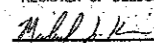


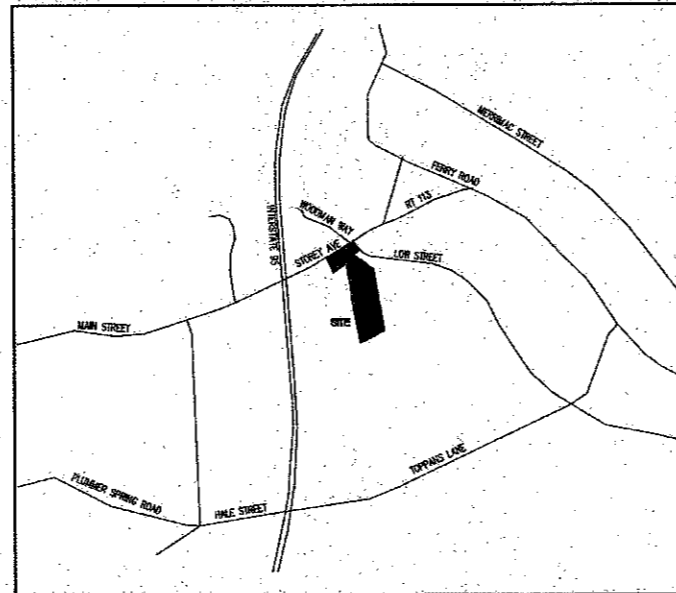
SITE PLAN OF LAND STOREY AVE FUELING CENTER & PHARMACY TAX MAP 109, LOTS 2,3,3A,4 & 5 STOREY AVE & LOW ST., NEWBURYPORT, MA

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

 MICHAEL KERIVAN DATE: 9/24/14

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LOCUS MAP
SCALE 1" = 2000'

PERMITS

TYPE OF PERMIT	STATUS	TYPE OF PERMIT	STATUS
MASSDOT DRIVEWAY PERMIT: DISTRICT SIX 185 KNEELAND STREET BOSTON, MA 02111 (857) 369-6100 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:	NEWBURYPORT SITE PLAN APPROVAL: TOWN OF NEWBURYPORT PLANNING BOARD 89 PLEASANT STREET PO BOX 550 NEWBURYPORT, MA (978) 486-4400 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: 4/8/14 PERMIT NO. DATED: EXPIRATION:
USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT, NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION: EPA STORMWATER NOTICE PROCESSING CENTER MAIL CODE 4203M, US EPA 1200 PENNSYLVANIA AVENUE, NW WASHINGTON, DC 20460 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.			

PROJECT PARCEL
TOWN OF NEWBURYPORT, MA
TAX MAP 109 LOTS 2,3,3A,4 & 5

OWNER
TAX MAP 109/LOT 2
PECTEN PROPERTIES LLC
261 LEDYARD STREET
NEW LONDON, CT 06320
29309/0305

TAX MAP 109/LOT 3 (SUBJECT)
TAX MAP 109/LOT 3A,
TAX MAP 98/LOT 22 (ABUTTING)
ELEANOR WOODMAN
26 JACKMAN STREET
GEORGETOWN, MA 01830
BK 5529/P3 683

TAX MAP 109/LOT 4
TAX MAP 109/LOT 5
GERALD E. SWOFFORD
DORIS A. SWOFFORD, TRUSTEE
162 IPSWICH ROAD
BOXFORD, MA 01821
07008/0904 (LOT 4)
15942/0475 (LOT 5)

TOTAL LOT AREA
1,245,853 SQ. FT.
28.69 ACRES

APPROVED - NEWBURYPORT, MA
PLANNING BOARD

DATE: _____

APPLICANT / DEVELOPER
TROPIC STAR DEVELOPMENT, LLC.
321 D LAFAYETTE ROAD
HAMPTON, NH 03842
CONTACT: JAMES MITCHELL (VP)

CIVIL ENGINEER
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: WAYNE MORRILL
EMAIL: WMORRILL@JONESANDBEACH.COM

SURVEYOR
EVERETT J. CHANDLER, PLS
88 PLEASANT STREET
NEWBURYPORT, MA 01950
TEL: 978-358-7173

WETLAND SCIENTIST
SEEKAMP ENVIRONMENTAL CONSULTANTS, INC.
129 ROUTE 125
KINGSTON, NH 03848
(603) 642-8300
CONTACT: MICHAEL SEEKAMP

ELECTRIC
NATIONAL GRID
BAY STATE NORTH
1101 TURNPIKE STREET
NORTH ANDOVER, MA 01845
(978) 725-2215
CONTACT: STEVE HALL

LANDSCAPE ARCHITECT
IRONWOOD DESIGN GROUP, LLC
55 MAIN STREET SUITE 129
NEWMARKET, NH 03857
EMAIL: JHYLAND@FEWOOD.COM
(603) 772-0590
CONTACT: JEFFREY HYLAND

TRAFFIC ENGINEER
VANASSE & ASSOCIATES, INC.
10 N.E. BUSINESS CTR. DRIVE, SUITE 314
ANDOVER, MA 01810-1066
(978) 474-8800 X30
CONTACT: JEFFREY DIRK

F:\Land Projects\3\08176-Newburyport-Storey-Ave.dwg\08176-PLAN.dwg 9/23/2014 2:23:47 PM EDT

Design: BWG Draft: GPC Date: 4/8/14
Checked: WGM Scale: AS NOTED Project No.: 08176
Drawing Name: 08176-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
2	9/24/14	MODIFIED PER PLANNING REVIEW	GPC
1	9/10/14	REVISED SITE	BWG
0	4/8/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885 603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	STOREY AVE DEVELOPMENT STOREY AVE, NEWBURYPORT, MA 09150
Applicant:	TROPIC STAR DEVELOPMENT, LLC 321 D LAFAYETTE ROAD HAMPTON, NH 03842

DRAWING No.
CS
SHEET 1 OF 21
JBE PROJECT NO. 08176

STOREY AVE NEWBURYPORT, MA 09150 REVISION T. 9/23/14

EXISTING CONDITIONS AND DEMOLITION NOTES:

- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANHOLE FEATURES, PAVEMENT, SIGNS, POLES, CURBS, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN THROUGHOUT THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-060-SAFE (1-888-344-7233).
- HORIZONTAL DATUM NAVD83
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 25009C 0108 F, DATED JULY 3, 2012.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY SE&KAMP ENVIRONMENTAL CONSULTING, INC. DURHAM FALL, 2011.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- ALL EXISTING PAVED SURFACES WITHIN THE LIMITS OF WORK THAT ARE TO REMAIN SHALL BE RECLAIMED TO MINIMUM DEPTH OF 12" AND REGRADED AS SHOWN ON THE GRADING AND DRAINAGE PLAN. RECLAIMED ASPHALT SHALL CONFORM TO STATE SPECIFICATIONS. PRIOR TO REMOVAL, PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
- ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
- ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, UNLESS OTHERWISE NOTED ON THE PLANS. IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS, THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
- EXISTING WATERLINES AND HYDRANTS TO BE REMOVED SHALL BE CAPPED AT EXISTING WATERMAIN.
- EXISTING GAS SERVICE LINES ARE TO BE REMOVED ON-SITE UP TO EXISTING GAS MAIN LINES OR VALVES.
- ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
- SEE LANDSCAPE PLAN FOR "TREES TO BE SAVED" AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
- THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
- CONTRACTOR SHALL HAVE THE OPTION TO REMOVE DRAINAGE/SEWER STRUCTURES, OR REMOVE MANHOLE FRAME AND GRATE/COVER TO A MINIMUM OF 36" BELOW FINISH GRADE, FRACTURE BOTTOM AND FILL WITH COMPACTED BORROW.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
- WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
- EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.
- DURING PRE AND POST EXCAVATION THE AREA IS TO BE PROPERLY BAITED AND EXTERMINATED BY A MASSACHUSETTS LICENSED EXTERMINATOR AND AN INVOICE SUBMITTED TO THE HEALTH DEPARTMENT.

SITE NOTES:

- THE INTENT OF THIS PLAN IS TO REMOVE EXISTING STRUCTURES AS SHOWN ON SHT. C1 AND CONSTRUCT A 12,900 S.F. RETAIL BUILDING AND 3,000 FUELING CENTER WITH FUEL PUMPS. PROJECT TO BE SERVED BY ELECTRIC, GAS, MUNICIPAL SEWER & PUBLIC WATER. COMPLETE TWENTY TWO (22) SHEET PLAN SET IS ON FILE AT THE PLANNING BOARD OFFICE.
- ZONING DISTRICT: EL - RETAIL SERVICES

REQUIRED DESIGN	REQUIRED DESIGN
10,000 SF	20,000 SF
287,605 SF	44,440 SF
LOT AREA MINIMUM = 90'	120'
LOT FRONTAGE MINIMUM = 471.37'	149.30'

 - BUILDING SETBACKS (MINIMUM):
 - FRONT SETBACK = 20'
 - SIDE SETBACK = 25'
 - REAR SETBACK = 25'
 - WETLAND SETBACK = 100'
 - MAX. BUILDING HEIGHT = 35'
 - MAX. % LOT COVERAGE = 30% 4.5% 10% 6.6%
 - PARKING AREA OPEN SPACE = 6% 10.5% 5% 8.5%
- PARKING CALCULATIONS:

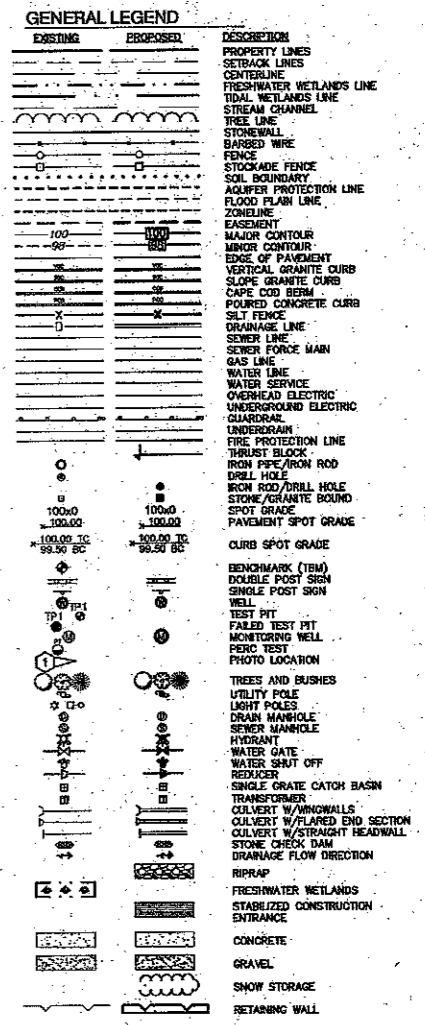
RETAIL SERVICES	SERVICE STATION
1/1000 OFA	1/EMPLOYEE + 3/BAY
12,900 / 3,100,000 = 39	4 EMPLOYEE + 0 BAY = 4
PROVIDED: 67 SPACES	12 SPACES
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND MASSDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.M.P.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND MASSDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" X 6" WOOD SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKOY BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION T1P-115 TYPE I, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE. ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL CURBING TO BE SLOPED GRANITE WITH A MINIMUM RADIUS OF 2', UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS ARE TO BE OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL OUTDOOR DISPLAY AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY FASHION.
- ALL OUTDOOR DISPLAY AREAS ALONG SIDEWALK SHALL BE MAINTAINED TO PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF FIVE (5) FEET ALONG THE ENTIRE LENGTH OF THE SIDEWALK AND AT EMERGENCY EGRESS DOORS FOR PEDESTRIAN AND EMERGENCY ACCESS AT ALL TIMES.
- OUTSIDE DELIVERIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 9:00 PM MONDAY THROUGH SATURDAY, AND 8:00 AM TO 8:00 PM ON SUNDAY. DELIVERIES TO THE LOADING DOCK SHALL BE LIMITED TO THE HOURS OF 6:00 AM TO 8:00 PM, MONDAY THROUGH SATURDAY, AND 8:00 AM TO 8:00 PM ON SUNDAY.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFF-SITE TO AN APPROVED SNOW DUMPING LOCATION.
- ROOF TOP HEATING AND AIR CONDITIONING UNITS (RTU'S) SHALL BE DESIGNED TO VENT UPWARDS AND AIR INTAKES SHALL BE DIRECTED AWAY FROM ABUTTING NEIGHBORS.
- NO OVERNIGHT TRACTOR TRAILER PARKING SHALL BE ALLOWED ON THE PREMISES. NO TRUCK HORN BLOWING SHALL BE ALLOWED ON THE PREMISES.
- ALL ARCHITECTURAL BLOCK RETAINING WALLS ARE TO BE DESIGNED AND STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER. CONTRACTOR TO COORDINATE WITH APPROVED MANUFACTURER PRIOR TO INSTALLATION.
- DUMPSTERS AND/OR ROLL-OFFS ARE NOT TO BE PICKED UP BETWEEN 7:00 PM AND 7:00 AM.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.

UTILITY NOTES:

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND MASSDOT STANDARD SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDINGS TO BE SERVED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STRESS PRIOR TO CONSTRUCTION AND REPORT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
- CONTRACTOR TO PROVIDE UNDERDRAIN, AS NECESSARY, AT DISCRETION OF THE PROJECT ENGINEER.
- INVERTS AND SHELVERS: MANHOLES SHALL HAVE A BRICK PAVED SHELVEE AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVERS SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL. EMPLOYMENT OF INVERT, AND SHELVEE SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H2O LOADS.
- CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES. OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
- WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF ANWA STANDARD C 600. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO ANWA STANDARD C 600.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- REFER TO FIRE PROTECTION SHEETS FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN TO BUILDING.
- FIRE LINE SHALL BE STUBBED UP 1' ABOVE FINISH FLOOR ELEVATION IN SPRINKLER ROOM.
- AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 101 LIE. SHOWN ON PLANS AND LOCAL REGULATIONS. FIRE DEPARTMENT CONNECTION SHALL BE FIELD VERIFIED BY LOCAL FIRE DEPARTMENT TO ENSURE OPTIMAL PLACEMENT.
- THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPlicate TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DISCARDED BEFORE CONSTRUCTION.
- ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
- ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO MASSDEP SEWER SYSTEM EXTENSION AND CONNECTION PROGRAM, 314 OUR 7.00.
- SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 8 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
- SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ADVISED. A WARNING FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
- SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE, HOWEVER, THE TOWN RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE).
- CONTRACTOR TO VERIFY EXISTING SEWER SERVICE TO GAS STATION AND USE FOR PHARMACY SEWER SERVICE.
- ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT.
- THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE TOWN SEWER DEPARTMENT.
- THE CONTRACTOR SHALL MAINTAIN WATER SERVICE TO USERS AT ALL TIMES. REQUIREMENTS BY THE TOWN WATER DEPARTMENT REGARDING NOTIFICATION FOR INTERRUPTION OF SERVICE SHOULD BE INCLUDED (TYPICALLY 24 HOURS) AND ALLOWABLE INTERRUPTION DURATION WATER TESTING AND DISINFECTION REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH TOWN AND MASSDEP REGULATIONS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.

GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-060-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- ALL DRAINAGE STRUCTURES AND OUTFALLS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SLUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H2O LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR AND PERMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL UNLESS OTHERWISE SPECIFIED.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDS AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDS AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

Michael Kerivan
 DATE: 9/23/14

F:\Land Projects\08176-Newburyport-Storey-Ave.dwg\08176-PLAN.dwg 9/23/2014 2:23:47 PM EDT

Design: BWG	Draft: GPC	Date: 4/9/14
Checked: WGM	Scale: AS NOTED	Project No.: 08176
Drawing Name: 08176-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
2	9/24/14	MODIFIED PER PLANNING REVIEW	GPC
1	9/10/14	REVISED SITE	BWG
0	4/9/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave.
 PO Box 219
 Strafford, NH 03885

603-772-4748
 FAX: 603-772-0227
 E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **GENERAL NOTES**

Project: **STOREY AVE DEVELOPMENT**
STOREY AVE, NEWBURYPORT, MA 09150

Applicant: **TROPIC STAR DEVELOPMENT, LLC**
321 D LAFAYETTE ROAD HAMPTON, NH 03842

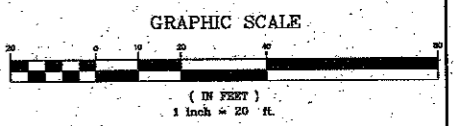
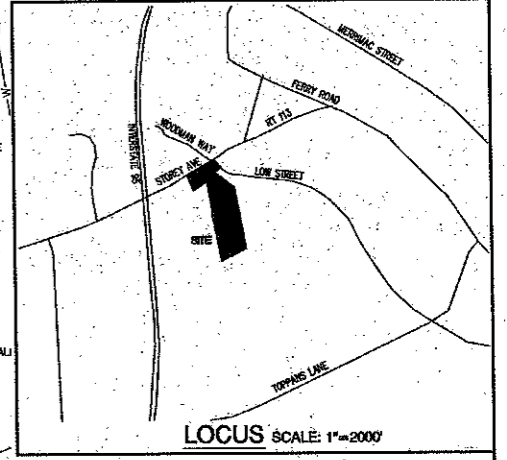
DRAWING No. **G1**

SHEET 2 OF 21
 JBE PROJECT NO. 08176

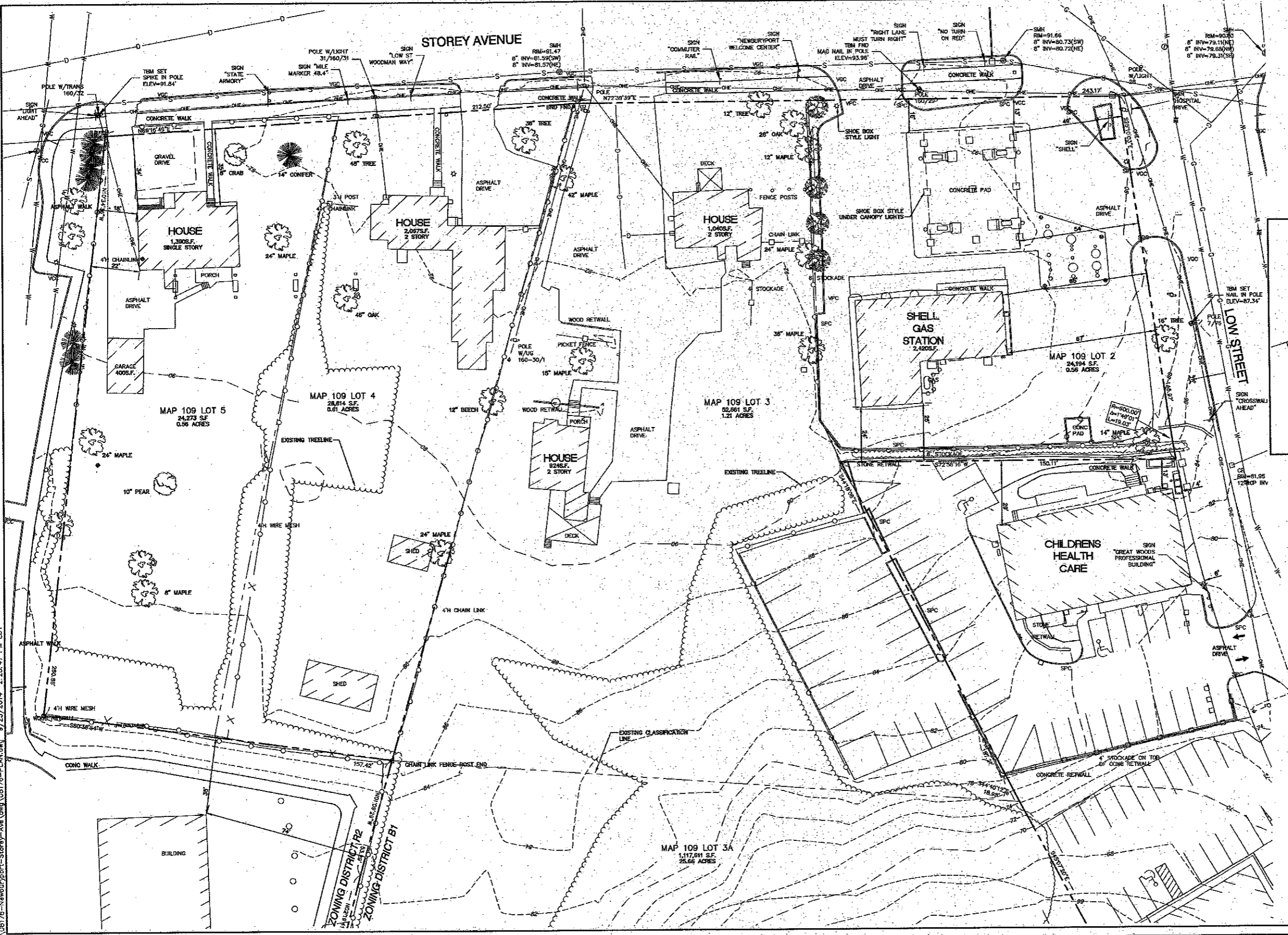
PROJECT NAME AND LOCATION: STOREY AVE, NEWBURYPORT, MA 09150

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.
MICHAEL KERVAN DATE: 9/24/14



PROJECT PARCEL TOWN OF NEWBURYPORT, MA TAX MAP 109 LOTS 2, 3, 4 & 5	
OWNER TAX MAP 109/LOT 2 PECTEN PROPERTIES LLC 281 LEDYARD STREET NEW LONDON, CT 06320 29309/0305	
TAX MAP 109/LOT 3 (SUBJECT) TAX MAP 109/LOT 3A, TAX MAP 08/LOT 22 (ABUTTING) ELEANOR WOODMAN 28 JACKMAN STREET GEORGETOWN, MA 01880 BK 5529/PG 883	
TAX MAP 109/LOT 4 TAX MAP 109/LOT 5 GERALD E. SWOFFORD DORIS A. SWOFFORD, TRUSTEE 162 IPSWICH ROAD BOXFORD, MA 01921 07006/0684 (LOT 4) 16942/0475 (LOT 5)	
TOTAL LOT AREA 1,245,393 SQ. FT. 28.59 ACRES	



Design: BWG Draft: GPC Date: 4/9/14
Checked: WGM Scale: AS-NOTED Project No.: 08176
Drawing Name: 08176-PLAN.dwg
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2	9/24/14	MODIFIED PER PLANNING REVIEW	GPC
1	9/10/14	REVISED SITE	BWG
0	4/9/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**
Project: **STOREY AVE DEVELOPMENT**
STOREY AVE, NEWBURYPORT, MA 09150
Applicant: **TROPIC STAR DEVELOPMENT, LLC**
321 D LAFAYETTE ROAD HAMPTON, NH 03842

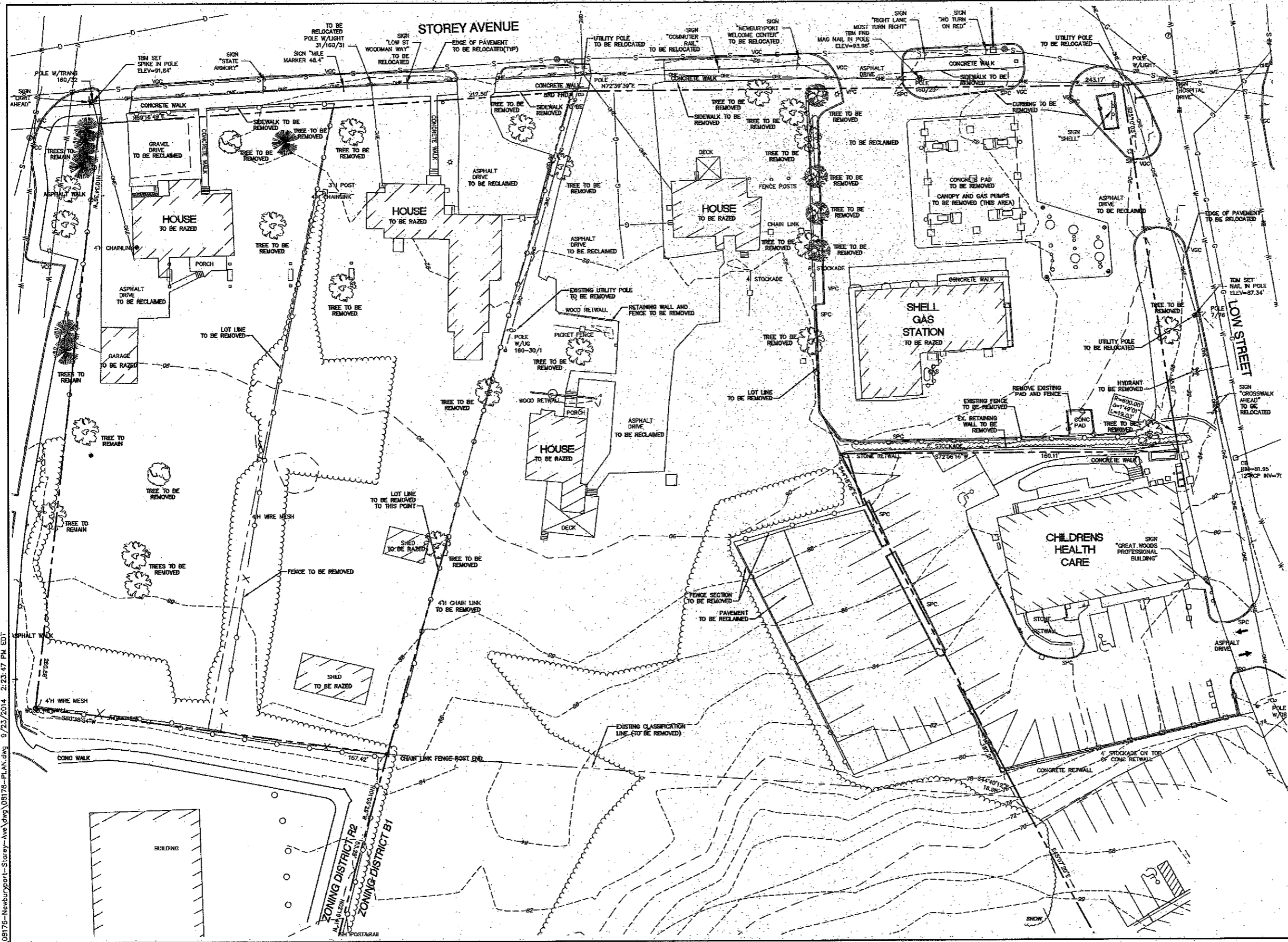
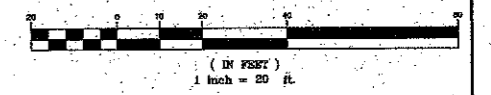
DRAWING No.
C1
SHEET 8 OF 21
JBE PROJECT NO. 08176

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 MICHAEL KERIVAN DATE: 9/23/14

GRAPHIC SCALE



PROJECT PARCEL TOWN OF NEWBURYPORT, MA TAX MAP 109 LOTS 2,3,4 & 5	
OWNER TAX MAP 109/LOT 2 PECTEN PROPERTIES LLC 281 LEDYARD STREET NEW LONDON, CT 06320 29308/0305	
TAX MAP 109/LOT 3 (SUBJECT) TAX MAP 109/LOT 3A, TAX MAP 98/LOT 22 (ABUTTING) ELEANOR WOODMAN 28 JACKMAN STREET GEORGETOWN, MA 01930 BK 5529/PG 883	
TAX MAP 109/LOT 4 TAX MAP 109/LOT 5 GERALD E. SWOFFORD DORIS A. SWOFFORD, TRUSTEE 182 IPSWICH ROAD BOXFORD, MA 01921 07006/0664 (LOT 4) 15942/0475 (LOT 5)	
TOTAL LOT AREA 1,245,883 SQ. FT. 28.88 ACRES	

Design: BWG Draft: GPC Date: 4/9/14
 Checked: WGM Scale: AS-NOTED Project No.: 08176
 Drawing Name: 08176-PLAN.dwg
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REV.	DATE	REVISION	BY
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1	8/10/14	REVISED SITE	BWG
0	4/9/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227
 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	DEMOLITION PLAN
Project:	STOREY AVE DEVELOPMENT STOREY AVE, NEWBURYPORT, MA 09150
Applicant:	TROPIC STAR DEVELOPMENT, LLC 321 D LAFAYETTE ROAD HAMPTON, NH 03842

DRAWING No.
DM1
 SHEET 4 OF 21
 JBE PROJECT NO. 08176

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Michael Kerrivan 9/24/14
MICHAEL KERRIVAN DATE:

MAP 109 LOT 39
REALTY INCOME CORPORATION
C/O MARVIN F. POER & COMPANY
PO BOX 52427
ATLANTA, GA 30355

MAP 109 LOT 40
MARKEL & HELENA SARDONIA, TRUSTEES
C/O SARDONIA DONUTS INC.
PO BOX 686
NEWBURYPORT, MA 01950

MAP 43 LOT 12
LINEAR RETAIL WH/1 LLC
C/O 7-ELEVEN INC.
ATTN: TAX DEPT 43428
PO BOX 711
DALLAS, TX 75221-0711

MAP 43 LOT 13
J C REPUGN, JR., TRS.
B C REPUGN, TRS.
LOW ST REALTY TRUST
253 LOW STREET, SUITE 2
NEWBURYPORT, MA 01950

MAP 109 LOT 2A
CHRISTOPHER REPUGN
LOW STREET REALTY TRUST
253 LOW STREET, SUITE 2
NEWBURYPORT, MA 01950

MAP 109 LOT 2B
EAST-WEST REALTY LLC
6 MORINO WAY
GEORGETOWN, MA 01833

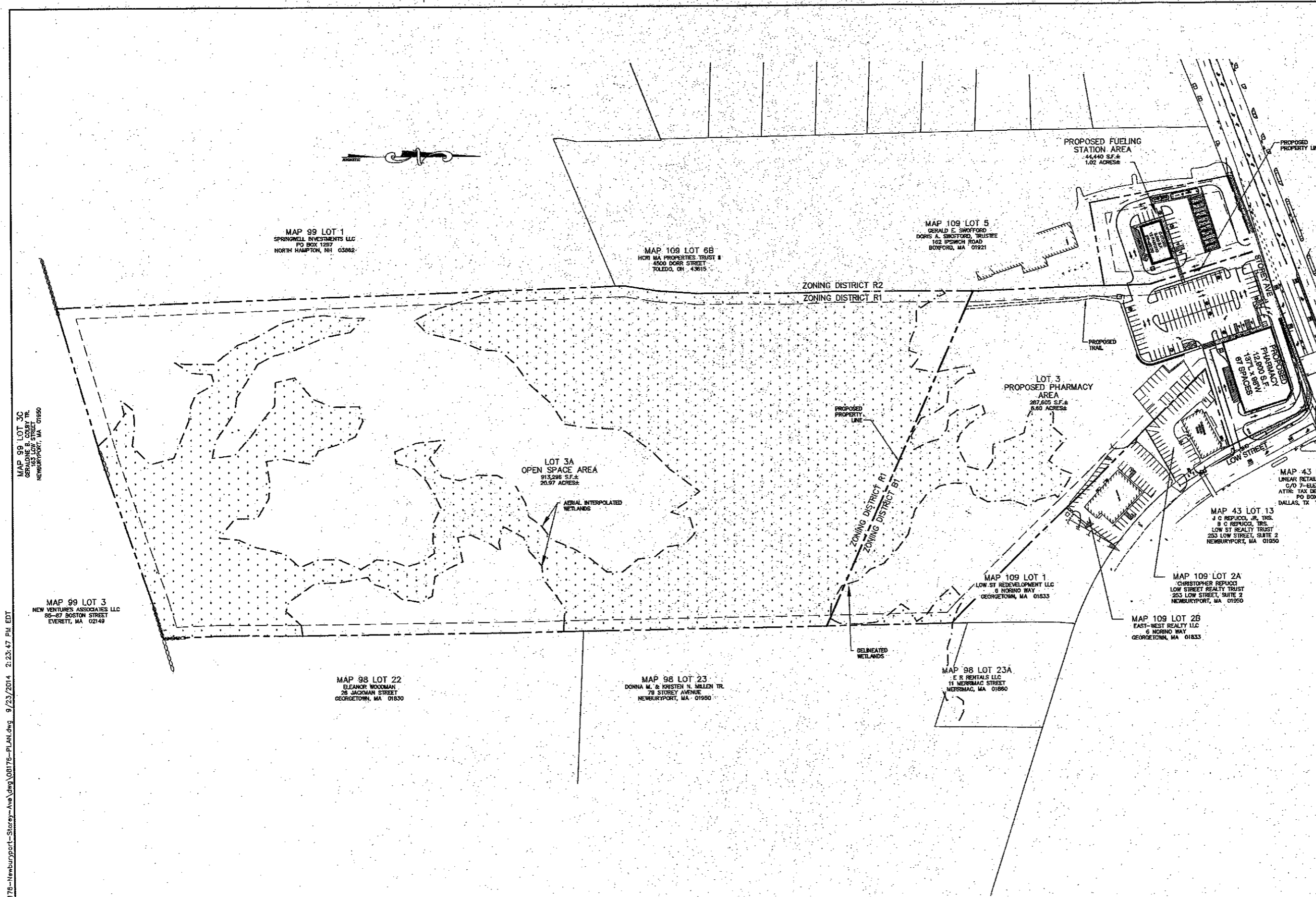
PROJECT PARCEL
TOWN OF NEWBURYPORT, MA
TAX MAP 109 LOTS 2, 3, 4 & 6

OWNER
TAX MAP 109/LOT 2
PECTEN PROPERTIES LLC
281 LEDYARD STREET
NEW LONDON, CT 06320
29309/0305

TAX MAP 109/LOT 3 (SUBJECT)
TAX MAP 109/LOT 3A,
TAX MAP 98/LOT 22 (ABUTTING)
ELEANOR WOODMAN
26 JACKMAN STREET
GEORGETOWN, MA 01830
BK 5529/P3 683

TAX MAP 109/LOT 4
TAX MAP 109/LOT 5
GERALD E. SWOFFORD
DORIS A. SWOFFORD, TRUSTEE
162 IPSWICH ROAD
BOXFORD, MA 01921
07009/0684 (LOT 4)
15942/0475 (LOT 5)

TOTAL LOT AREA
1,245,859 SQ. FT.
28.59 ACRES



MAP 99 LOT 3C
GERALDINE B. COLBY TR.
183 LOW STREET
NEWBURYPORT, MA 01950

MAP 99 LOT 3
NEW VENTURES ASSOCIATES LLC
95-87 BOSTON STREET
EVERETT, MA 02149

MAP 99 LOT 1
SPRINGWELL INVESTMENTS LLC
PO BOX 1287
NORTH HAMPTON, NH 03862

MAP 109 LOT 6B
HCR MA PROPERTIES TRUST II
4506 DORR STREET
TOLEDO, OH 43615

MAP 109 LOT 5
GERALD E. SWOFFORD
DORIS A. SWOFFORD, TRUSTEE
162 IPSWICH ROAD
BOXFORD, MA 01921

LOT 3A
OPEN SPACE AREA
913,296 S.F.±
26.97 ACRES±

LOT 3
PROPOSED PHARMACY
AREA
267,605 S.F.±
6.00 ACRES±

MAP 109 LOT 1
LOW ST REDEVELOPMENT LLC
8 MORINO WAY
GEORGETOWN, MA 01833

MAP 98 LOT 22
ELEANOR WOODMAN
26 JACKMAN STREET
GEORGETOWN, MA 01830

MAP 98 LOT 23
DONNA M. & KRISTEN N. MILLEN TR.
78 STOREY AVENUE
NEWBURYPORT, MA 01950

MAP 98 LOT 23A
E R RENTALS LLC
11 MERRIMAC STREET
MERRIMAC, MA 01860

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Design: BWG Draft: GPC Date: 4/9/14
Checked: WGM Scale: AS-NOTED Project No.: 08178
Drawing Name: 08178-PLAN.dwg
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REV.	DATE	REVISION	BY
2	9/24/14	MODIFIED PER PLANNING REVIEW	GPC
1	9/10/14	REVISED SITE	BWG
0	4/9/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

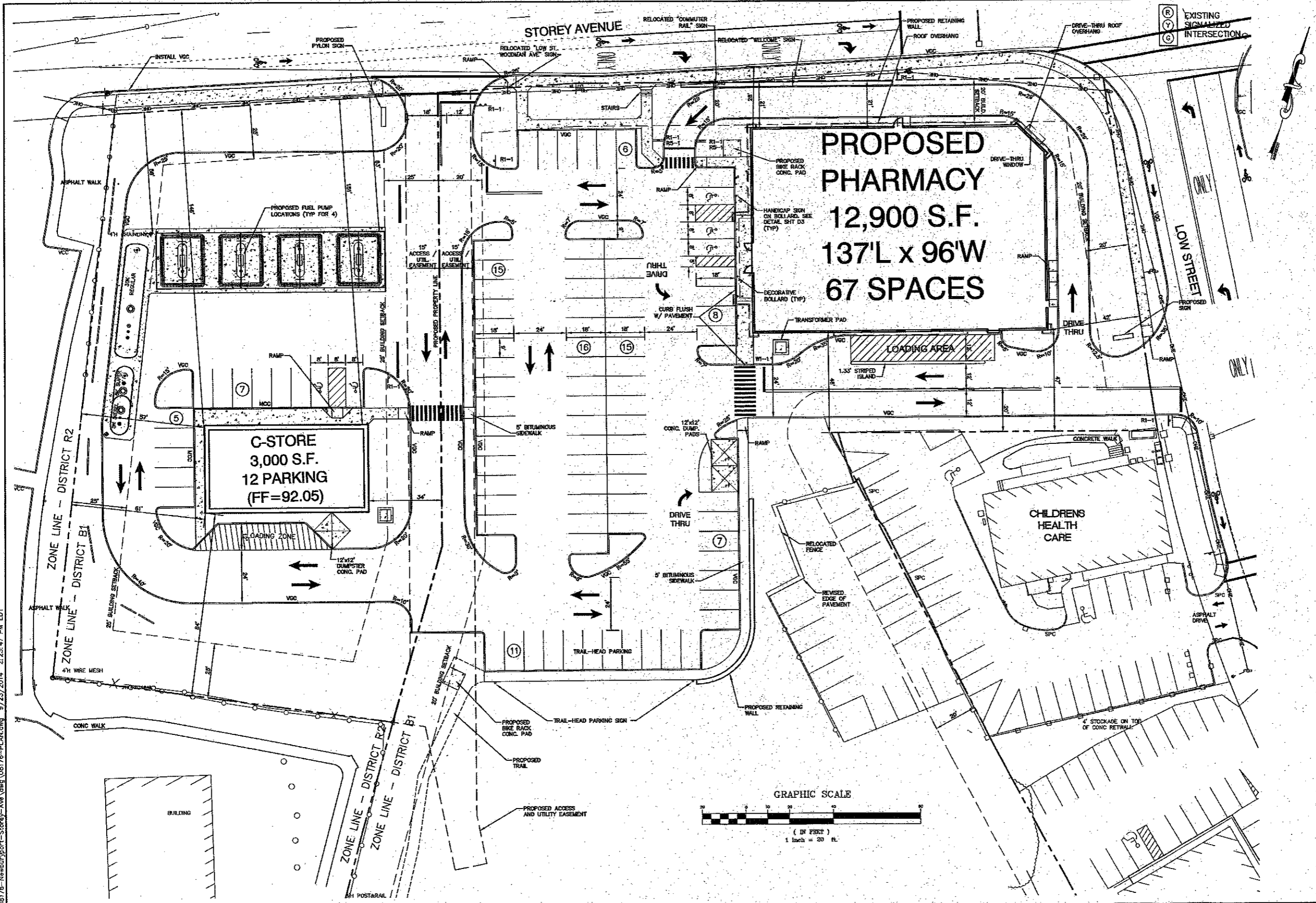
Plan Name: **OVERALL SITE PLAN**

Project: **STOREY AVE DEVELOPMENT**
STOREY AVE, NEWBURYPORT, MA 09150

Applicant: **TROPIC STAR DEVELOPMENT, LLC**
321 D LAFAYETTE ROAD HAMPTON, NH 03842

DRAWING No.
C2-1

SHEET 3 OF 21
JBE PROJECT NO. 08178



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 MICHAEL KERIVAN DATE: 9/24/14

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PROJECT PARCEL
 TOWN OF NEWBURYPORT, MA
 TAX MAP 109 LOTS 2,3,4 & 5

OWNER
 TAX MAP 109/LOT 2
 PECTEN PROPERTIES LLC
 281 LEDYARD STREET
 NEW LONDON, CT 06320
 29308/0805

TAX MAP 109/LOT 3 (SUBJECT)
 TAX MAP 98/LOT 22 (ABUTTING)
 ELEANOR WOODMAN
 28 JACKMAN STREET
 GEORGETOWN, MA 01830
 BK 5529/PG 683

TAX MAP 109/LOT 4
TAX MAP 109/LOT 5
 GERALD E. SWOFFORD
 DORIS A. SWOFFORD, TRUSTEE
 162 IPSWICH ROAD
 BOXFORD, MA 01821
 07006/0884 (LOT 4)
 15942/0475 (LOT 5)

TOTAL LOT AREA
 1,246,888 SQ. FT.
 28.58 ACRES

Design: BWG Draft: GPC Date: 4/9/14
 Checked: WGM Scale: AS-NOTED Project No.: 08178
 Drawing Name: 08178-PLAN.dwg

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REV.	DATE	REVISION	BY
2	9/24/14	MODIFIED PER PLANNING REVIEW	GPC
1	9/10/14	REVISED SITE	BWG
0	4/9/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

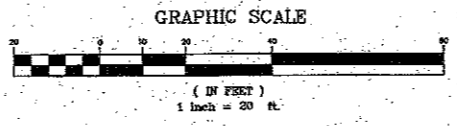
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services

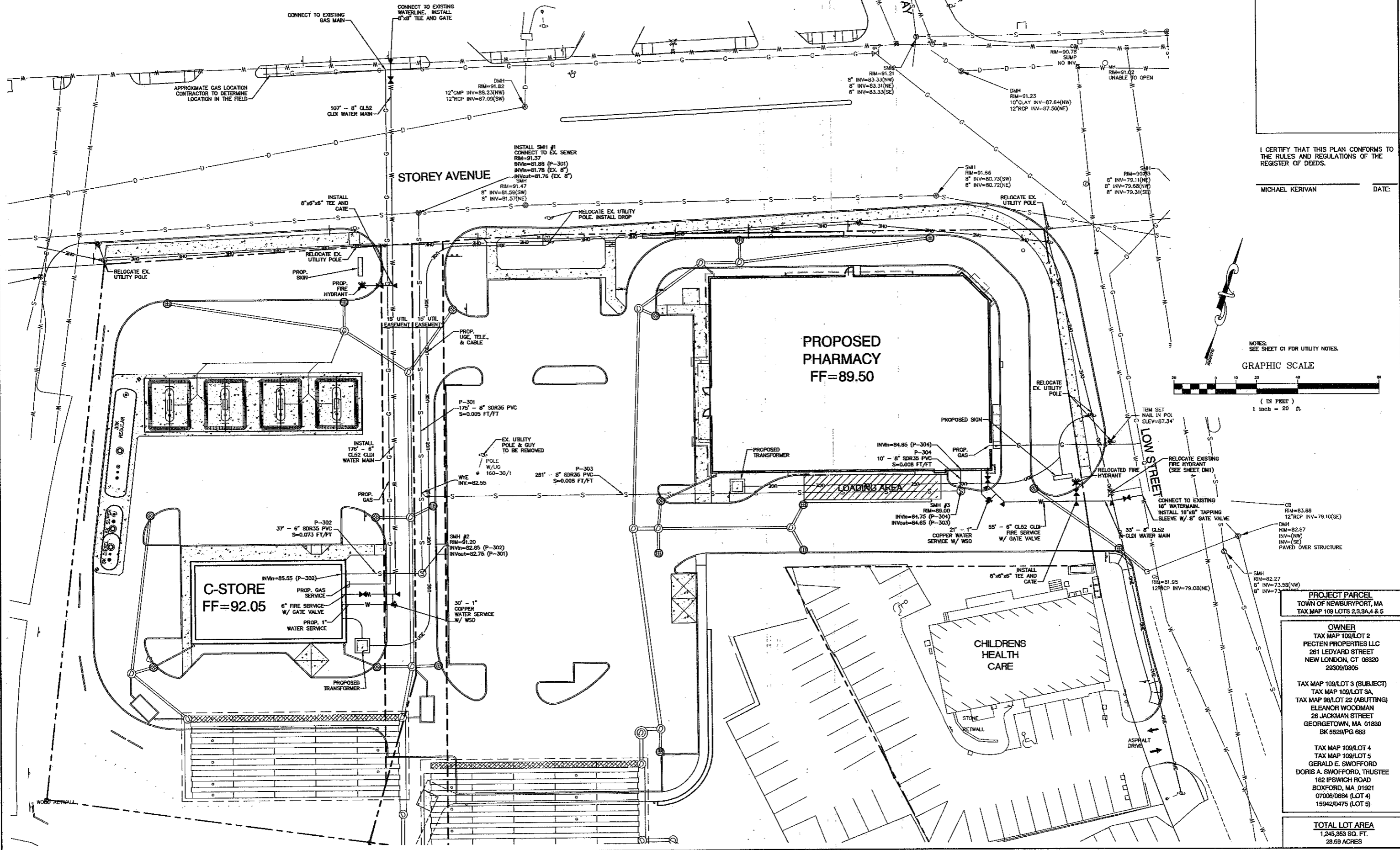
85 Portsmouth Ave.
 PO Box 219
 Stratham, NH 03885

603-772-4748
 FAX: 603-772-0227
 E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**
 Project: **STOREY AVE DEVELOPMENT**
STOREY AVE, NEWBURYPORT, MA 09150
 Applicant: **TROPIC STAR DEVELOPMENT, LLC**
321 D LAFAYETTE ROAD HAMPTON, NH 03842

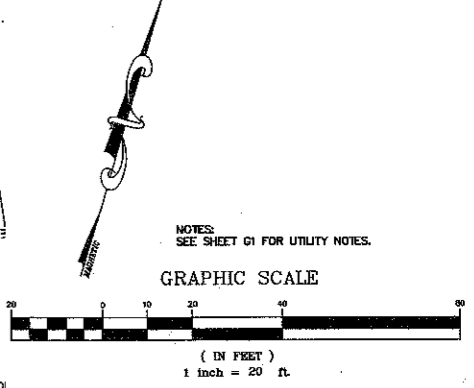
DRAWING No.
C2-2
 SHEET 6 OF 21
 JBE PROJECT NO. 08178





I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

MICHAEL KERIVAN DATE:



PROJECT PARCEL
TOWN OF NEWBURYPORT, MA
TAX MAP 109 LOTS 2,3,3A,4 & 5

OWNER
TAX MAP 108/LOT 2
PECTEN PROPERTIES LLC
281 LEDYARD STREET
NEW LONDON, CT 06320
28309/0805

TAX MAP 109/LOT 3 (SUBJECT)
TAX MAP 109/LOT 3A,
TAX MAP 98/LOT 22 (ABUTTING)
ELEANOR WOODMAN
26 JACKMAN STREET
GEORGETOWN, MA 01830
BK 5529/PG 683

TAX MAP 109/LOT 4
TAX MAP 109/LOT 5
GERALD E. SWOFFORD
DORIS A. SWOFFORD, TRUSTEE
162 IPSWICH ROAD
BOXFORD, MA 01921
07008/0884 (LOT 4)
15942/0475 (LOT 5)

TOTAL LOT AREA
1,245,363 SQ. FT.
28.59 ACRES

Design: BWS Draft: GPC Date: 4/9/14
Checked: WGN Scale: AS-NOTED Project No.: 08176
Drawing Name: 08176-PLAN.dwg
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REV.	DATE	REVISION	BY
3	09/26/14	REVISED PER TOWN COMMENTS	BWG
2	9/24/14	MODIFIED PER PLANNING REVIEW	GPC
1	9/10/14	REVISED SITE	BWG
0	4/9/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

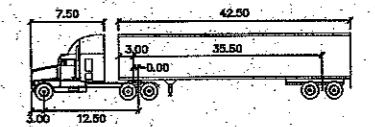
603-772-4746
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **UTILITY PLAN**
Project: **STOREY AVE DEVELOPMENT
STOREY AVE, NEWBURYPORT, MA 09150**
Applicant: **TROPIC STAR DEVELOPMENT, LLC
321 D LAFAYETTE ROAD HAMPTON, NH 03842**

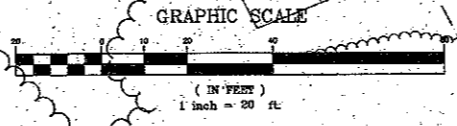
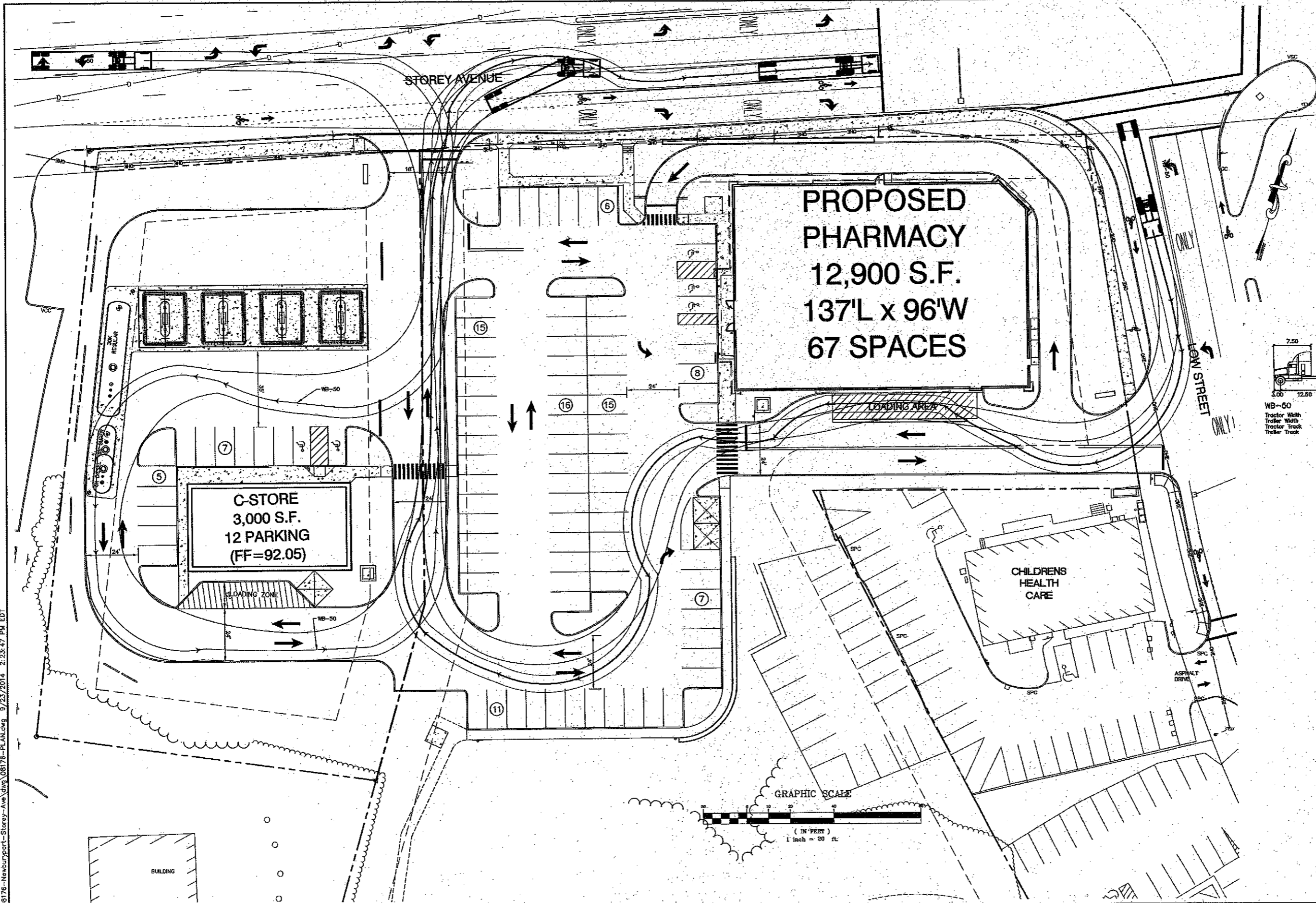
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C4
SHEET 8 OF 21
JBE PROJECT NO. 08176

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 MICHAEL KERVAN DATE: 9/24/14



WB-50	feet	Lock to Lock Time	: 8.00
Tractor Width	: 8.00	Steering Angle	: 17.70
Trailer Width	: 8.50	Articulating Angle	: 70.00
Tractor Track	: 8.00		
Trailer Track	: 8.50		



PROJECT PARCEL TOWN OF NEWBURYPORT, MA TAX MAP 108 LOTS 2,3,4 & 5
OWNER TAX MAP 108/LOT 2 PECTEN PROPERTIES LLC 281 LEDYARD STREET NEW LONDON, CT 06320 28309/0305
TAX MAP 108/LOT 3 (SUBJECT) TAX MAP 109/LOT 3A, TAX MAP 88/LOT 22 (ABUTTING) ELEANOR WOODMAN 28 JACKMAN STREET GEORGETOWN, MA 01830 BK 6520/PG 663
TAX MAP 108/LOT 4 TAX MAP 109/LOT 5 GERALD E. SWOFFORD DORIS A. SWOFFORD, TRUSTEE 162 IPSWICH ROAD BOXFORD, MA. 01921 07006/0664 (LOT 4) 15942/0475 (LOT 5)
TOTAL LOT AREA 1,245,353 SQ. FT. 28.59 ACRES

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Design: BWG Draft: GPC Date: 4/9/14
 Checked: YGM Scale: AS-NOTED Project No.: 08176
 Drawing Name: 08176-PLAN.dwg
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1	9/10/14	REVISED SITE	BIWG
0	4/9/14	ISSUED FOR REVIEW	GPC

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave.
 PO Box 219
 Stratham, NH 03885
 603-772-4748
 FAX: 603-772-0227
 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	TURNING MOVEMENT PLAN
Project:	STOREY AVE DEVELOPMENT STOREY AVE, NEWBURYPORT, MA 09150
Applicant:	TROPIC STAR DEVELOPMENT, LLC 321 D LAFAYETTE ROAD HAMPTON, NH 03842

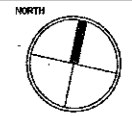
DRAWING No.
C5
 SHEET 9 OF 21
 JBE PROJECT NO. 08176

**STOREY AVENUE RETAIL
DEVELOPMENT
NEWBURYPORT, MASSACHUSETTS**

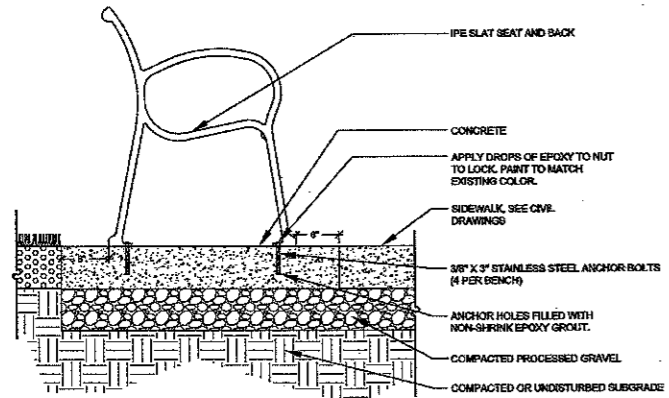
**Landscape
Details**

REV. NO.	REV. DATE	REVISION DESCRIPTION
0	9/17/14	ISSUED FOR CITY REVIEW
1		
2		
3		
4		
5		
6		

IRONWOOD PROJECT NO. 15066-0-0
SCALE AS NOTED
DRAWN BY ED, KW
CHECKED BY JRH
DATE APRIL 7, 2014
GRAPHIC SCALE



L2

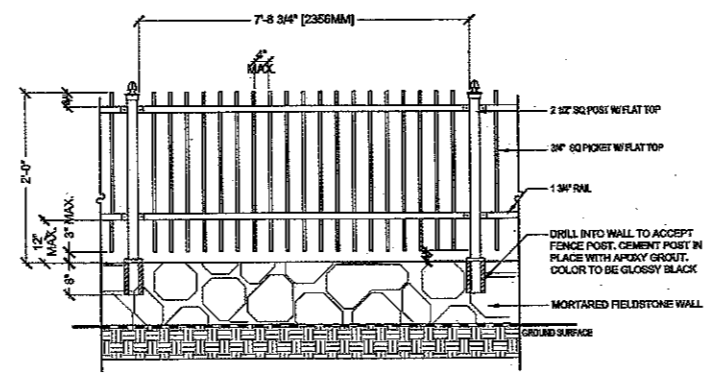


NOTES:
1. FLAMWELL BENCH MANUFACTURED BY LANDSCAPE FORMS INC.
2. ALL METAL TO BE FINISHED WITH A POLYESTER POWDER COAT-BLACK.
3. ALL WELDS CONTINUOUS THEN GROUND SMOOTH.

Bench

Not to Scale

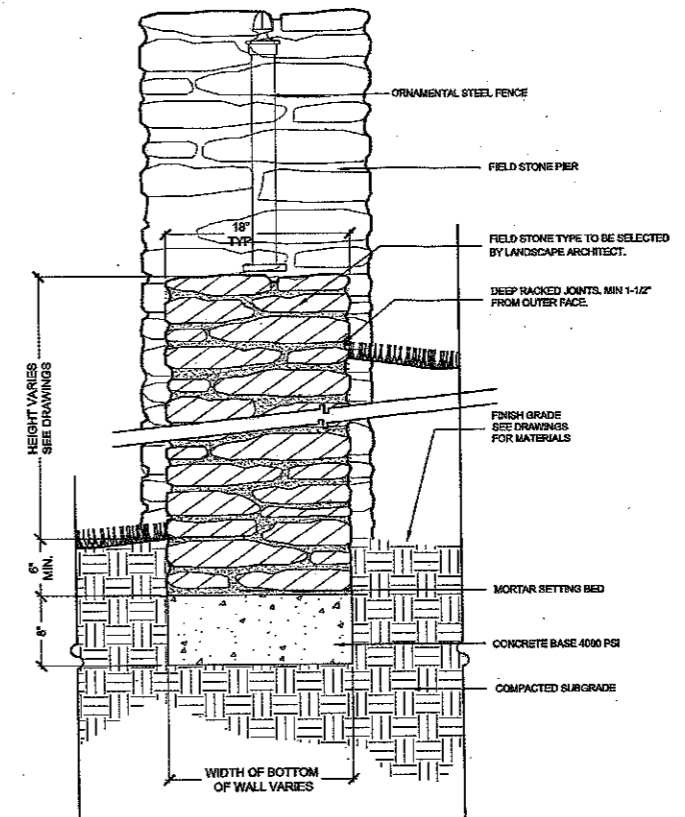
©IRONWOOD 2014 **1**
L2



Ornamental Steel Fence on Wall

Not to Scale

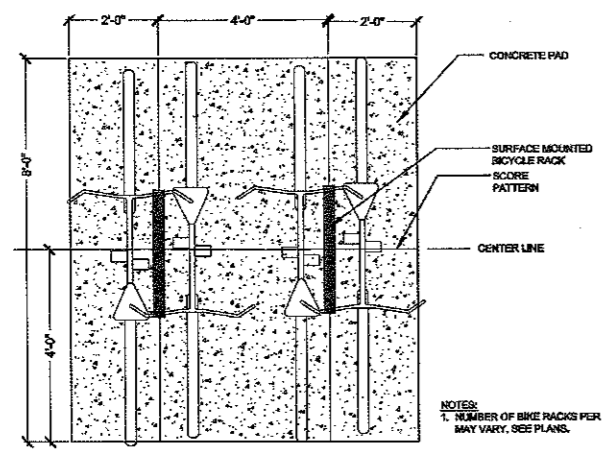
©IRONWOOD 2014 **2**
L2



Fieldstone Wall and Pier

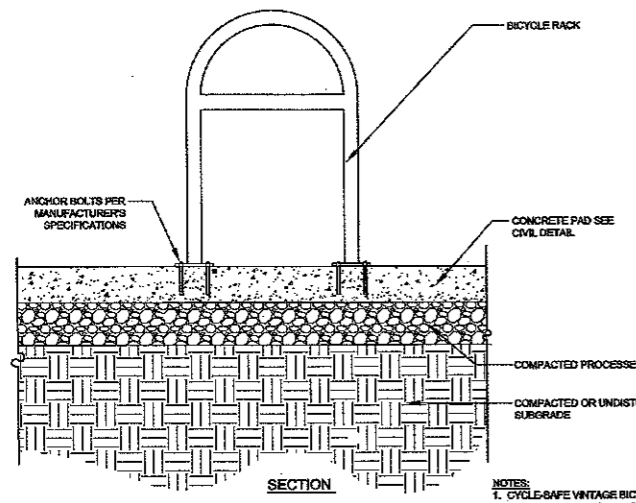
Not to Scale

©IRONWOOD 2014 **3**
L2



PLAN

NOTES:
1. NUMBER OF BIKE RACKS PER GROUPING MAY VARY. SEE PLANS.



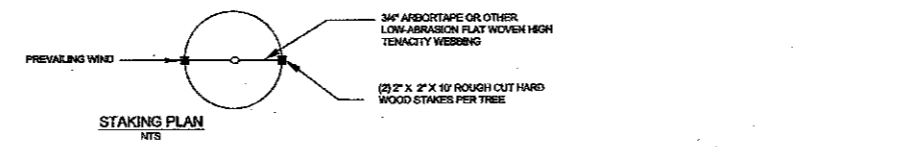
SECTION

NOTES:
1. CYCLE-SAFE VINTAGE BICYCLE RACKS, STYLE "THE PLIMOUTH" OR EQUAL.
2. ALL METAL TO BE FINISHED WITH A POLYESTER POWDER COAT-BLACK.

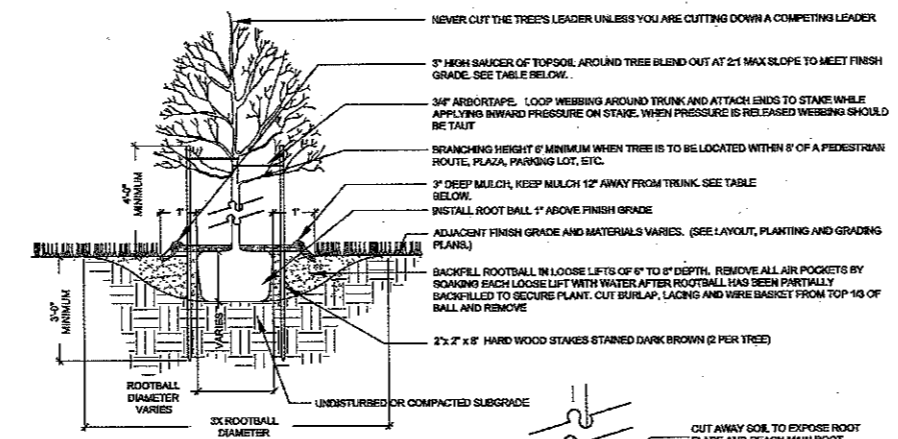
Bicycle Rack Grouping

Not to Scale

©IRONWOOD 2014 **4**
L2



STAKING PLAN

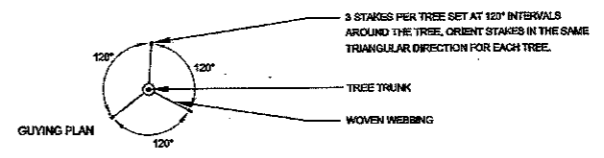


NOTE:
ORIENT TREE IN THE SAME RELATIONSHIP TO NORTH IN WHICH IT WAS GROWN IN THE NURSERY TO MINIMIZE THE POTENTIAL FOR BARK SCALE. TREES SHALL BE DELIVERED WITH SOME FORM OF NORTH DEMARCATOR.

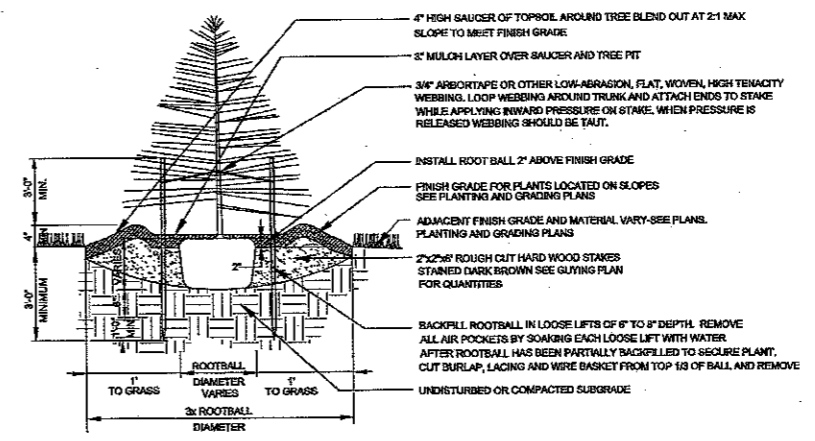
Tree (Deciduous Shade and Flowering)

Not to Scale

©IRONWOOD 2014 **5**
L2



GUYING PLAN



Evergreen Planting Detail

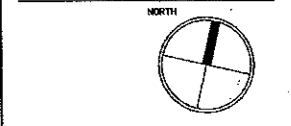
Not to Scale

©IRONWOOD 2014 **6**
L2

**STOREY AVENUE RETAIL
DEVELOPMENT
NEWBURYPORT, MASSACHUSETTS**

**Landscape
Details and
Notes**

0	2/17/14	ISSUED FOR CITY REVIEW
1		
2		
3		
4		
5		
REV. NO.	REV. DATE	REVISION DESCRIPTION
IRONWOOD PROJECT NO.	13066.0.0	
SCALE	AS NOTED	
DRAWN BY	ED, KW	
CHECKED BY	JRH	
DATE	APRIL 7, 2014	
GRAPHIC SCALE		



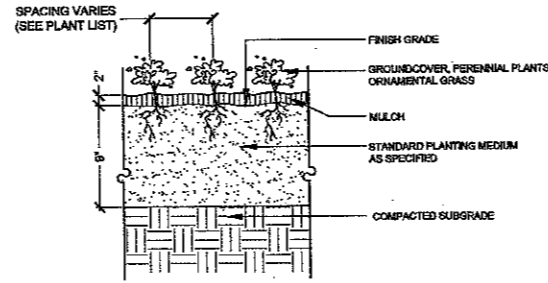
L3
©2014 Ironwood design group, LLC

GENERAL NOTES:

- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL UTILITIES ABOVE GRADE, AT GRADE, AND UNDERGROUND INCLUDING UTILITY PIPES AND STRUCTURES. THE CONTRACTOR SHALL VERIFY WITH THE UTILITY COMPANIES THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR THE COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF ALL UTILITIES ON SITE. THE CONTRACTOR SHALL CONTACT DIS-GAS AND NECESSARY OWNER DEPARTMENTS TO FIELD LOCATE ALL UTILITIES BEFORE STARTING WORK.
- THE LIMIT OF WORK LINE REPRESENTS THE CONTRACT LIMIT LINE. THE CONTRACT LIMIT LINE SHALL BE AT THE LIMIT NECESSARY FOR IMPROVEMENTS AND PLANTINGS AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL NOT DO ANY WORK BEYOND THE CONTRACT EXCEPT AS SHOWN ON THE DRAWINGS AND AUTHORIZED BY THE RESPECTIVE AUTHORITY. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR THE COST INCURRED DUE TO REPLACEMENT OF WORK DONE BEYOND THE CONTRACT LIMIT AND REPLACEMENT FOR WORK DONE WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE COORDINATION TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.
- ALL NOTES SHALL BE APPLICABLE TO ALL DRAWINGS.
- CONTRACTOR SHALL SUPPLY AND MAINTAIN FOR THE DURATION OF CONSTRUCTION ALL NECESSARY DEVICES FOR EROSION, SEDIMENT AND DUST CONTROL, SUCH AS HAY BALES, GRAVEL, BOARDS, ETC., INCLUDING THOSE DEVICES NECESSARY FOR STOCKPILES AND PROTECTION OF ADJACENT PUBLIC WAYS, AND SHALL REMOVE THE DEVICES AFTER PROJECT COMPLETION.
- REPAIR OR REMOVE AND REPLACE DEFECTIVE CONSTRUCTION, RESTORE DAMAGED SUBSTRATES AND FINISHES. REPAIRING INCLUDES REPLACING DEFECTIVE PARTS, REFINISHING DAMAGED SURFACES, TOUCHING UP WITH MATCHING MATERIALS, AND PROPERLY ADJUSTING OPERATING EQUIPMENT. RESTORE PERMANENT FACILITIES USED DURING CONSTRUCTION TO THEIR SPECIFIED CONDITION. REMOVE AND REPLACE DAMAGED SURFACES THAT ARE EXPOSED TO VIEW IF SURFACES CANNOT BE REPAIRED WITHOUT VISIBLE EVIDENCE OF REPAIR. REPAIR COMPONENTS THAT DO NOT OPERATE PROPERLY. REMOVE AND REPLACE OPERATING COMPONENTS THAT CANNOT BE REPAIRED.
- FINAL CLEANING: USE CLEANING MATERIALS AND AGENTS RECOMMENDED BY MANUFACTURER OR FABRICATOR OF THE SURFACE TO BE CLEANED. DO NOT USE CLEANING AGENTS THAT ARE POTENTIALLY HAZARDOUS TO HEALTH OR PROPERTY OR THAT MIGHT DAMAGE FINISHED SURFACES. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLY WITH SAFETY STANDARDS FOR CLEANING, CONDUCT CLEANING AND WASTE-REMOVAL OPERATIONS TO COMPLY WITH LOCAL LAWS AND ORDINANCES AND FEDERAL AND LOCAL ENVIRONMENTAL AND ANTI-POLLUTION REGULATIONS. DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, FLAMMABLE, OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM PROJECT SITE AND DISPOSE OF LAWFULLY. COMPLETE THE FOLLOWING CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF FINAL ACCEPTANCE FOR ENTIRE PROJECT OR FOR A PORTION OF PROJECT:
 - CLEAN PROJECT SITE, YARD, AND GROUNDS, IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, OF RUBBISH, WASTE MATERIAL, LITTER, AND OTHER FOREIGN SUBSTANCES.
 - SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETROCHEMICAL SPILLS, STAINS, AND OTHER FOREIGN DEPOSITS.
 - RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED TO A SMOOTH, EVEN-TEXTURED SURFACE.
 - REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIAL FROM PROJECT SITE.
 - REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO BUILDING.
 - CLEAN EXPOSED HARD-SURFACES FINISHED TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS, AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES. RESTORE REFLECTIVE SURFACES TO THEIR ORIGINAL CONDITION.
 - REMOVE LABELS THAT ARE NOT PERMANENT.
 - TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARRED, EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CANNOT BE SATISFACTORILY REPAIRED OR RESTORED OR THAT ALREADY SHOW EVIDENCE OF REPAIR OR RESTORATION.
- ALL CONDITIONS DEPICTED ON THE PLANS AND DETAILS SHALL REMAIN IN EFFECT IN PERPETUITY.

PLANTING NOTES:

- ALL GENERAL NOTES SHALL BE INCLUDED AS PART OF THE PLANTING NOTES.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LINE LOCATIONS PRIOR TO PLANTING, AND SHALL REPORT ANY CONFLICT TO THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION LATEST EDITION.
- THE CONTRACTOR SHALL STATE THE LOCATION OF ALL THE PROPOSED PLANT MATERIAL FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. NO PLANTS SHALL BE PLANTED BEFORE THE ACCEPTANCE OF ROUGH GRADING. THE BASE OF THE FLARE OF THE TREE TRUNK SHALL BE EXPOSED, IF NECESSARY, AND PLACED 2" ABOVE FINISH GRADE.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES WILL BE PLANTS WITH EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER COLOR, LEAF COLOR, FRUIT COLOR, AND TIME OF BLOOM, AS APPROVED BY THE LANDSCAPE ARCHITECT.
- EXISTING LOAM: STOCKPILING OF EXISTING LOAM IS SPECIFIED ELSEWHERE. REMOVE CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND OTHER FOREIGN MATERIALS.
- ADDITIONAL LOAM: IF STOCKPILED LOAM QUANTITY IS INSUFFICIENT, PROVIDE LOAM, WHICH IS A "FINE SANDY LOAM", OR A "SANDY LOAM" DETERMINED BY MECHANICAL ANALYSIS AND BASED ON THE "U.S.D.A. CLASSIFICATION SYSTEM". IT SHALL BE OF UNIFORM COMPOSITION, WITHOUT ADDITURE OF SUBSOIL. LOAM SHALL HAVE AN ACIDITY RANGE OF PH 6.0 TO PH 7.0 AND SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 10% ORGANIC MATTER AS DETERMINED BY THE LOSS OF IGNITION OF OVEN-DRYED SAMPLES. PROVIDE NATURALLY OCCURRING LOAM WHICH IS FERTILE, FRABLE, AND FREE FROM SUBSOIL, CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND OTHER FOREIGN MATERIALS.
- MULCHES: PROVIDE PARTIALLY DECOMPOSED (MINIMUM SIX-MONTH AGED), FINELY SHREDDED FINE BARK MULCH. MULCH SHALL BE A DARK BROWN COLOR AND FREE OF WEEDS, EXCESSIVELY FINE PARTICLES, STRINGY MATERIAL, AND CHUNKS OF WOOD THICKER THAN 1/2". PROVIDE BARK MULCH APPROVED BY LANDSCAPE ARCHITECT. APPLY TACKIFIED MULCH TO ALL SEEDER AREAS.
- ALL PLANTS SHALL BE PLUM VERTICALLY AFTER SETTLING.
- ALL PLANT MATERIAL SHALL BE MULCHED WITH A THREE INCH THICK LAYER OF MULCH AFTER PLANTING.
- BACKFILLING: UNLESS OTHERWISE INDICATED, DICTATED BY CONDITIONS AT THE SITE, AND DIRECTED BY LANDSCAPE ARCHITECT, BACKFILL SHALL CONSIST OF UNAMENDED SOIL EXCAVATED FROM THE PLANTING PIT. BACKFILL IN 3-4" LAYERS AND CONSOLIDATE EACH LAYER WITH WATER TO ELIMINATE VOIDS AND AIR POCKETS BEFORE PLACING ON SUBSEQUENT LAYERS. CONTINUE UNTIL BACKFILL HAS REACHED FINISHED GRADE. WATER THOROUGHLY WHEN EXCAVATION IS BACK FILLED AND CONTINUE WATERING UNTIL SATURATED. IF EXISTING UNAMENDED SOIL IS NOT ACCEPTED, PROVIDE PLANTING SOIL MIXTURE CONSISTING OF 7 PARTS LOAM AND 1 PART HUMUS. MIX QUANTITY OF FERTILIZER AND SOIL AMENDMENTS AS RECOMMENDED BY SOIL ANALYSIS AND APPROVED BY THE LANDSCAPE ARCHITECT.
- WATERING: FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.
- LOADING: LOOSEN SUBGRADE AND EXISTING LOAM AREAS BY DISCING OR ROTOTILLING TO MINIMUM DEPTH OF 6". REMOVE STONES GREATER THAN 2" AND ALL RUBBISH AND DEBRIS. PLACE LOAM IN TWO EQUAL LOTS MIXING. FIRST APPLICATION INTO LOOSENED SUBGRADE THEN PLACE SECOND LOT TO BRING LOAM AFTER SETTLING AND COMPACTING TO THE LINES AND GRADES SHOWN IN THE CONTRACT DOCUMENTS, TO A MINIMUM DEPTH OF 6". DO NOT HANDLE LOAM OR SUBSOIL IF IT IS WET OR FROZEN.
- AFTER LOAM HAS BEEN SPREAD, IT SHALL BE CAREFULLY PREPARED BY SCARIFYING AND HAND RAKING. ALL LARGE STEEP CLODS, LUMPS, BRUSH, ROOTS, STUMPS, LITTER AND OTHER FOREIGN MATTER, AND STONES OVER ONE INCH IN DIAMETER SHALL BE REMOVED FROM THE LOAM. LOAM SHALL ALSO BE FREE OF SMALLER STONES IN EXCESSIVE QUANTITIES AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- FINE GRADING: SET SUFFICIENT GRADE STAKES FOR CHECKING THE FINISHED GRADES. STAKES MUST BE SET AT THE BOTTOM AND TOP OF SLOPES. GRADES SHALL BE ESTABLISHED WHICH ARE ACCURATE TO 1/10TH OF A FOOT EITHER WAY. CONNECT CONTOURS AND SPOT ELEVATIONS WITH AN EVEN SLOPE. ALL GRADING WILL INSURE DRAINAGE AWAY FROM STRUCTURES.
- FINE GRADE SEDED AREAS TO SMOOTH, FREE DRAINING, EVEN SURFACES WITH FINE TEXTURE. ROLL, RAKE AND DRAIN SEDED AREAS TO FLATTEN RIDGES AND FILL DEPRESSIONS, EXCEPT AT ANY SELECT AREAS SHOWN ON THE DRAWINGS. CONTROL MOISTURE CONTENT TO MAINTAIN OPTIMUM CONDITIONS, BUT DO NOT CREATE A MUDDY CONDITION.
- ROLLING - TYPICAL: ROLL THE ENTIRE AREA WITH A HAND ROLLER WEIGHING NOT MORE THAN 100 POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM AND THE SURFACES SHALL BE REGRADDED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REGULATED GRADE OR TO THE SHAPES AND CONFIGURATIONS AS SHOWN ON THE DETAILS.
- LIMIT OF WORK LINE SHALL BE LIMIT OF SEEDING AND SODDING UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL AREAS DISTURBED OUTSIDE THE LIMIT OF WORK SHALL BE SEDED OR SODDED AS INDICATED ON THE DRAWINGS.
- IN CASE OF DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THE QUANTITIES SHOWN ON THE PLANTING PLAN, THE QUANTITIES ON THE PLANTING PLAN SHALL BE PROVIDED.
- IF WITHIN THE PROTECTED SHORELAND THE FOLLOWING RESTRICTIONS SHALL APPLY: NO FERTILIZER, EXCEPT LIMESTONE, SHALL BE USED WITHIN 25 FEET OF THE REFERENCE LINE OF ANY PROPERTY. TWENTY-FIVE FEET BEYOND THE REFERENCE LINE, LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER OR LIMESTONE, MAY BE USED ON LAWN OR AREAS WITH GRASS.

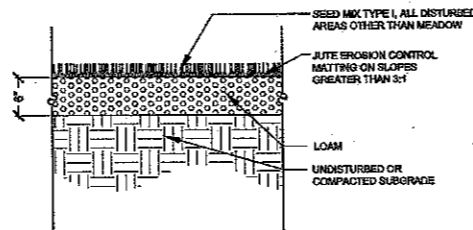


Groundcover / Perennial Planting

Not to Scale

IRONWOOD 2014

1
L3

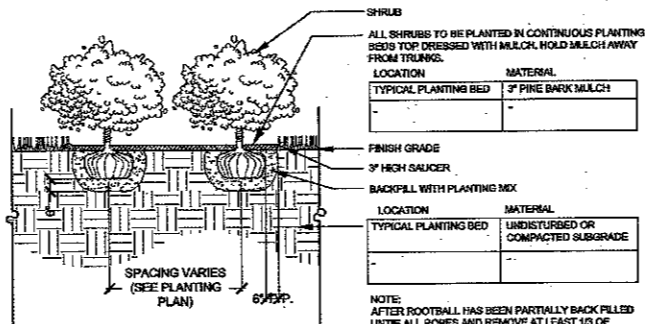


Loam and Turf Seed Mix

Not to Scale

IRONWOOD 2014

2
L3

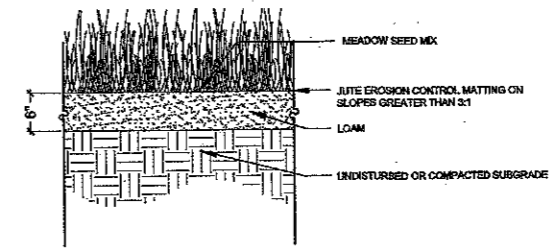


Shrub Planting

Not to Scale

IRONWOOD 2014

3
L3

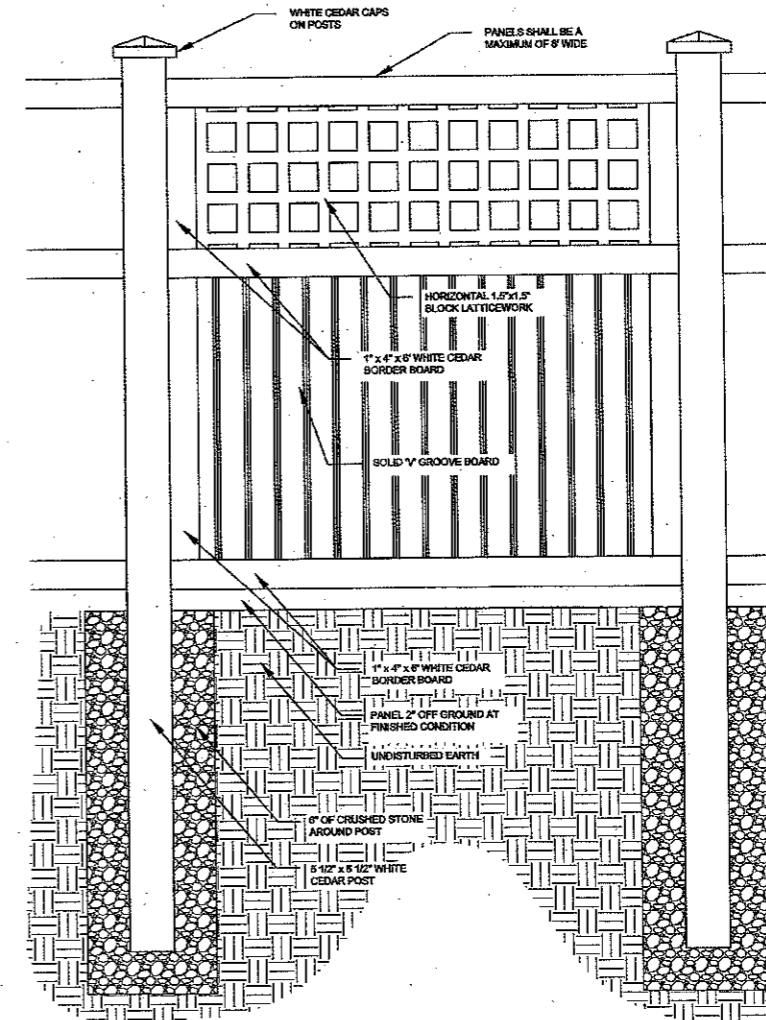


Loam and Meadow Seed Mix

Not to Scale

IRONWOOD 2014

4
L3

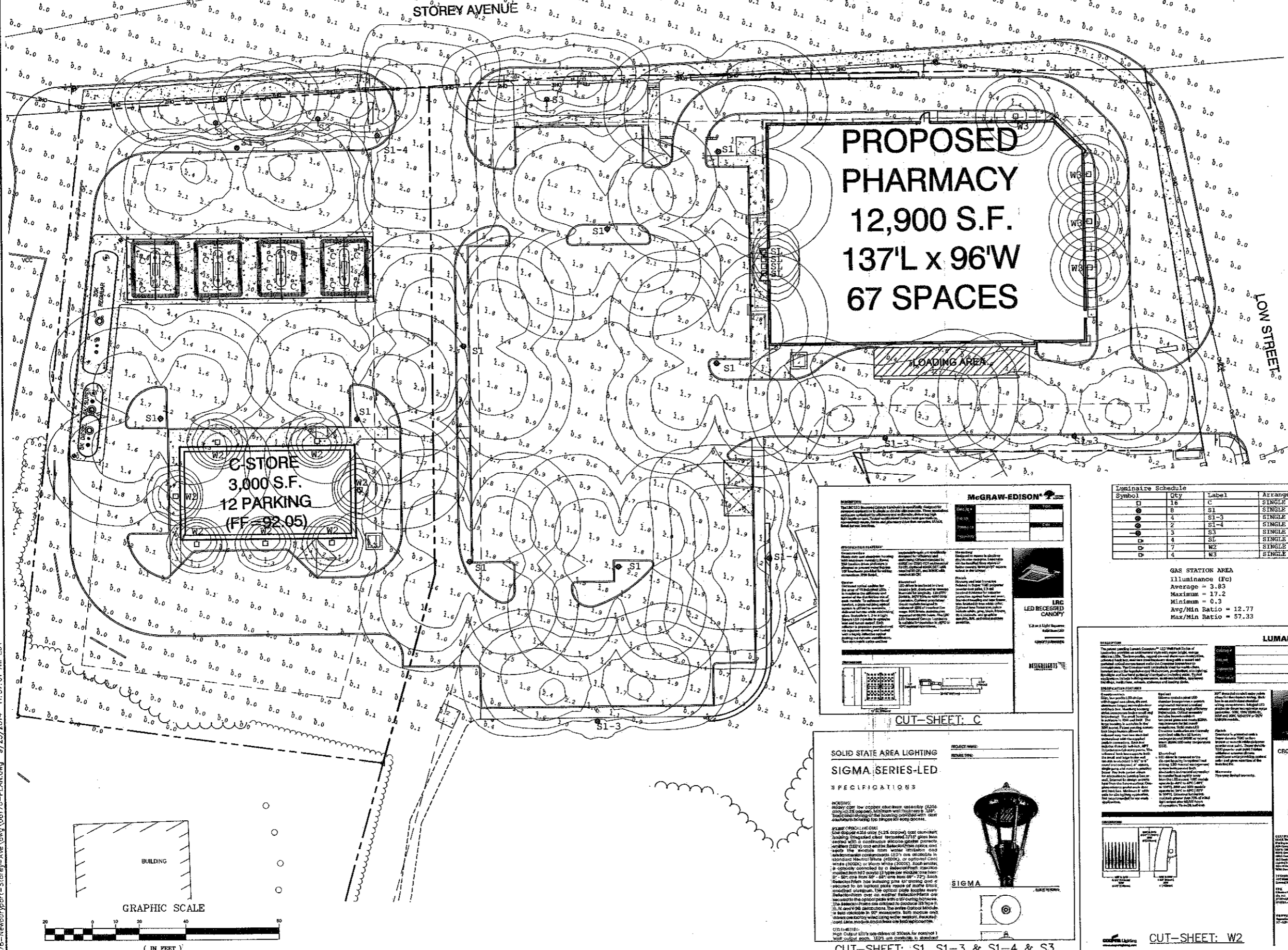


6' Paneled Privacy Fence

Not to Scale

IRONWOOD 2014

5
L3



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

MICHAEL KERIVAN DATE:

LIGHTING AND ELECTRICAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
5. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDELS.
6. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
7. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
8. SEE DETAIL SHEETS FOR LIGHTING DETAILS.
9. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW. EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

NOTE:
SEE SHEET D3 FOR ADDITIONAL LIGHTING CUT SHEETS

PROPOSED PHARMACY
12,900 S.F.
137'L x 96'W
67 SPACES

C-STORE
3,000 S.F.
12 PARKING
(FF = 92.05)

Symbol	Qty	Label	Arrangement	Description
□	16	C	SINGLE	IRC-R16-7-LED-E1-MST
○	4	S1	SINGLE	SIG1-VLED-V50-100LED-NW-PT-350/ RTA 1664-188-PT27
○	1	S1-3	SINGLE	SIG1-VLED-117-100LED-NW-350-HS-P2/RTA 1664-188-PT27
○	2	S1-4	SINGLE	SIG1-VLED-TV-100LED-NW-350-HS-P2/RTA 1664-188-PT27
○	3	S3	SINGLE	SIG2-VLED-11-48LED-NW-350-HS-WM/ WALL MOUNTED 12' AFG
○	4	S1	SINGLE	S-LEDIS/ SIGM LIGHT
○	7	W2	SINGLE	XTR01/ WALL MTD 8' AFG
○	4	W3	SINGLE	P5665-31/ WALL MTD 10' AFG

GAS STATION AREA
Illuminance (Fc)
Average = 3.83
Maximum = 17.2
Minimum = 0.3
Avg/Min Ratio = 12.77
Max/Min Ratio = 57.33

CVS PARKING LOT AREA
Illuminance (Fc)
Average = 1.34
Maximum = 2.5
Minimum = 0.3
Avg/Min Ratio = 4.47
Max/Min Ratio = 6.33

McGRAW-EDISON

DESCRIPTION:
The SIGMA Series LED recessed canopies are specifically designed for... (text continues)

FEATURES:
• High lumen output
• Energy efficient
• Long life span
• Easy installation

INSTALLATION:
• Mounting height
• Spacing
• Wiring

CUT-SHEET: C

SOLID STATE AREA LIGHTING
SIGMA SERIES-LED
SPECIFICATIONS

DESCRIPTION:
The SIGMA Series LED recessed canopies are specifically designed for... (text continues)

INSTALLATION:
• Mounting height
• Spacing
• Wiring

CUT-SHEET: S1, S1-3 & S1-4 & S3

LUMARK

DESCRIPTION:
The LUMARK Series LED recessed canopies are specifically designed for... (text continues)

INSTALLATION:
• Mounting height
• Spacing
• Wiring

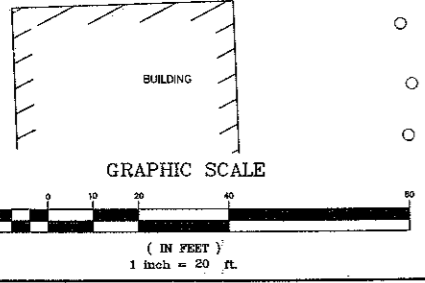
CUT-SHEET: W2

McGRAW-EDISON

DESCRIPTION:
The CROSS-TOUR LED recessed canopies are specifically designed for... (text continues)

INSTALLATION:
• Mounting height
• Spacing
• Wiring

CUT-SHEET: W3



Design: BWG Draft: GPC Date: 4/9/14
Checked: WGM Scale: AS-NOTED Project No.: 08176
Drawing Name: 08176-PLAN.dwg

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

REV.	DATE	REVISION	BY
3	09/26/14	REVISED PER TOWN COMMENTS	BWG
2	9/24/14	MODIFIED PER PLANNING REVIEW	GPC
1	9/10/14	REVISED SITE	BWG
0	4/9/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

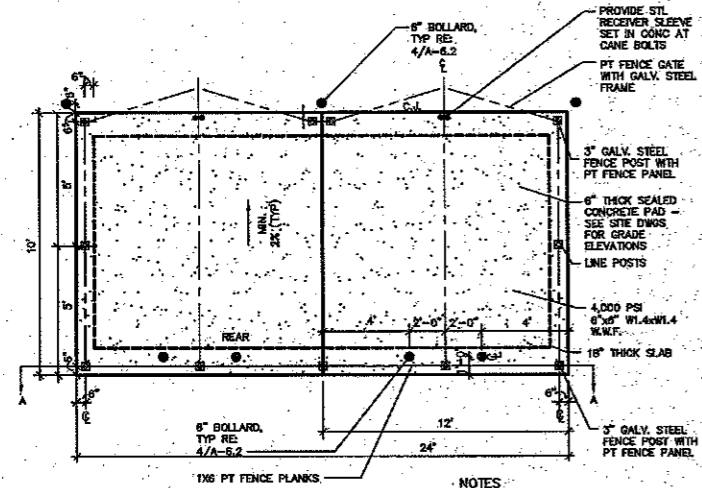
Plan Name: **LIGHTING PLAN**

Project: **STOREY AVE DEVELOPMENT**
STOREY AVE, NEWBURYPORT, MA 09150

Applicant: **TROPIC STAR DEVELOPMENT, LLC**
321 D LAFAYETTE ROAD HAMPTON, NH 03842

DRAWING No. **L4**

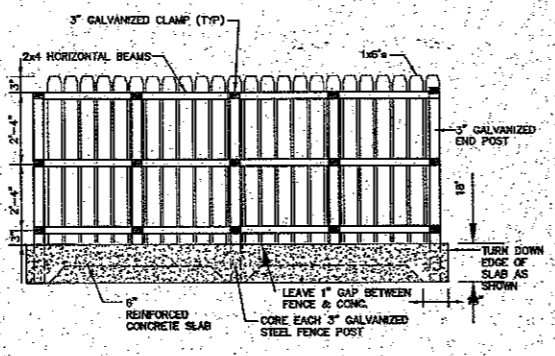
SHEET 13 OF 21
JBE PROJECT NO. 08176



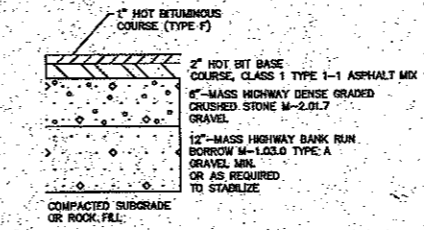
- NOTES:**
1. ALL LUMBER TO BE PRESSURE TREATED.
 2. WOOD FENCE TO BE PAINTED OR STAINED TO MATCH BUILDING FOUNDATION.
 3. DUMPSTER SIZE VARIES, SEE SITE PLANS FOR SCREENING SIZE.

DUMPSTER ENCLOSURE PLAN

NOT TO SCALE

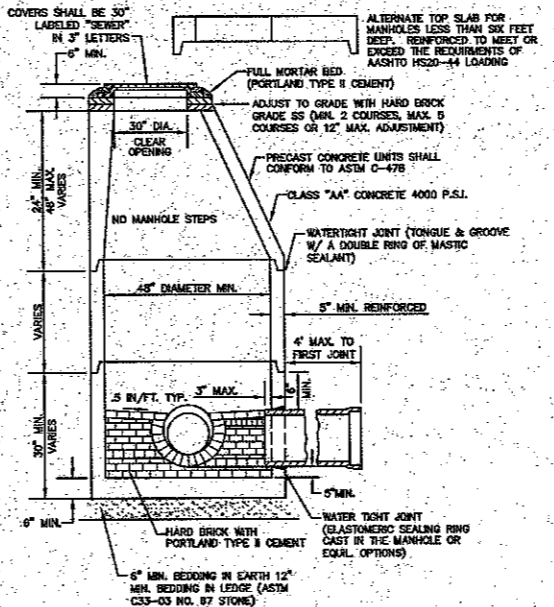


SECTION A-A



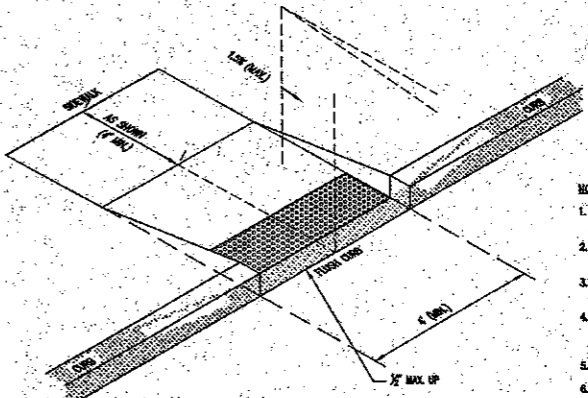
STANDARD PAVEMENT SECTION

NOT TO SCALE



SEWER MANHOLE

NOT TO SCALE

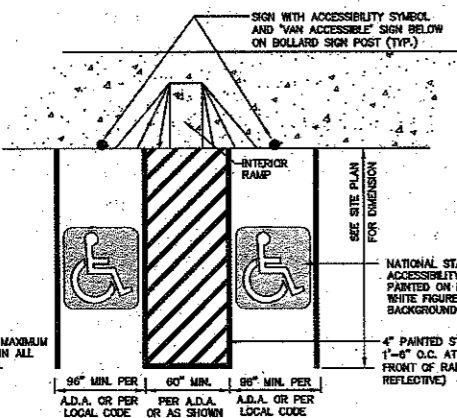


ACCESSIBLE CURB RAMP

NOT TO SCALE

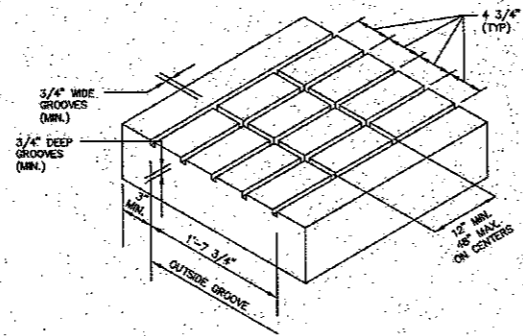
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.
 M.K. MICHAEL KERVAN
 9/28/14
 DATE:

- NOTES:**
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1:8.
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 5%.
 4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (E.G., HIGHWAYS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.



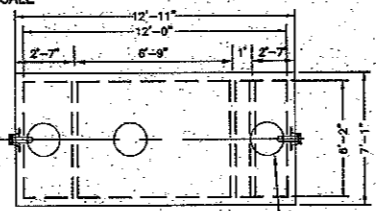
HANDICAP PARKING LAYOUT

NOT TO SCALE

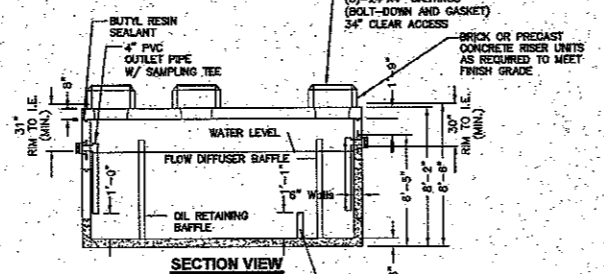


SPILL CONTAINMENT GROOVES DETAIL

NOT TO SCALE



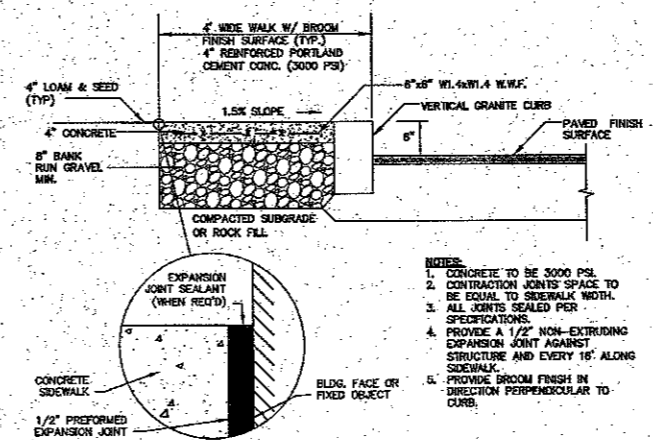
PLAN VIEW



- NOTES:**
1. CONCRETE COMPRESSIVE STRENGTH 3,000 P.S.I @ 28 DAYS WITH STEEL REINFORCEMENT DESIGNED TO MEET ACI 318 WITH 2. AASHTO HS-20 LOADING PROVIDED WITH WALL SLEEVES & 3\"/>

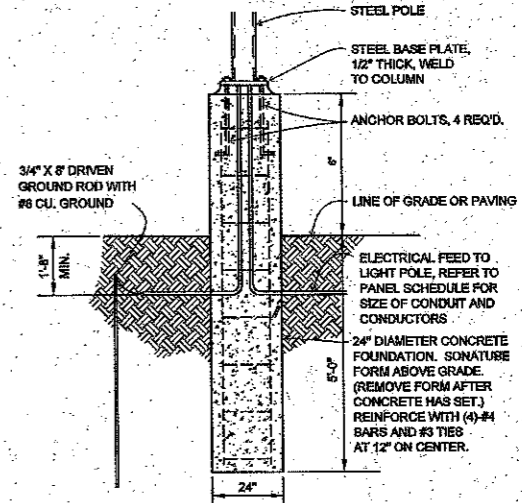
OIL / WATER SEPARATOR - 3,000 GAL.

NOT TO SCALE



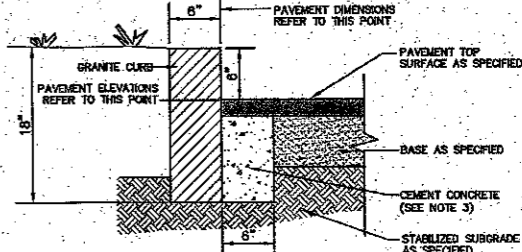
CONCRETE SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE



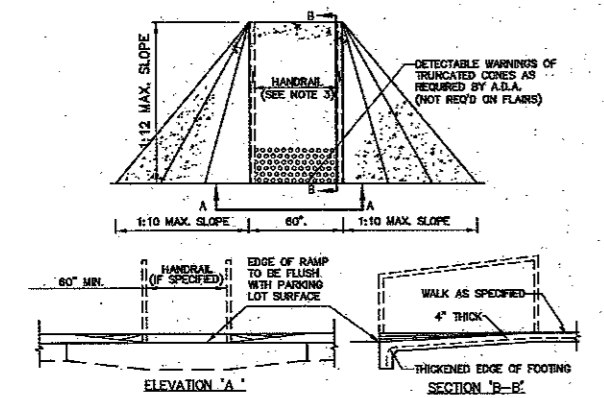
LIGHT POLE BASE

NOT TO SCALE



6\"/>

NOT TO SCALE



HANDICAP ACCESS RAMP

NOT TO SCALE

3:08176-Newburyport-Storey-Ave.dwg 08176-PLAN.dwg 9/23/2014 2:23:47 PM EDT

Design: BWG	Draft: GPC	Date: 4/9/14
Checked: WGM	Scale: AS NOTED	Project No.: 08176
Drawing Name: 08176-PLAN.dwg		

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1	9/10/14	REVISED SITE	BWG
0	4/9/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

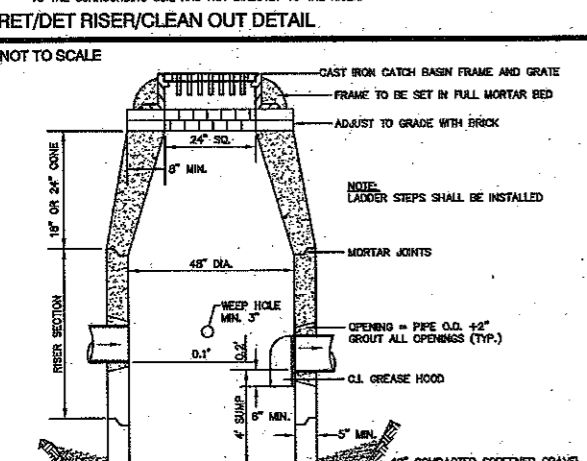
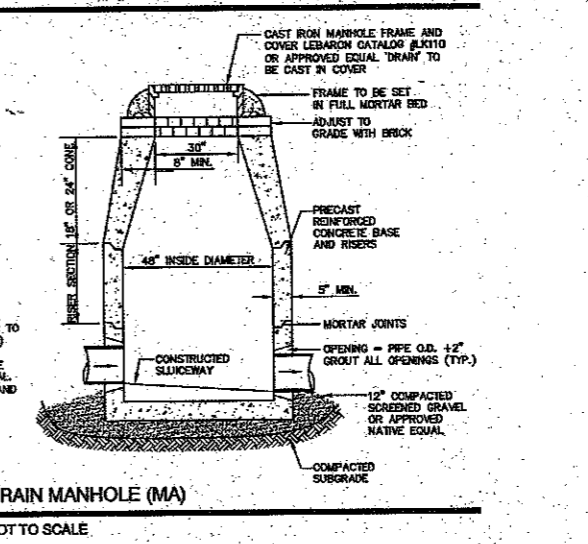
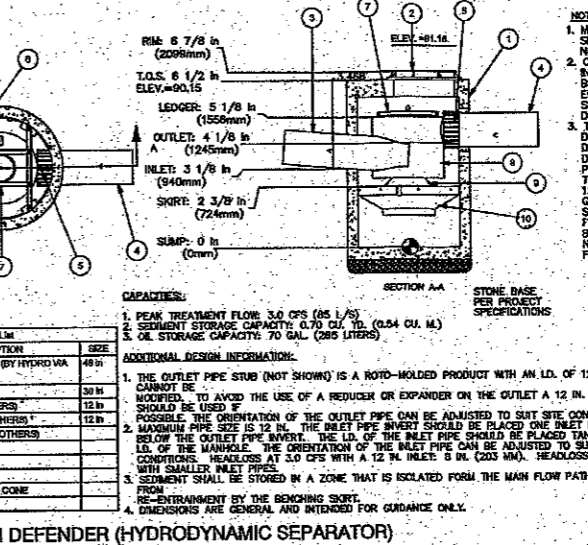
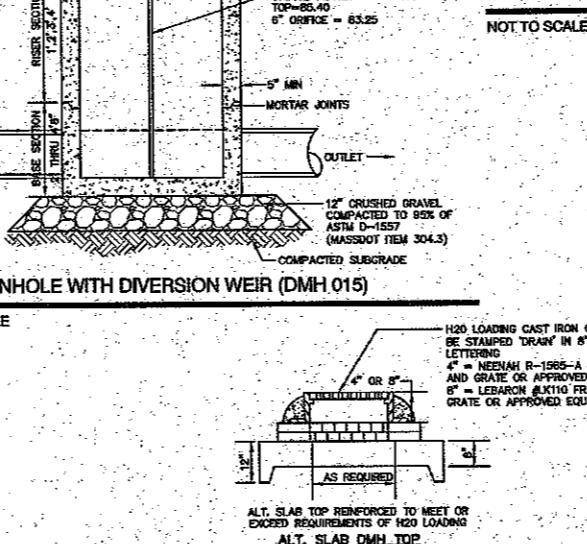
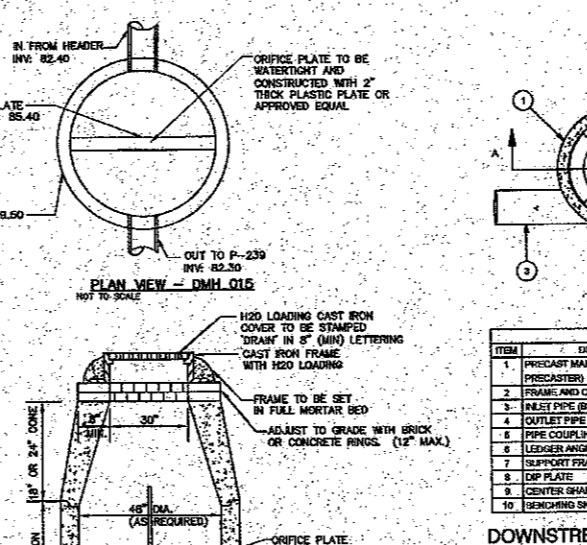
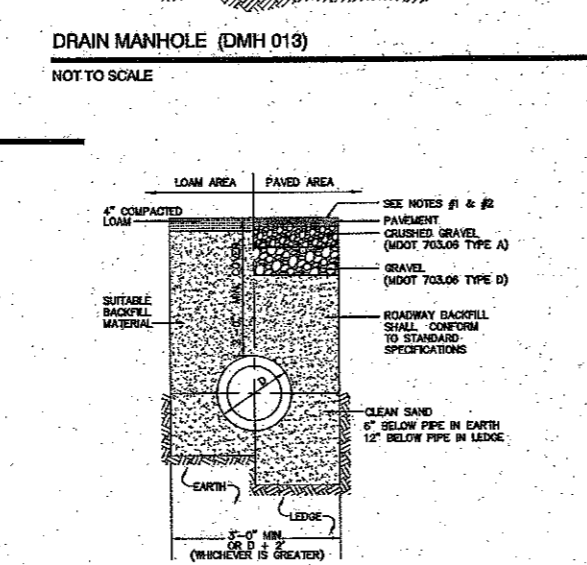
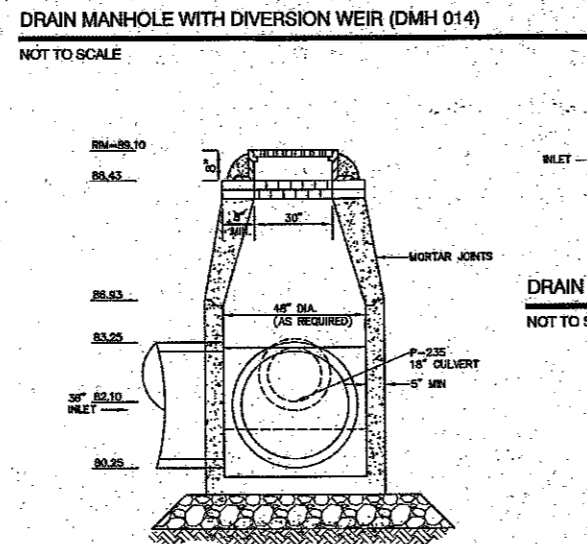
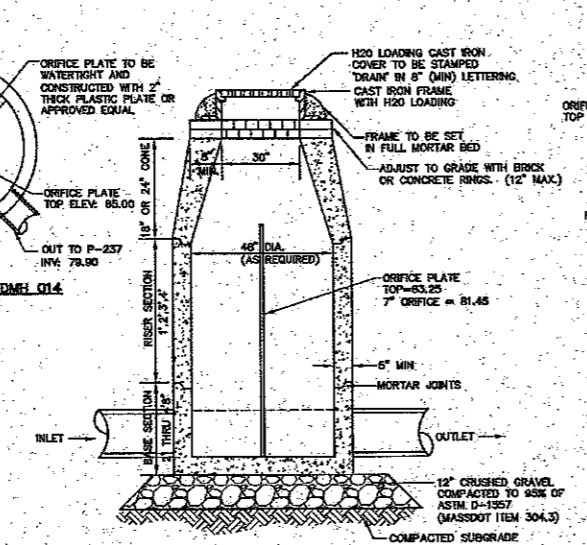
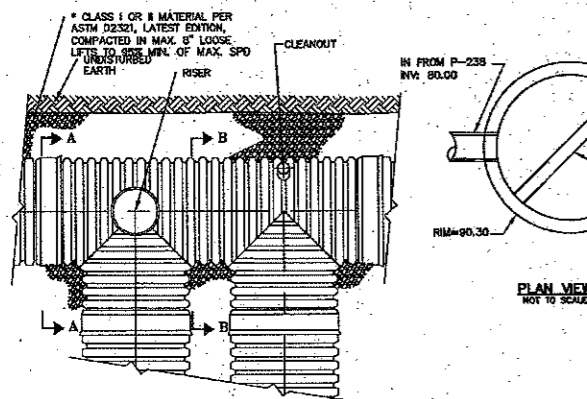
603-772-4748 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	STOREY AVE DEVELOPMENT STOREY AVE, NEWBURYPORT, MA 09150
Applicant:	TROPIC STAR DEVELOPMENT, LLC 321 D LAFAYETTE ROAD HAMPTON, NH 03842

DRAWING NO.

D1

SHEET 14 OF 21
JBE PROJECT NO. 08176



NOTES

- MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
- CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION FROM TO SETTING DOWNSTREAM DEFENDER MANHOLE.
- TYPICALLY DOWNSTREAM DEFENDERS WILL BE DELIVERED TO THE PROJECT SITE WITH A TOP SLAB ELEVATION 12" BELOW FINISHED GRADE. PURCHASER SHALL BE RESPONSIBLE FOR GRADE BENS OR BLOCK AND MORTAR NECESSARY TO MEET FINAL GRADE.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

MICHAEL KERIVAN DATE: 9/24/14

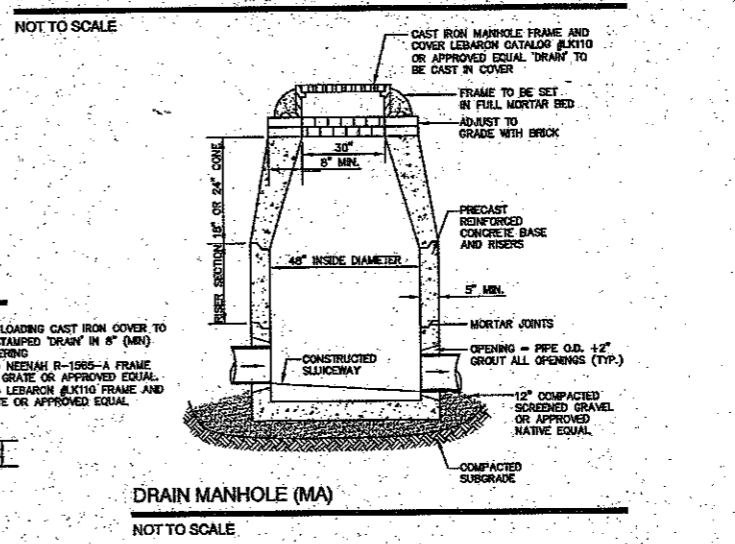
Parts List

ITEM	DESCRIPTION	SIZE
1	PRECAST MANHOLE (BY HYDRO VA PRECASTER)	48 IN
2	FRAME AND COVER	30 IN
3	INLET PIPE (BY OTHERS)	12 IN
4	OUTLET PIPE (BY OTHERS)	12 IN
5	PIPE COUPLING (BY OTHERS)	
6	LEDGER ANGLE	
7	SUPPORT FRAME	
8	DIP PLATE	
9	CENTER SHIRT AND CONE	
10	DOWNSTREAM SHIRT	

ADDITIONAL DESIGN INFORMATION:

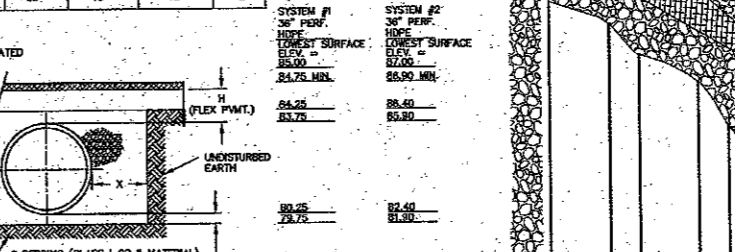
- THE OUTLET PIPE SHIRT (NOT SHOWN) IS A ROTO-MOLDED PRODUCT WITH AN I.D. OF 12 IN. OUTLET PIPE CANNOT BE USED TO AVOID THE USE OF A REDUCER OR EXPANDER ON THE OUTLET A 12 IN. OUTLET PIPE SHOULD BE USED IF POSSIBLE.
- THE ORIENTATION OF THE OUTLET PIPE CAN BE ADJUSTED TO SUIT SITE CONDITIONS.
- MAXIMUM PIPE SIZE IS 12 IN. THE INLET PIPE SHIRT SHOULD BE PLACED ONE PIPE DIAMETER BELOW THE OUTLET PIPE INLET. THE I.D. OF THE INLET PIPE SHOULD BE PLACED TANGENT TO THE I.D. OF THE MANHOLE. THE ORIENTATION OF THE INLET PIPE CAN BE ADJUSTED TO SUIT SITE CONDITIONS. HEADLOSS AT 3.0 CFS WITH A 12 IN. INLET: 8 IN. (203 MM). HEADLOSS WILL INCREASE WITH SMALLER INLET PIPE.
- SEDIMENT SHALL BE STORED IN A ZONE THAT IS ISOLATED FROM THE MAIN FLOW PATH AND PROTECTED FROM RE-ENTRANCE BY THE BENCHING SHIRT.
- DIMENSIONS ARE GENERAL AND INTENDED FOR GUIDANCE ONLY.

DOWNSTREAM DEFENDER (HYDRODYNAMIC SEPARATOR)
NOT TO SCALE



DRAIN MANHOLE (MA)
NOT TO SCALE

NUMBER	NOMINAL DIAMETER	TYPICAL SPACING	TYPICAL "O" WALL "X"	TYPICAL SIZE NON-TRAFFIC (TRAFFIC)	H	H
1	36"	42"	22"	63"	16"	12"



NOTES

- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL WHEN REQUIRED. SEE ASTM D2321.
- FILTER FABRIC: A FILTER FABRIC MEETING AASHTO M288 CLASS 2 REQUIREMENTS FOR NON-WOVEN GEOTEXTILE SHALL BE PLACED AROUND SYSTEM TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATIONS: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
- METAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOUTATION FOR TRAFFIC APPLICATIONS. MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

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Design: BWG Draft: GPC Date: 4/8/14
 Checked: WGM Scale: AS NOTED Project No.: 08176
 Drawing Name: 08176-PLAN.dwg
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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

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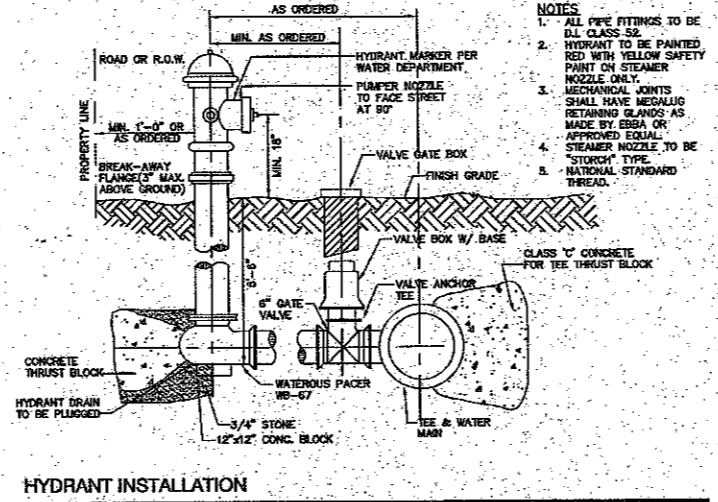
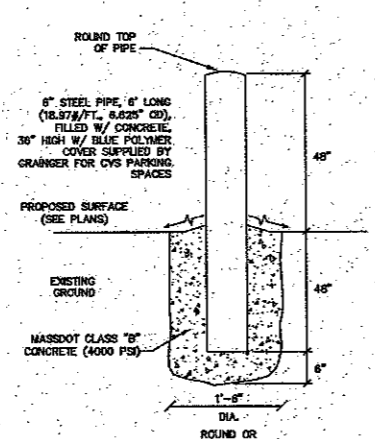
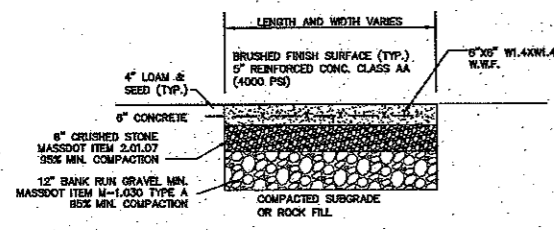
Plan Name: **DETAIL SHEET**

Project: **STOREY AVE DEVELOPMENT STOREY AVE, NEWBURYPORT, MA 09150**

Applicant: **TROPIC STAR DEVELOPMENT, LLC 321 D LAFAYETTE ROAD HAMPTON, NH 03842**

DRAWING No. **D2**

SHEET 15 OF 21
JBE PROJECT NO. 08176



TMSLIGHTING Sign 5 Floodlight

Features

- Asymmetrical reflector provides uniform coverage, even at close range.
- Approved for indoor and outdoor applications.
- Variable beam with the optional wire guard.
- Sign 5 is made of powder less with the optional emergency ballast.
- Quick ship orders available for incandescent installations.
- Easy to install and maintain.
- 5 year product warranty.

Applications

The Sign 5 Floodlight is ideal for illuminating signs at close or medium range. It also provides adequate night time security lighting.

Dimensions

Notes

The reflector is angled at 20° to project light diagonally onto the sign. It is made of aluminum with stainless steel hardware. It accommodates the lamp socket, and possesses good thermal characteristics. A white polyester powder coat on the inner surface produces a compound reflectance for uniform area coverage.

Lamp

The Sign 5 Floodlight is designed to operate with LED (20W max), compact fluorescent (20W max), metal halide (70W max), and incandescent lamps (100W max), or design an application flexibility. Although the reflector is angled asymmetrically, the lamp remains in its vertical position.

Lamp Socket

All lamp sockets used are compatible with other components in the supplied system. Overall, production is in compliance with high standards and maintains electrical standards compliance.

Ballasts

Electronic compact fluorescent and pulse-start metal halide ballasts used with the Sign 5 Floodlight may enhance the contribution to the quality of light, energy savings and safety:

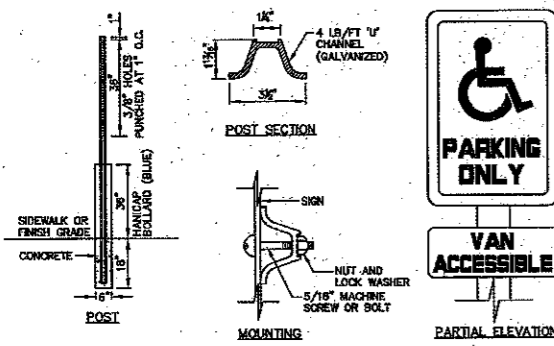
- Virtual flicker-free operation.
- High ballast factor of 1.0 for maximum lumen maintenance.
- High power factor greater than 90%.
- Low THD: CF < 10%; MH < 15%.
- Standard rated "A" for the most ideal operation.
- UL approved electronic output CFI for lamp ballast.
- Environmentally friendly, containing no PCBs.
- Color-coded leads for easy installation.
- Manufactured to ISO9002 Quality System Standards.

Options for both ballast types include well-mounted, remote-mounted, indoor and outdoor, with outdoor mounting the required IECMA elements for each type of application.

LED Driver

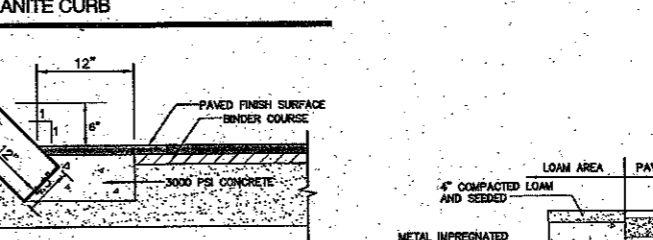
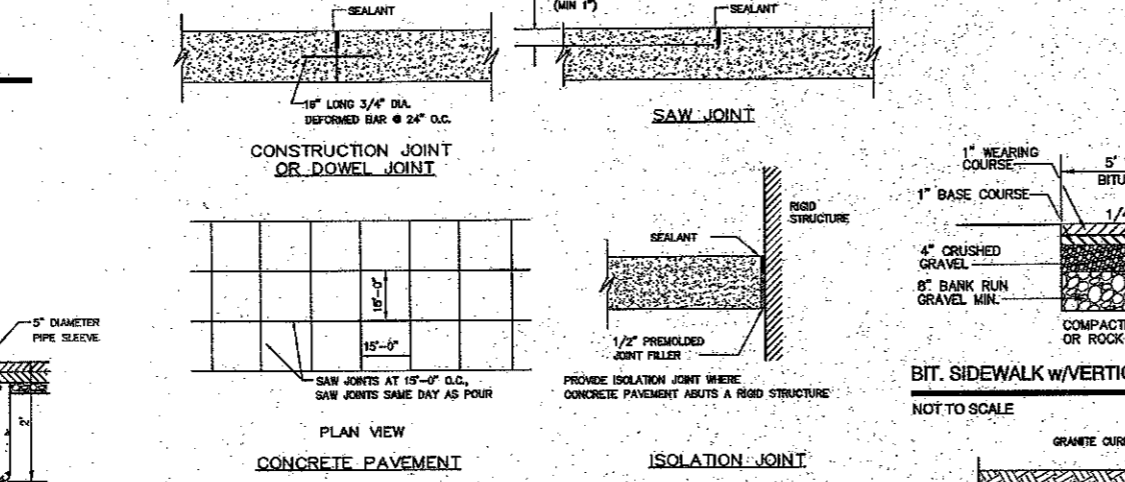
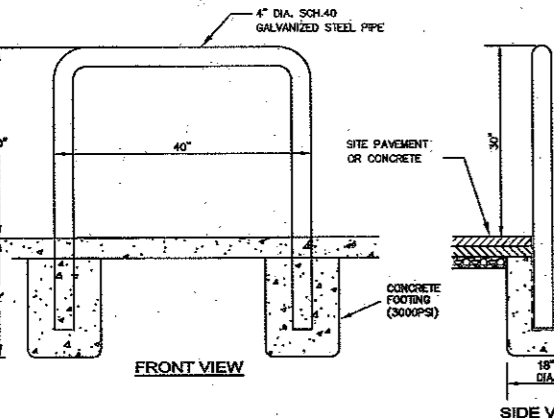
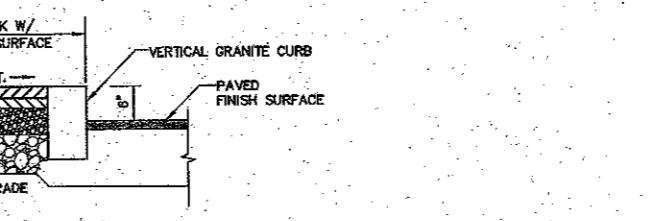
The LED source is controlled by an advanced electronic driver for cool, flicker-free operation, and energy savings. Built from quality components, the driver delivers consistent power, and extends LED lamp life. It is remote-mounted, and can be used on a 120V line.

IP23 CE



NOT TO SCALE

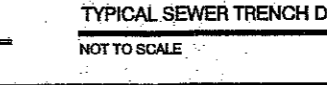
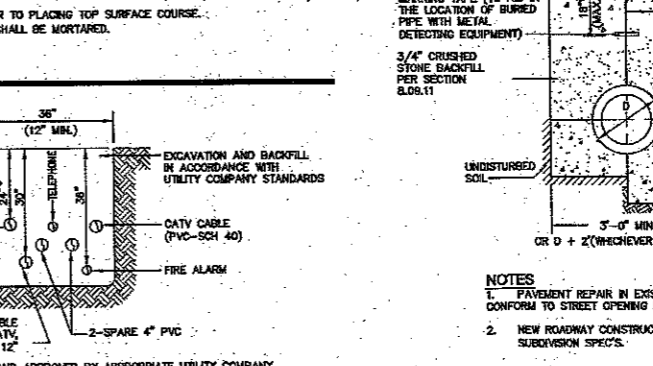
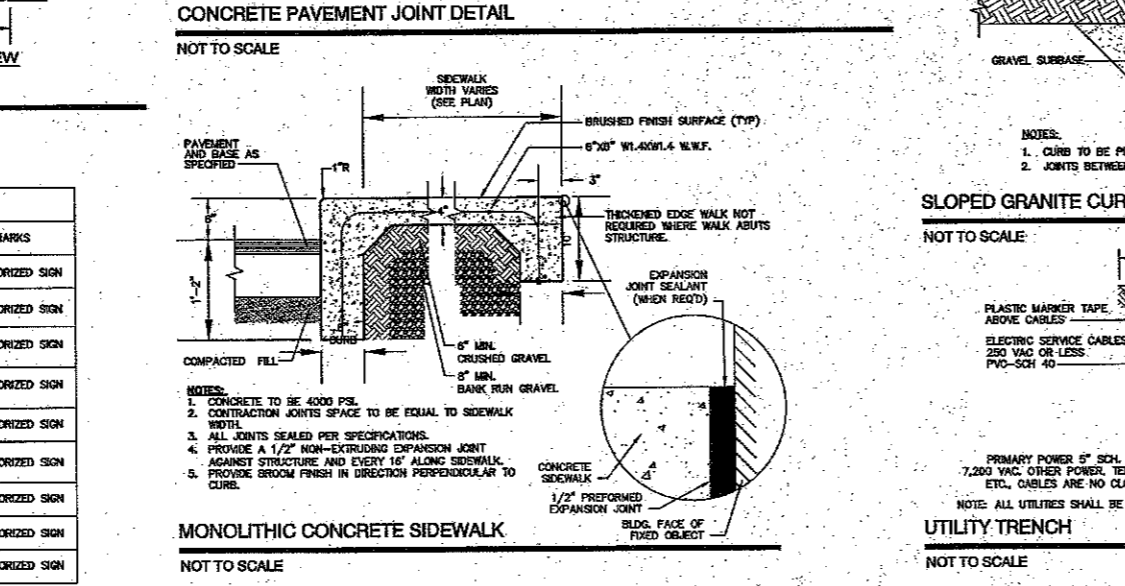
NOT TO SCALE



NOTES:

- AS AN ALTERNATIVE TO POST MOUNTING, SIGN MAY BE BUILDING MOUNTED.

TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1	STOP	30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
R3-8 (134)	LEFT TURN	36" 30"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8	HANDICAP	12" 24"	BLUE & GREEN ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8A	WALK	12" 6"	BLUE & GREEN ON WHITE	CHANNEL	5'-0"	REFLECTORIZED SIGN
R14-1	STOP	24" 18"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-1	STOP	30" 30"	RED / SILVER	CHANNEL	7'-0"	REFLECTORIZED SIGN
R6-1	STOP	36" 12"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R4-7	STOP	18" 24"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
W4-2L	WALK	24" 24"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

MICHAEL KERIVAN
DATE: 9/24/14

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Design: BWG Draft: GPC Date: 4/9/14
Checked: WGM Scale: AS NOTED Project No.: 08176
Drawing Name: 08176-PLAN.dwg

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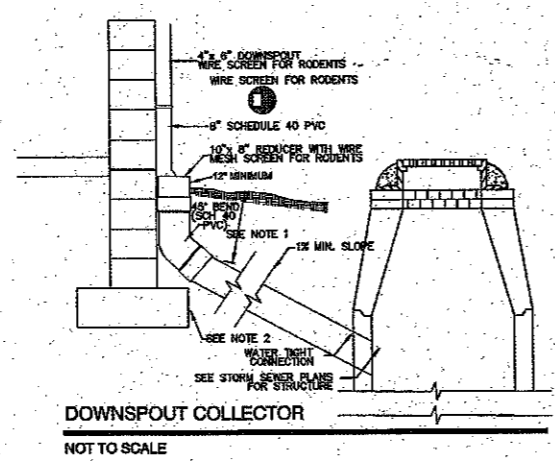
85 Portsmouth Ave. PO Box 219 Stratham, NH 03886

603-772-4748
FAX: 603-772-0227
E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
Project: **STOREY AVE DEVELOPMENT**
Storey Ave, Newburyport, MA 09150
Applicant: **TROPIC STAR DEVELOPMENT, LLC**
321 D LAFAYETTE ROAD HAMPTON, NH 03842

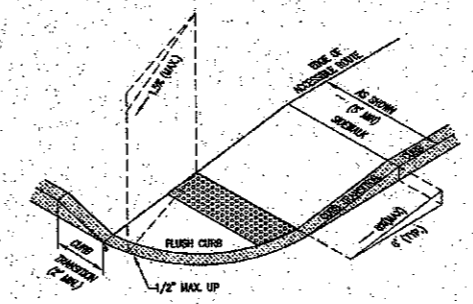
DRAWING No. **D3**
SHEET 16 OF 21
JBE PROJECT NO. 08176

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.
 MICHAEL KERIVAN
 DATE: 7/24/14



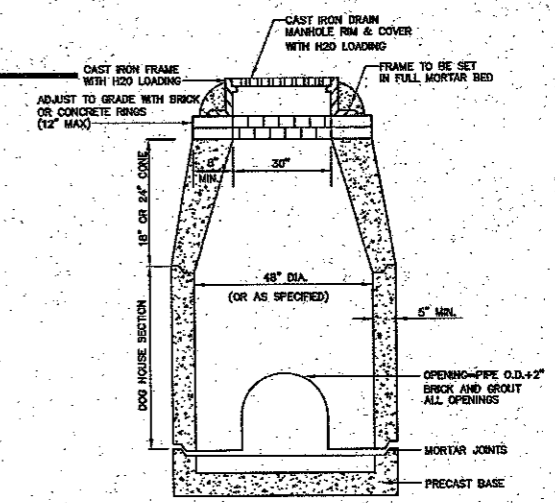
1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
2. A WATER-TIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. STEWARD CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.

DOWNSPOUT COLLECTOR
NOT TO SCALE



- NOTES:
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1:50.
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 5%.
 4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (A., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT WAIVES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE SLOPED TO PREVENT POONDING.
 7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

ACCESSIBLE CURB RAMP (TYPE 'B')
NOT TO SCALE



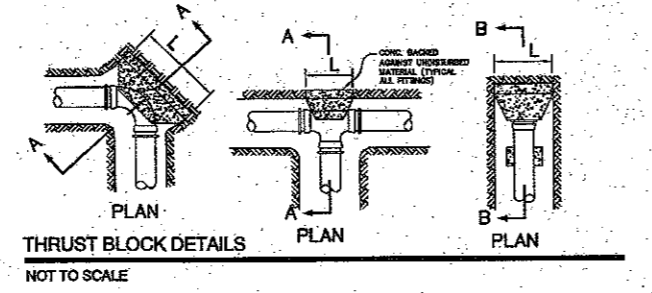
- NOTES:
1. 4,000 PSI AFTER 28 DAYS.
 2. JOINTS SEALED WITH BUTYL RUBBER SEALANT.
 3. PROVIDED WITH CAST IRON MANHOLE FRAME AND COVER OR SPECIAL ACCESS COVER.
 4. PIPE OPENINGS OR FLEXIBLE PIPE SLEEVES MAY BE CAST IN.
 5. STRUCTURES ARE TO BE SUPPLIED BY SUPERIOR CONCRETE, INC., OR AN EQUIVALENT APPROVED BY THE ENGINEER.
 6. CONTRACTOR TO PROVIDE INLET/OUTLET BORINGS WHERE NECESSARY.
 7. ALL PIPE CONNECTIONS TO STRUCTURES MUST BE SEALED AND GROUTED SO AS TO BE WATER-TIGHT.

DOGHOUSE SEWER MANHOLE
NOT TO SCALE

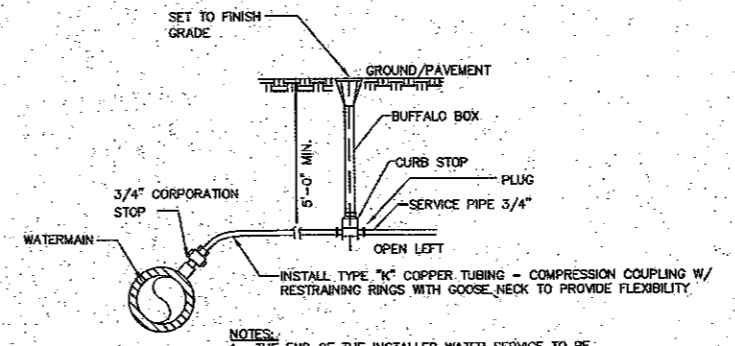
CONCRETE THRUST BLOCK DIMENSIONS

PIPE DIA. (IN.)	TEE	90° BEND OR STUB	45° BEND	22.5° BEND
4"	1'-0"	1'-0"	1'-0"	1'-0"
6"	2'-0"	2'-0"	2'-0"	2'-0"
8"	3'-0"	3'-0"	3'-0"	3'-0"
10"	4'-0"	4'-0"	4'-0"	4'-0"
12"	5'-0"	5'-0"	5'-0"	5'-0"
15"	7'-0"	7'-0"	7'-0"	7'-0"
18"	9'-0"	9'-0"	9'-0"	9'-0"
24"	13'-0"	13'-0"	13'-0"	13'-0"

PIPING W/ MECHANICAL JOINT FITTINGS SHALL HAVE RETAINING GLANDS



THRUST BLOCK DETAILS
NOT TO SCALE



- NOTES:
1. THE END OF THE INSTALLED WATER SERVICE TO BE MARKED BY A 2X4.
 2. ALL WORK TO BE IN ACCORDANCE WITH THE LOCAL WATER COMPANY INSTALLATION PROCEDURES AND SPECIFICATIONS.

TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

F:\Land Projects\08176-Newburyport-Storey-Ave.dwg\08176-PLAN.dwg 9/23/2014 2:23:47 PM EDT

Design: BWG Draft: GPC Date: 4/9/14
 Check: WGM Scale: AS NOTED Project No.: 08176
 Drawing Name: 08176-PLAN.dwg
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REV.	DATE	REVISION	BY
2	9/24/14	MODIFIED PER PLANNING REVIEW	GPC
1	9/10/14	REVISED SITE	BWG
0	4/9/14	ISSUED FOR REVIEW	GPC

Designed and Produced in NH.
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Strafford, NH 03885
 603-772-4748 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
 Project: **STOREY AVE DEVELOPMENT**
STOREY AVE, NEWBURYPORT, MA 09150
 Applicant: **TROPIC STAR DEVELOPMENT, LLC**
321 D LAFAYETTE ROAD HAMPTON, NH 03842

DRAWING No. **D4**
 SHEET 17 OF 21
 JBE PROJECT NO. 08176

TEMPORARY EROSION CONTROL NOTES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF THAT REQUIRED FOR CONSTRUCTION BE EXPOSED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE "C" AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA RESTORED BY THE REMOVAL, SMOOTHING AND REVEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN STB EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND, AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER MASSDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF EARTH MOVING ACTIVITIES UNTIL THE SITE IS STABLE.
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

Michael Kerivan DATE: *9/23/14*
MICHAEL KERIVAN

SEEDING SPECIFICATIONS

- GRADING AND SEEDING**
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDING PREPARATION**
 - SURFACES AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE, WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 8-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWFOOT, BIRDFOOT, TREFOL AND FLAXPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
 - HAY, STRAW OR OTHER MULCH, WHEN SEEDING, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 80 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC AND DENSE WOOD GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	EXCELLENT	GOOD
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT: SEE NH-PH-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.

1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.

2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

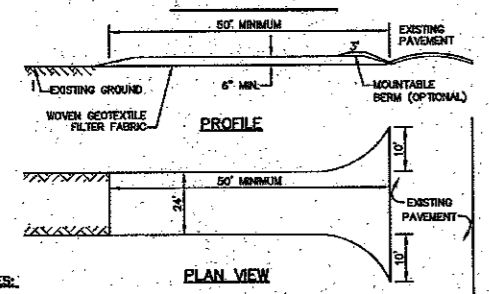
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER FIVE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRD'S FOOT TREFOL	10	0.20
TOTAL	50	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

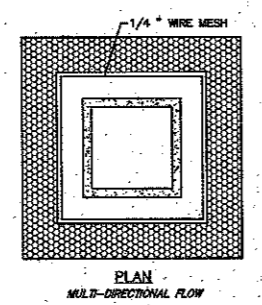
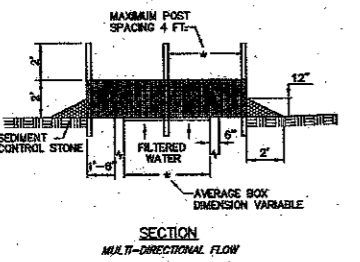
SEEDING RATES



- NOTES:**
- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
 - THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
 - THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
 - THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
 - GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
 - ALL SURFACE WATER THAT IS FLOWING TO OR INVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

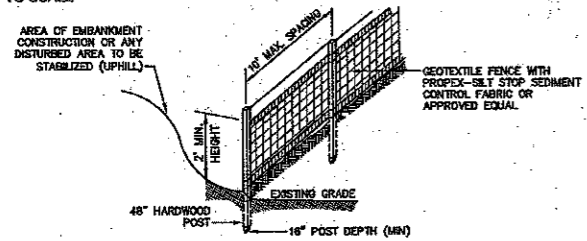
NOT TO SCALE



- NOTES:**
- SEDIMENT CONTROL STONE SHALL BE 3/4\"/>
 - WIRE MESH SHALL BE HARDWARE CLOTH 23 GAUGE MIN. AND SHALL HAVE 1/4\"/>
 - TOP OF WIRE MESH SHALL BE A MINIMUM OF ONE FOOT BELOW THE SHOULDER OR ANY DIVERSION POINT.
 - STEEL POST SHALL BE 5 FT. IN HEIGHT, BE INSTALLED 1.5 FT. DEEP MINIMUM, AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
 - WOOD POST SHALL BE 6 FT. IN HEIGHT, BE INSTALLED TO 1.5 FT. DEEP MINIMUM, AND BE 3 INCHES IN DIAMETER.
 - POST SPACING SHALL BE A MAXIMUM OF 4 FT.

INLET PROTECTION

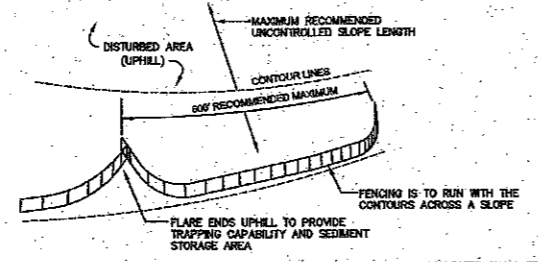
NOT TO SCALE



- CONSTRUCTION SPECIFICATIONS:**
- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24\"/>
 - THE FENCE POSTS SHALL BE A MINIMUM OF 48\"/>
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6\", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6\"/>
 - PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
 - SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE



- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.
- MAINTENANCE:**
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DEGRADE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
 - SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

Design: BWG Draft: GPC Date: 4/9/14
Checked: WGM Scale: AS NOTED Project No.: 08176
Drawing Name: 08176-PLAN.dwg

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2	9/10/14	REVISED SITE	BWG
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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

85 Portsmouth Ave., PO Box 219, Stratham, NH 03886

603-772-4748 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name: **EROSION AND SEDIMENT CONTROL DETAILS**

Project: **STOREY AVE DEVELOPMENT**
STOREY AVE, NEWBURYPORT, MA 09150

Applicant: **TROPIC STAR DEVELOPMENT, LLC**
321 D LAFAYETTE ROAD HAMPTON, NH 03842

DRAWING No.

E1

SHEET 18 OF 21
JBE PROJECT NO. 08176

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MERCHANDISE FIXTURE LEGEND

- FIXTURE SUPPLIED BY OTHERS
- FIXTURE TO RECEIVE OUTLET IN KNOCKPLATE
- 84"x48"x18" O.S. OVERSTOCK SHELVING
- 75"x48"x18" O.S. BACKROOM ORGANIZER
- PALLET POSITION 3'-8" x 4'-4" AREA
- 8'-0"x3'-6" HEAVY DUTY PALLET RACKS

- RX STORAGE RACK
- U.S. RACK
- EMPLOYEE LOCKERS
- COAT RACK
- MOP ORGANIZER
- SHOPPING BASKET HOLDER
- FIRE EXTINGUISHER

- LOOSE PICK OVERSTOCK
- 11" ANGLE MARKER
- FIXTURE TAG
- COMMUNICATION JACK W/ LETTER INDICATING TYPE: T=TELEPHONE, P=P.O.S, D=DATA, I=INTERCOM, PF=POWER FAILURE

STORE AREA CALCULATIONS

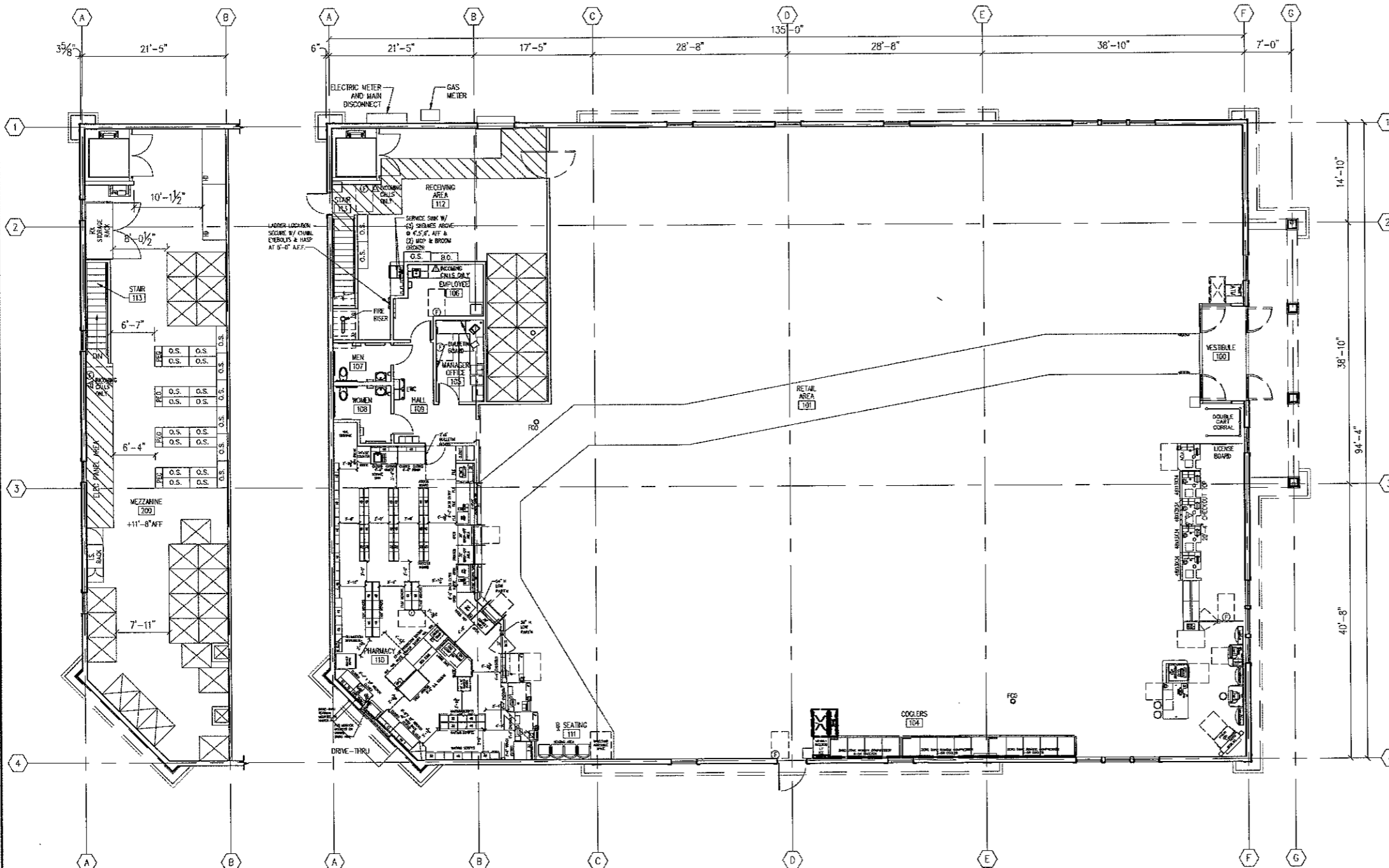
SCALE: 1/8" = 1'-0"	SERVICE AREA: 698 S.F.	RETAIL AREA: 10,985 S.F. (PHARMACY AREA INCLUDED)
TOTAL STORE AREA: 12,683 S.F.	PHARMACY AREA: 1,087 S.F.	MEZZANINE: 1,890 S.F.
RECEIVING AREA: 816 S.F.		

ARCHITECT INFO:

COMPANY NAME: XXXX
CONTACT NAME: XXXX
CONTACT PHONE: XXXX
CONTACT EMAIL: XXXX

CVS STORE LAYOUT INFO:

CONTACT NAME: XXXX
CONTACT PHONE: XXXX
CONTACT EMAIL: XXXX



HOLD THIS SPACE - LAYOUT TO USE FOR GROUP FILE NOTES BOX

STOREY AVE. (ROUTE 113) & LOW ST.
NEWBURYPORT, MA 01950



BKA Architects, Inc.
Architecture + Interiors

142 Crescent Street
Brockton, MA 02302

tel : 508.583.5603
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e-mail : bka@bkaarch.com

CONSULTANT:

DEVELOPER:
TROPIC STAR DEVELOPMENT, LLC
321D LAFAYETTE ROAD
HAMPTON, NH 03842
PHONE: 603-293-4183

SEAL:

REVISIONS:

DRAWING BY: BMF
DATE: 09/22/2014
JOB NUMBER: 214064

TITLE:
OUTLINE PLAN

SHEET NUMBER:

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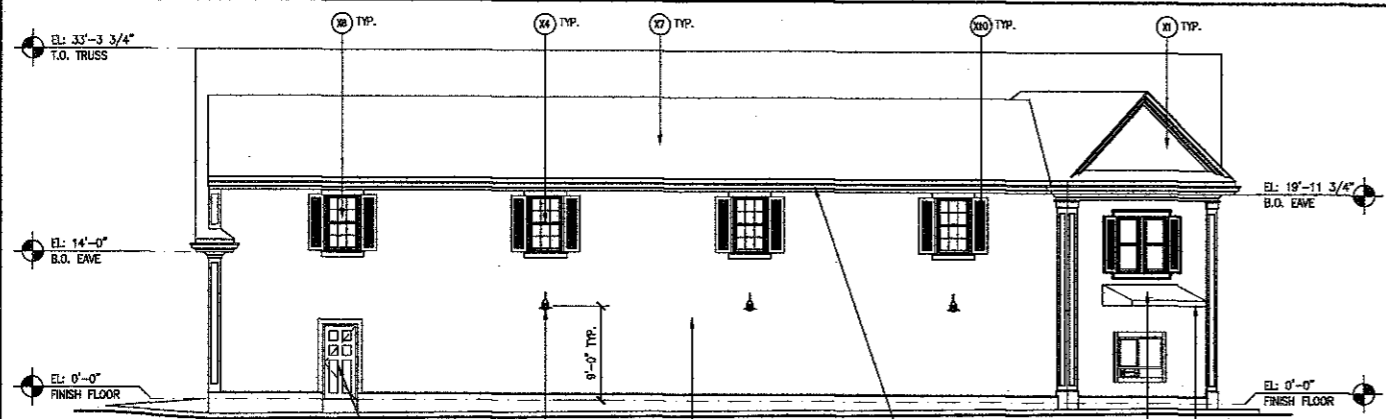
COMMENTS:
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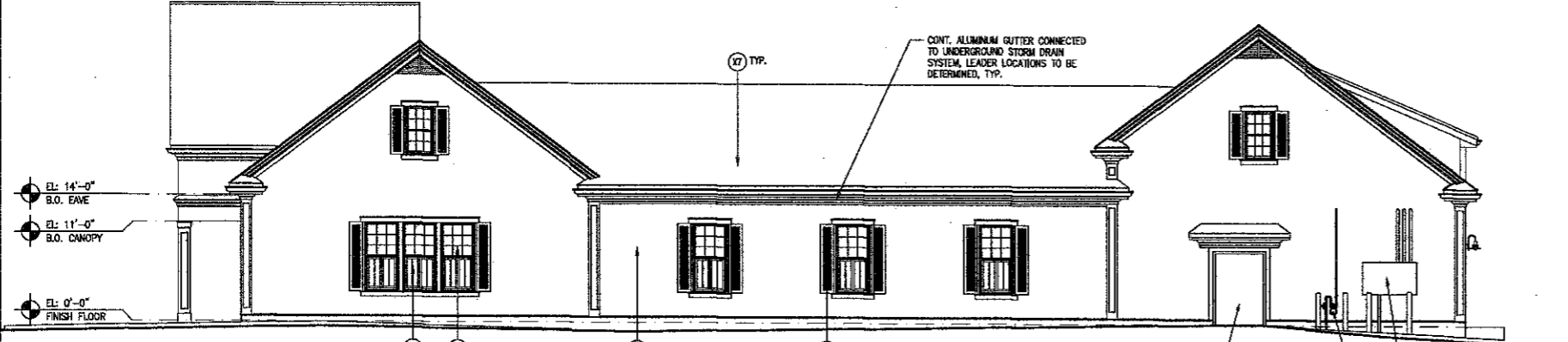
2 MEZZANINE PLAN
0-1 SCALE: 1/8" = 1'-0"

1 FLOOR PLAN
0-1 SCALE: 1/8" = 1'-0"

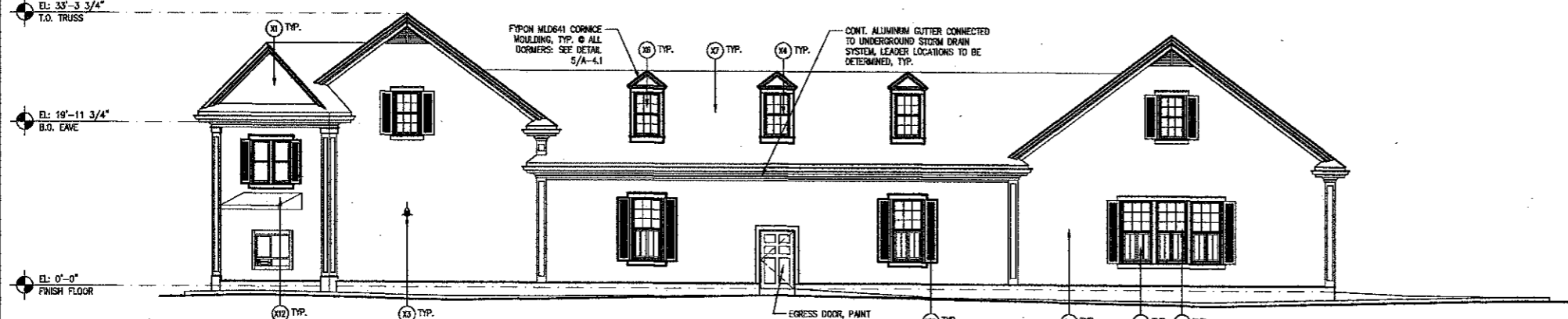
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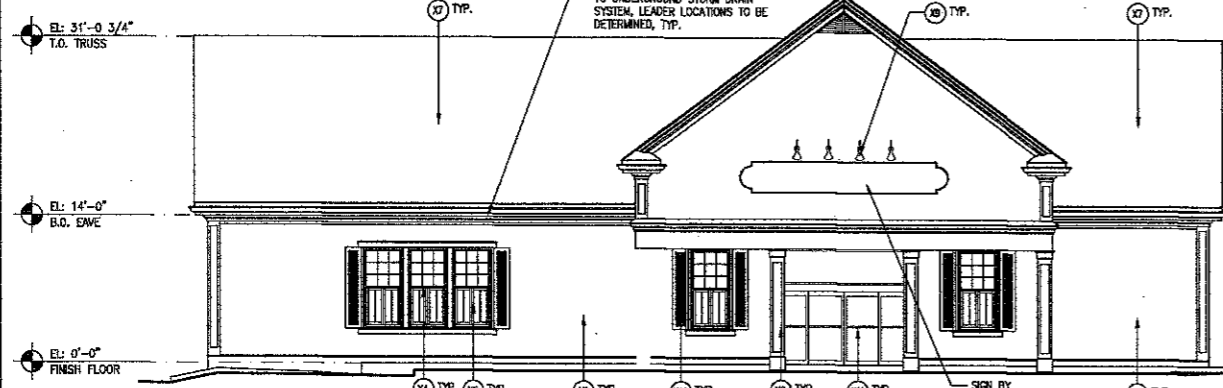
1 WEST ELEVATION (LOW STREET)
A-4.1 SCALE: 1/8" = 1'-0"



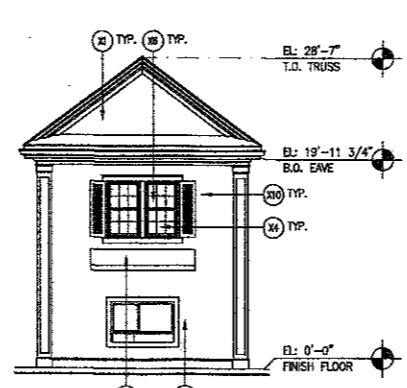
2 SOUTH ELEVATION
A-4.1 SCALE: 1/8" = 1'-0"



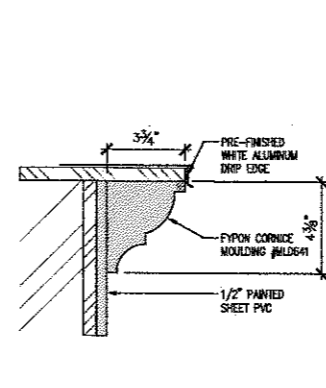
3 NORTH ELEVATION (STOREY AVE)
A-4.1 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
A-4.1 SCALE: 1/8" = 1'-0"

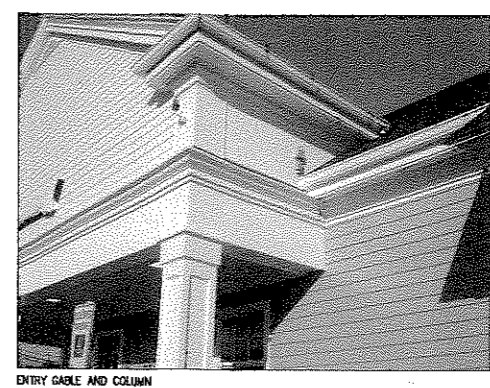


5 DRIVE-THRU ELEVATION
A-4.1 SCALE: 1/8" = 1'-0"

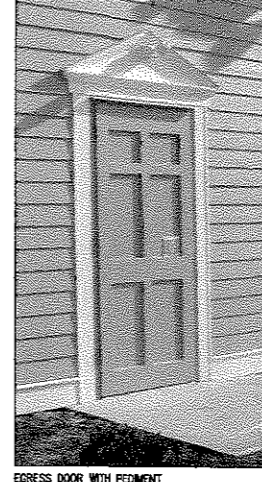


5 MOULDING DETAIL
A-4.1 SCALE: 3" = 1'-0"

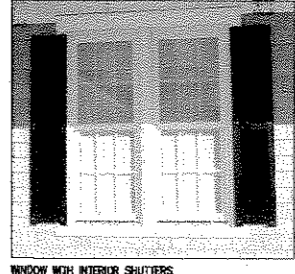
TAG	MATERIAL/NO.	COLOR/NO.	NOTES
(21)	FIBER CEMENT SIDING SYSTEM	Decorative Pre-finished System - Color to "Pewee"	5" EXPOSURE, FIBER CEMENT CENTER TEXTURED LAP SIDING
(22)	PVC TRIM/SHEET CLADDING	SMOOTH FACE, PAINTED WHITE	PROVIDE PAINT SAMPLE TO ARCHITECT
(23)	PENDANT LIGHT	BLACK/NEOPORT	BY PROGRESSIVE LIGHTING
(24)	JELO-WEN	ALUMINUM CLAD, BRILLIANT WHITE	STEELING EX WOOD DOUBLE-PING SIDING
(25)	INTERIOR SHUTTER	WHITE	INSTALLED ON INSIDE FACE OF LOWER SASH
(26)	GLASS WITH INTERIOR TREATMENT	DECORATIVE FILM SOLIDS 3F-3000	APPLIED TO INTERIOR SURFACE OF GLASS
(27)	FIBERGLASS ASPHALT ARCHITECTURAL ROOF SHINGLE	PEWEE GRAY	60YR. RESURF. TO 30 YEAR - ARCHITECTURAL SHINGLE OR APPROVED EQUAL
(28)	EXTERIOR PAINTED SURFACE	BENJAMIN MOORE - ATRUM WHITE 310-79	TYPICAL FOR ALL TRIM SURFACES PROVIDE PAINT SAMPLE TO ARCHITECT
(29)	COOSENECK EXTERIOR LIGHTING	FACTORY FINISH GLOSS WHITE	SEE ELECTRICAL DRAWINGS
(30)	EXTERIOR PVC SHUTTER	TRIM	
(31)	STANLEY ALUMINUM STOREFRONT	VALSPEAR DEL. COATING BRIMAZES, COLONIAL WHITE	
(32)	EXTERIOR CANVAS AWNING	BLACK	AWNING BY BURTON SHAWWORKS INC.



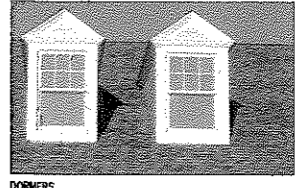
ENTRY GABLE AND COLUMN



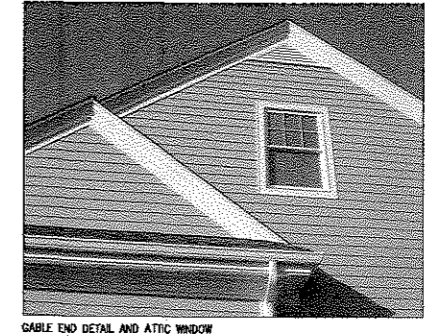
EGRESS DOOR WITH PEDIMENT



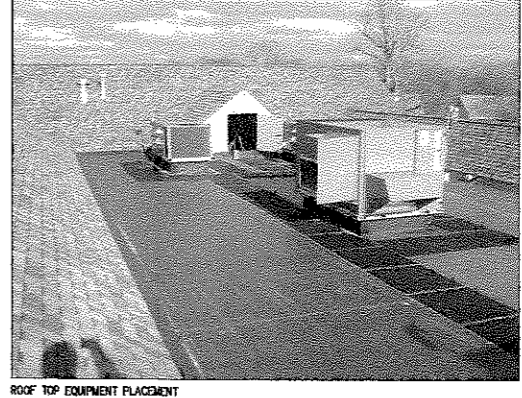
WINDOW WITH INTERIOR SHUTTERS



DORMERS



GABLE END DETAIL AND ATTIC WINDOW



ROOF TOP EQUIPMENT PLACEMENT

STOREY AVE. (ROUTE 113) & LOW ST. NEWBURYPORT, MA 01950

b a
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SEAL:

REVISIONS:

DRAWING BY: BMF
DATE: 09/22/2014
JOB NUMBER: 214064

TITLE:
EXTERIOR ELEVATIONS

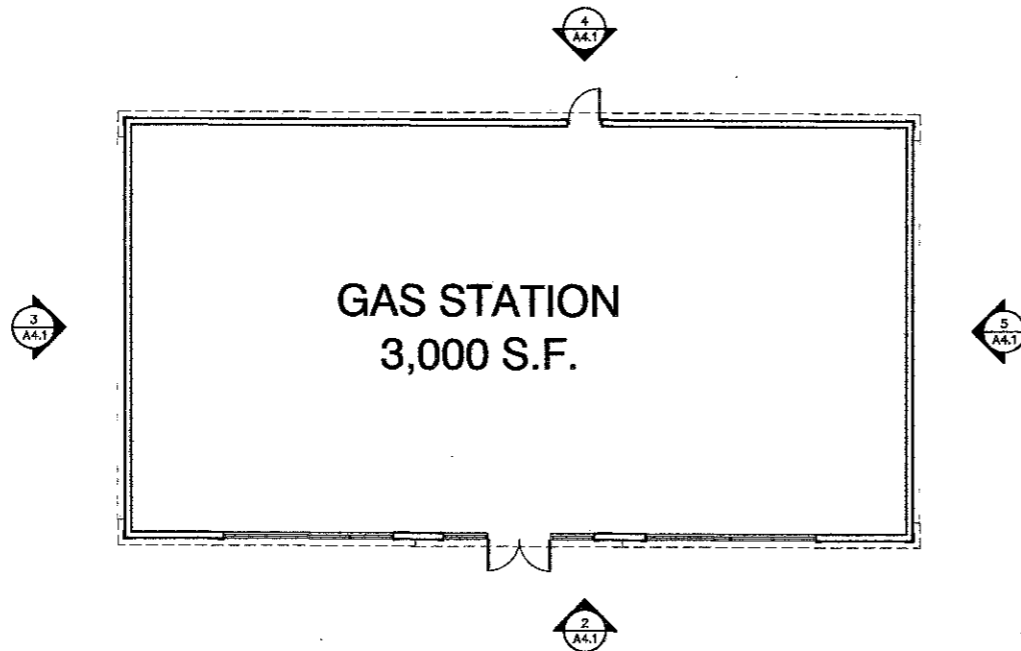
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A-4.1

COMMENTS:
RELEASED FOR APPROVAL

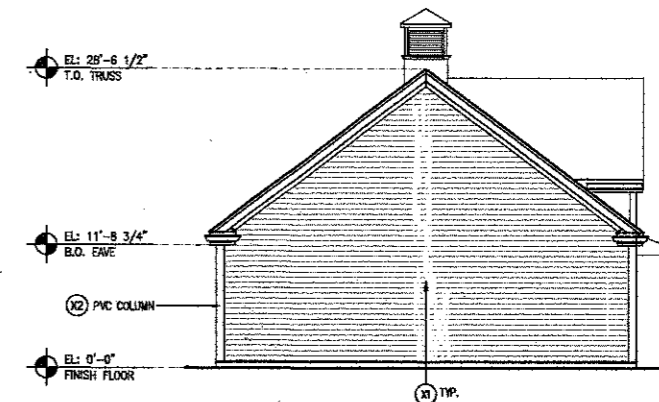
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Drawing name: P:\Retail_Pro\214064\09-22-14\Newburyport_Gas Station_Exterior Elevations_09-22-14.dwg

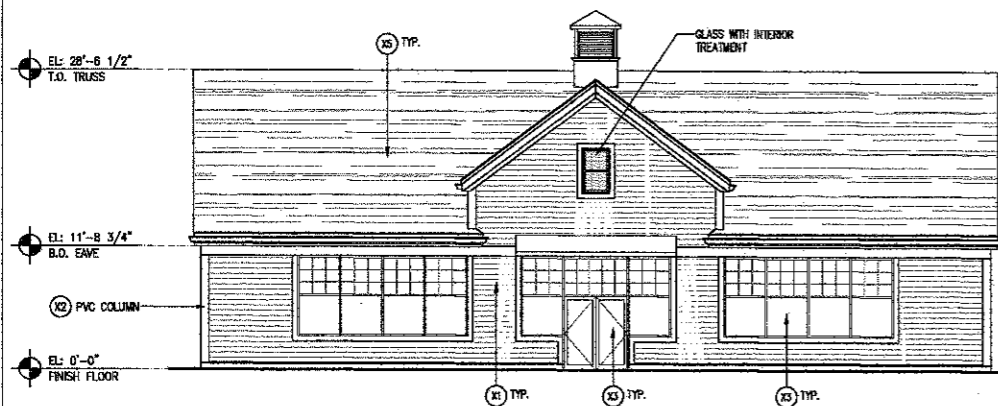


1 FLOOR PLAN
A4.1 SCALE: 1/8" = 1'-0"

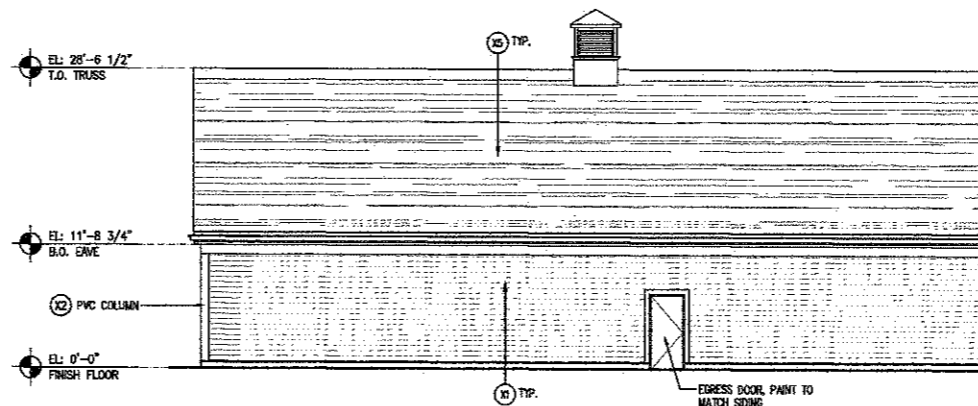
TAG	MATERIAL/MFG.	COLOR/AO.	NOTES
(R)	FIBER CEMENT SIDING SYSTEM	ColorMax PREFINISHED SYSTEM - COLOR TO BE "LINEN"	5" EXPOSURE, FIBER CEMENT CEDAR TEXTURED LAP SIDING
(X2)	PVC TRIM	SMOOTH FACE	PROVIDE PAINT SAMPLE TO ARCHITECT; SEE NOTE X6
(X3)	WIND/DOOR STOREFRONT "KAWNEER" TRIFAB II	VALSPAR INC. COATING #91A226, COLONIAL WHITE	#451-T SERIES FLUOROPOLYMER FINISH Tel. 1-800-366-3696
(X4)	GLASS WITH INTERIOR TREATMENT	DECORATIVE FILM SOLYX SX-3006	APPLIED TO INTERIOR SURFACE OF GLASS
(X5)	FIBERGLASS ASPHALT ARCHITECTURAL ROOF SHINGLE	WEATHERED WOOD O.C. TO SUBMIT SAMPLES	CAF TIMBERLINE 30 YEAR - ARCHITECTURAL SHINGLE OR APPROVED EQUAL
(X6)	EXTERIOR PAINTED SURFACE BENJAMIN MOORE	BENJAMIN MOORE - ATRUM WHITE 319-79	TYPICAL FOR ALL TRIM SURFACES PROVIDE PAINT SAMPLE TO ARCHITECT



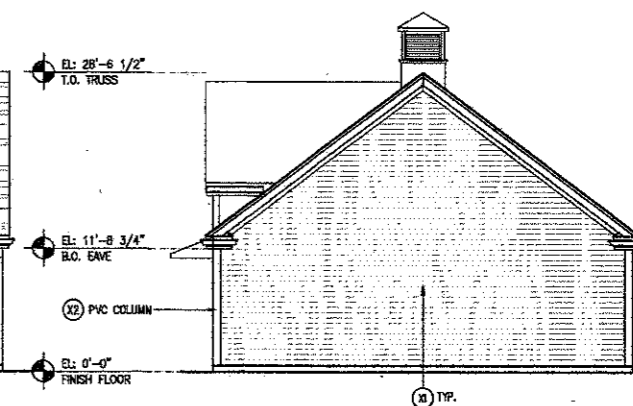
3 EAST ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



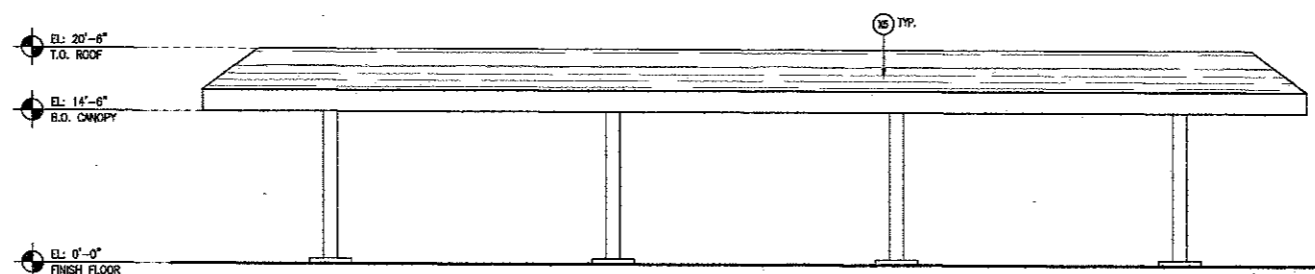
2 NORTH (STOREY AVE ROUTE 113) ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



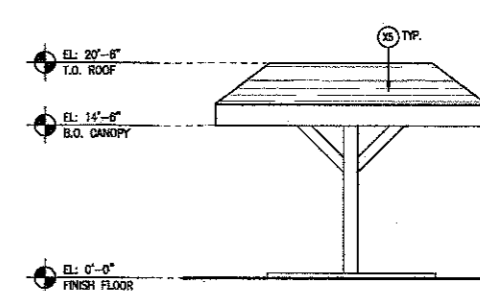
4 SOUTH ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



5 WEST ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



6 CANOPY NORTH (STOREY AVE ROUTE 113) ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



7 CANOPY EAST/WEST ELEVATION
A4.1 SCALE: 1/8" = 1'-0"

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NEWBURYPORT, MA 01950

Scale: 1/8" = 1'-0"
Date: 09/22/2014
Drawn By: EBF
Checked By: KLP
Job Number: 214064

Drawing:
A4.1.1