

Dianne Boisvert

From: Katelyn E. Sullivan
Sent: December 17, 2019 12:02 PM
To: Dianne Boisvert
Subject: FW: [Ext]10 Mullikan Way
Attachments: 19-120 SP-SP 12-16-19.pdf; 10 Milliken Kennel sand trench detail - REV BY ENG 12-17-19.pdf

Below comment for our site please.

From: Jon-Eric White
Sent: Tuesday, December 17, 2019 11:57 AM
To: Katelyn E. Sullivan
Cc: Diane Gagnon; Nicholas Federico; Stephen Sawyer (ssawyer@dci-ma.com); Mark W. Griffin (mark@finnic.com); Kayla A. Provencher; Julia Godtfredsen; Frank Giacalone
Subject: FW: [Ext]10 Mullikan Way

Katelyn,

As part of my review of the subject Minor Site Plan Review Project, we met with our city's Animal Control Officer (ACO), Kayla Provencher, to see if they had any jurisdiction over outdoor yards being used for defecating and to ask related questions. Then I contacted the project's engineer, Steve Sawyer, to ask how they plan to treat the runoff because I couldn't see anything on the Plans. After our discussion, he agreed to send me their revised Plan based on my recommendations for a BMP, which is attached. I told him that I'd forward them to you along with my comments for the record. I also attached our add'l redmarks to that Plan.

General:

- The exterior dog run is to be used for defecating, which is why they have the turf. It was unclear to us how many dogs they plan on having to actually use the turf as a dumping ground. Kayla noted that the ACO determines during their inspections how many dogs are allowed in the facility (from a maximum permitting standpoint) and that her experience working in kennels hovered around 30-80 dogs (I recall). Many daycares/kennels have indoor potty locations and others outdoors. She informed me of how they're required to pick it up and dispose of it and that they need to decontaminate it with an appropriate chemical solution so it doesn't spread bacteria, worms, or other intestinal organisms to other dogs or humans.
- I am not entirely clear who has jurisdiction of the quality of stormwater runoff from kennels or doggie daycares like this project. However, Engineering is responsible for determining if the city's stormwater system is in compliance with the EPA NPDES MS4 Permit – i.e. Federal Stormwater Permit. We are required to keep our rivers and streams clean, which requires testing for bacteria in our drainage pipe outfalls, etc. We have yet to do any testing in the city – it's a new req't of the Permit. Therefore, my comments herein are assuming that BOH or others do not have regulations and/or jurisdiction over bacteria-laden stormwater runoff from doggie daycares or kennels.
- I've been searching for BMPs for doggie parks knowing that this new Permit was coming and we have a dog park at Cashman. What I've found is that large agricultural facilities with 1,000's of livestock have some literature but smaller facilities like this project are harder to find. I haven't found anything useful.
- We are currently investigating BMPs for the small farms that surround our public water supplies but from what I've seen so far, those are for much heavier loadings than what this project could ever encounter. I say that in case someone makes the connection between kennels and agri-business runoff – they are not the same.
- The most logical BMP that I feel should work is as shown on the attached trench.

My comments:

1. The Applicant must provide us with the number of dogs they plan to handle. These comments herein are for a standard, medium-sized facility, say under 100 dogs per day. I prefer not to use numbers, it's extremely variable – size of dogs, number of actual feces being dropped, etc. But something of that magnitude.
2. This sand trench will behave similar to a typical homeowner's septic system leaching field (similar, not exact) in that it is porous sand that provides some air to allow the natural breakdowns of the bacteria. I am not saying that a bio-mat will form as they do in leaching fields but this trench will provide some level of treatment.
3. The kennel owners MUST remove the feces asap so the trench does not get overloaded. Hosing it down will allow it to drain through the turf, into the sand layer below, and across the asphalt into the sand trench for final treatment. Rainfall will do the same.
4. It is important to minimize the amount of chemicals used. If used properly, the chemicals will breakdown after they "do their job". Too many chemicals will simply end up hurting the environment. My preference is no chemicals unless the BOH, ACO, or similar departments require it.
5. There are no public water supplies in this watershed. There is about 180 ft of natural vegetation and almost 1/2 mile (2,100') of grassed swale before being discharged into the Little River. This is reassuring.
6. We are responsible for performing water quality testing of our outfalls and swales, as applicable. If we determine during the course of our testing that a sample has tested too high for bacteria, then we will trace the flow back to the source, and in this case, if we trace it back to this kennel, we will then be forced to give them time to address the situation (60 or 90 days, I believe) before shutting them down. So we have a process in place.

If my assumptions and my understanding of everything is reasonably correct as noted above and my redmarks are incorporated, then I approve the Project as submitted and no other action is required.

If there is anything else you wish to discuss or if you want to discuss the above even further, please do.

Jon-Eric

From: Stephen Sawyer [mailto:SSawyer@dc-ma.com]
Sent: Monday, December 16, 2019 3:25 PM
To: Jon-Eric White
Cc: Katelyn E. Sullivan; mark@finnic.com; mark@finnic.com
Subject: [Ext]10 Mullikan Way

external e-mail use caution opening

Hi Jon-Eric,

Based upon our discussion last Friday concerning your review we have updated the turf detail to treat the runoff running out from under the turf surface to the edge of the pavement under the turf surface. We have provided a 2' wide treatment trench to treat this runoff. See the updated plan with this detail.

Let me know if this addresses your concerns. We are hoping to close the minor site plan review this Wednesday night.

Thanks,

Steve S.

Stephen Sawyer, P.E.

Senior Project Manager

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**Transportation*
**Civil Engineering*
**Land Surveying*
**Planning*

ZONING

GATEWAY PRODUCTIONS LLC
INDUSTRIAL (I-1)

	REQUIRED	EXISTING (LIGHT MANUF. - 602)
MINIMUM LOT AREA	50,000 SQUARE FEET	201,247 SQUARE FEET
MINIMUM FRONTAGE	200 FEET	474 FEET
FRONT SETBACK	50 FEET	60'
SIDE SETBACK (R)	50 FEET	170'
SIDE SETBACK (L)	50 FEET	64'
REAR SETBACK	50 FEET	202'
MAXIMUM LOT COVERAGE (%)	40%	14%
MAXIMUM HEIGHT	40' FEET	22'
MINIMUM OPEN SPACE	NA	NA

*REQUIRED ZONING PROVIDED ON TABLE IS FOR LIGHT MANUFACTURING; USE (602)

PARKING REQUIREMENTS
LIGHT MANUFACTURING (USE 416)
0.75 SPACE PER EMPLOYEE MAX. SHIFT PLUS 1 PER COMPANY VEHICLE
24 TOTAL PARKING SPACES PROVIDED.
ALLOWS FOR 2 COMPANY VEHICLES AND 29 EMPLOYEES

ZONING

KENNEL & ANIMAL BOARDING (424)

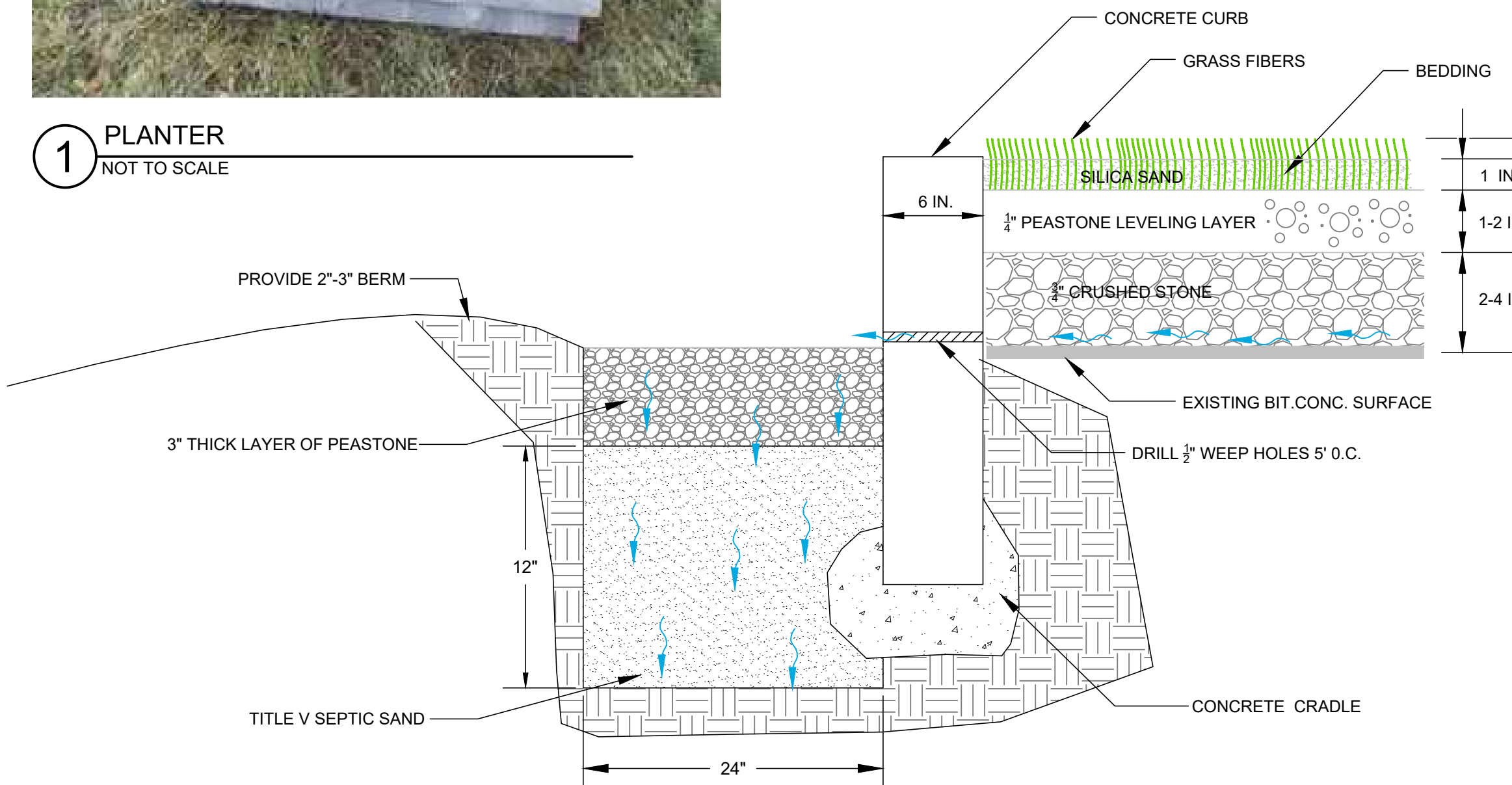
	REQUIRED	EXISTING (KENNEL 424)
MINIMUM LOT AREA	20,000 SQUARE FEET	201,247 SQUARE FEET
MINIMUM FRONTAGE	90 FEET	474 FEET
FRONT SETBACK	20 FEET	60'
SIDE SETBACK (R)	20 FEET	170'
SIDE SETBACK (L)	20 FEET	64'
REAR SETBACK	20 FEET	202'
MAXIMUM LOT COVERAGE (%)	40%	14%
MAXIMUM HEIGHT	40' FEET	22'
MINIMUM OPEN SPACE	NA	NA

*REQUIRED ZONING PROVIDED ON TABLE IS FOR KENNEL/ANIMAL BOARDING; USE (424)

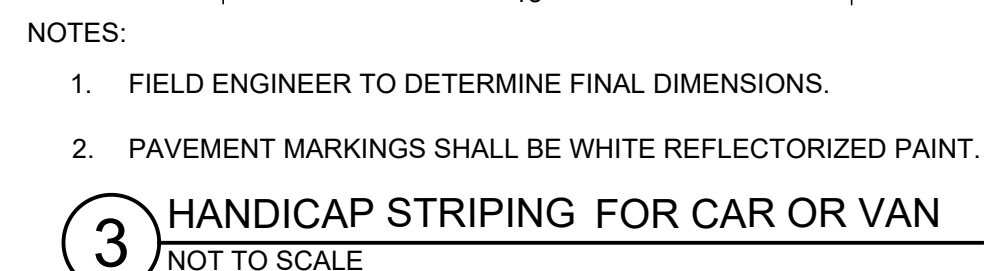
PARKING REQUIREMENTS
KENNEL/ANIMAL BOARDING (USE 424)
2 SPACE PER EMPLOYEE MAX. SHIFT PLUS 4 VISITOR SPACES
12 TOTAL PARKING SPACES PROVIDED.
ALLOWS FOR MAX SHIFT OF 4 EMPLOYEES



1 PLANTER
NOT TO SCALE



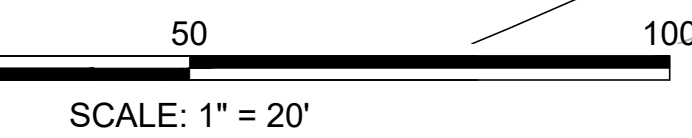
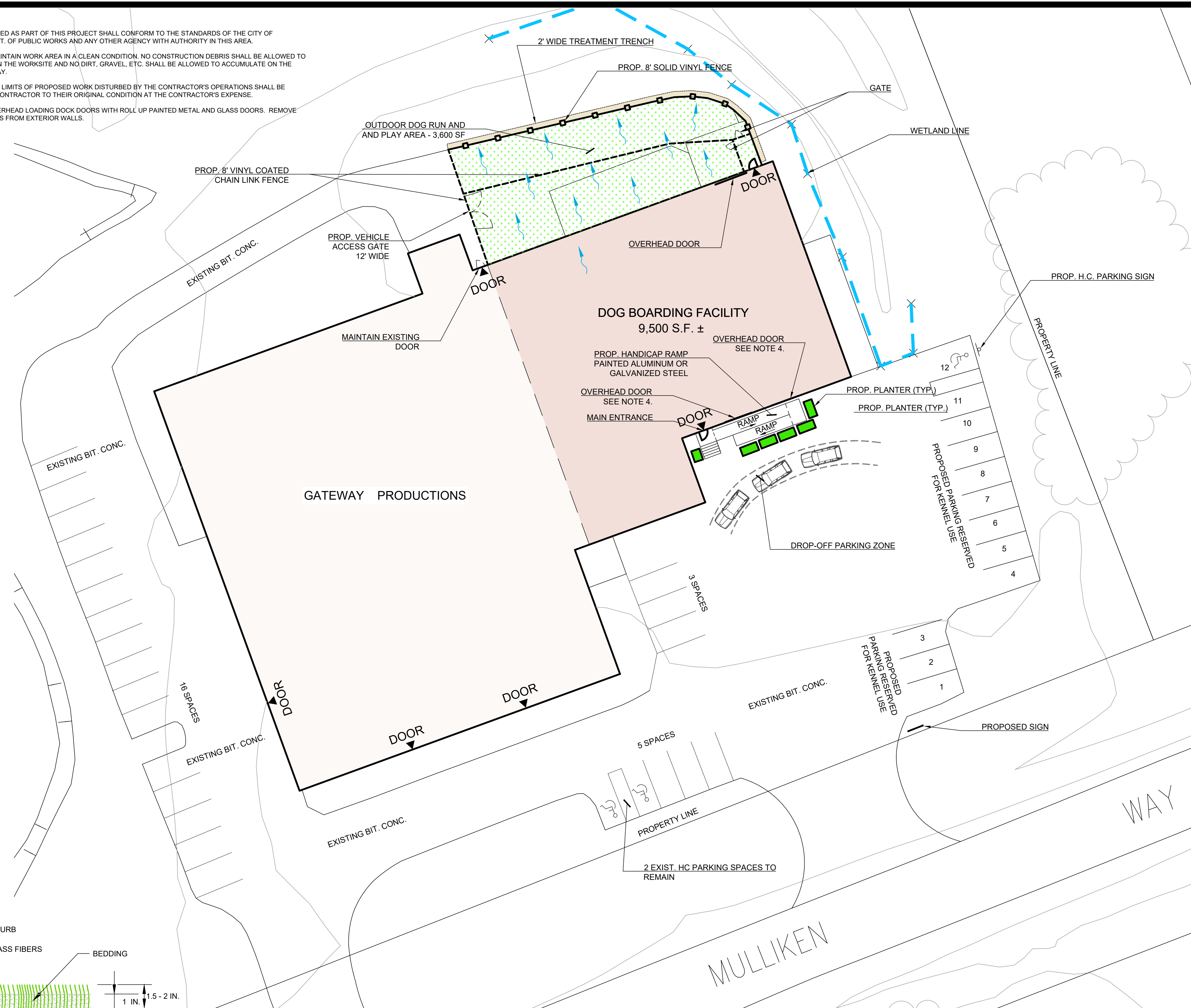
2 MULTI FIBER TURF DETAIL & TREATMENT TRENCH
NOT TO SCALE



3 HANDICAP STRIPING FOR CAR OR VAN
NOT TO SCALE

GENERAL NOTES

- ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF NEWBURYPORT, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.
- CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- REPLACE METAL OVERHEAD LOADING DOCK DOORS WITH ROLL UP PAINTED METAL AND GLASS DOORS. REMOVE TRUCK BUMPER PADS FROM EXTERIOR WALLS.



LEGEND

EXISTING:	CS COMBINED SEWER & DRAIN	WATER GATE
S SANITARY SEWER	D DRAIN LINE	W.G. WATER GATE
W WATER LINE	OHW ELECTRIC LINE	G.G. GAS GATE
OHW ELECTRIC LINE	G GAS LINE	TP TEST PIT
T TELEPHONE LINE	ST STEAM LINE	STOCKADE
SM SANITARY MANHOLE	DM DRAIN MANHOLE	S SEWER LINE
DM DRAIN MANHOLE	UM UNKNOWN MANHOLE	GAS GAS LINE
UM UNKNOWN MANHOLE	EM ELECTRIC MANHOLE	DOM DOMESTIC WATER LINE
EM ELECTRIC MANHOLE	TM TELEPHONE MANHOLE	FIRE FIRE SUPPRESSION LINE
TM TELEPHONE MANHOLE		ETC ELECTRIC, TEL. & CABLE LINE
		D DRAIN LINE
		+ 16.38 SPOT GRADE
		- 32 CONTOUR
		TC.BC TOP OF CURB, BOTTOM OF CURB
		TW.BW TOP OF WALL, BOTTOM OF WALL
		INSP INSPECTION PORT
		CO CLEAN OUT

NORTH

DCI
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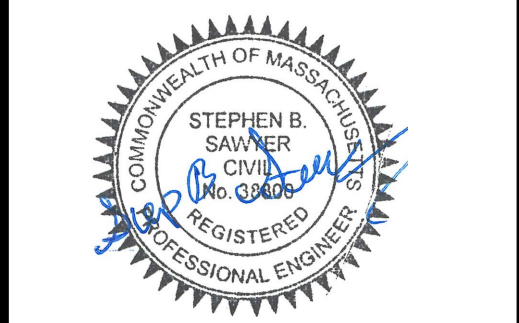
DEVELOPER:
SCOTT DEVIVO
61 TURKEY HILL ROAD
NEWBURYPORT, MA.
01950

PROJECT TEAM

PROJECT NAME
10 MULLIKEN WAY
NEWBURYPORT, MA

PROJECT INFO

REV	DESCRIPTION	DATE
2.	CITY DEPT. REVIEW	12/16/19
1.	SPR PLAN UPDATE	12/4/19



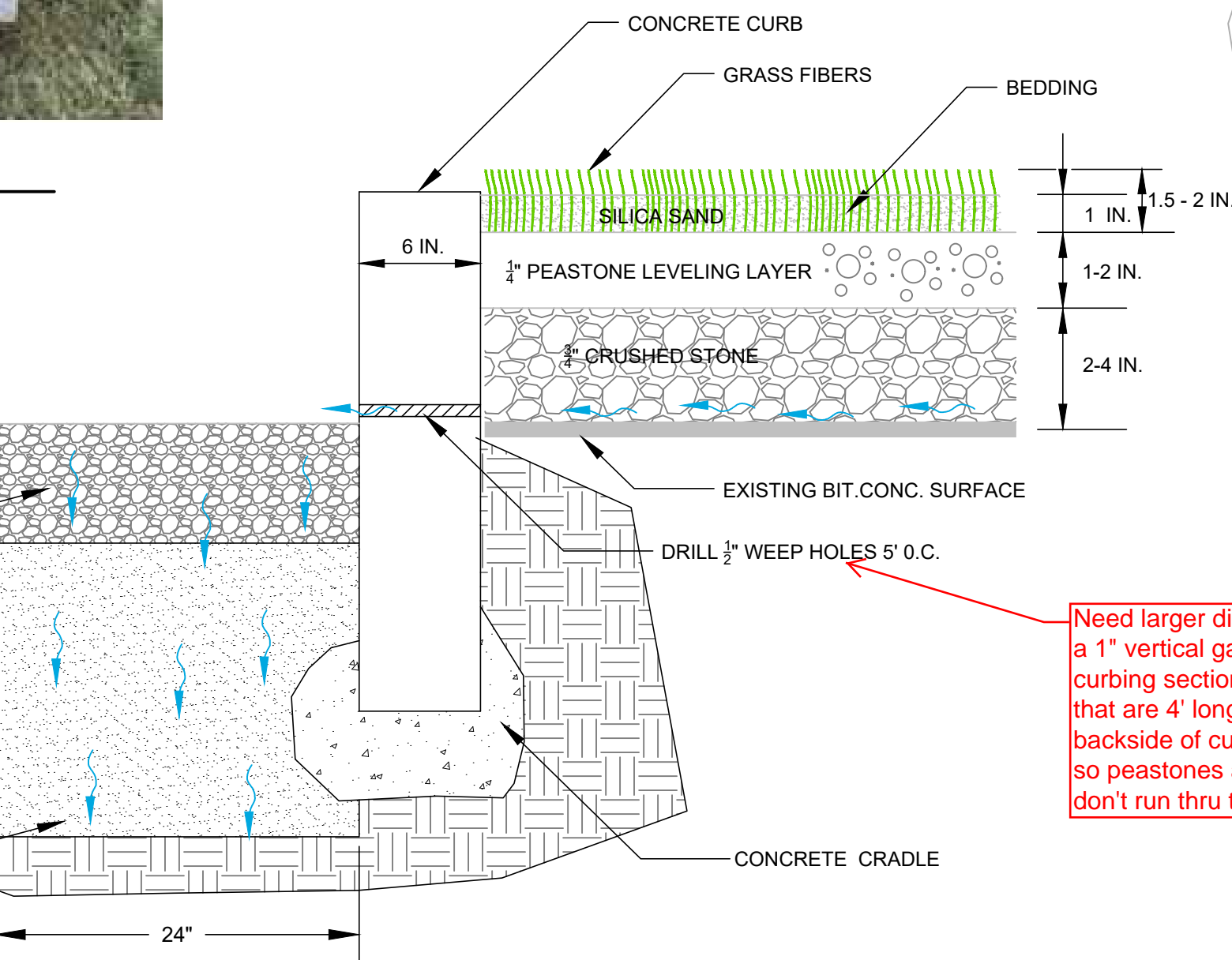
STAMP:

SITE PLAN

SHEET NAME:

C1.0

SHT NO:
DR BY: GS
CHK BY: SS
PROJ NO: 2019-120
DATE: 11/05/2019
SCALE: 1"=20'



Need larger diameter, 2" min OR leave a 1" vertical gap between granite curbing sections. Use curb sections that are 4' long and put fabric against backside of curbing to cover the gaps so peastones and crushed stones don't run thru them.

NOTES:

1. FIELD ENGINEER
2. PAVEMENT MAINTENANCE

2 MULTI FIBER TURF DETAIL & TREATMENT TRENCH
NOT TO SCALE

3 HANDICAP ACCESS
NOT TO SCALE