MONUMENT
  - UTILITY POLE
  - WETLAND LINE WITH FLAG



**LAYOUT & LANDSCAPING PLAN**

8, 10, 12, & 18 COLBY FARM LANE  
NEWBURYPORT, MASSACHUSETTS

PLAN PREPARED FOR: THE DAILY GROUP  
225 STEDMAN STREET  
LOWELL, MASSACHUSETTS 01851

PLAN PREPARED BY: LANDPLEX  
CIVIL ENGINEERING - SURVEYING  
10 GEORGE STREET, UNIT 229  
LOWELL, MASSACHUSETTS 01852  
978-201-9300 - LANDPLEX.COM

SHEET: 5 OF 9 SCALE: 1"=20' FEBRUARY 14, 2020

NO.	REVISION DESCRIPTION	DATE
1.	UPDATE ZONING INFO	2/26/2020