

**LOCUS MAP**  
NOT TO SCALE

# SITE DEVELOPMENT PLANS FOR OR BUILDING EXPANSION ANNA JAQUES HOSPITAL

25 HIGHLAND AVENUE  
NEWBURYPORT, MA 01950

**OWNER/APPLICANT:**  
BETH ISRAEL LAHEY HEALTH  
ANNA JAQUES HOSPITAL  
25 HIGHLAND AVENUE  
NEWBURYPORT, MA 01950

**ARCHITECT:**  
JACA ARCHITECTS  
9 BILLINGS ROAD  
NORTH QUINCY, MA 02171

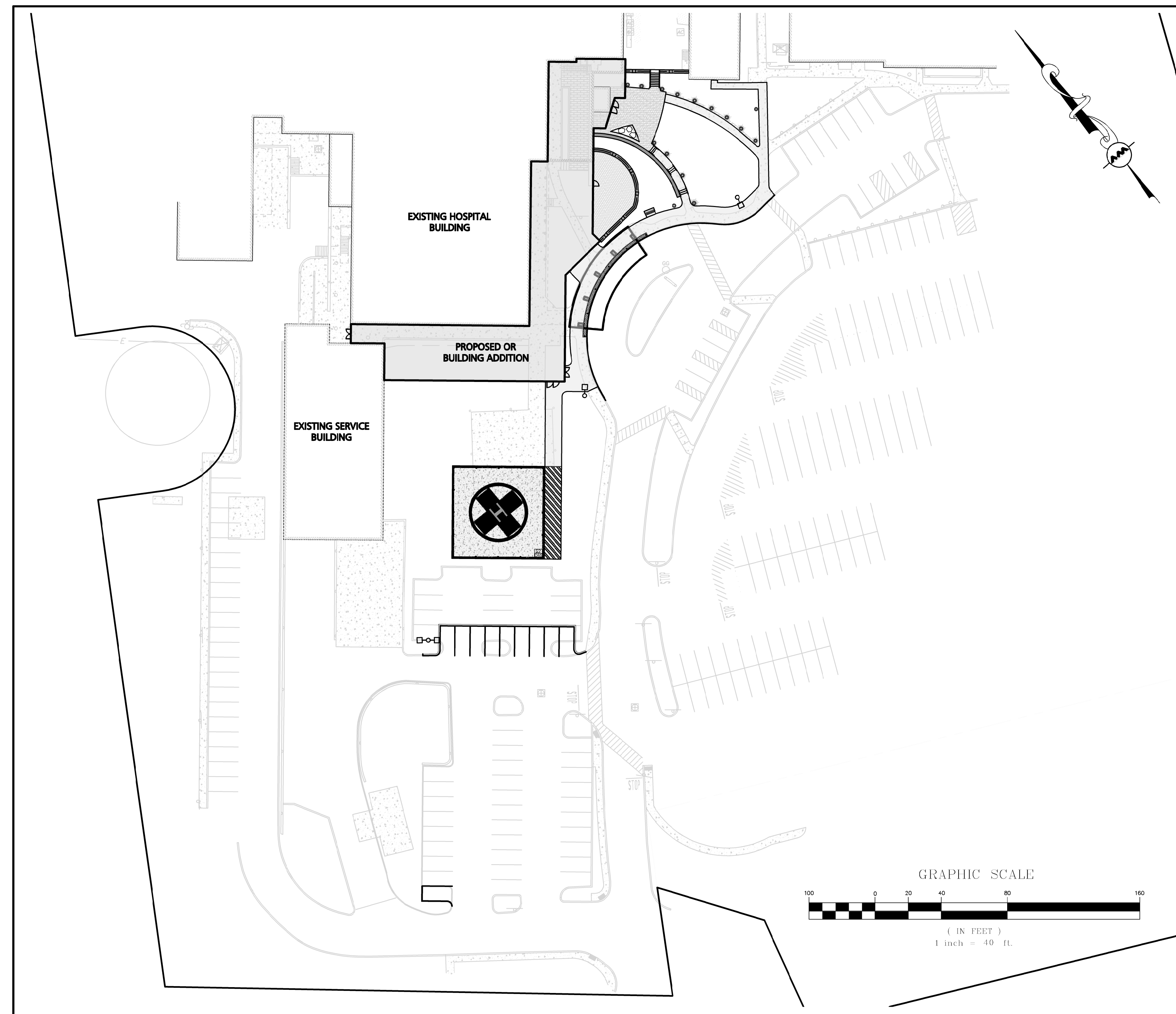
**CIVIL ENGINEER:**  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
SUITE 5  
WOBURN, MA 01801

**LANDSCAPE ARCHITECT:**  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
SUITE 5  
WOBURN, MA 01801

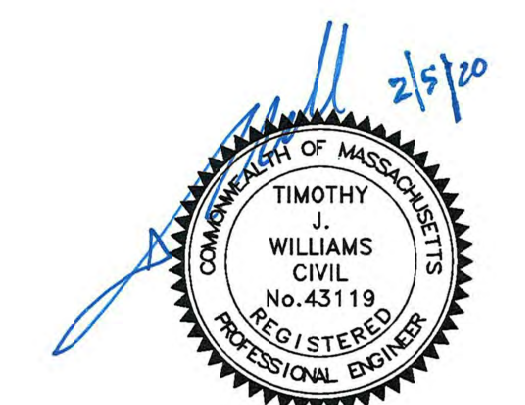
**LAND SURVEYOR:**  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
SUITE 5  
WOBURN, MA 01801

**STRUCTURAL ENGINEER**  
SCHLICK ENGINEERING, LLC  
10 MAIN STREET  
LAKEVILLE, MA 02347

**MEP/FP ENGINEER:**  
R.W. SULLIVAN ENGINEERING  
529 MAIN STREET, SUITE 203  
BOSTON, MA 02129



| LIST OF DRAWINGS                     |           |          |              |
|--------------------------------------|-----------|----------|--------------|
| DRAWING TITLE                        | SHEET NO. | ISSUED   | LAST REVISED |
| EXISTING CONDITIONS PLAN             | V-101     | 11-25-19 | 02-05-20     |
| ABBREVIATIONS & NOTES                | C-001     | 11-25-19 | 01-08-20     |
| ABBREVIATIONS & NOTES                | C-002     | 11-25-19 | 01-08-20     |
| SITE PREPARATION AND DEMOLITION PLAN | C-101     | 11-25-19 | 02-05-20     |
| LAYOUT & MATERIAL PLAN               | C-102     | 11-25-19 | 01-08-20     |
| GRADING & DRAINAGE PLAN              | C-103     | 11-25-19 | 01-08-20     |
| DETAILS                              | C-501     | 11-25-19 | 01-08-20     |
| DETAILS                              | C-502     | 11-25-19 | 01-08-20     |
| DETAILS                              | C-503     | -        | 01-08-20     |
| LANDSCAPE PLAN                       | L-101     | 11-25-19 | 01-08-20     |
| LANDSCAPE DETAILS                    | L-201     | 11-25-19 | 01-08-20     |



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

PREPARED BY:



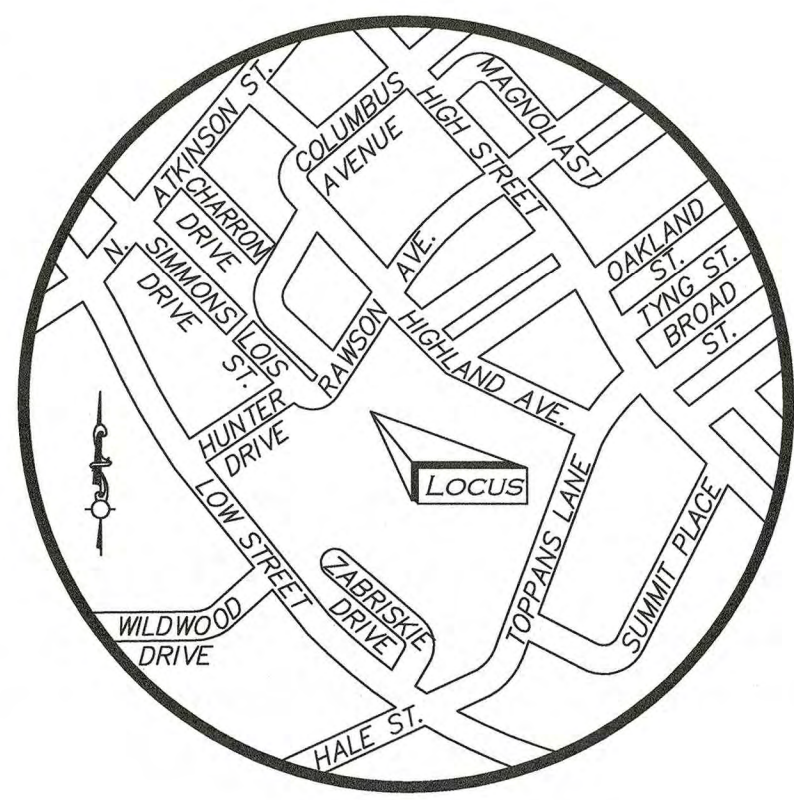
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RE-ISSUED FOR SITE PLAN REVIEW &  
SPECIAL PERMIT: FEBRUARY 5, 2020

ISSUED FOR SITE PLAN REVIEW & SPECIAL PERMIT: JANUARY 8, 2020

ISSUED FOR LOCAL PERMITTING: NOVEMBER 25, 2019



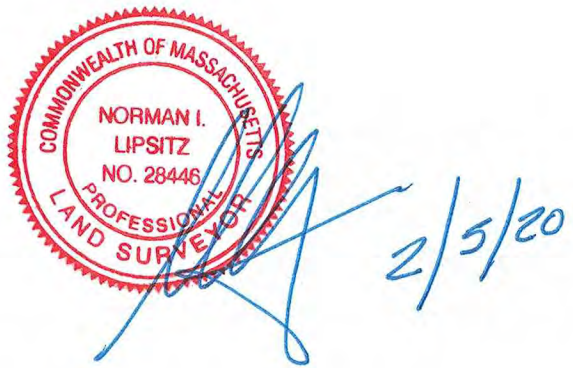


LOCUS MAP  
(NOT TO SCALE)

WE HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 12, 2019 AND NOVEMBER 11, 2019. THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



WATER LINE HAS BEEN ABANDONED DURING 2011 EXPANSION PROJECT BASED ON RECORD INFORMATION PROVIDED BY OWNER.

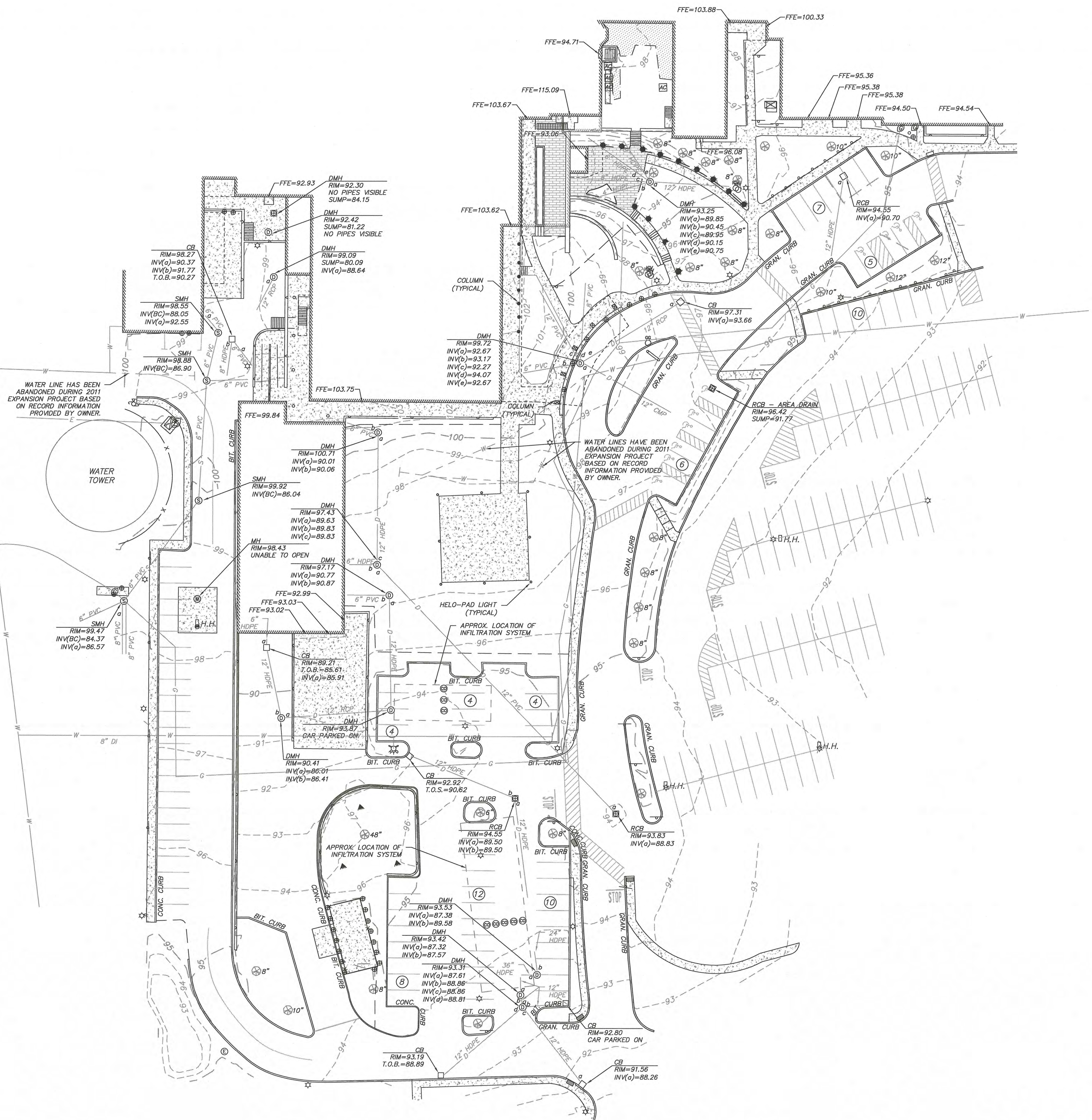
WATER LINES HAVE BEEN ABANDONED DURING 2011 EXPANSION PROJECT BASED ON RECORD INFORMATION PROVIDED BY OWNER.

APPROX. LOCATION OF INFILTRATION SYSTEM

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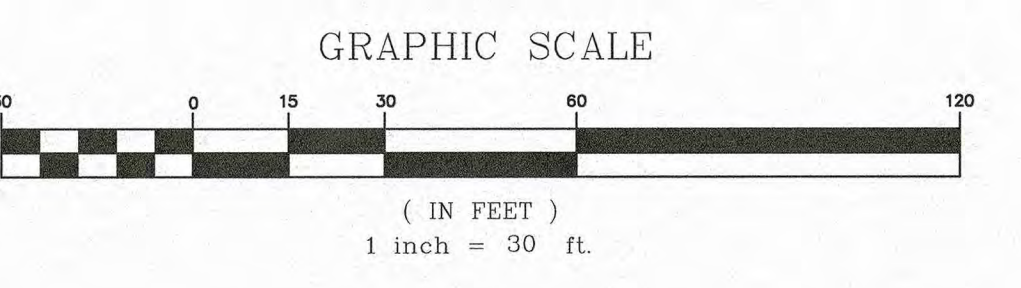


**UTILITY STATEMENT**  
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



| LEGEND                              |       |
|-------------------------------------|-------|
| DRAIN MANHOLE (DMH)                 | ⊙     |
| SEWER MANHOLE (SMH)                 | ⊕     |
| ELECTRIC MANHOLE (EMH)              | ⊖     |
| MISC. MANHOLE (MH)                  | ⊗     |
| CATCH BASIN (CB)                    | ⊠     |
| ROUND CATCH BASIN (RCB)             | ⊡     |
| BOLLARD                             | ⊛     |
| LIGHT                               | ⊙     |
| FLOODLIGHT                          | ⊙     |
| PEDESTRIAN LIGHT                    | ⊙     |
| TREE                                | ⊙     |
| AREA DRAIN                          | —     |
| SIGN                                | —     |
| SIGN                                | —     |
| TRANSFORMER                         | ⊕     |
| HAND HOLE                           | ⊕     |
| AIR CONDITIONER                     | ⊕     |
| CABLE BOX                           | ⊕     |
| TELEPHONE BOX                       | ⊕     |
| ELECTRIC BOX                        | ⊕     |
| GAS METER                           | ⊕     |
| ELECTRIC METER                      | ⊕     |
| HANDICAPPED PARKING SPACE           | ♿     |
| IRRIGATION CONTROL VALVE            | ⊕     |
| PARKING SPACE COUNT                 | ⊕     |
| SPOT GRADE                          | ⊕     |
| CONCRETE                            | ▨     |
| LANDSCAPED AREA (LSA)               | ▨     |
| BRICK/PAVER                         | ▨     |
| BUILDING                            | ▨     |
| BUILDING OVERHANG                   | ▨     |
| 1" CONTOUR                          | ---   |
| 5" CONTOUR                          | ---   |
| PROPERTY LINE                       | ---   |
| CONCRETE RETAINING WALL             | ---   |
| EDGE OF PAVEMENT                    | ---   |
| EDGE OF BRICK                       | ---   |
| CURB                                | ---   |
| CHAIN LINK FENCE                    | x     |
| STOCKADE FENCE                      | o     |
| METAL RAILING                       | o     |
| SEWER LINE                          | S     |
| DRAIN LINE                          | D     |
| GAS LINE                            | G     |
| ELECTRIC LINE                       | E     |
| WATER LINE                          | W     |
| ABANDONED WATER LINE                | -W-   |
| FINISHED FLOOR ELEVATION            | FFE   |
| BUTYMINOUS                          | BIT.  |
| CONCRETE                            | CONC. |
| GRANITE                             | GRAN. |
| BOTTOM CENTER (BC)                  | (BC)  |
| REINFORCED CONCRETE PIPE            | RCP   |
| POLYVINYL CHLORIDE PIPE             | PVC   |
| CORRUGATED METAL PIPE               | CMP   |
| HIGH DENSITY POLYETHYLENE PIPE HDPE | HDPE  |

- NOTES**
- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
  - VERTICAL DATUM IS NAVD 88.
  - CONTOUR INTERVAL IS ONE FOOT (1').
  - WATER LINE AND ABANDONED WATER LINE SHOWN HEREON HAVE BEEN SCALED FROM RECORD PLANS USED FOR THE 2011 EXPANSION PROJECT AS PREPARED BY SBA ARCHITECTS AND PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. BY THE CLIENT.



9 Billings Road  
North Quincy, MA 02171  
Tel. 617. 769. 6300  
Fax. 617. 769. 6399

**MEP/FP ENGINEER**  
R.W. Sullivan Engineering  
529 Main St., Suite 203  
Boston, MA 02129  
Tel. 617.523.8227

**LAND SURVEY, LANDSCAPE ARCHITECT & CIVIL ENGINEER**  
ALLEN & MAJOR ASSOCIATES, INC.  
100 Commerce Way, Suite 5  
Woburn, MA 01801  
Tel. 781.935.6889

**STRUCTURAL ENGINEER**  
Schlick Engineering, LLC.  
10 Main Street  
Lakeville, MA 02347  
Tel. 774.419.3796

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENTS REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS IN DIGITAL MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE DIGITAL INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORITY ON THE DIGITAL MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

drawing by: COB  
drawing checked by: HL  
A&M project number: 2699-01

| ISSUE                       | DATE     |
|-----------------------------|----------|
| ISSUED FOR LOCAL PERMITTING | 11-25-19 |
| ISSUED FOR SITE PLAN REVIEW | 01-08-20 |
| AND SPECIAL PERMIT          |          |
| DESIGN DEVELOPMENT          | 01-17-20 |
| WATER LINES ADDED           | 02-05-20 |

| Mark | Revision | Date |
|------|----------|------|
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Stamp

Drawing Title  
**EXISTING CONDITIONS**

Scale: 1" = 30'  
Drawing Number:

**V-101**

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GENERAL NOTES:

- 1. FOR EXISTING CONDITIONS SURVEY, SEE PLAN ENTITLED "PARTIAL EXISTING CONDITIONS PLAN", AS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC. (ORIGINAL SCALE 1"=30'.
- 2. ZONING DISTRICT IS GENERAL ACUTE CARE MEDICAL (M-1), AND THE SITE IS LOCATED ENTIRELY WITHIN THE CITY OF NEWBURYPORT.
- 3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO:
- SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY OF NEWBURYPORT TO REVIEW THE CONSTRUCTION SCHEDULE, PERMITTED DRAWINGS AND PERMIT CONDITIONS AT LEAST ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF EARTH DISTURBING ACTIVITIES AT NO ADDITIONAL COST TO OWNER.
- GIVE REASONABLE NOTICE TO THE CITY OF NEWBURYPORT FOR INSPECTION PRIOR TO INSTALLING ANY PROPOSED STORMWATER MANAGEMENT SYSTEMS, IF APPLICABLE, OR INSTALLATION OF ANY OTHER CRITICAL DESIGN COMPONENTS IDENTIFIED DURING THE ABOVE MENTIONED PRECONSTRUCTION MEETING.
- AS REQUIRED, PROVIDE AS-BUILT PLANS TO THE CITY OF NEWBURYPORT.
- 4. OVERALL LOT SIZE: 10.56± ACRES. CITY OF NEWBURYPORT PARCEL ID: 39-44.
- 5. DURING CONSTRUCTION, ALL VEHICLES MUST BE PARKED ON SITE.
- 6. DURING CONSTRUCTION, ALL STAGING AND DELIVERIES WILL OCCUR ON SITE.
- 7. EXTERIOR CONSTRUCTION ACTIVITIES ON THE SITE SHALL FOLLOW ALL APPLICABLE REGULATIONS PER THE CITY OF NEWBURYPORT, AS IT RELATES TO CONSTRUCTION HOURS, NOISE AND CONSTRUCTION SCREENING AND FENCING.
- 8. THIS PROJECT WILL BE SERVED BY PUBLIC WATER, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY CONNECTIONS WILL BE MADE INTERNALLY THROUGH THE EXISTING BUILDING.
- 9. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
- 10. ALL COMMON BUILDING ENTRANCES AND WALKS SHALL BE HANDICAP ACCESSIBLE PER FEDERAL ADA & MA AAB REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 11. ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- 12. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- 13. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- 14. ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- 15. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRECONSTRUCTION MEETING WITH THE APPROPRIATE CITY DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER, AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- 16. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- 17. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- 18. ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- 19. ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 20. ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
- 21. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
- 22. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- 23. DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS FILL IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
- 24. ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL & SEED, AND BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED.
- 25. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. SEE SITE PREPARATION & DEMOLITION PLAN FOR MORE DETAIL.
- 26. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF NEWBURYPORT'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- 27. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.
- 28. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAKING.
- 29. EXISTING AND PROPOSED GAS SERVICE LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT THE GAS LINE INSTALLATION & DISCONNECTION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED.
- 30. CONSTRUCTION RELATED ACTIVITIES SHALL OCCUR PER THE CITY OF NEWBURYPORT SPECIAL PERMIT AND MINOR SITE PLAN REVIEW FINAL DECISION.
- 31. EXISTING & PROPOSED ELECTRIC AND COMMUNICATIONS (TELEPHONE AND CABLE) SYSTEMS LOCATIONS ARE APPROXIMATE ONLY AND SHALL BE COORDINATED AND SCHEDULED WITH THE APPROPRIATE UTILITY COMPANY SERVING THE PROJECT SITE.
- 32. CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THEM AND THE PROPOSED UTILITIES.
- 33. THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, NEWBURYPORT PLANNING PERMITS, NEWBURYPORT CONSERVATION COMMISSION PERMITS, MA DOT ACCESS PERMIT, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS.
- 34. THE CONTRACTOR SHALL BE FAMILIAR WITH AND ADHERE TO THE NEWBURYPORT PLANNING BOARD'S FINAL DECISION AND REQUIREMENTS AT NO ADDITIONAL COST TO OWNER.
- 35. IT IS THE CONTRACTORS RESPONSIBILITY TO PROPERLY DISPOSE OF AND ABATE ALL BUILDING MATERIALS OR ANY HAZARDOUS MATERIALS ONSITE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL LAWS AND REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 36. DURING EXCAVATION, ANY EXISTING LOAM WHICH DOES NOT MEET THE LOAM DETAIL BY THE LANDSCAPE ARCHITECT SHALL BE REMOVED OFFSITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

GRADING & DRAINAGE NOTES:

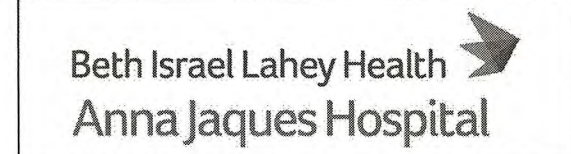
- 1. EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- 2. THE ARCHITECTURAL PLANS SHALL BE REFERRED TO IN ORDER TO DETERMINE THE EXACT LOCATIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, HANDICAPPED RAMPS, TRUCK DOCKS, COMPACTOR PAD, ROOF DRAIN LATERALS AND PRECISE BUILDING DIMENSIONS.
- 3. ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- 4. IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- 5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA.
- 6. TEMPORARY STRAW BALE PROTECTION AND/OR SILT SACK SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM. SILT SACKS ARE REQUIRED AT ALL EXISTING DRAINAGE STRUCTURE INLETS DURING CONSTRUCTION.
- 7. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
- 8. ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEM, AND WATER QUALITY STRUCTURES ARE TO BE CLEANED OUT PRIOR TO FINAL APPROVAL TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS.
- 9. IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
- 10. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- 11. ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING RING & COVERS & SHALL BE LABELED "DRAIN".
- 12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT (IF REQUIRED) FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- 13. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE SIX INCHES (6") OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE & CIVIL SPECIFICATIONS & DRAWINGS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- 15. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.
- 16. ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.

UTILITY NOTES:

- 1. THE LATEST STANDARDS OF THE CITY OF NEWBURYPORT SHALL BE FOLLOWED WHEN INSTALLING ANY SANITARY SEWER AND STORM DRAIN WORK. BOTH SEWER AND STORM DRAIN WORK WILL BE INSPECTED BY CITY OF NEWBURYPORT PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. THE LATEST STANDARDS OF THE CITY OF NEWBURYPORT SHALL BE FOLLOWED WHEN INSTALLING ANY WATER LINE WORK. WATER LINE WORK WILL BE INSPECTED BY CITY OF NEWBURYPORT PERSONNEL AND ALL COSTS SHALL INCLUDE PRESSURE TESTING, DISINFECTING, AND FLUSHING OF LINES. INSPECTION COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL NECESSARY DISINFECTING AND FLUSHING TAPS AS DIRECTED BY THE CITY.
- 3. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL & PLUMBING DRAWINGS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND NATURAL GAS. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- 4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- 5. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- 6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- 7. THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS (UNLESS OTHERWISE NOTED):
- SEWER - PVC (POLYVINYL CHLORIDE), SDR 35
- DRAIN - HDPE (HIGH DENSITY CORRUGATED POLYETHYLENE PIPE WITH SMOOTH INNER WALL), ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
- DRAIN - RCP CLASS IV (REINFORCED CONCRETE PIPE, WHERE SPECIFIED ON PLAN)
- WATER - C.L.D.I. (CEMENT LINED DUCTILE IRON)
- 8. REFER TO DEMOLITION PLAN & PROPOSED UTILITY PLAN FOR EXISTING ITEMS TO BE REMOVED AND FOR UTILITY ABANDONMENT.
- 9. BEFORE UTILITY WORK BEGINS, THE CONTRACTOR WILL COORDINATE WITH THE CITY OF NEWBURYPORT THE APPROPRIATE PERMIT AND INSPECTION FEES.
- 10. ALL UTILITY CONNECTIONS THROUGH THE BUILDING WALL SHALL BE BY MEANS OF FLEXIBLE JOINTS.
- 11. ALL WATER GATES TO PROPOSED HYDRANTS ARE 6" DIAMETER UNLESS NOTED.
- 12. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- 13. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- 14. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- 15. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- 16. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AT BENDS.
- 17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER ON ALL WATERLINES AND A MAXIMUM OF 8'-0" COVER.
- 18. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE TO MEET THE REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- 19. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
- 20. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
- 21. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- 22. ALL HYDRANTS SHALL MEET LOCAL MUNICIPAL SPECIFICATION REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF NEWBURYPORT REQUIREMENTS.
- 23. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX, AND TEE FITTINGS.
- 24. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE CITY OF NEWBURYPORT REQUIREMENTS.
- 25. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL AND MUNICIPAL STANDARDS AND REQUIREMENTS.
- 26. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH THE UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- 27. SEWER PIPE BEDDING MATERIAL SHALL BE AS SPECIFIED ON THE DRAWINGS. IF LOCAL OR STATE AUTHORITIES REQUIRE DIFFERENT BEDDING OR BACKFILL MATERIAL, THEN THE MORE STRINGENT SHALL APPLY.
- 28. DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.

ABBREVIATIONS:

Table with 3 columns: Abbreviation, Description, and Additional Description. Includes entries like ABAN (ABANDON), ADA (AMERICANS WITH DISABILITIES ACTS), ADJ (ADJUST), B (BORING), BC (BOTTOM OF CURB), BIT (BITUMINOUS), BLDG (BUILDING), BM (BENCH MARK), BOS (BOTTOM OF SLOPE), BOW (BOTTOM OF WALL), BV&B (BUTTERFLY VALVE & BOX), BVW (BORDERING VEGETATED WETLAND), CATV (CABLE TELEVISION), CB (CATCH BASIN), CF (CUBIC FEET), CFS (CUBIC FEET PER SECOND), CL (CAST IRON (PIPE)), CLDI (CENTERLINE), CLIF (CEMENT LINED DUCTILE IRON (PIPE)), CLF (CHAIN LINK FENCE), CMP (CORRUGATED METAL PIPE), CO (CLEAN OUT), CONC (CONCRETE), CONST (CONSTRUCTION), CONT (CONTRACTOR), CRD (COORDINATE), CUL (CULVERT), CY (CUBIC YARD), DB (DISTRIBUTION BOX), DBL (DOUBLE), DEM (DEMOLISH), DET (DEFLECTION), DIA (DIAMETER), DIM (DIMENSION), DMH (DRAIN MANHOLE), DW (DOMESTIC WATER (OR DRY WELL)), DWG (DRAWING), DYCL (DOUBLE YELLOW CENTERLINE), EHH (ELECTRIC HANDHOLE), EL (ELEVATION), ELEC (ELECTRIC), EMH (ELECTRIC MANHOLE), EOP (EDGE OF PAVEMENT), EOR (EDGE OF ROAD), EOW (EDGE OF WETLANDS), ETC (ELECTRIC, TELEPHONE, CABLE), EXIST (EXISTING), EXT (EXTERIOR), FCC (FLUSH CONCRETE CURB), FES (FLARED END SECTION), FFE (FINISH FLOOR ELEVATION), FPS (FEET PER SECOND), FS (FIRE SERVICE), FT (FOOT/FEET), GC (GENERAL CONTRACTOR), GEN (GENERAL), GG (GAS GATE), GR (GUIDE RAIL), GRAN (GRANITE), GV (GATE VALVE), GV&B (GATE VALVE & BOX), GW (GROUND WATER), H (HORIZONTAL), HOR (HORIZONTAL), HT (HEIGHT), HW (HEADWALL), HWY (HIGHWAY), HYD (HYDRANT), ID (INSIDE DIAMETER), IN (INCHES), INCL (INCLUDE), INST (INSTALLED), INV, I.E. (INVERT, INVERT ELEVATION), L (LENGTH), LP (LIGHT POLE), MAT (MATERIAL), MAX (MAXIMUM), MH (MANHOLE), MIN (MINIMUM), MISC (MISCELLANEOUS), MTD (MOUNTED), MW (MONITORING WELL), N (NORTH), NIC (NOT IN CONTRACT), NO (NUMBER), NTS (NOT TO SCALE), OC (ON CENTER), OD (OUTSIDE DIAMETER), OHW (OVERHEAD WIRE), OVHD (OVERHEAD), OW (OBSERVATION WELL), PC (POINT OF CURVATURE), PCC (PRECAST CONCRETE CURB), PI (POINT OF INTERSECTION), PL (PROPERTY LINE), POC (POINT ON CURVATURE), POT (POINT ON TANGENT), PROP, P (PROPOSED), PTC (POINT (OR POINT OF TANGENT) TOP OF WETLANDS), PVC (POLYVINYL CHLORIDE (PIPE)), R&R (REMOVE & RESET/REPLACE), R&S (REMOVE & STACK), RCP (REINFORCED CONCRETE PIPE), RD (ROAD (OR ROOF DRAIN)), RELOC (RELOCATE), REM (REMOVE), RET (RETAIN, RETAINING OR RETENTION), ROW (RIGHT OF WAY), RR (RAILROAD), Rwy (ROADWAY), SD (SUBDRAIN), SF (SLOPED GRANITE CURB), SGC (SEWER MANHOLE), SMH (STANDPIPE), SPEC (SPECIFICATION), STA (STATION), STD (STANDARD), SWEL (SOLID WHITE EDGE LINE), SW (SIDEWALK), SWLL (SOLID WHITE LANE LINE), SYCL (SOLID YELLOW CENTERLINE), TB (TEST BORING), TC (TOP OF CURB), TD (TRENCH DRAIN), TEL (TELEPHONE), TMH (TELEPHONE MANHOLE), TOS (TOP OF SLOPE), TOW (TOP OF WALL), TP (TEST PIT), TYP (TYPICAL), UD (UNDERDRAIN), UP (UTILITY POLE), V (VERTICAL), VCP (VERTIFIED CLAY PIPE), VERT (VERTICAL), VGC (VERTICAL GRANITE CURB), WG (WATER GATE), WM (WATER MAIN), WMH (WATER MANHOLE), WSO (WATER SHUTOFF)



Anna Jaques Hospital

OR Building Expansion

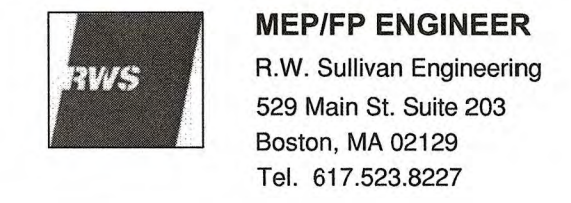
25 Highland Ave, Newburyport, MA 01950

Architect



9 Billings Road North Quincy, MA 02171 Tel: 617-789-6300 Fax: 617-769-6399

Consultants



LAND SURVEY, LANDSCAPE ARCHITECT & CIVIL ENGINEER Allen & Major Associates, Inc. 100 Commerce Way, Suite 5 Woburn, MA 01801 Tel: 781.935.6889



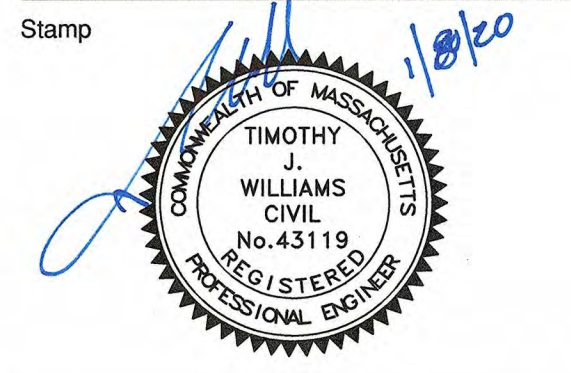
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Table with 2 columns: ISSUE, DATE. ISSUED FOR LOCAL PERMITTING: 11-25-19 ISSUED FOR SITE PLAN REVIEW AND SPECIAL PERMIT: 01-08-20

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Drawing Title

ABBREVIATIONS & NOTES

Scale: NO SCALE

Drawing Number:

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JACA Project Number 190042

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ISSUED FOR LOCAL PERMITTING - NOT FOR CONSTRUCTION



EROSION & SEDIMENTATION CONTROL NOTES:

- 1. EROSION CONTROL SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE...
2. AREAS OF EXPOSED SOIL UNDERGOING CONSTRUCTION THAT WILL NOT BE COVERED AND/OR FINISHED GRADED SHALL BE STABILIZED AS SOON AS PRACTICABLE...
3. IF DISTURBED AREAS DO NOT RECEIVE FINAL SEEDING BY OCTOBER 1ST OF THE CONSTRUCTION YEAR...
4. ALL TOPSOIL SHALL BE COLLECTED, STOCKPILED, SEEDED WITH RYE AT 3LBS PER 1,000 SQUARE FOOT AND MULCHED...
5. ALL FILTER BARRIERS, SILT SACKS, AND EROSION CONTROL BERMS SHALL BE INSTALLED ACCORDING TO THE EROSION CONTROL PLAN...
6. ADJACENT ROADS SHALL BE PERIODICALLY SWEEPED OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA...
7. THE CONTRACTOR SHALL USE EXTREME CAUTION TO AVOID ALLOWING SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM DURING CONSTRUCTION...
8. AS APPLICABLE, EROSION CONTROL MESH SHALL BE APPLIED IN ACCORDANCE WITH THE PLANS OVER ALL FINISHED SEEDED AREAS AS SPECIFIED ON THE DESIGN PLANS...
9. AT A MINIMUM, ALL STRAW BALES, SILT FENCE AND FILTER FABRIC SHALL REMAIN IN PLACE UNTIL SEEDINGS HAVE BECOME 85-90% ESTABLISHED...
10. AT THE OWNER'S DISCRETION ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED TO MAINTAIN STABILITY OF EARTHWORKS AND FINISHED GRADED AREAS...
11. INSPECTIONS AND MONITORING MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE...
12. IF ANY EVIDENCE OF SEDIMENTATION IS OBSERVED AT THE STORMWATER MANAGEMENT AREA INLETS, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE A PLAN TO THE ENGINEER TO REMOVE ANY ACCUMULATED SEDIMENT...
13. FOLLOWING THE TEMPORARY OR FINAL SEEDING, THE CONTRACTOR SHALL INSPECT WORKING AREAS SEMI-MONTHLY TO ENSURE THE AREA HAS A MINIMUM OF 85-90% VEGETATED VIGOROUS GROWTH...
14. CONTRACTOR & ALL SITE SUBCONTRACTORS SHALL BE FAMILIAR WITH & FOLLOW ALL APPROVED PERMITS AND CONDITIONS...
15. ALL EROSION MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE...
16. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION...
17. TOP OF STOCKPILES SHALL BE COVERED IN SUCH MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS...
18. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER...
19. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY STRAW BALE FILTERS AND STONE CHECK DAMS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED...
20. STRAW BALE DIKES SHALL BE CONSTRUCTED AT ALL EXISTING & PROPOSED CATCH BASINS...
21. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY...
22. ALL PROPOSED SLOPES EQUAL TO OR GREATER THAN 3:1 SHALL BE STABILIZED WITH JUTE MESH AND PROTECTED FROM EROSION...
23. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL STRAW BALES AND EXTRA SILTATION FENCING...
24. AS CONSTRUCTION DISTURBANCE IS GREATER THAN 1 ACRE, A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT NOI, LOCAL STORMWATER PERMIT AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WILL NEED TO BE SUBMITTED TO THE EPA...
25. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT NOI...
26. APPLICABLE WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF NEWBURYPORT, MA DEP, EPA CONSTRUCTION GENERAL PERMIT STANDARDS...
27. A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED.

EROSION & SEDIMENTATION CONTROL NOTES (CONTINUED):

- 28. IF DEWATERING IS NECESSARY IT SHALL ONLY BE COMPLETED AS FOLLOWS: THE DISCHARGE SHALL BE STOPPED IMMEDIATELY IF THE RECEIVING AREA SHOWS ANY SIGN OF INSTABILITY OR EROSION...
29. INITIATE STABILIZATION IMMEDIATELY IF CONSTRUCTION WORK TEMPORARILY OR PERMANENTLY CEASES...
30. ALL DISCHARGES FROM POLLUTION SOURCES IS PROHIBITED ONSITE SUCH AS FUELS, WASTEWATER FROM WASH OUT OF CONCRETE...
31. PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE EPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS...
32. ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY...
33. ALL USE OF CATIONIC TREATMENT CHEMICALS (EXAMPLES INCLUDE POLYMERS, CHITOSAN, CATIONIC PAM, FLOCCULANTS OR OTHER CHEMICAL UTILIZED FOR STABILIZATION) ARE PROHIBITED...
34. IF USING NON-VEGETATIVE STABILIZATION MEASURES, IT MUST BE COMPLETED NO LATER THAN 14 DAYS AFTER INITIATING STABILIZATION...
35. INSPECTIONS OF EROSION CONTROL MEASURES SHALL BE AT LEAST ONCE EVERY 7 DAYS BY THE CONTRACTOR AT A MINIMUM...
36. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL EROSION CONTROL MEASURES AND SEDIMENTATION CONTROL MEASURES...
37. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL EROSION CONTROL MEASURES AND SEDIMENTATION CONTROL MEASURES...
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45. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL EROSION CONTROL MEASURES AND SEDIMENTATION CONTROL MEASURES...

MAINTENANCE:

- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION...
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A HEALTHY STAND OF GRASS IS MAINTAINED...
3. ALL SEDIMENT CONTROLS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED...
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY...
5. THE TEMPORARY PARKING AND STORAGE AREA MAY BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE)...
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES...

CONSTRUCTION GENERAL PERMIT NOTES AND NARRATIVE:

NARRATIVE: THE STORMWATER POLLUTION PREVENTION PLANS CONSIST OF THE EROSION CONTROL PLANS TOGETHER WITH AN EXISTING CONDITIONS PLANS, GRADING PLANS, ABBREVIATIONS AND NOTES SHEETS, AND DETAIL SHEETS.

THE EROSION CONTROL PLAN WILL BE IMPLEMENTED TO:

- A. TREAT EROSION AS SOON AS POSSIBLE AFTER DISTURBANCE.
B. PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA AND ENTERING THE RECEIVING WATERS.
C. CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED TO MINIMIZE EROSION.
D. ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.

STORMWATER POLLUTION PREVENTION PLAN

2.1 GENERAL

- 2.1.1. THE FIRST STAGE INVOLVES ACTIVITIES NEEDED TO ADDRESS STORMWATER MANAGEMENT; EXCAVATING MATERIAL DESIGNATED FOR OFF-SITE REMOVAL OR ON-SITE RELOCATION; AND FENCING SELECTED AREAS...
2.1.2. THE SECOND STAGE WILL CONSIST OF ROUTINE CONSTRUCTION INVOLVING DEMOLITION, PAVING, LANDSCAPING AND UTILITIES...
2.1.3. THERE ARE GENERAL PHASES OF CONSTRUCTION AS IDENTIFIED BELOW. IN EACH PHASE OF CONSTRUCTION, IMPLEMENT STANDARD EROSION AND SEDIMENT CONTROL PRACTICES...

TYPICAL PRACTICES TO BE APPLIED TO THE SITE INCLUDE THE FOLLOWING:

PRIOR TO DEMOLITION AND EARTH DISTURBANCE IN ANY WORK AREA, INSTALL SILTATION BARRIERS (BALES OR SILT FENCE WITH BALES) BETWEEN THE WORK AREA AND THE AREA(S) TO WHICH IT DRAINS.

DISCHARGE WATER FROM DEWATERING OPERATIONS TO A TEMPORARY SILTATION TRAP OR SEDIMENTATION BASIN. PROVIDE TEMPORARY BERMS AND SWALES TO DIVERT SURFACE WATER AWAY FROM THE AREAS THAT WILL BE EXPOSED BY CONSTRUCTION ACTIVITY TO MINIMIZE THE AMOUNT OF SURFACE WATER COMING INTO CONTACT WITH EXPOSED SOILS...

LIMIT THE EXTENT OF EXPOSED SOILS TO AREAS THAT CAN BE WORKED AND RESTABILIZED WITHIN THE CONSTRUCTION SEASON AND DURING THE SPECIFIC CONSTRUCTION PHASE...

IN ADDITION TO THESE PRACTICES, FOLLOW THE SPECIAL PRACTICES DESCRIBED BELOW. COMPLY WITH THE DIRECTIONS OF THE OWNER'S REPRESENTATIVE TO ADDRESS EROSION AND SEDIMENTATION CONDITIONS...

THE FOLLOWING IS A DESCRIPTION OF MINIMUM CONSTRUCTION REQUIREMENTS AND DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES WITH REGARD TO DETERMINING THE ADEQUACY OF MEANS AND METHODS OF CONSTRUCTION.

2.2 ESTIMATED CONSTRUCTION SEQUENCING

THE FOLLOWING IS AN ESTIMATED CONSTRUCTION SEQUENCING. SOME ACTIVITIES MAY OCCUR AT THE SAME TIME RATHER THAN AT SEPARATE TIMES OR OUT OF SEQUENCE DUE TO ACTUAL FIELD CONDITIONS OR OTHER FACTORS.

(CONTRACTOR TO FOLLOW ANY ADDITIONAL PERMIT REQUIREMENTS OR STEPS AT NO ADDITIONAL COST TO THE OWNERS FROM EITHER STATE OR LOCAL PERMITS)

- INSTALL ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO TEMPORARY STRAW BALE FILTERS, SILT SACKS, CONSTRUCTION ENTRANCES, AND STRAWBALES AND SILT FENCE.
SETUP STAGING AND MATERIAL STORAGE / STOCKPILE AREAS.
IF REQUIRED, CONSTRUCT TEMPORARY SILT / DEWATERING BASINS.
PROTECT AND MARK ALL EXISTING ITEMS NOTED TO REMAIN.
PERFORM DEMOLITION WORK. SURVEY AND IDENTIFY LIMITS OF SITE CLEARING...
PULVERIZE EXISTING PAVEMENT TO BE REMOVED AND DEMO EXISTING BUILDING SECTIONS AND MATERIALS AS NOTED.
REMOVE EXISTING LOAM AND SUBSOIL AND STOCKPILE FOR REUSE.
PERFORM ROUGH GRADING.
INSTALL UNDERGROUND UTILITIES.
PERFORM FINE GRADING; PLACE BINDER PAVEMENT COURSE.
PLACE PAVEMENT TOP COURSE; CONSTRUCT SIDEWALKS AND ALL OTHER SITE IMPROVEMENTS.
ERADICATE EXISTING PAVEMENT MARKINGS ON REMAINING PAVEMENT.
INSTALL NEW PAVEMENT MARKINGS, SITE SIGNAGE & COMPLETE LANDSCAPING.
REMOVE TEMPORARY SILT CONTROLS AFTER ONCE GIVEN APPROVAL BY NEWBURYPORT CONSERVATION COMMISSION AND SITE IS STABILIZED.

OPERATION AND MAINTENANCE CONSTRUCTION ACTIVITIES:

- 1. CONTRACTOR SHALL CONTACT THE CITY OF NEWBURYPORT AT LEAST THREE (3) DAYS PRIOR TO START OF CONSTRUCTION TO ENSURE ALL PRE-CONSTRUCTION MEASURES HAVE BEEN SUFFICIENTLY ADDRESSED...
2. INSTALL STRAWBALES AND SILT FENCE AS SHOWN ON THE EROSION CONTROL PLAN...
3. INSTALL THE CONSTRUCTION ENTRANCE(S) AT THE LOCATION(S) SHOWN ON THE EROSION CONTROL PLAN...
4. SITE ACCESS SHALL BE ACHIEVED ONLY FROM THE DESIGNATED CONSTRUCTION ENTRANCE(S)...
5. STOCKPILES SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR TEMPORARY SEEDING WHENEVER PRACTICABLE...
6. INSTALL SILT SACKS AND STRAWBALES AROUND EACH DRAIN INLET AS SOON AS PRACTICABLE...
7. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL EVENT...
8. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED, REPAIRED OR REPLACED AS REQUIRED OR AT THE DIRECTION OF THE OWNER'S ENGINEER...
9. SEDIMENT ACCUMULATION UP-GRADE OF THE STRAWBALES AND SILT FENCE GREATER THAN 6" IN DEPTH SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS...
10. IF IT APPEARS THAT SEDIMENT IS EXITING THE SITE, SILT SACKS SHALL BE INSTALLED IN ALL CATCH BASINS ADJACENT TO THE SITE...
11. INSTALL STONE OR DIVERSION SWALE STRAW BALE CHECK DAMS ON SITE AS REQUIRED DURING CONSTRUCTION...
12. THE CONTRACTOR SHALL COMPLY WITH THE GENERAL AND EROSION NOTES AS SHOWN ON THE SITE DEVELOPMENT PLANS AND SPECIFICATIONS...
13. THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSPECTED WEEKLY...
14. DUST POLLUTION SHALL BE CONTROLLED USING ON-SITE WATER TRUCKS AND OR AN APPROVED SOIL STABILIZATION PRODUCT...
15. CARE SHOULD BE TAKEN TO PREVENT DISCHARGE OF SEDIMENT TO ABUTTERS.

2.3 MAINTENANCE

- 2.3.1. DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED: SEEDED AREAS WILL BE FERTILIZED AND RESEED AS NECESSARY TO INSURE VEGETATION ESTABLISHMENT...
2.3.2. TEMPORARY SEDIMENTATION BASINS WILL BE CHECKED AFTER EACH SIGNIFICANT RAINFALL AND NO LESS THAN WEEKLY, AND CLEANED AS NEEDED TO RETAIN STORAGE CAPACITY...
2.3.3. TEMPORARY DRAINAGE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY...
2.3.4. THE STRAWBALE AND SILTATION FENCING BARRIERS AND OTHER EROSION AND SEDIMENT CONTROL MEASURES/DEVICES SHALL BE INSPECTED, CLEANED, REPLACED AND/OR REPAIRED AS NECESSARY...

2.4. GENERAL

- 2.4.1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS, FORMERLY SCS) GUIDELINES...
2.4.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK...
2.4.3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITEWORK OR EARTHWORK OPERATIONS...
2.4.4. ALL WORK SHALL BE IN ACCORDANCE WITH THE PERMITS AND APPROVALS ISSUED BY THE LOCAL PLANNING BOARD...
2.4.5. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED BALES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION...
2.4.6. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS...

IF APPLICABLE, EFFORTS SHALL BE MADE TO AVOID STOCKPILING CUT GLACIAL TILL SOILS SINCE STOCKPILING INCREASES EXPOSURE TO PRECIPITATION AND PROVIDES GREATER OPPORTUNITY FOR FROST PENETRATION...

- 2.4.7. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER...
2.4.8. THE LOCATION OF TEMPORARY DRAINAGE SWALES AND SEDIMENTATION TRAPS ARE APPROXIMATE ONLY AND SHALL BE RELOCATED AS REQUIRED AS CONSTRUCTION PROGRESSES...
2.4.9. BALE DIKES SHALL BE CONSTRUCTED AT ALL EXISTING & PROPOSED CATCH BASINS LOCATED IN AREAS SUBJECT TO STORMWATER RUN-OFF...
2.4.10. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED FROM INCOMING SILT UNTIL ALL DISTURBED AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED...
2.4.11. ANY DEWATERING REQUIRED DURING CONSTRUCTION ON THE SITE SHALL DISCHARGE INTO A DEWATERING FILTER OR THE TEMPORARY SILT BASIN PRIOR TO DISCHARGE TO THE EXISTING DETENTION BASIN OR TO OFF-SITE...
2.4.12. BALES AND SILTATION FENCING AND TEMPORARY SILT BASIN SHALL BE INSPECTED NO LESS THAN WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL...
2.4.13. ALL PROPOSED NON-RIPRAP SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL FABRIC AND PROTECTED FROM EROSION...
2.4.14. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL BALES AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE...
2.4.15. BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY...
2.4.16. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES...
2.4.17. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR...
2.4.18. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS...
2.4.19. THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES...
2.4.20. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT...
2.4.21. FOLLOWING THE ADDITION OF A BINDER COURSE, THE CONTRACTOR SHALL SWEEP ALL ON-SITE PAVEMENT...



Anna Jaques Hospital

OR Building Expansion

25 Highland Ave., Newburyport, MA 01950

Architect



9 Billings Road
North Quincy, MA 02171
Tel: 617. 769. 6300
Fax: 617. 769. 6399

Consultants

MPE/FP ENGINEER
R.W. Sullivan Engineering
529 Main St., Suite 203
Boston, MA 02129
Tel: 617.523.9227

LAND SURVEY,
LANDSCAPE ARCHITECT
& CIVIL ENGINEER
Allen & Major Associates, Inc.
100 Commerce Way, Suite 5
Woburn, MA 01891
Tel: 781.935.6889

SCHLICK ENGINEERS
Schlick Engineering, LLC.
10 Main Street
Lakeville, MA 02347
Tel: 774.419.3796

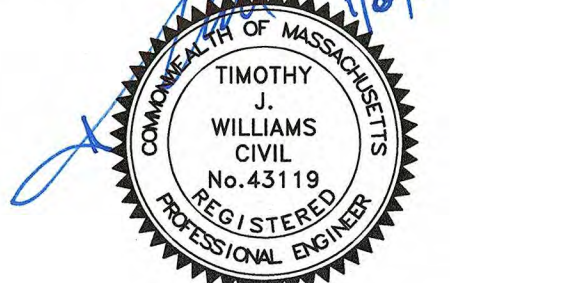
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Table with columns: drawing by, drawing checked by, A&M project number. Values: AM SM RBT T/W, RBT T/W, 2699-01.

Table with columns: ISSUE, DATE. Rows: ISSUED FOR LOCAL PERMITTING (11-25-19), ISSUED FOR SITE PLAN REVIEW AND SPECIAL PERMIT (01-08-20).

Table with columns: Mark, Revision, Date. Multiple empty rows for revision tracking.

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Drawing Title: ABBREVIATIONS & NOTES

Scale: NO SCALE

Drawing Number: C-002

JACA Project Number 190042

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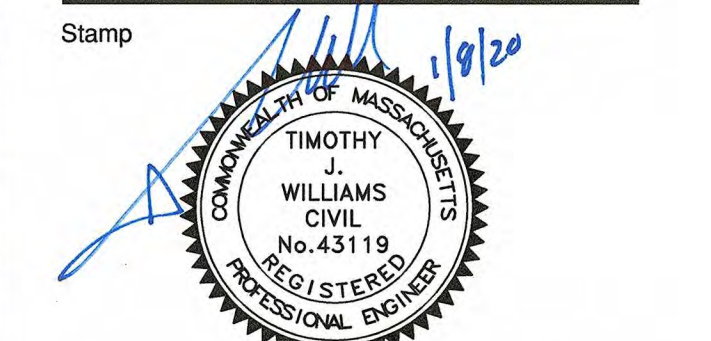


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drawing checked by: RBT TJW  
AM project number: 2699-01

ISSUE DATE  
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ISSUED FOR REQUEST FOR A ZONING DETERMINATION 12-09-19  
ISSUED FOR SITE PLAN REVIEW 01-08-20  
AND SPECIAL PERMIT

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Drawing Title  
**LAYOUT & MATERIALS PLAN**

Scale: 1" = 20'  
Drawing Number:

**C-102**

JACA Project Number 190042

| LEGEND                                |                |
|---------------------------------------|----------------|
| PROPERTY LINE UNCONFIRMED (SEE NOTES) | ---            |
| SIGN                                  | +              |
| PROP. BOLLARD                         | •              |
| PROP. BUILDING                        | [Hatched Area] |
| BUILDING ARCHITECTURE                 | [Line Style]   |
| BUILDING INTERIOR WALLS               | [Line Style]   |
| PROP. CURB                            | [Line Style]   |
| RETAINING WALL                        | [Line Style]   |
| PARKING STRIPING                      | [Line Style]   |
| CONC. SIDEWALK                        | [Line Style]   |
| ADA DET. WARNING SURFACE              | [Line Style]   |
| PROP. PAVERS                          | [Line Style]   |
| SAW-CUT LINE                          | ---            |

**NOTES:**

- PROPERTY LINES SHOWN ARE UNCONFIRMED AND ARE SHOWN FOR GENERAL ORIENTATION ONLY. PROPERTY LINES ARE REFERENCED FROM 2010 OAK ENGINEERS PLANS & NOT REVIEWED OR COMPLETED BY A&M.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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- HOSPITAL HELIPORT DESIGN BASED UPON FAA DESIGN REGULATIONS (AC 150/5390-2C, CHAPTER 4 HOSPITAL HELIPORTS). THE DESIGN HAS BEEN BASED UPON THE COAST GUARD'S SIK MH-60 JAYHAWK AS THEY WILL BE UTILIZING THE HELIPORT AND THIS IS A LARGER HELICOPTER THAN THE MFDLIGHT SIK 576. WITHIN THE FAA REGULATIONS THE SIK MH-60 BLACKHAWK DIMENSIONS WERE UTILIZED AS THEY ARE SIMILAR TO THE SIK MH-60 JAYHAWK. SEE DETAILS.
- BUILDING FOOTPRINT PROVIDED TO ALLEN & MAJOR ASSOCIATES FROM CLIENT JACA ARCHITECTS ON NOVEMBER 14, 2019. SEE ARCHITECTURAL PLANS BY JACA ARCHITECTS FOR BUILDING LOCATION, LAYOUT, UTILITY LOCATIONS, DOOR LOCATIONS AND ALL ARCHITECTURAL DETAILS.

**OFF-STREET PARKING SUMMARY**

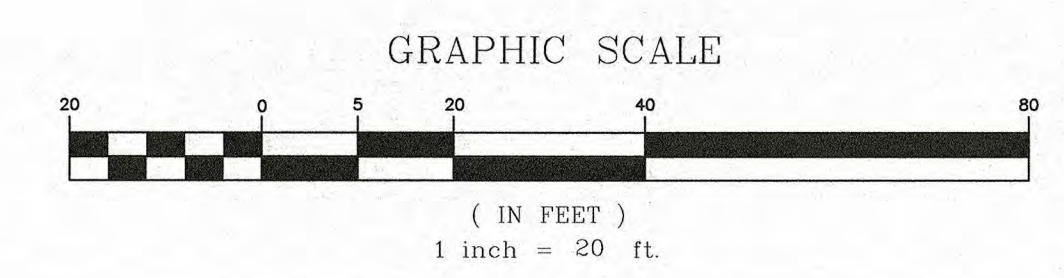
|   |  |   |   |                       |
|---|--|---|---|-----------------------|
| <b>208 - HOSPITAL USE:</b>  |  |   |   |                       |
| 1 PER 2 EMPLOYEES PLUS 1 PER DOCTOR PLUS 1 PER 2 BEDS   |  |   |   |                       |
| (402 EMPLOYEES) x 1 SPACE PER 2 EMPLOYEES   | =  | 201 SPACES                                      |   |                       |
| (21 DOCTORS) x 1 SPACE PER DOCTOR   | =  | 21 SPACES                                       |   |                       |
| (123 BEDS) x 1 SPACE PER 2 BEDS   | =  | 62 SPACES                                       |   |                       |
| <b>215 - MEDICAL OFFICE BUILDING:</b>   |  |   |   |                       |
| 1 PER 2 EMPLOYEES PLUS 1 PER 300 SQUARE FEET GROSS FLOOR AREA   |  |   |   |                       |
| (66 EMPLOYEES) x 1 SPACE PER 2 EMPLOYEES  | =  | 33 SPACES                                       |   |                       |
| (58,000 G.S.F.) x 1 SPACE PER 300 G.S.F.  | =  | 194 SPACES                                      |   |                       |
| <b>SITE TOTAL OFF-STREET PARKING REQUIREMENT = 511 SPACES</b>   |  |   |   |                       |
| <b>ADA REQUIRED STANDARD ACCESSIBLE &amp; VAN ACCESSIBLE SPACES</b>   |  |   |   |                       |
| (839 TOTAL STALLS)*(2.0%) = 16.78 STALLS, ROUNDED TO 17 HANDICAPPED STALLS REQUIRED, OF WHICH 1 OUT OF EVERY 6 PROPOSED ADA ACCESSIBLE STALLS MUST BE VAN ACCESSIBLE. |  |   |   |                       |
| (17 REQUIRED STANDARD ADA ACCESSIBLE STALLS)*(1/6 VAN ACCESSIBLE) = 3 VAN ACCESSIBLE STALLS REQUIRED  |  |   |   |                       |
| 6 EXISTING VAN STALLS ARE PROVIDED OUT OF THE 26 TOTAL EXISTING ACCESSIBLE STALLS   |  |   |   |                       |
| <b>TOTAL EXISTING</b>   | <b>TOTAL PROVIDED (WITH THE REMOVAL OF 12 SPACES AND THE 10 NEWLY CONSTRUCTED 9'X18' SPACES)</b> | <b>TOTAL SPACES LEASED FROM HOSPITAL TO NMC</b> | <b>TOTAL SPACES PROVIDED FOR HOSPITAL</b> | <b>TOTAL REQUIRED</b> |
| 841   | 839  | 40  | 799                                       | 511                   |

- NOTES:**
- THE EXISTING PARKING COUNTS (TOTAL EXISTING, TOTAL EXISTING ACCESSIBLE SPACES, AND EXISTING ACCESSIBLE VAN SPACES) HAS BEEN REFERENCED FROM MULTIPLE PLANS:  
A. THE PARKING SUMMARY ON PLAN ENTITLED "OVERALL SITE PLAN; C-1", FOR THE PARKING LOT EXPANSION PROJECT AT ANNA JACQUES HOSPITAL, PREPARED BY: OAK CONSULTING GROUP, WITH A LAST REVISION DATE OF 11/12/14.  
B. PLAN ENTITLED "PARKING LOT REPAIR PLAN"; C-1", FOR THE PARKING LOT REPAIRS AT ANNA JACQUES HOSPITAL, PREPARED BY: OAK CONSULTING GROUP, WITH A DATE OF 10/23/2017.

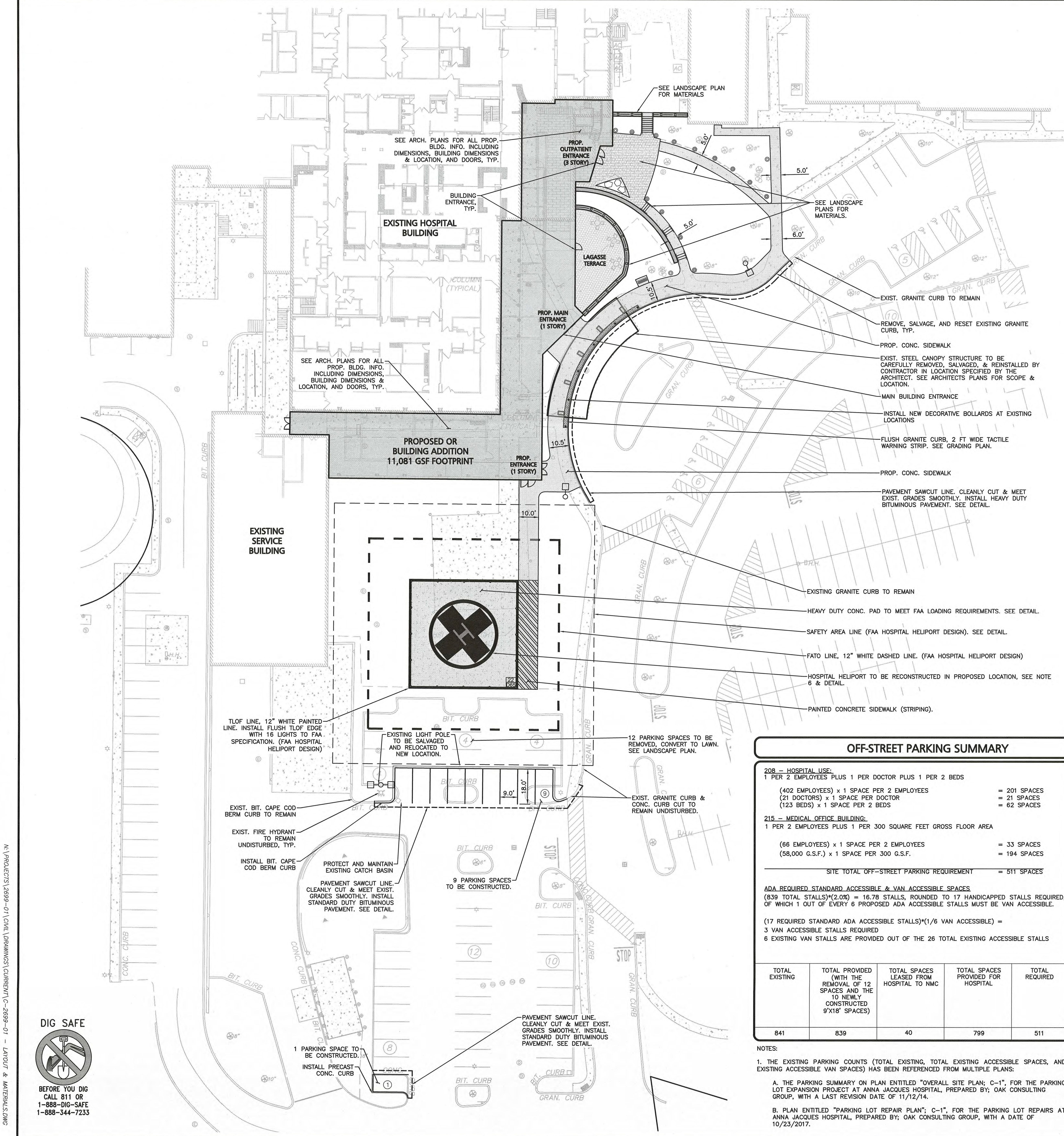
**LAND USAGE TABLE - GENERAL ACUTE CARE MEDICAL (M-1)  
USE: 208 - HOSPITAL / 215 - MEDICAL OFFICE BUILDING**

| ITEM                          | EXISTING <sup>1</sup>       | PROPOSED <sup>1,3,4</sup>                | REQUIRED/ALLOWED           |
|-------------------------------|-----------------------------|--|----------------------------|
| LOT AREA (S.F.)               | 10.56 AC.<br>(459,913 S.F.) | 10.56 AC. <sup>1</sup><br>(459,913 S.F.) | 4.60 AC.<br>(200,000 S.F.) |
| FRONTAGE (FEET)               | 1,451'                      | 1,451'                                   | 200'                       |
| FRONT YARD SETBACK (FEET)     | 20'                         | 20'                                      | 20'                        |
| SIDE YARD SETBACK (FEET)      | 20'                         | 20'                                      | 20'                        |
| REAR YARD SETBACK (FEET)      | 20'                         | 20'                                      | 20'                        |
| MAX. BUILDING HEIGHT (FEET)   | 39.4'                       | 36.5'                                    | 40'                        |
| LOT COVERAGE (%) <sup>2</sup> | 20%<br>(91,983 S.F.)        | 22%<br>(101,323 S.F.)                    | 50%<br>(229,956 S.F.)      |
| OPEN SPACE (%)                | N/A                         | N/A                                      | N/A                        |

- NOTES:**
- ALL EXISTING DIMENSIONAL CALCULATIONS & PROPOSED FRONT YARD, SIDE YARD, REAR YARD SETBACKS, HAVE BEEN REFERENCED FROM THE PARKING SUMMARY ON PLAN TITLED "OVERALL SITE PLAN", FOR THE EXPANSION PROJECT AT ANNA JACQUES HOSPITAL, PREPARED BY: OAK ENGINEERS, DATED: 9/8/2010. THE PROPOSED PROJECT DOES NOT CHANGE THE FRONT YARD, SIDE YARD, & REAR YARD SETBACKS AS THE PROPOSED BUILDING ADDITION IS LOCATED ON THE INTERIOR OF THE PROPERTY AND FURTHER AWAY FROM THE PROPERTY LINE THAN THE EXISTING BUILDING.
  - LOT COVERAGE, THAT PERCENTAGE OF THE LOT AREA WHICH IS DEVOTED TO BUILDING AREA. (SECTION II. - DEFINITIONS 2.5.)
  - PROPOSED BUILDING HEIGHT & STORIES IS FROM JACA ARCHITECTS ON DECEMBER 16, 2019.
  - PROPOSED BUILDING FOOTPRINT G.S.F. IS FROM JACA ARCHITECTS ON DECEMBER 16, 2019.



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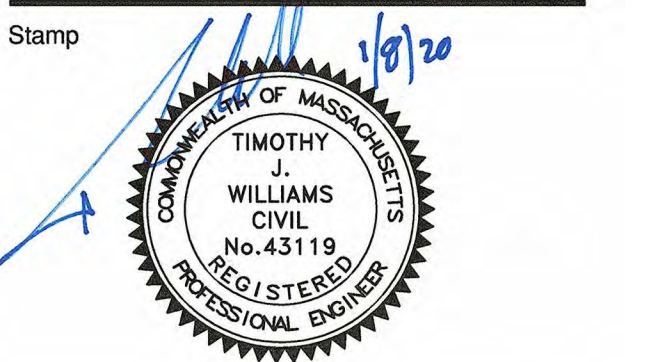


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Drawing checked by: RB T JW  
A&M project number: 2699-01

ISSUE DATE  
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ISSUED FOR SITE PLAN REVIEW 01-08-20  
AND SPECIAL PERMIT

| Mark | Revision | Date |
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Drawing Title  
**GRADING &  
DRAINAGE PLAN**

Scale: 1" = 20'

Drawing Number:

**C-103**

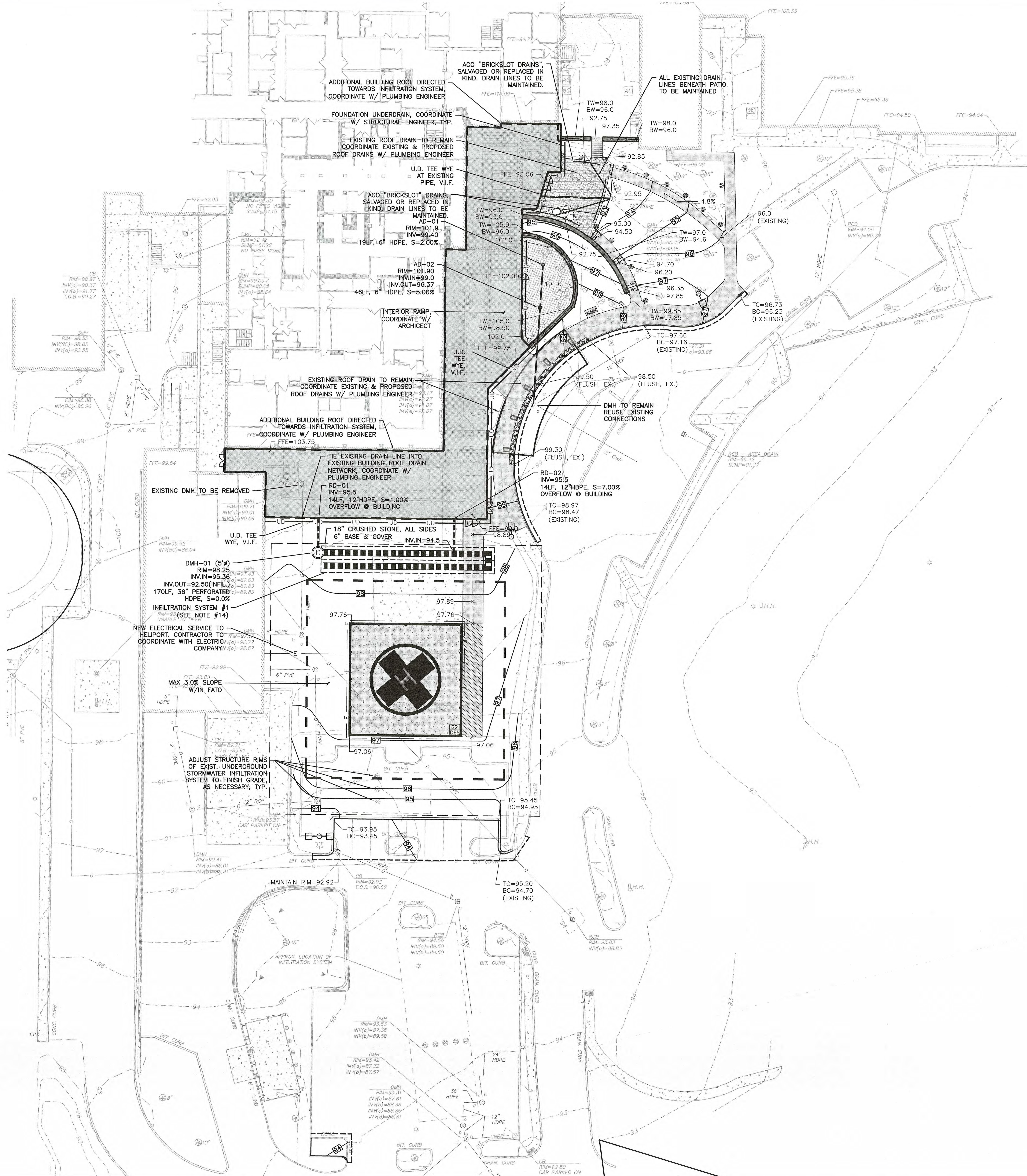
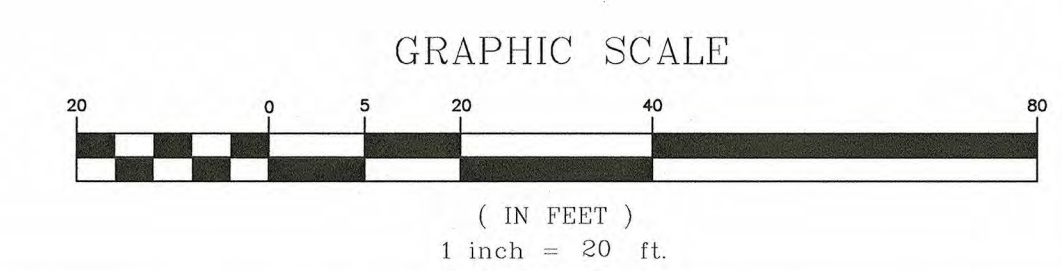
JACA Project Number 190042

**LEGEND**

- DRAIN MANHOLE
- AREA DRAIN
- DRAIN LINE
- 5' CONTOUR
- 1' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM
- FOUNDATION UNDERDRAIN

- GRADING & DRAINAGE NOTES:**
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  - CONTRACTOR SHALL REMOVE OR ROUTE ANY EXISTING UTILITIES THAT CONFLICT WITH EXISTING IMPROVEMENTS.
  - ALL ELEVATIONS REFER TO NAVD 88.
  - ROOF DRAIN LOCATIONS TO BE COORDINATED W/ ARCHITECT.
  - PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
  - EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
  - IN LANDSCAPED AREAS THE TOP ELEVATION OF DRAIN RIM/COVER SHALL BE FLUSH WITH FINISH GRADE OF THE LOAM. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
  - ALL EXIST. STRUCTURES NEAR AREA OF WORK & NEWLY INSTALLED CATCH BASINS, MANHOLES, AND WATER QUALITY STRUCTURES TO BE CLEANED OUT PRIOR TO FINAL APPROVAL TO REMOVE ANY CONSTRUCTION SILT AND DEBRIS.
  - IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
  - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  - ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
  - THE CONTRACTOR SHALL CONFIRM, BY TEST PIT, THE SOILS SURROUNDING INFILTRATION SYSTEM #1 PRIOR TO CONSTRUCTION.
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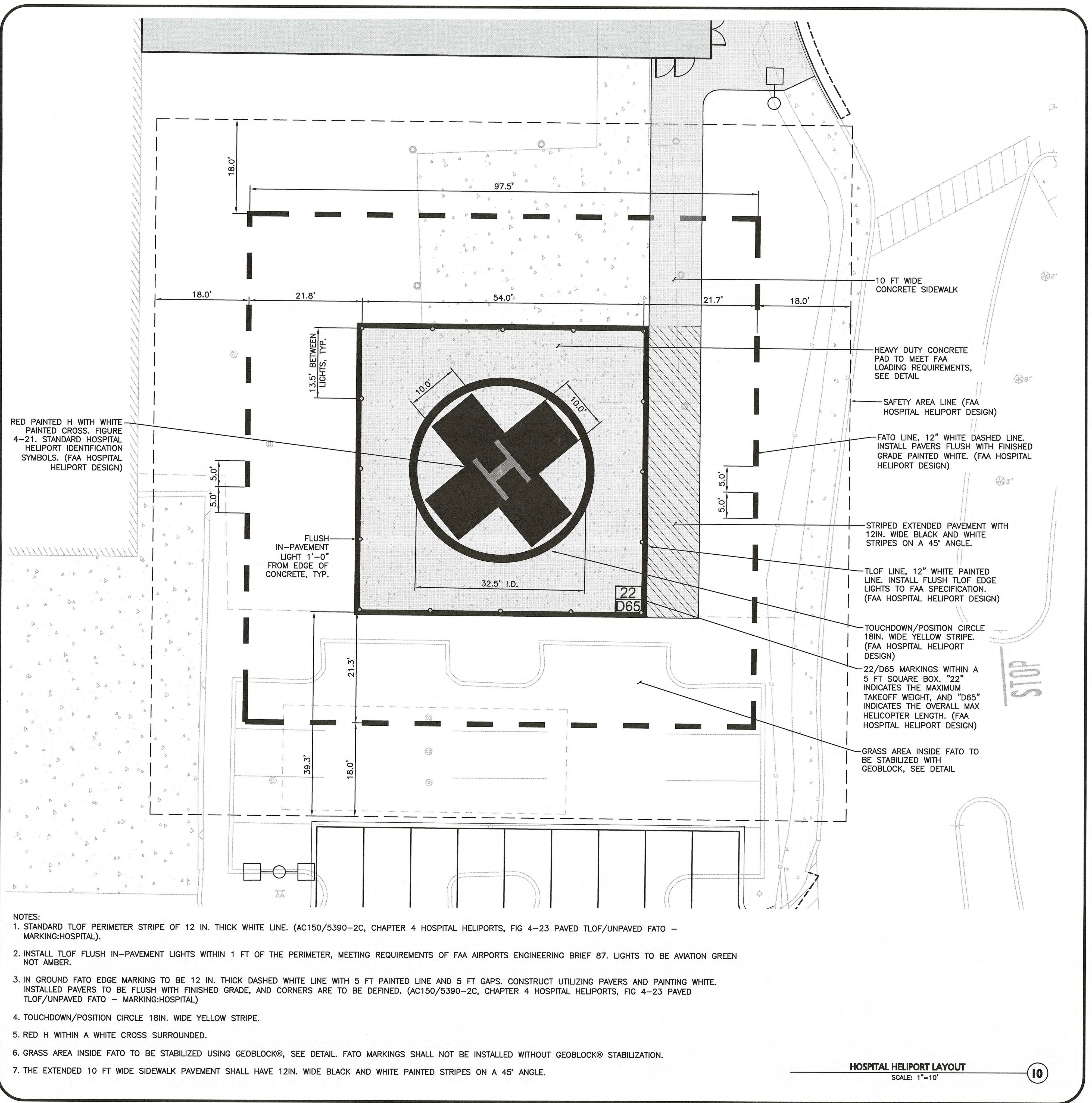
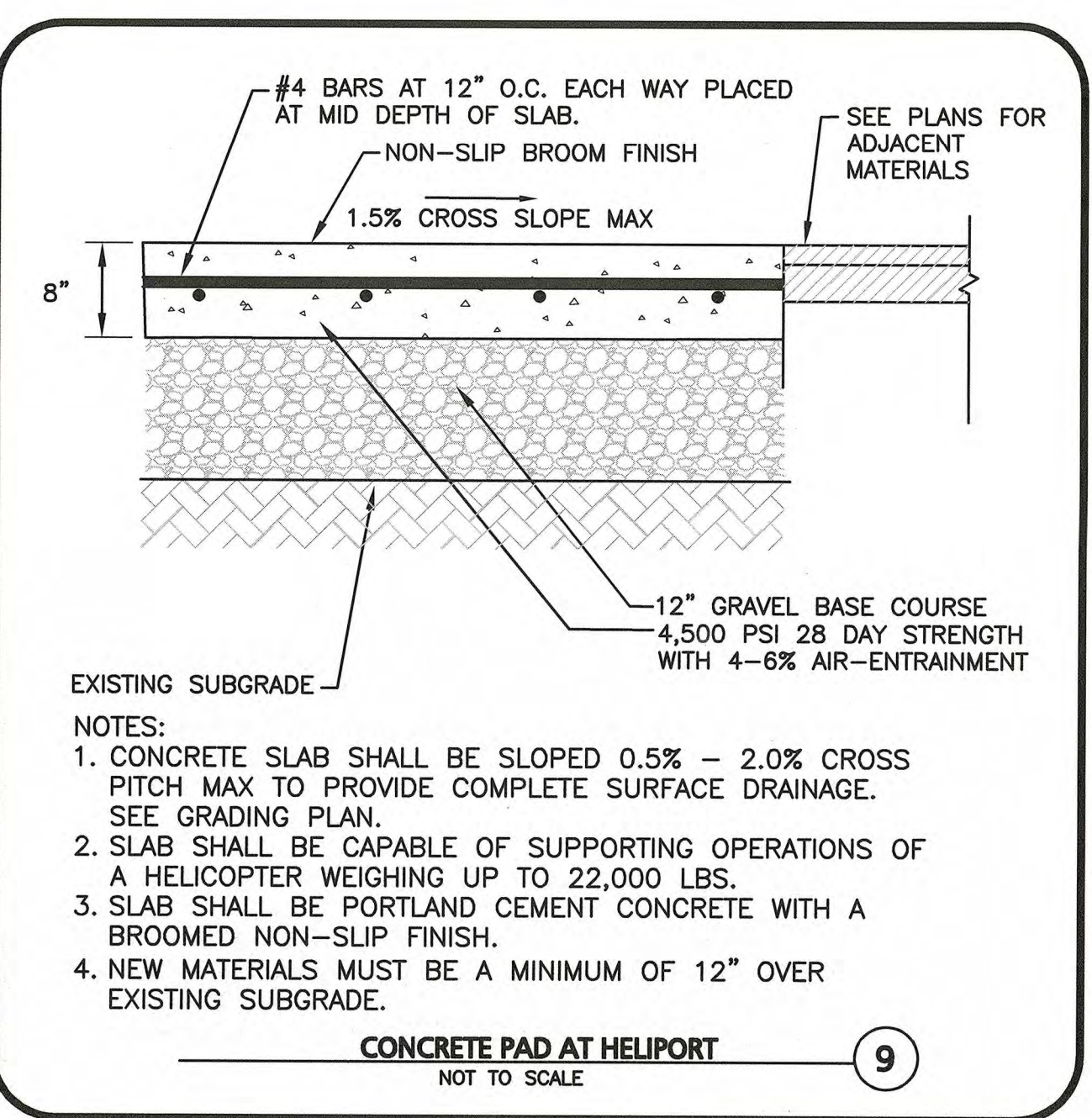
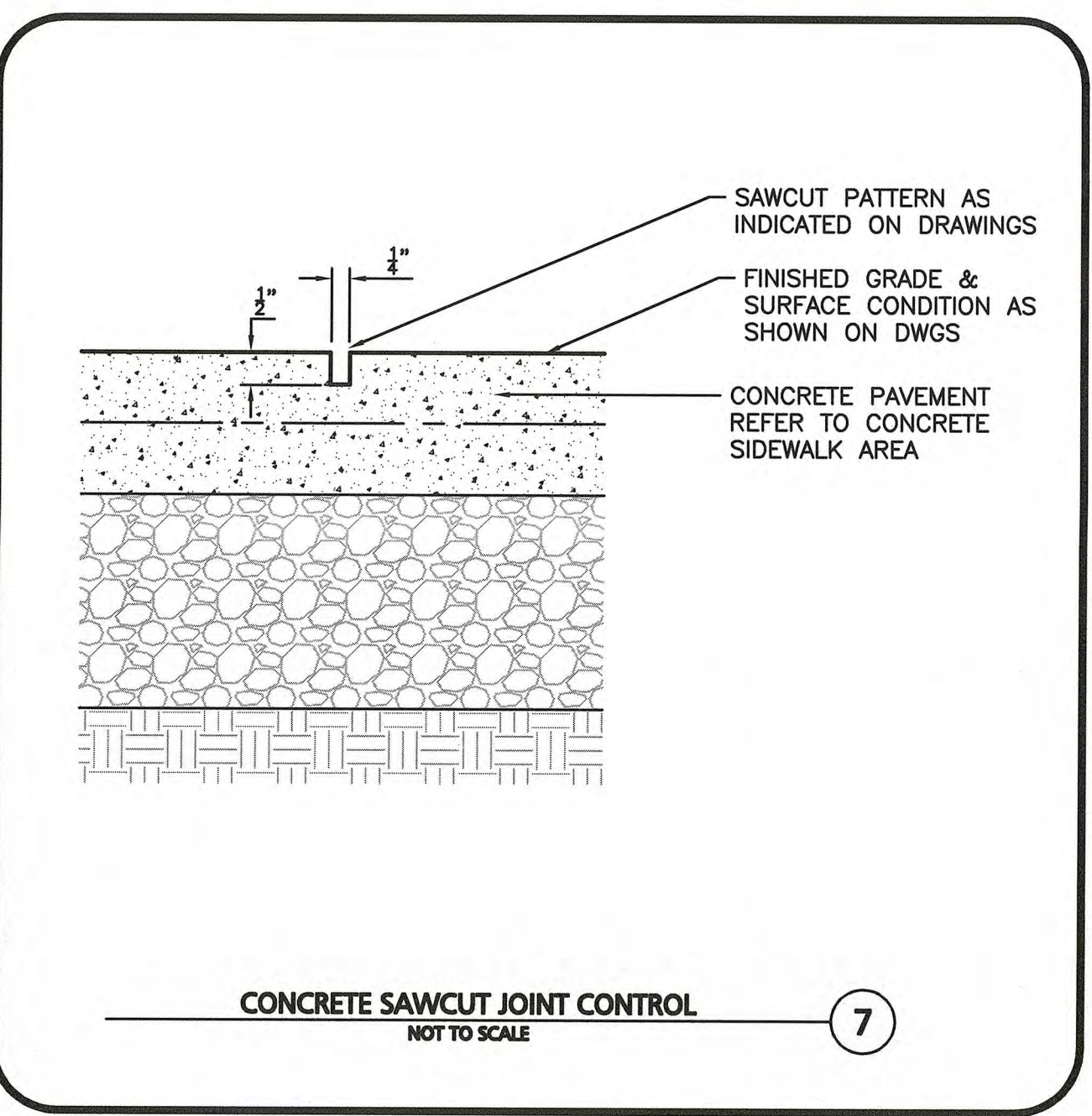
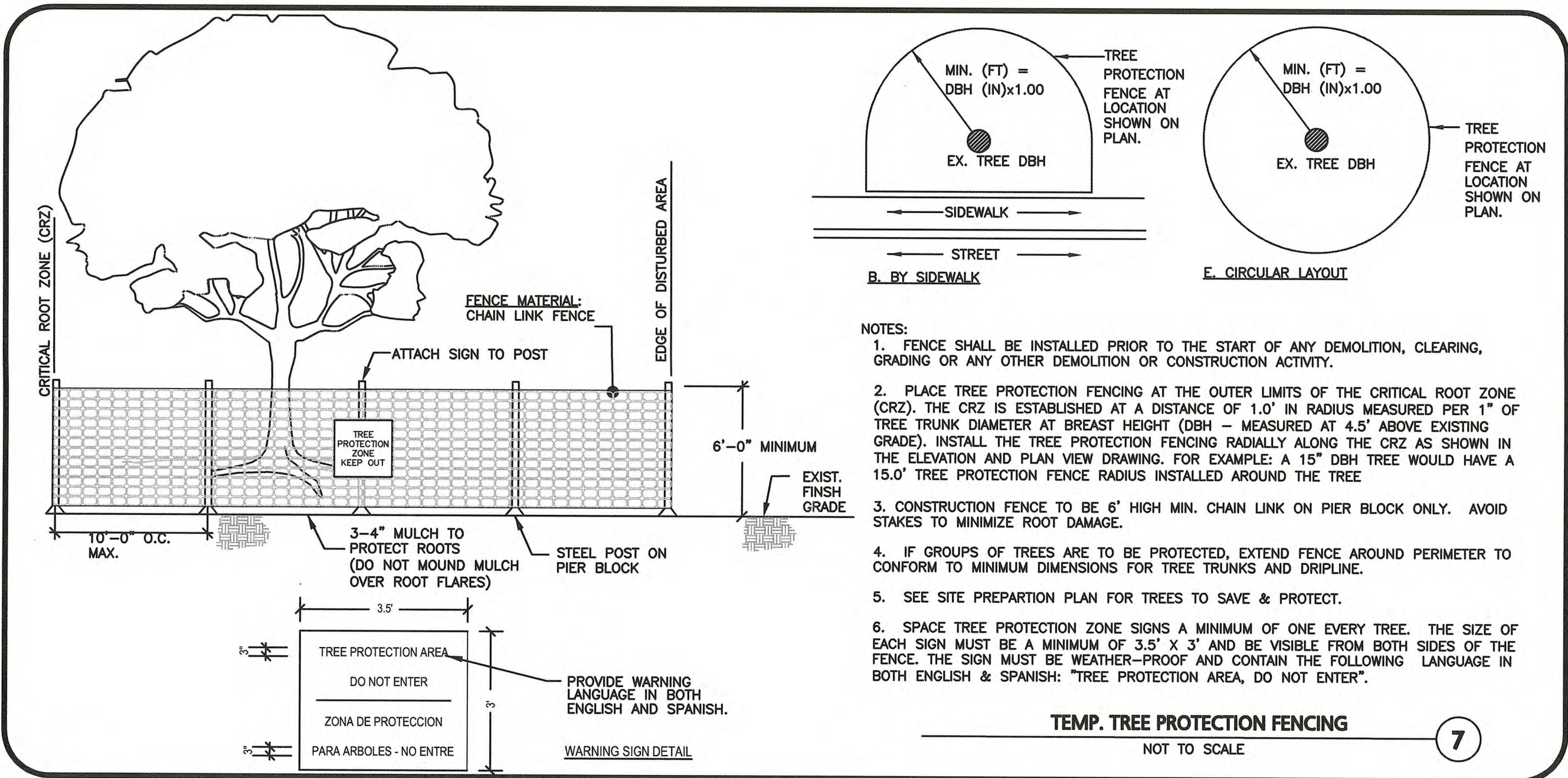
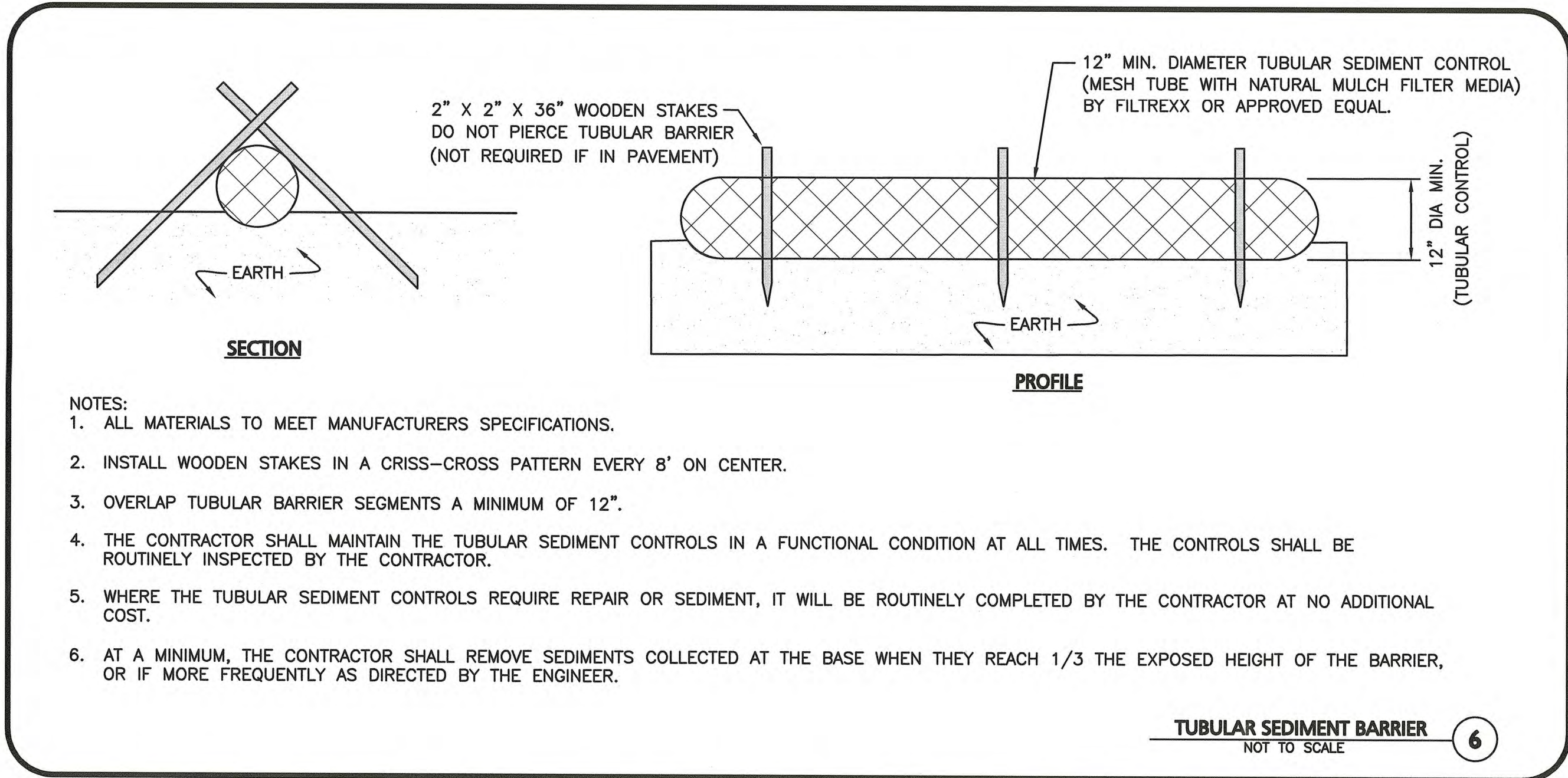
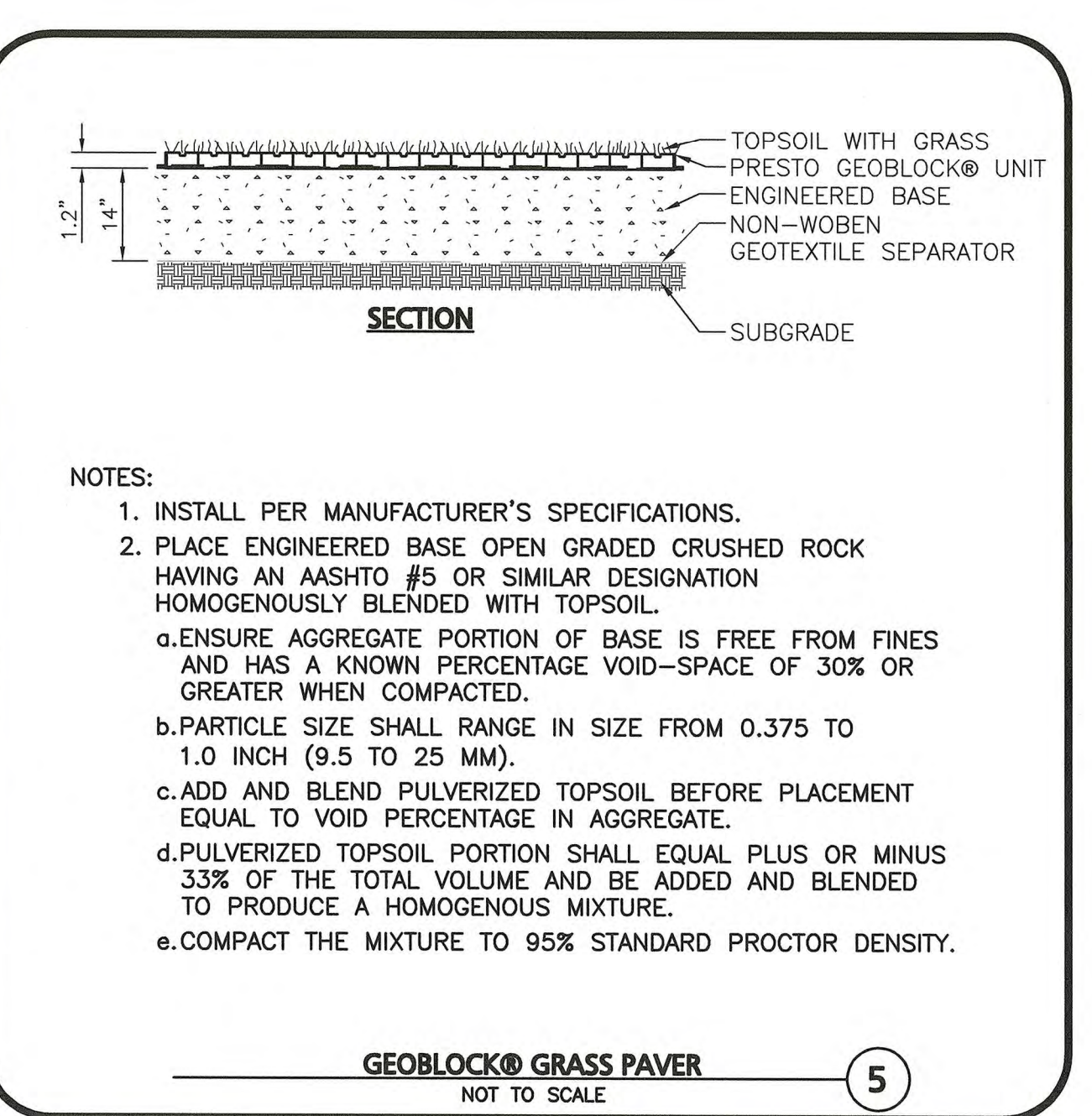
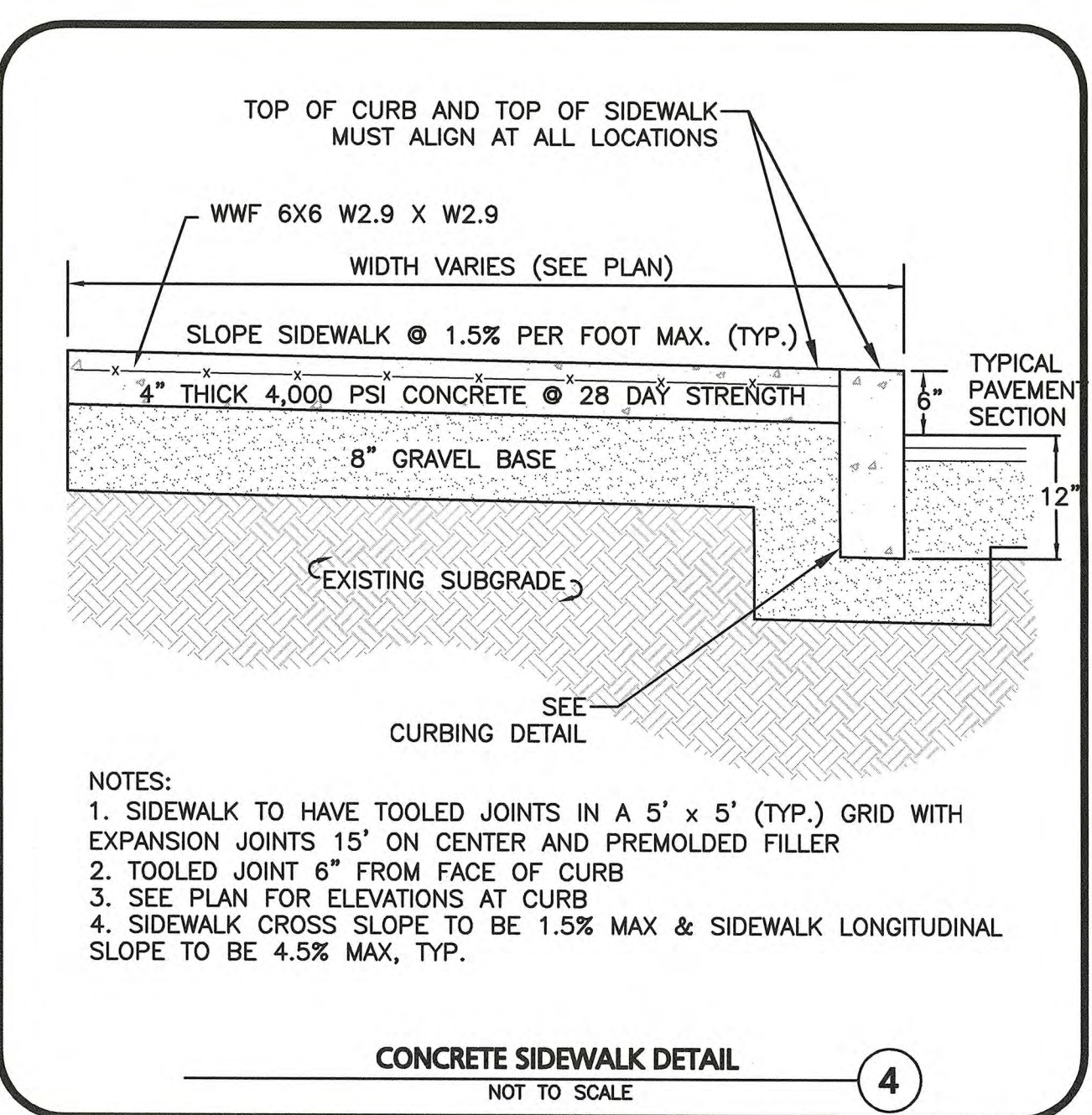
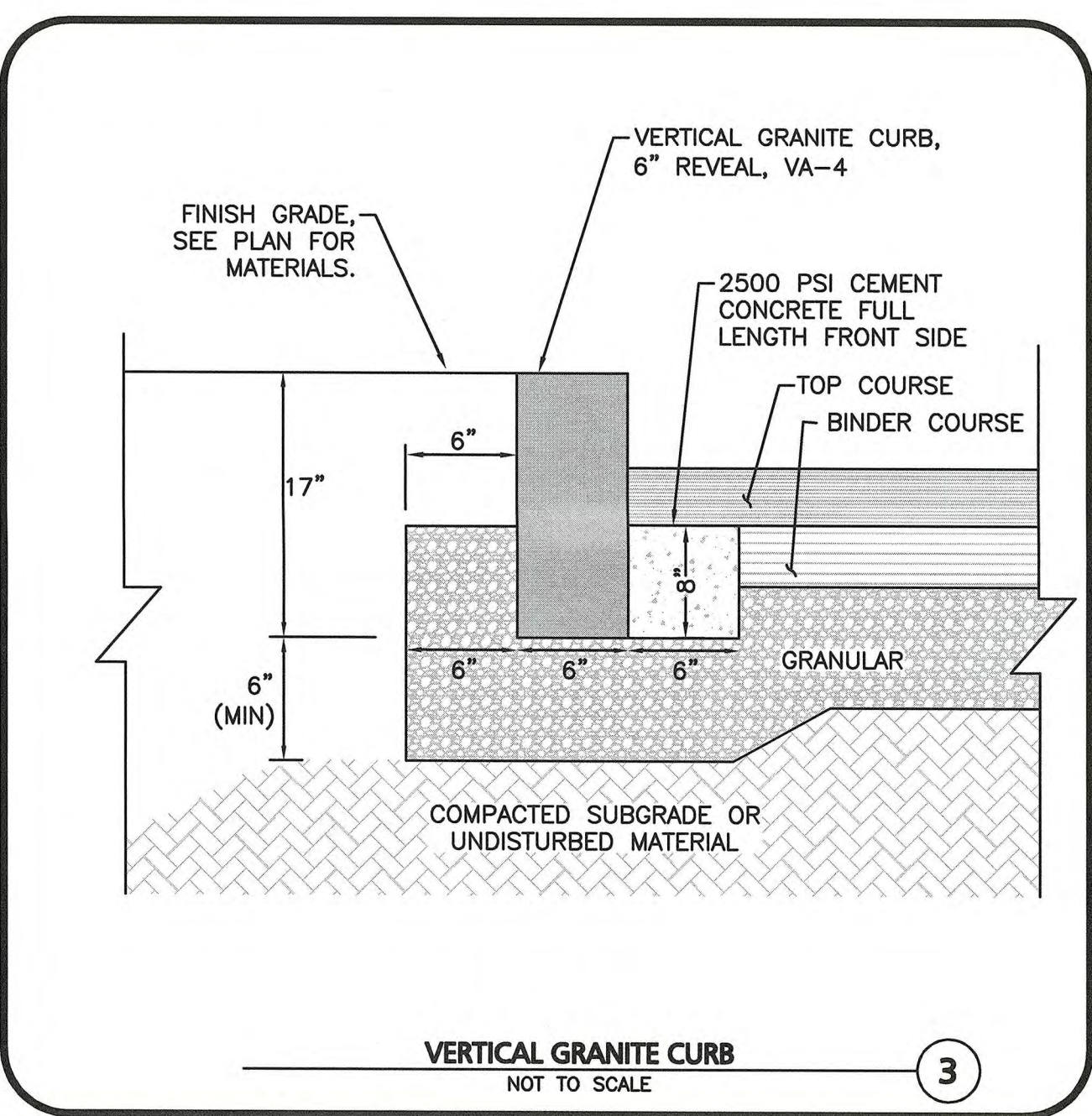
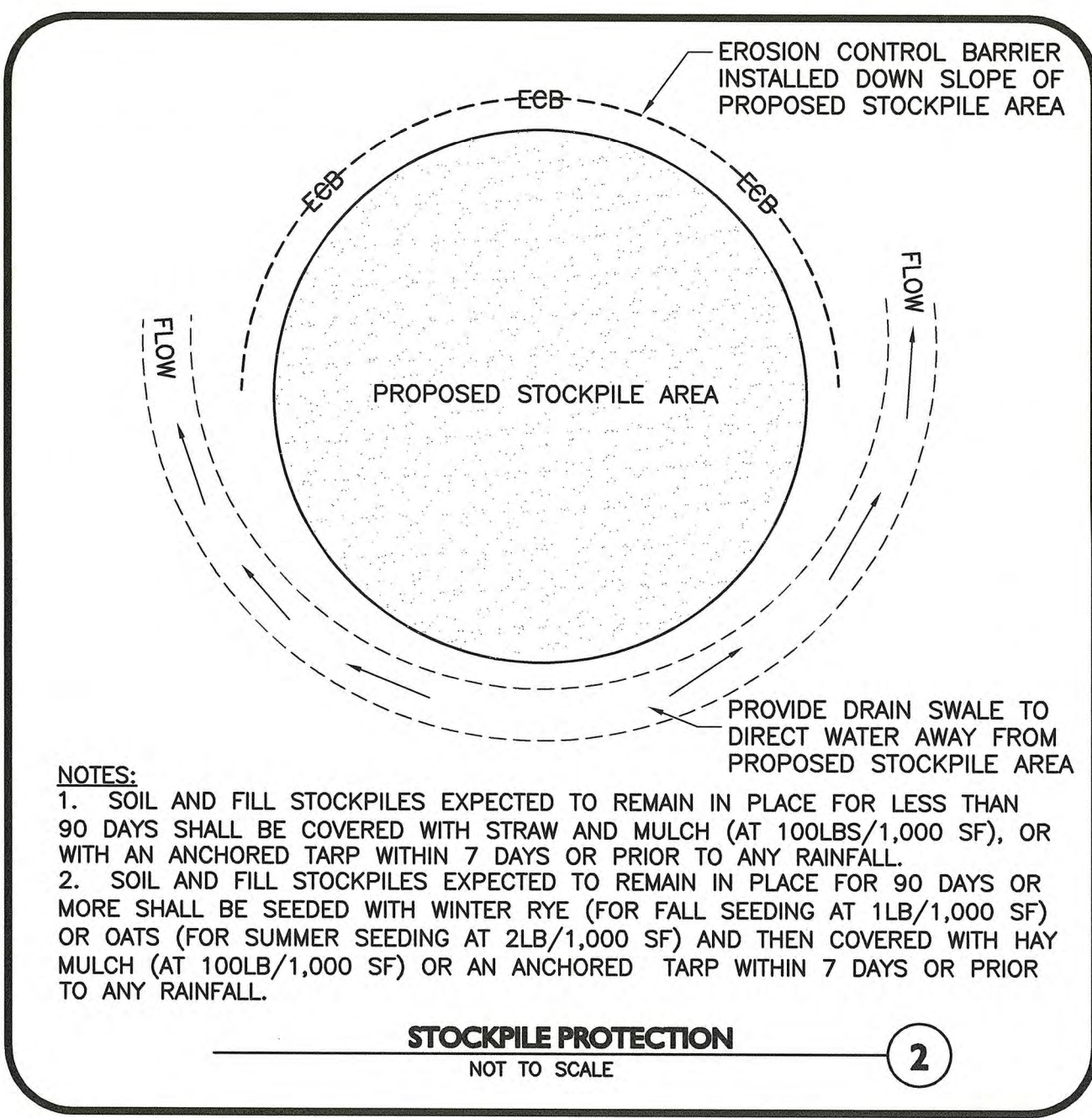
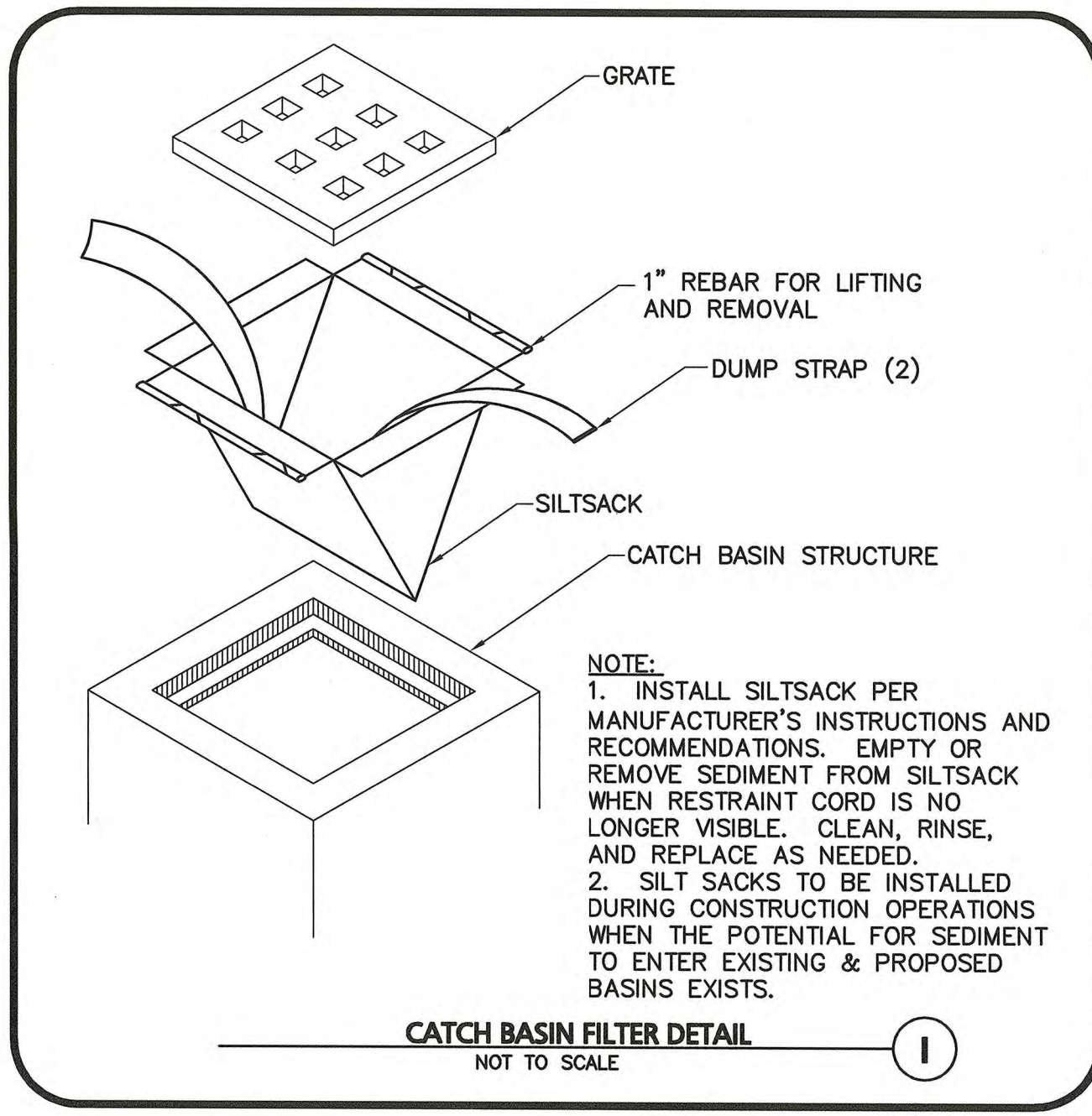
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drawing checked by: RB/TJW  
A&M project number: 2699-01

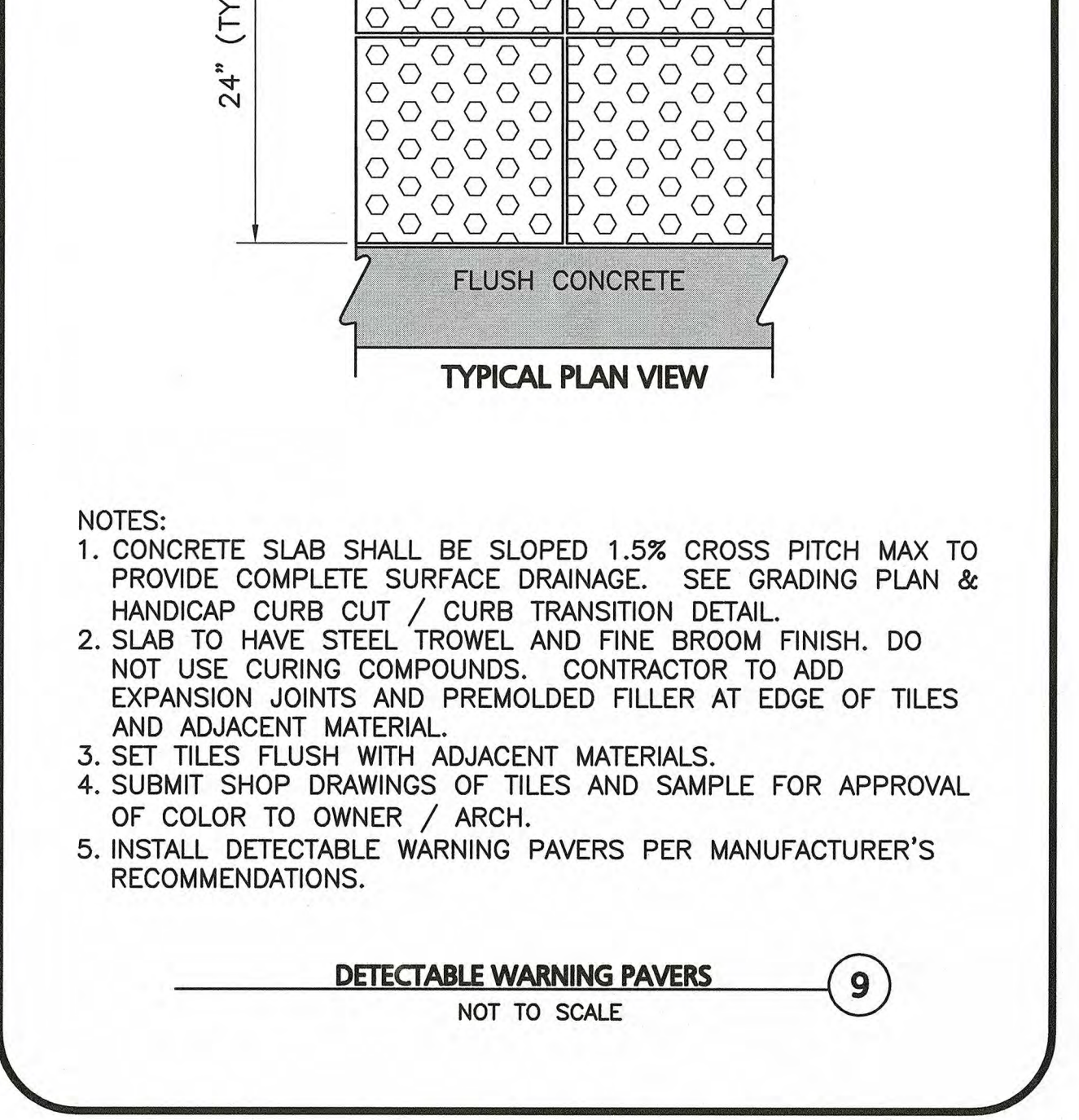
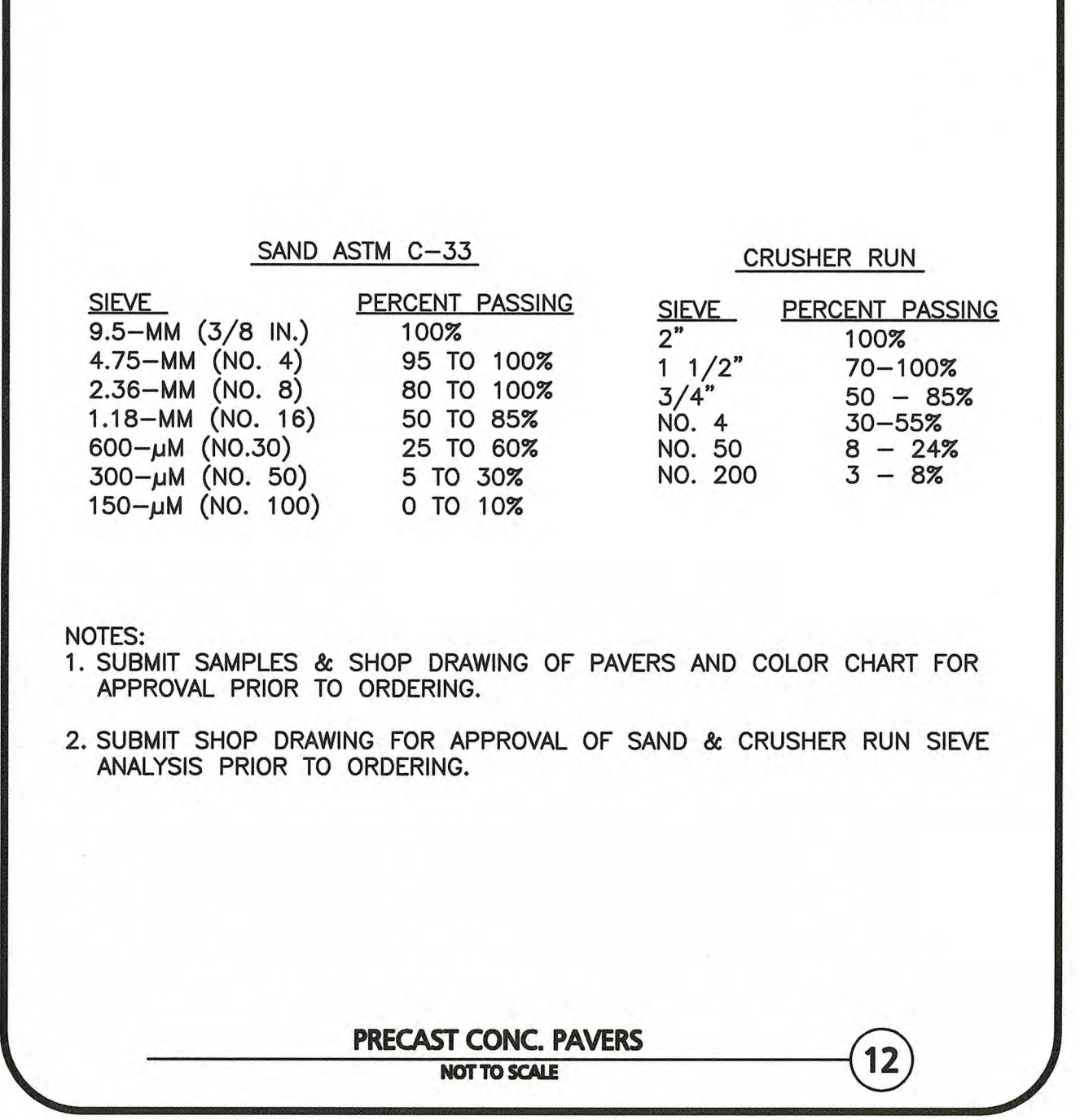
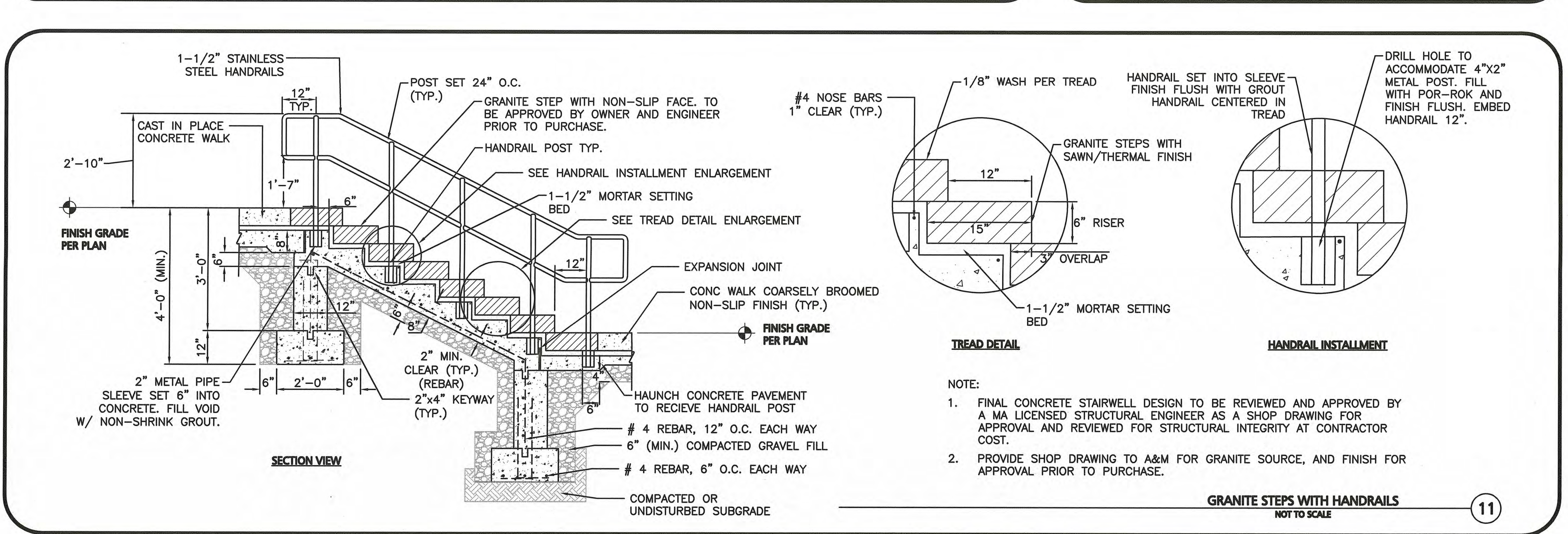
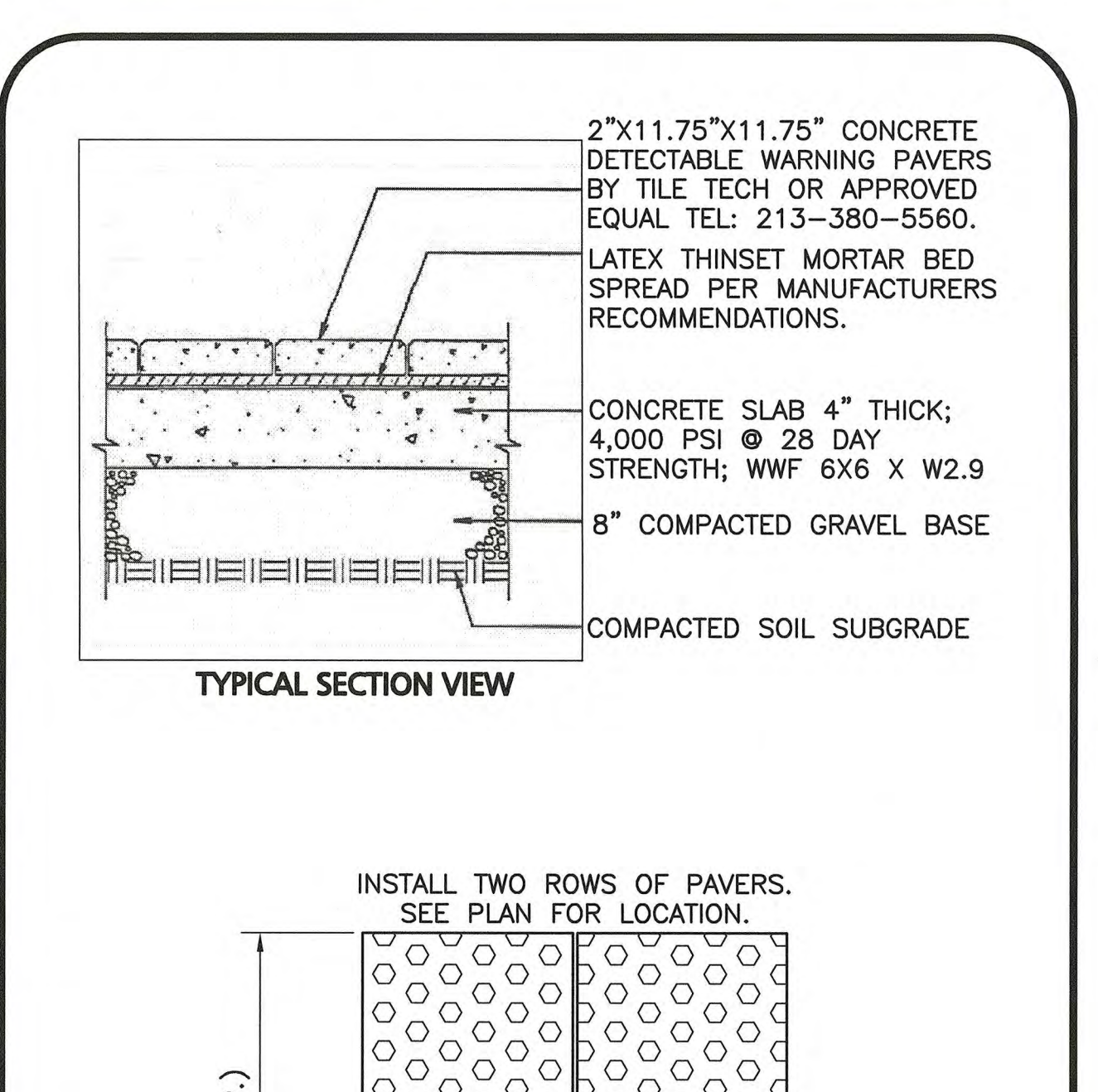
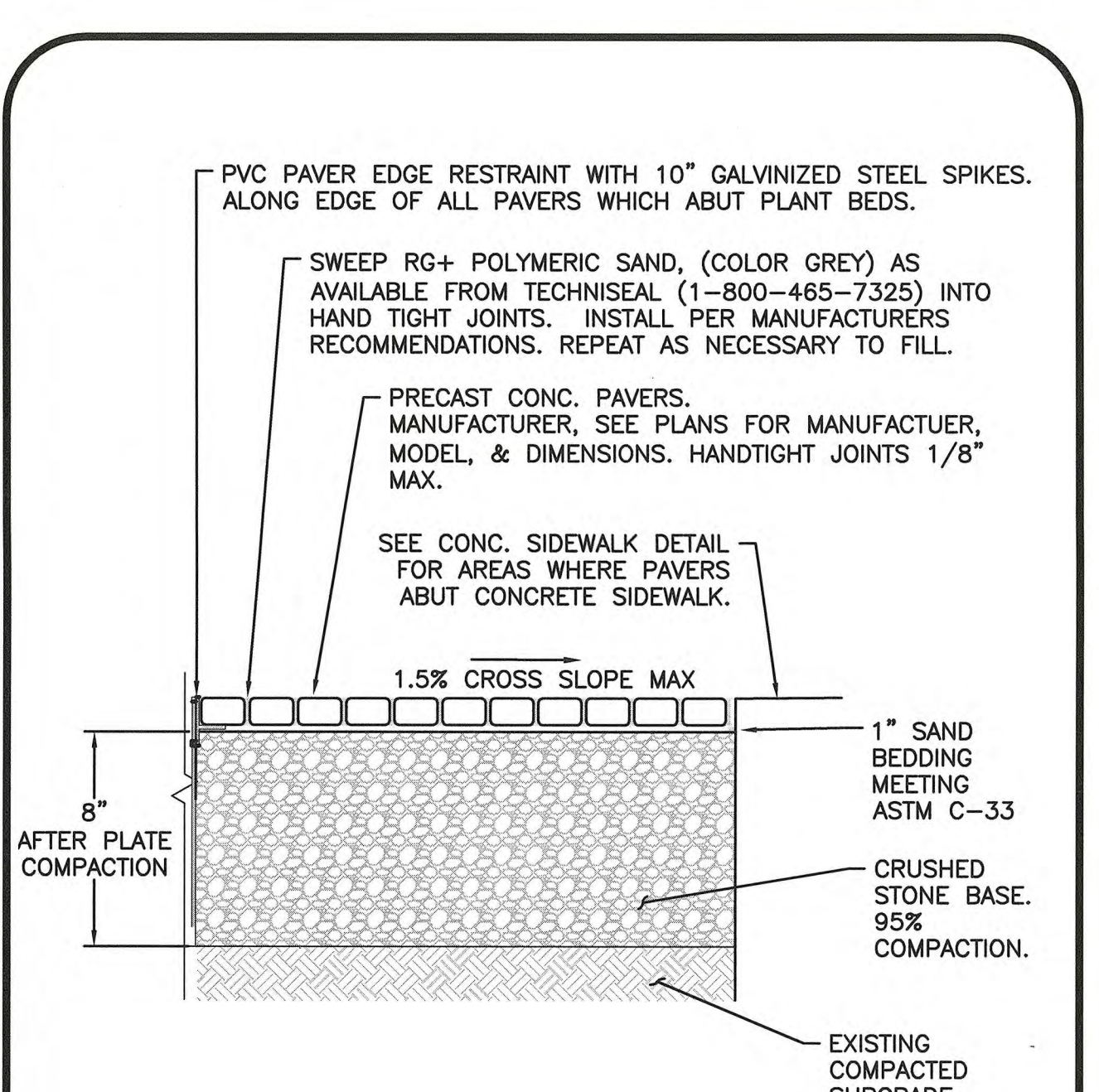
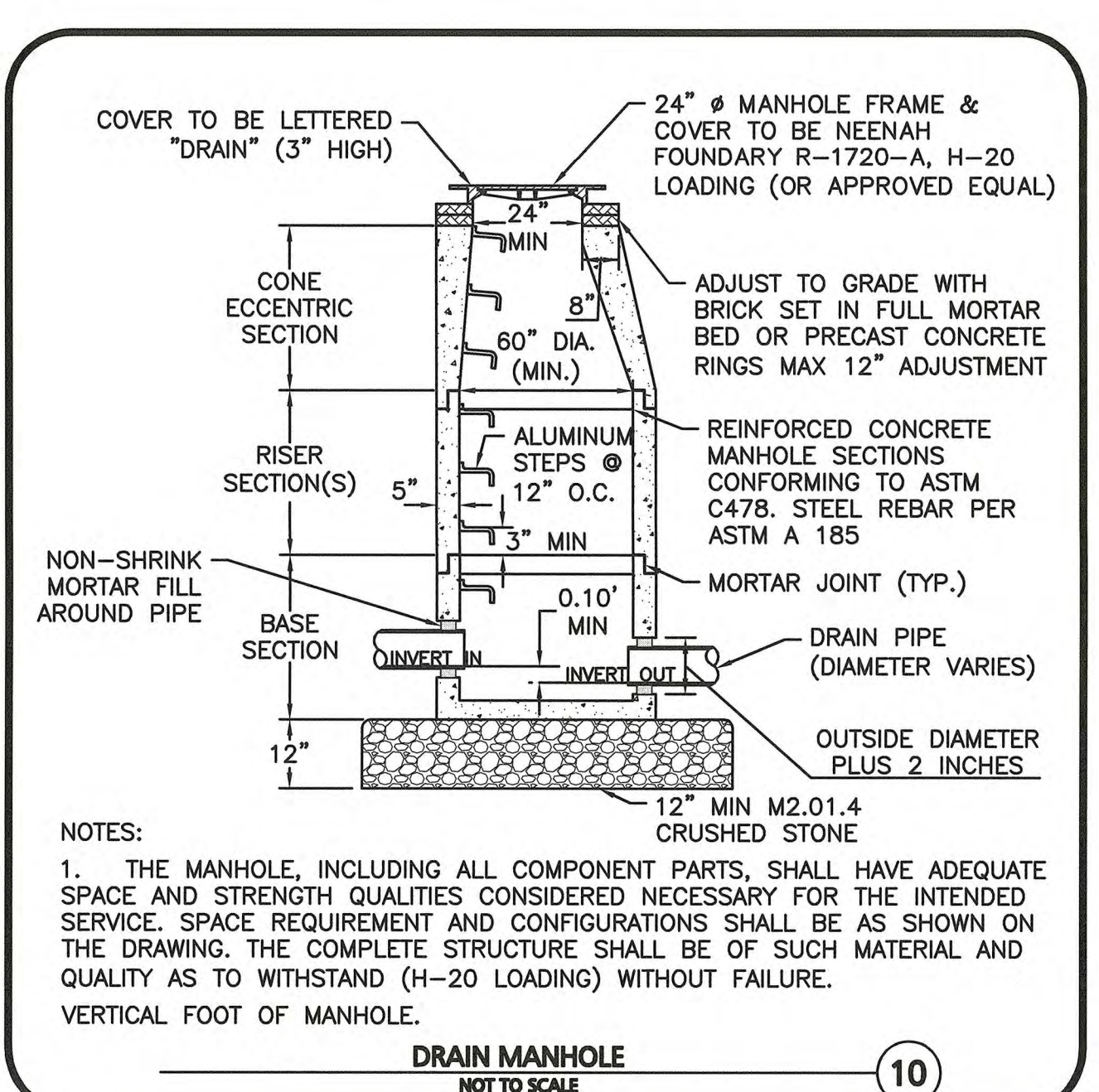
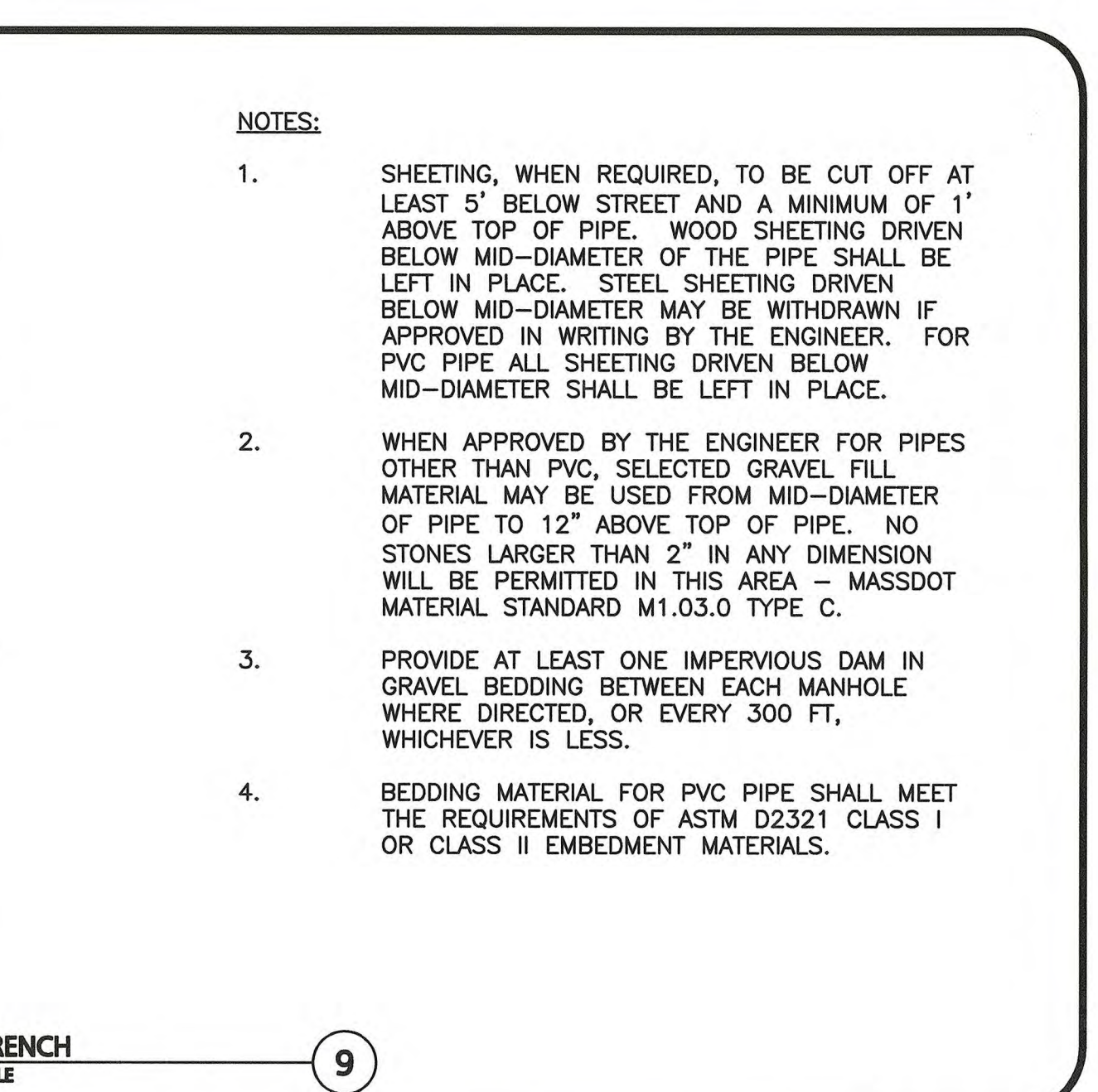
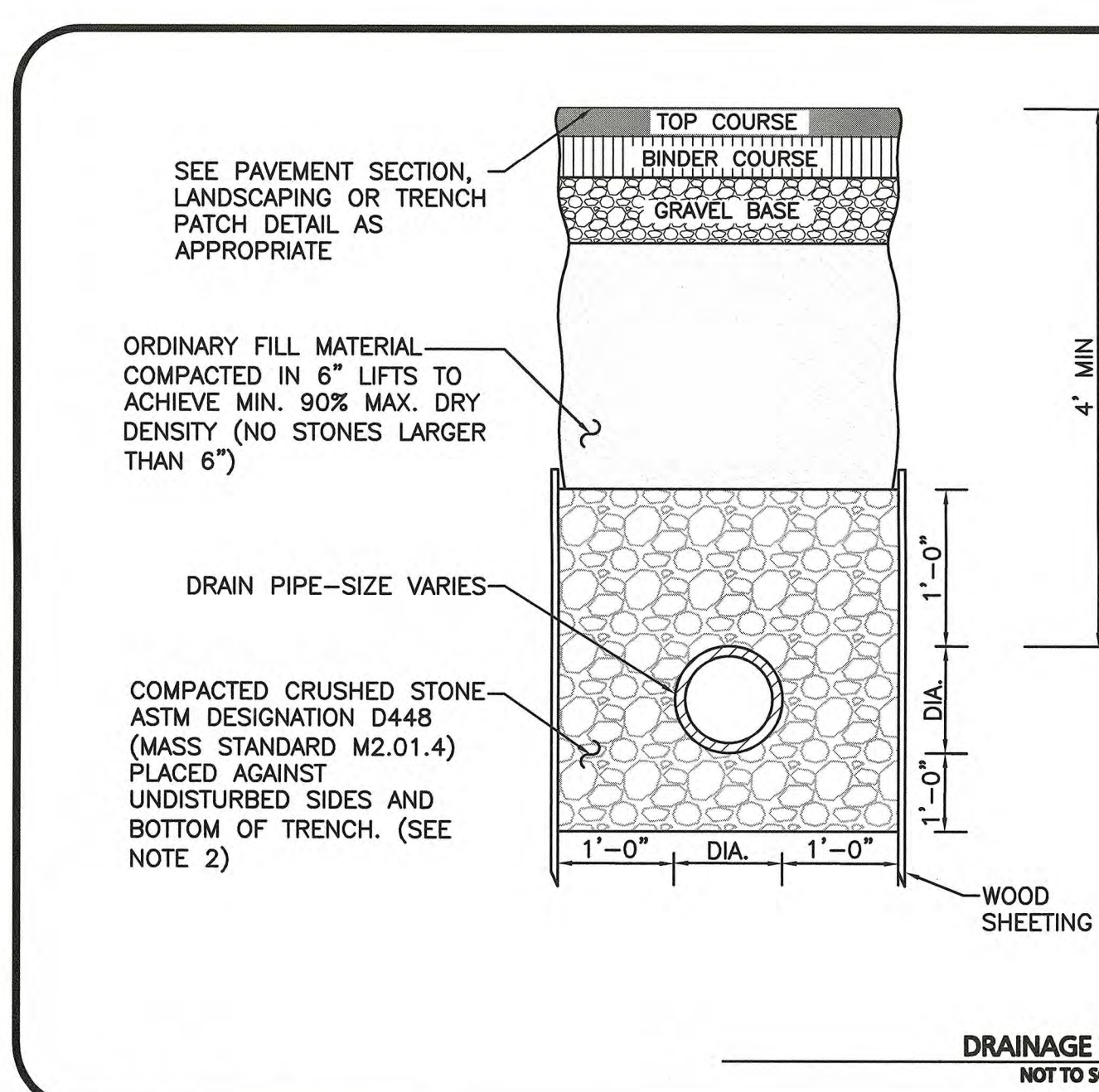
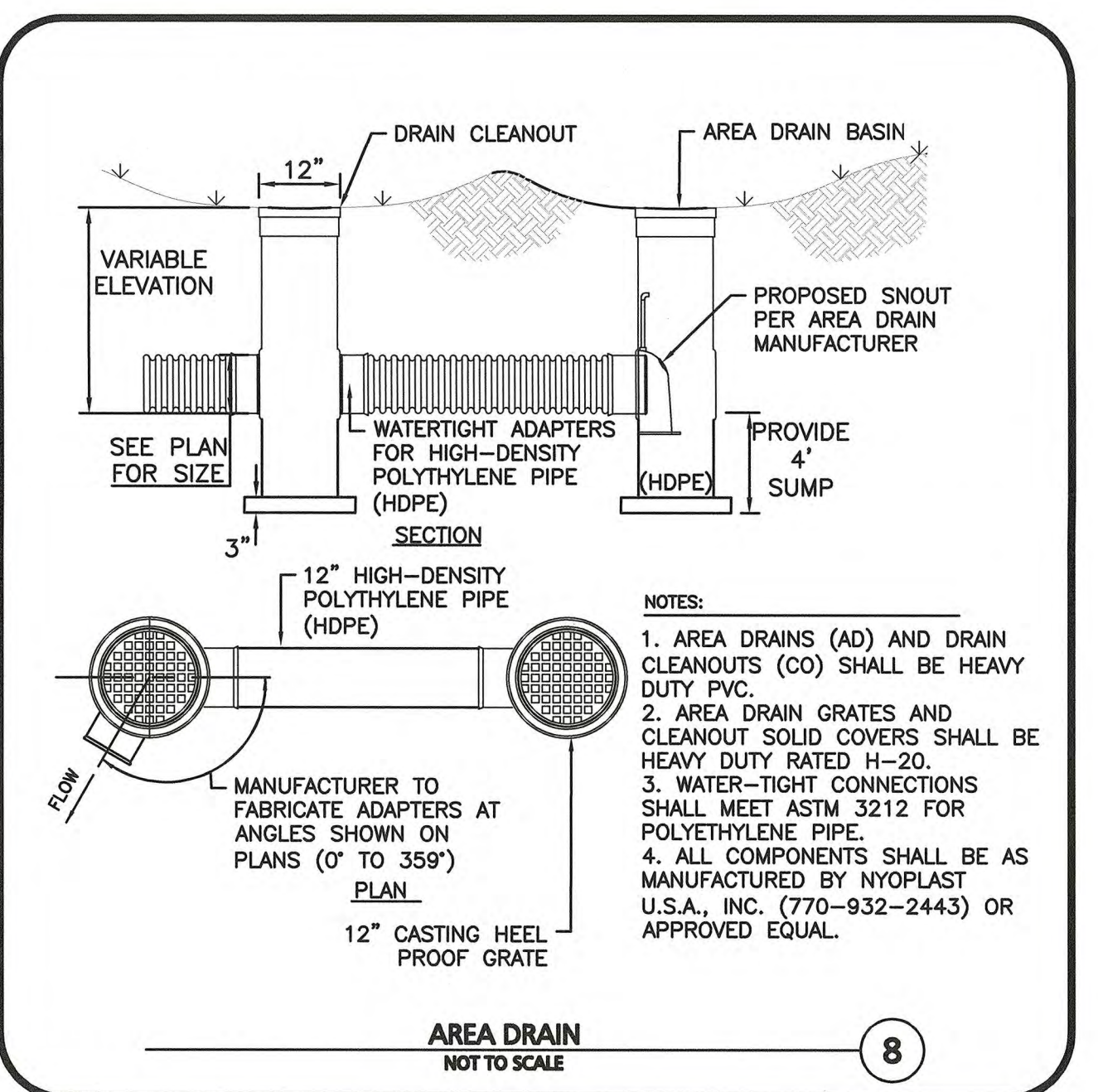
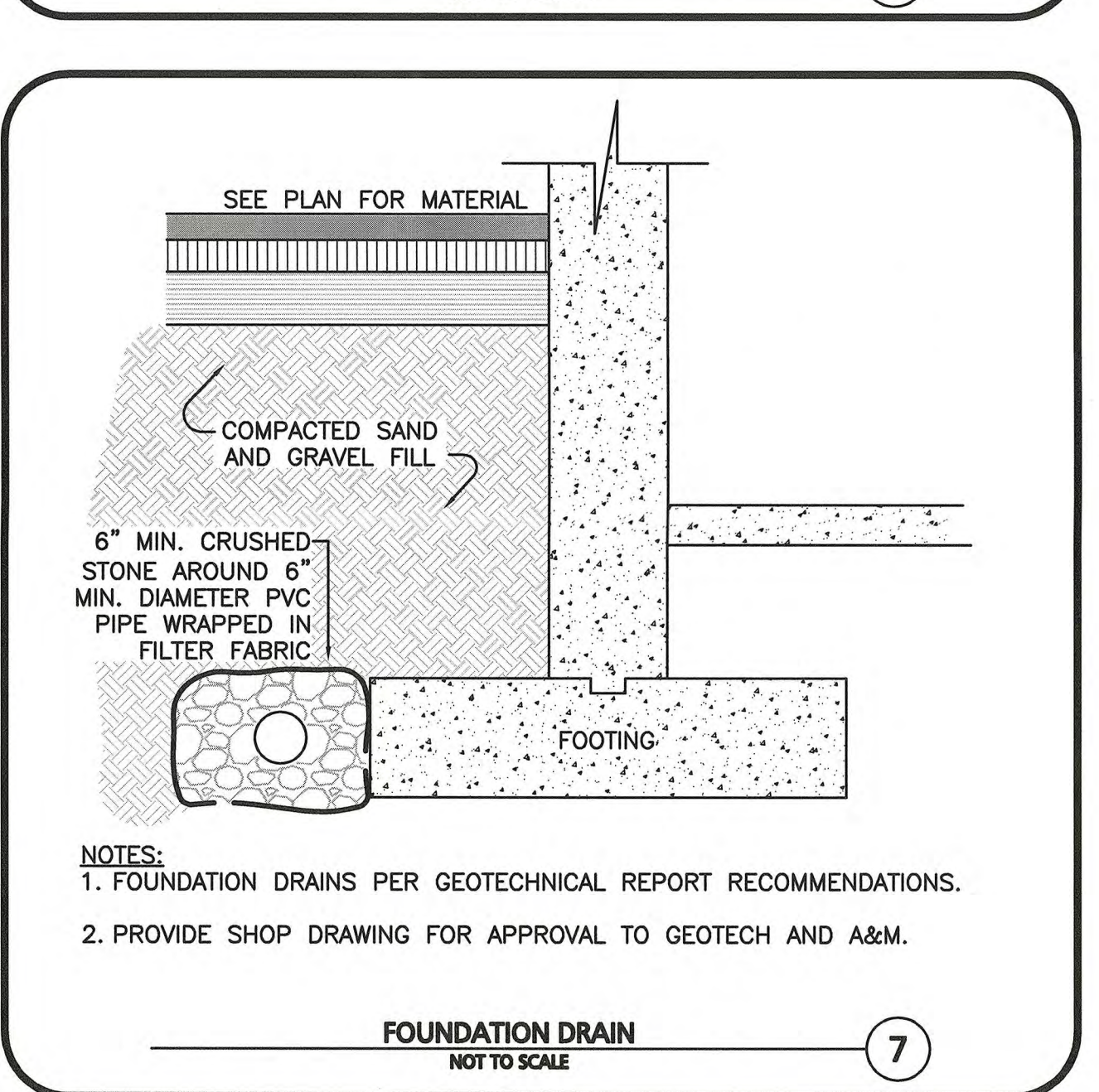
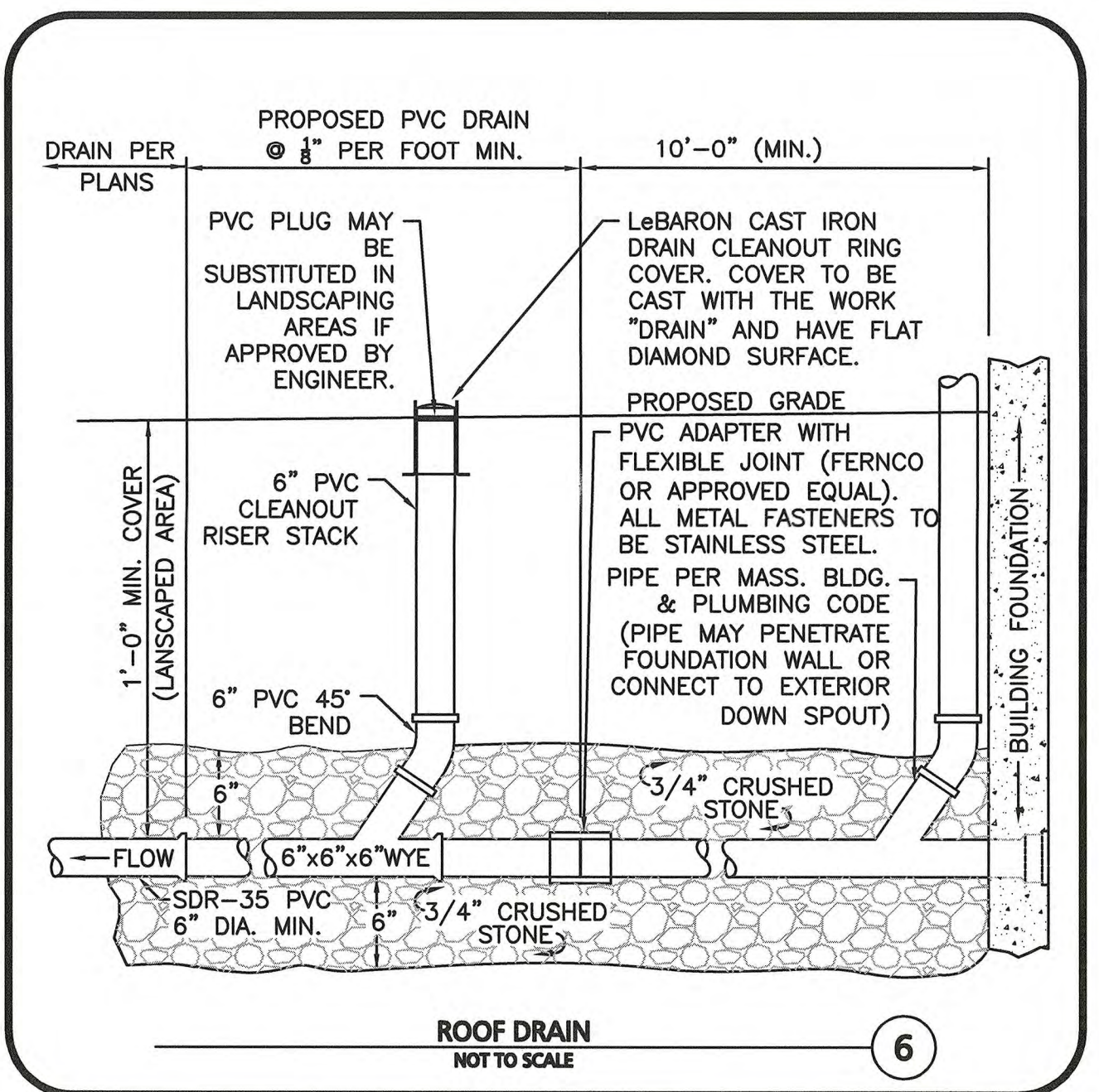
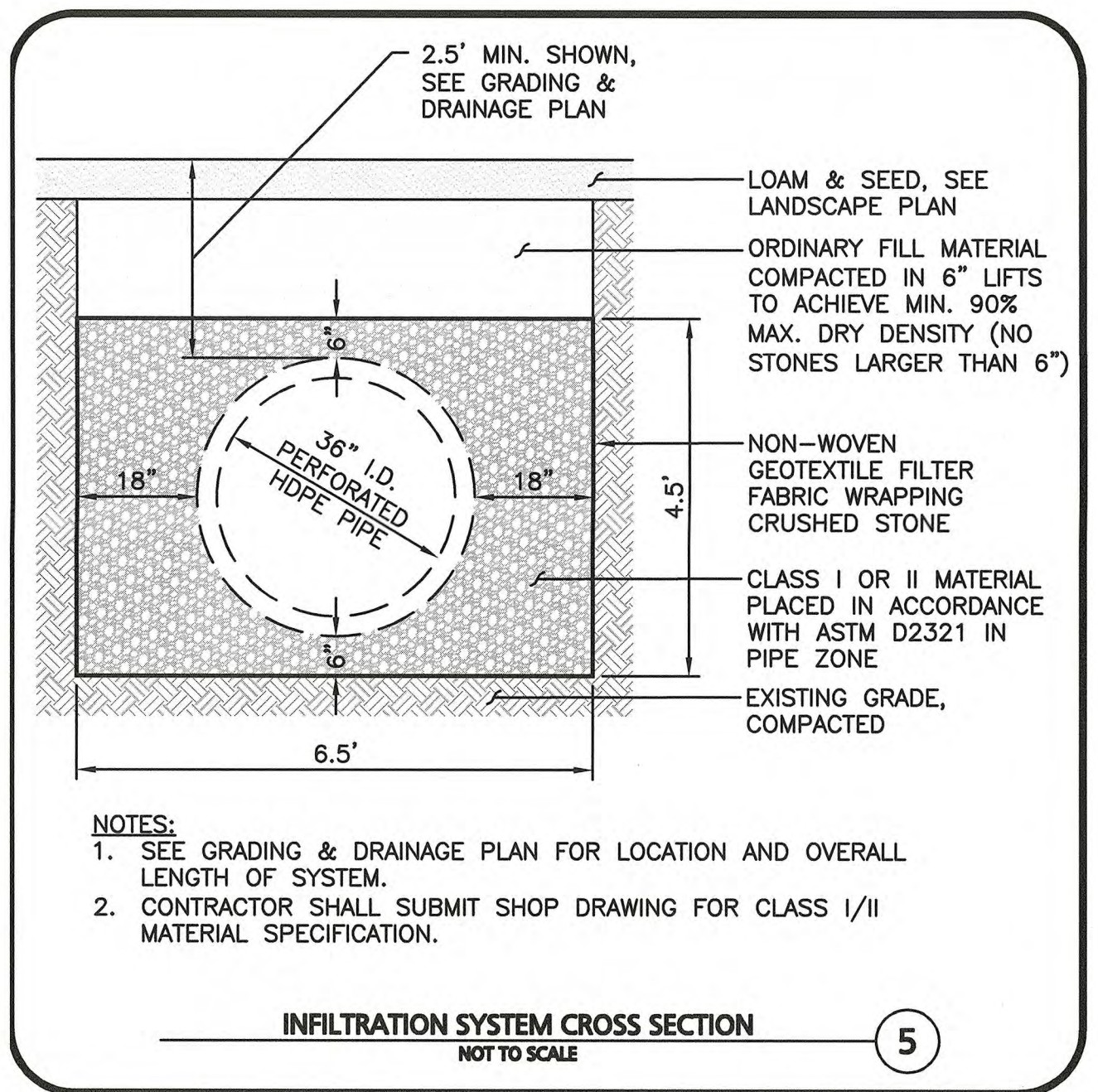
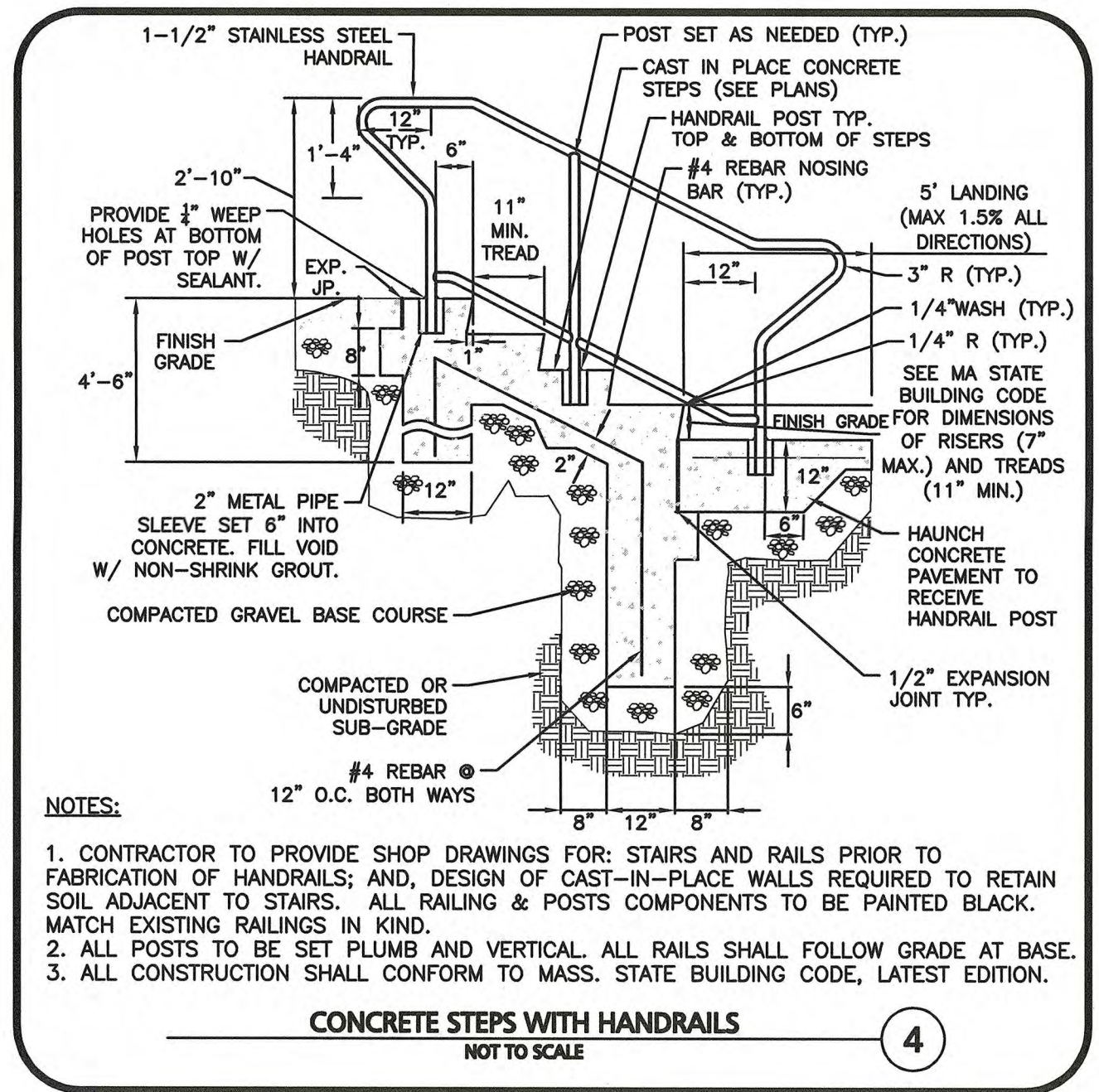
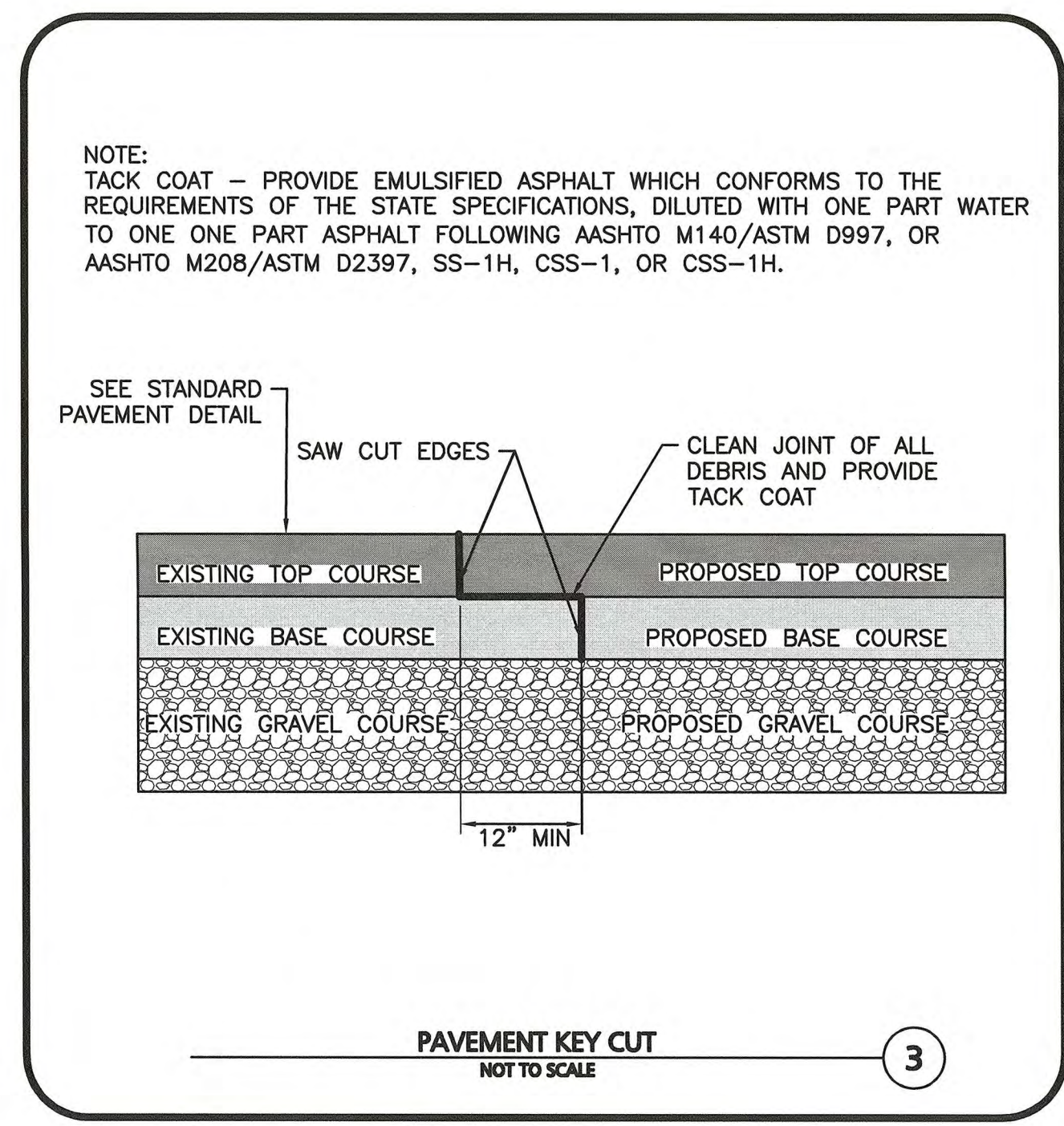
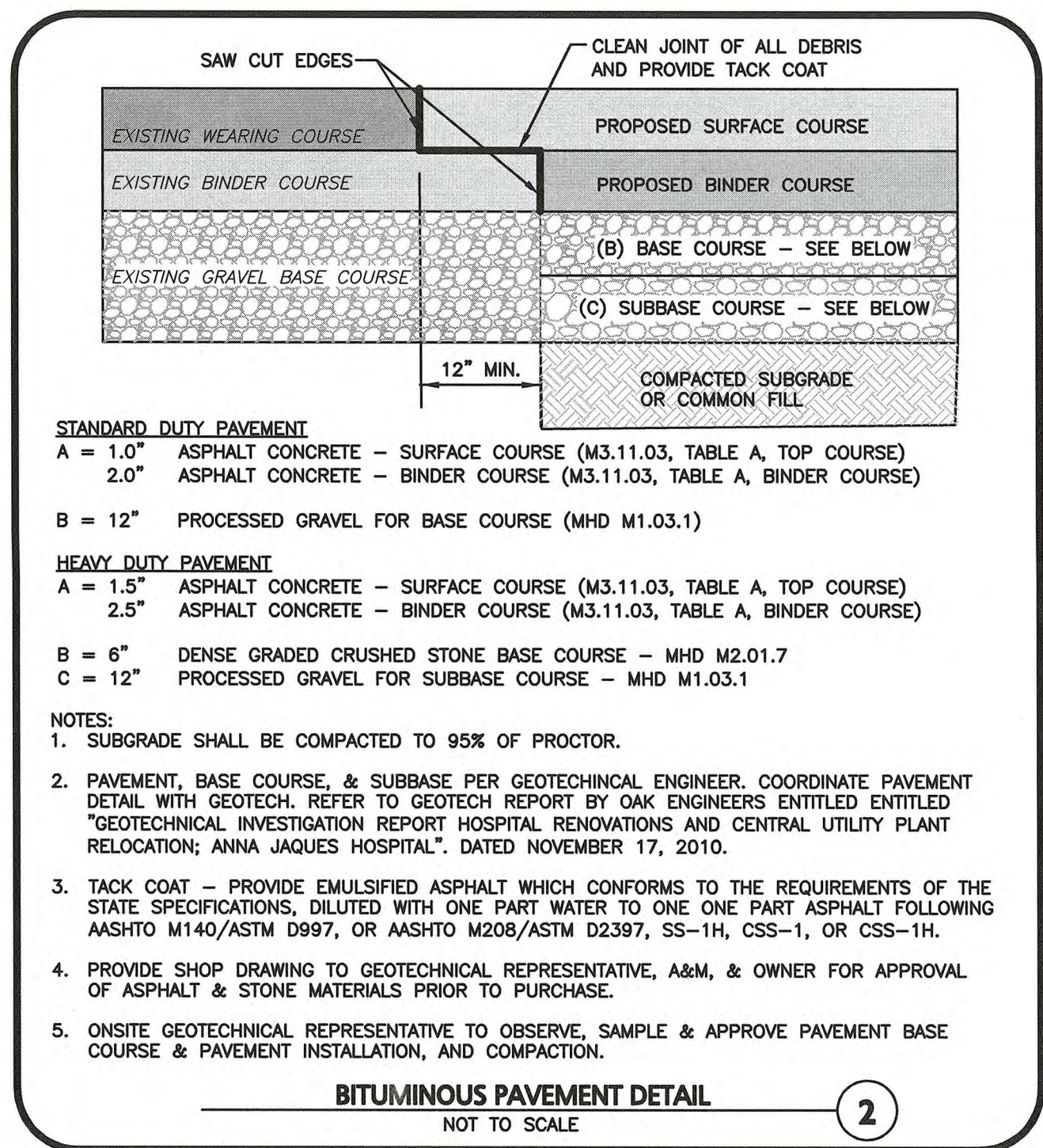
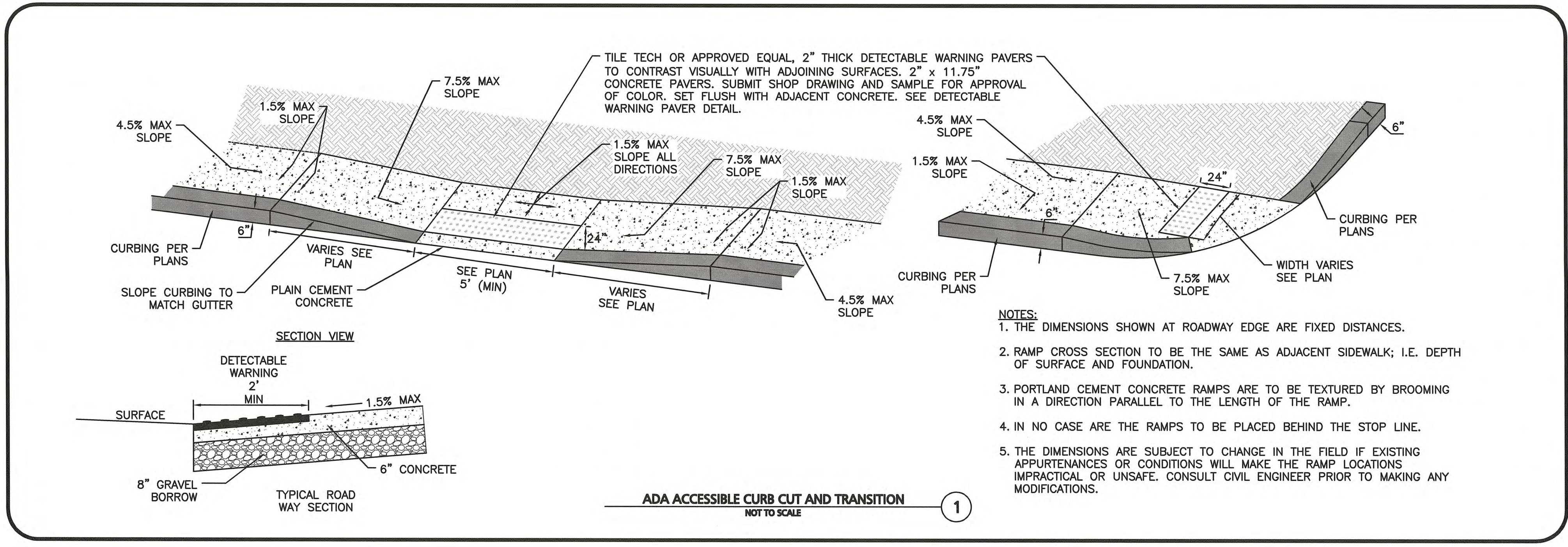
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| ISSUED FOR LOCAL PERMITTING                    | 11-25-19 |
| ISSUED FOR SITE PLAN REVIEW AND SPECIAL PERMIT | 01-08-20 |

| Mark | Revision | Date |
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Stamp  
TIMOTHY J. WILLIAMS  
REGISTERED PROFESSIONAL ENGINEER  
NO. 43119  
MASSACHUSETTS

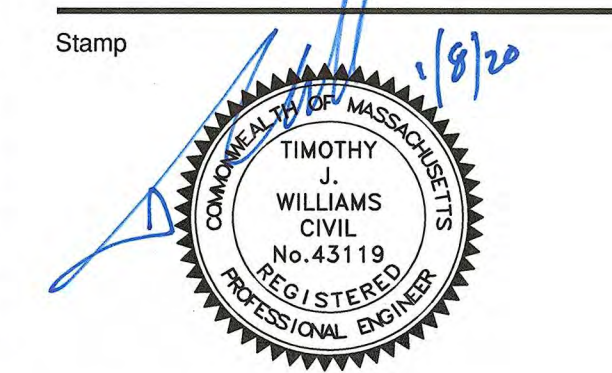
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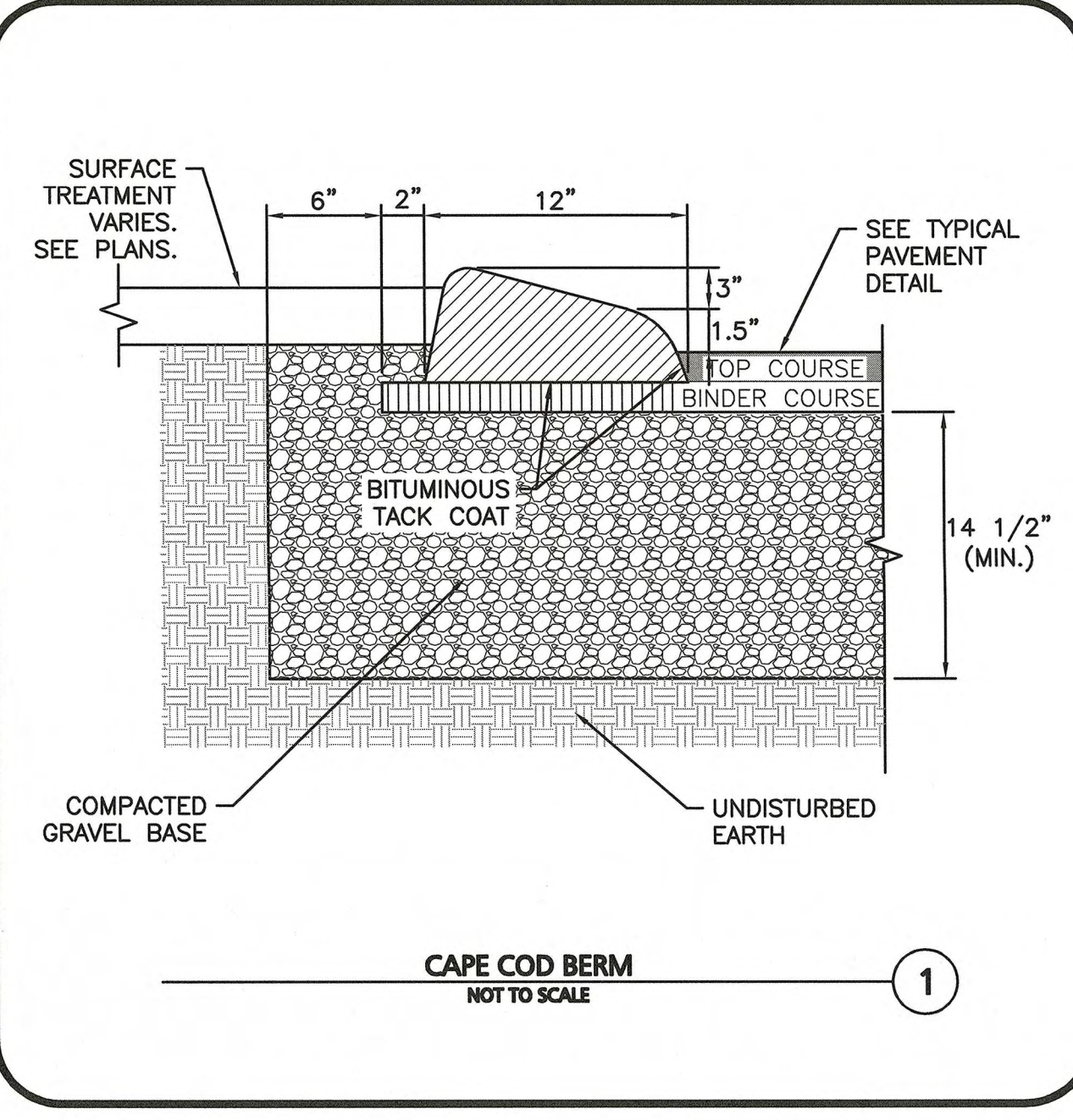


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| drawing by:                                    | AM SM RBT TWW |      |
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| drawing checked by:                            | RBT TWW       |      |
| A&M project number:                            | 2699-01       |      |
| ISSUE  | DATE          |      |
| ISSUED FOR LOCAL PERMITTING                    | 11-25-19      |      |
| ISSUED FOR SITE PLAN REVIEW AND SPECIAL PERMIT | 01-08-20      |      |
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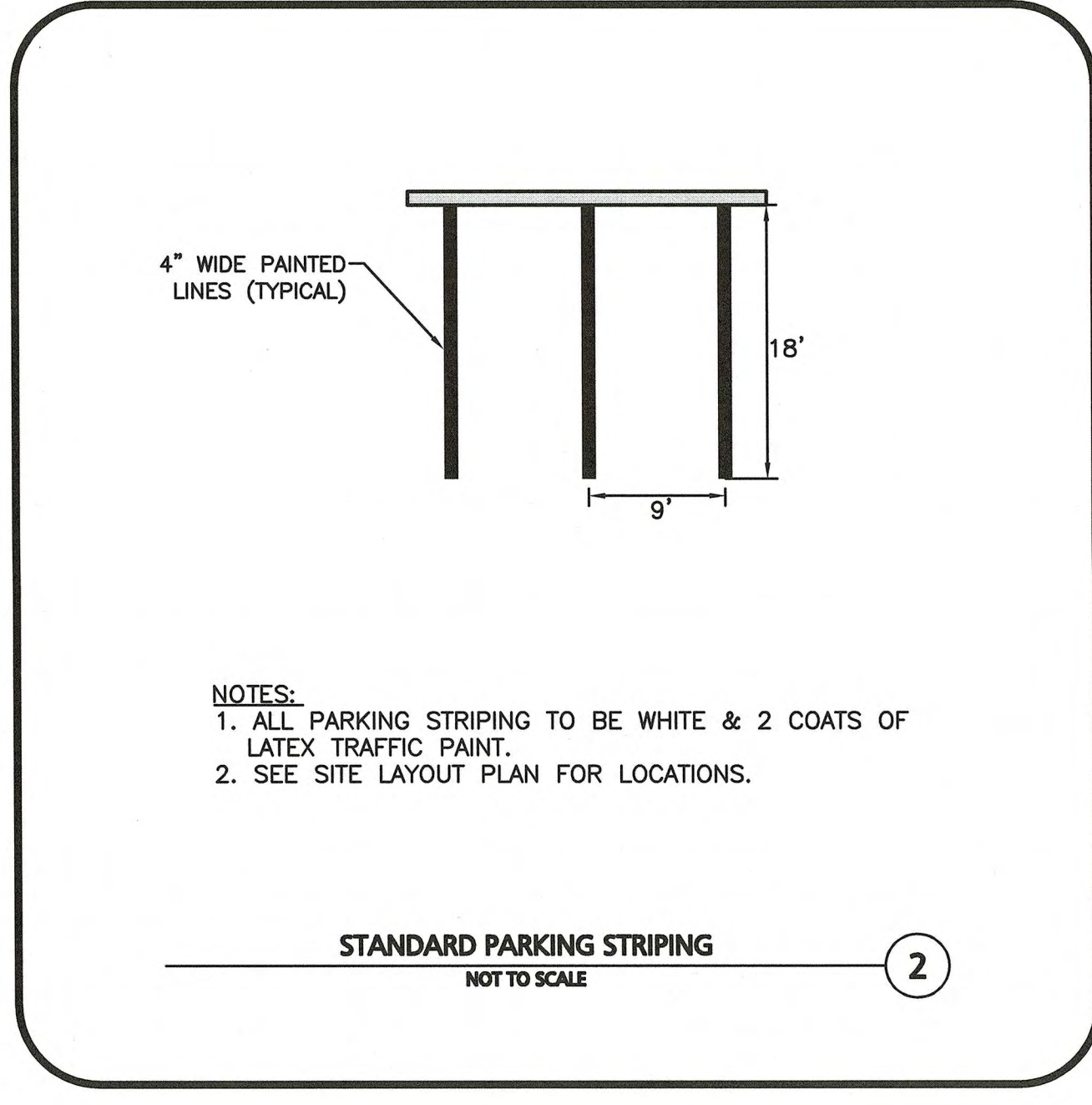






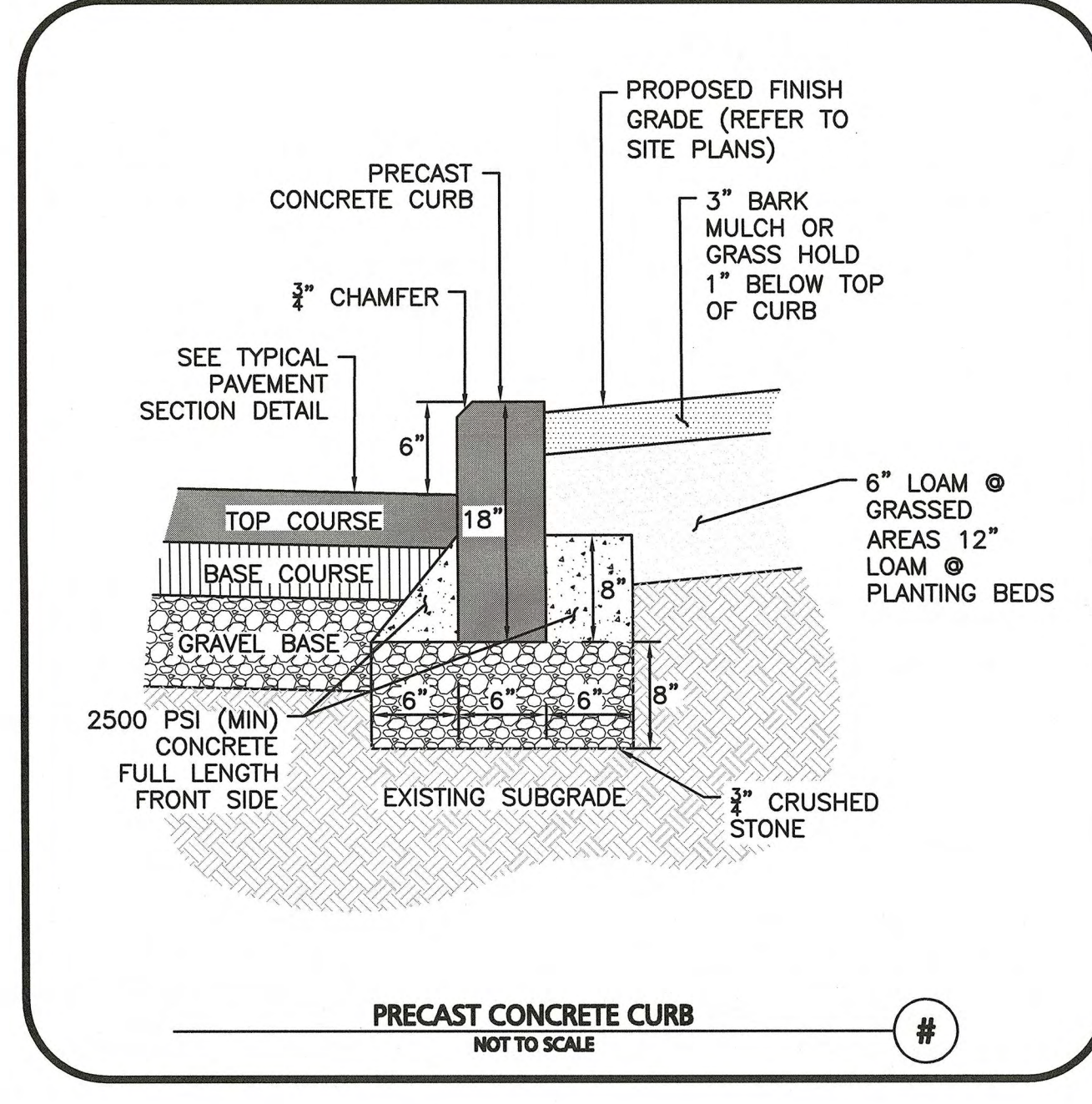
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STANDARD PARKING STRIPING  
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PRECAST CONCRETE CURB  
NOT TO SCALE

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NOTES:  
1. ALL PARKING STRIPING TO BE WHITE & 2 COATS OF LATEX TRAFFIC PAINT.  
2. SEE SITE LAYOUT PLAN FOR LOCATIONS.



9 Billings Road  
North Quincy, MA 02171  
Tel: 617.769.6300  
Fax: 617.769.6399

MEP/FP ENGINEER  
R.W. Sullivan Engineering  
529 Main St, Suite 203  
Boston, MA 02129  
Tel: 617.523.8227

LAND SURVEY, LANDSCAPE ARCHITECT & CIVIL ENGINEER  
Allen & Major Associates, Inc.  
100 Commerce Way, Suite 5  
Woburn, MA 01801  
Tel: 781.935.6889

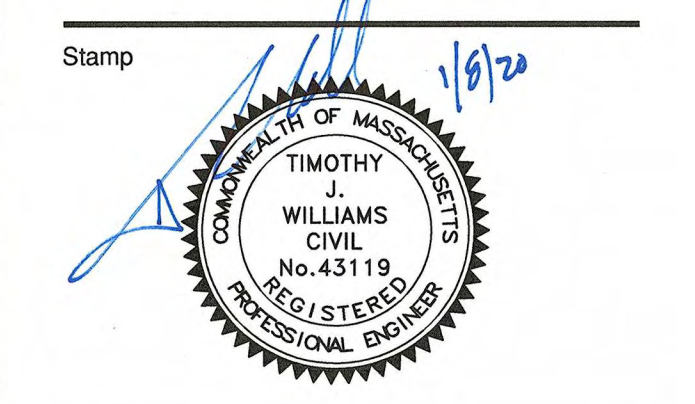
STRUCTURAL ENGINEER  
Schlick Engineering, LLC.  
19 Main Street  
Lakeville, MA 02347  
Tel: 774.419.3796

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drawing checked by: RB TJW  
A&M project number: 2699-01

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Drawing Title  
DETAILS

Scale:  
Drawing Number:

C-503

JACA Project Number 190042

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Drawing checked by: RB TJW  
AMM project number: 2699-01

| ISSUE  | DATE     |
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| ISSUED FOR LOCAL PERMITTING                    | 11-25-19 |
| ISSUED FOR SITE PLAN REVIEW AND SPECIAL PERMIT | 01-08-20 |

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**LANDSCAPE DETAILS**

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**L-201**

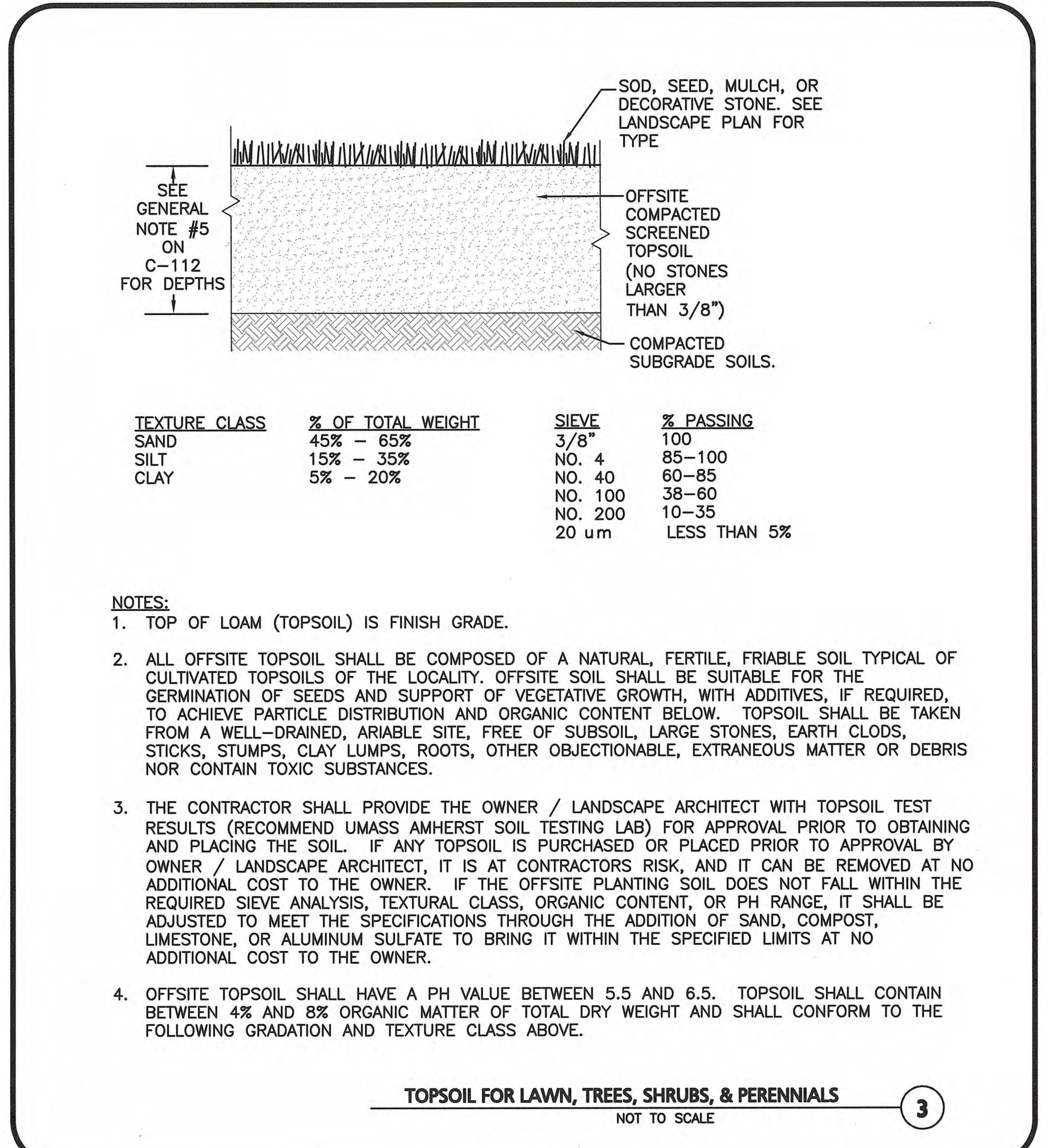
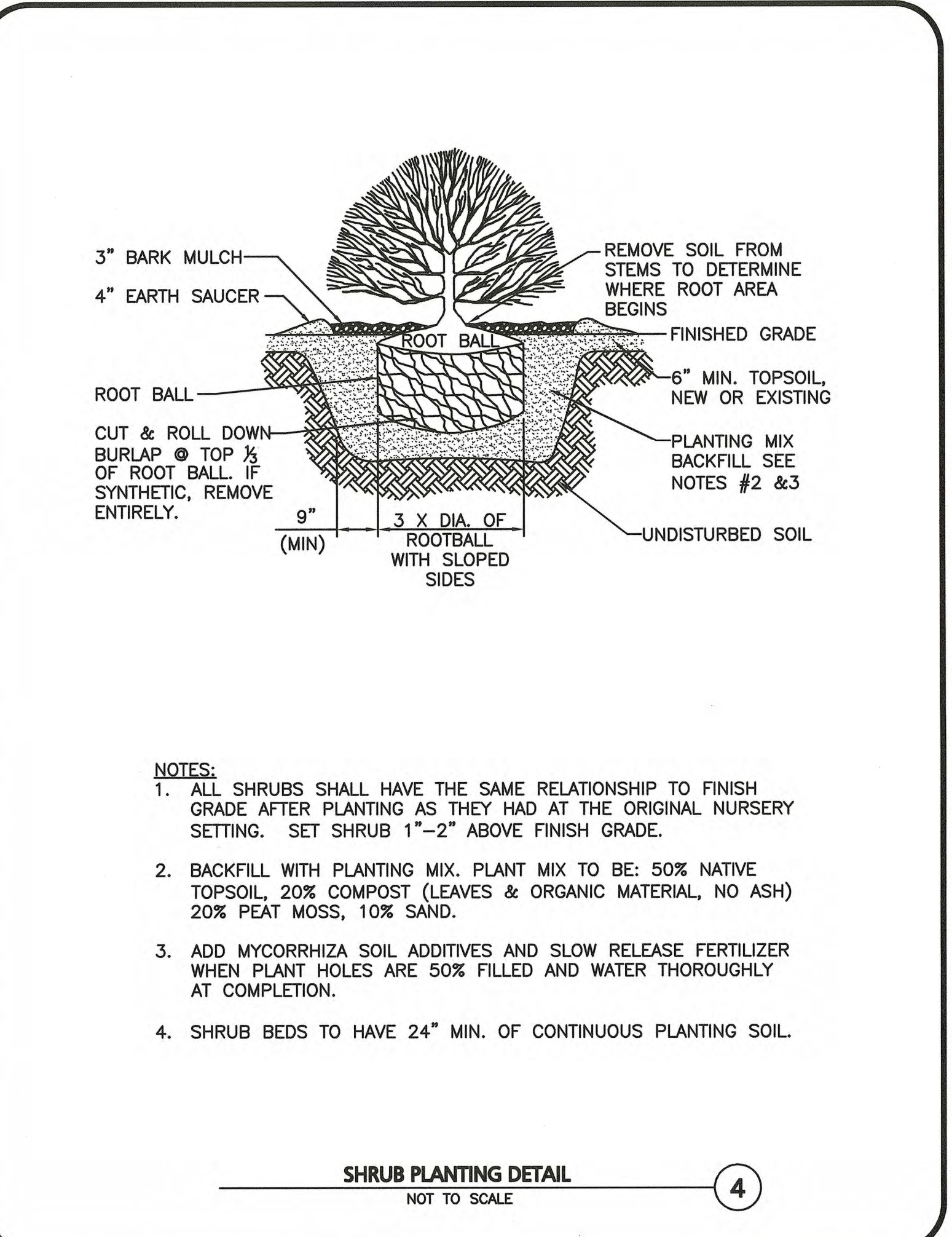
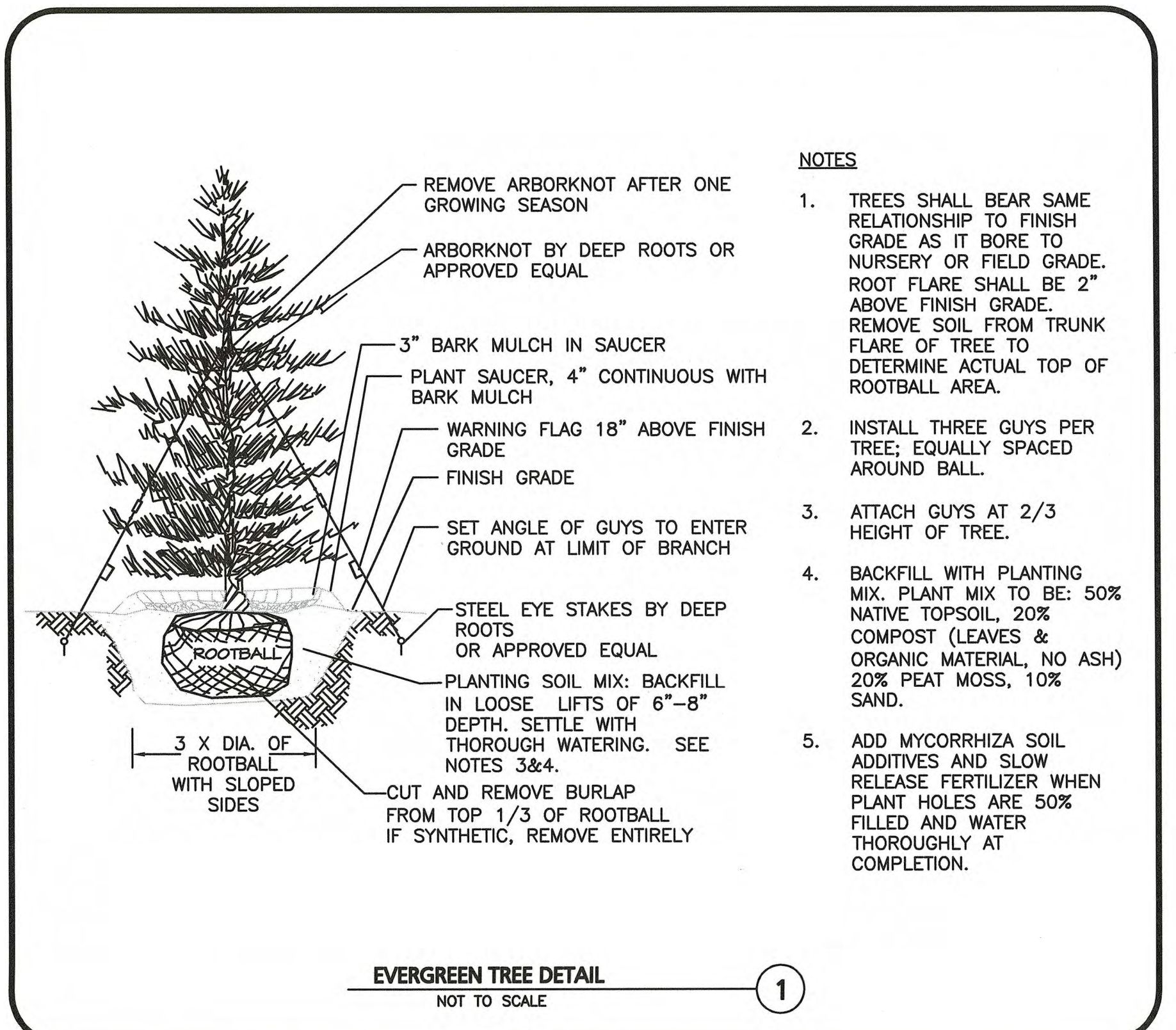
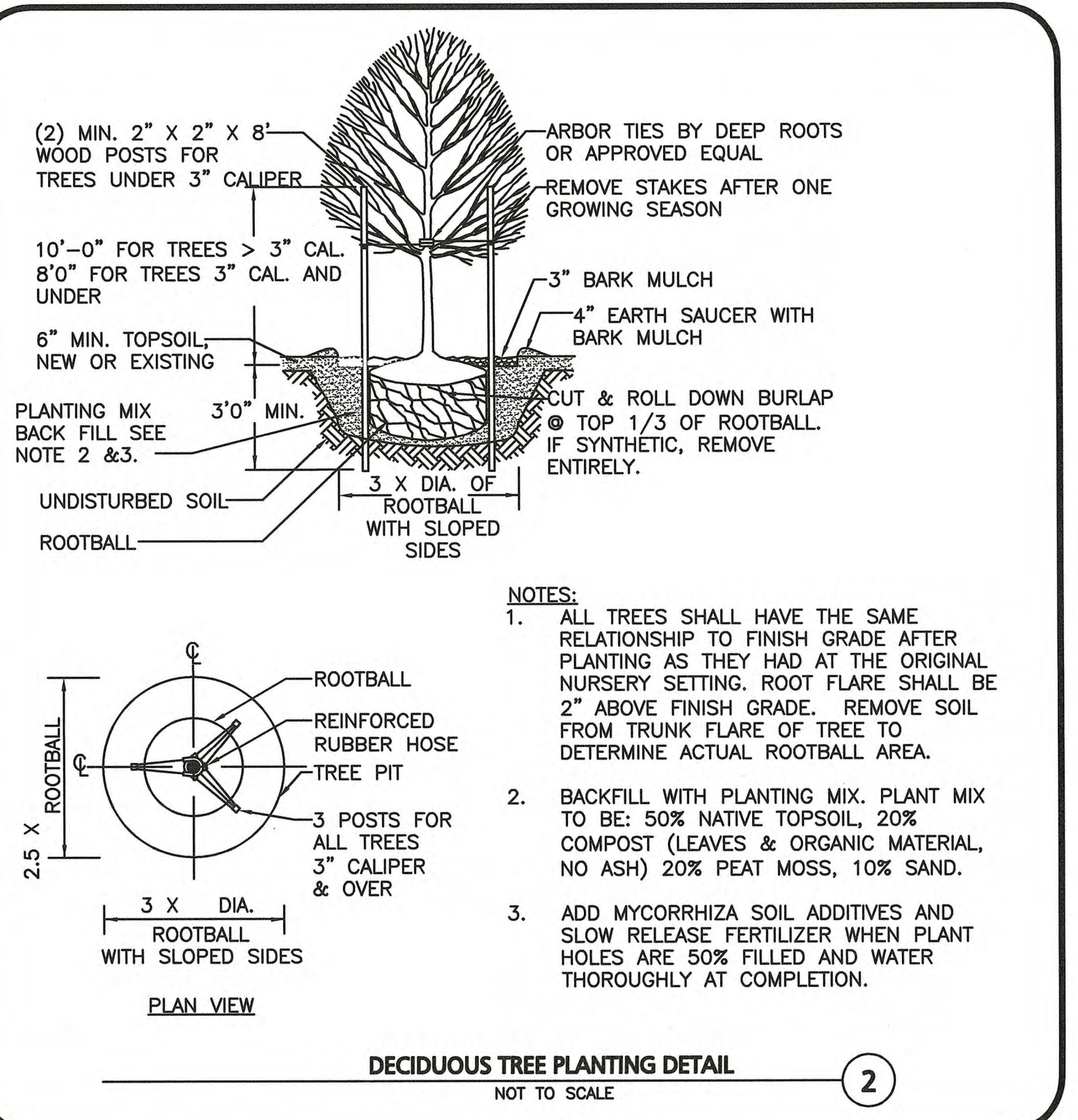
JACA Project Number 190042

**PLANTING SCHEDULE - TREES, SHRUBS, GROUNDCOVERS & PERENNIALS**

| KEY                                   | QUANTITY | BOTANICAL NAME                            | COMMON NAME                  | MIN. SIZE       | SPACING   | COMMENTS  |
|---------------------------------------|----------|---|------------------------------|-----------------|-----------|---|
| <b>DECIDUOUS TREES</b>                |          |   |                              |                 |           |   |
| AGR                                   | TBD      | ACER GRISEUM                              | PAPERBARK MAPLE              | 2"-2.5" CAL.    | AS SHOWN  | B&B   |
| ARK                                   | TBD      | ACER RUBRUM 'KARPICK'                     | KARPICK RED MAPLE            | 3"-3.5" CAL.    | AS SHOWN  | FASTIGIATE CULTIVAR; TRIM ALL LIMBS BELOW 8 FT. B&B |
| TC                                    | TBD      | TILIA CORDATA 'GREENSPIRE'                | GREENSPIRE LITTLELEAF LINDEN | 3"-3.5" CAL.    | AS SHOWN  | B&B   |
| <b>EVERGREEN/FLOWERING TREES</b>      |          |   |                              |                 |           |   |
| AC                                    | TBD      | ABIES CONCOLOR                            | WHITE FIR                    | 11'-12' HT.     | AS SHOWN  | B&B   |
| BL                                    | TBD      | BETULA N. 'LITTLE KING'                   | FOX VALLEY RIVER BIRCH       | 8'-9'           | AS SHOWN  | COMPACT CULTIVAR CLUMP; B&B                         |
| CC                                    | TBD      | CEROIS CANADENSIS 'FOREST PANSY'          | FOREST PANSY REDBUD          | 2"-2.5" CAL.    | AS SHOWN  | B&B   |
| CK                                    | TBD      | CORNUS KOUSA 'HEART THROB'                | HEART THROB KOUSA DOGWOOD    | 8'-10' HT.      | AS SHOWN  | B&B   |
| <b>SHRUBS</b>                         |          |   |                              |                 |           |   |
| CL                                    | TBD      | CLETHRA ALNIFOLIA 'RUBY SPICE'            | RUBY SPICE SUMMERSWEET       | 2'-3' HT.       | AS SHOWN  | WHITE FLOWERS, COMPACT FORM                         |
| CS                                    | TBD      | CORNUS SERICEA 'FALLOW'                   | ARCTIC FIRE RED TWIG DOGWOOD | 2'-3' HT.       | AS SHOWN  | POT   |
| IG                                    | TBD      | ILEX GLABRA 'COMPACTA'                    | COMPACT INKBERRY             | 2'-2.5' HT.     | AS SHOWN  | POT   |
| JM                                    | TBD      | JUNPERUS CHINENSIS 'MOUNTBATTEN'          | MOUNTBATTEN JUNIPER          | 7'-8' HT.       | AS SHOWN  | COLUMNAR, POTTED                                    |
| MD                                    | TBD      | MICROBIOTA DECUSSATA                      | SIBERIAN CARPET CYPRESS      | 2'-2.5' SPREAD. | AS SHOWN  | POT   |
| MPP                                   | TBD      | MYRICA PENNSYLVANICA                      | NORTHERN BAYBERRY            | 3.5'-4' HT.     | AS SHOWN  | POT   |
| RDP                                   | TBD      | ROSA 'DOUBLE PINK KNOCKOUT ROSES'         | DOUBLE KNOCKOUT ROSE         | 2.5' HT.        | AS SHOWN  | POT   |
| RB                                    | TBD      | RHODODENDRON 'BOULE DE NEIGE'             | BOULE DE NEIGE RHODODENDRON  | 3' HT.          | AS SHOWN  | POT   |
| VA                                    | TBD      | VACCINIUM ANGSTUFOLIUM                    | LOWBUSH BLUEBERRY            | 15"-18" SPREAD  | 10' O.C.  | POT, STAGGERED                                      |
| <b>ORNAMENTAL GRASSES</b>             |          |   |                              |                 |           |   |
| CA                                    | TBD      | CALAMAGROSTUS ARUNDINACEA 'KARL FORESTER' | FEATHER REED GRASS           | 3 GAL.          | 36" O.C.  | STAGGERED   |
| MSG                                   | TBD      | MISCANTHUS SINENSIS 'GRAZIELLA'           | 'GRAZIELLA' MAIDEN GRASS     | #15 POT         | 3.5' O.C. | STAGGERED   |
| PA                                    | TBD      | PENNISETUM ALOPECUROIDES 'HAMEL'          | DWARF FOUNTAIN GRASS         | 2 GAL.          | 24" O.C.  | STAGGERED   |
| <b>PERENNIALS, &amp; GROUNDCOVERS</b> |          |   |                              |                 |           |   |
| AN                                    | TBD      | ASTER NOVAE ANGLIAE 'PURPLE DOME'         | NEW ENGLAND ASTER            | 2 GAL.          | 24" O.C.  | STAGGERED   |
| AT                                    | TBD      | ASTILBE JAPONICA 'RHEINLAND'              | RHEINLAND ASTILBE            | 2 GAL.          | 24" O.C.  | STAGGERED   |
| DP                                    | TBD      | DENNSTAEDIA PUNCTILOBULA                  | HAYSCENTED FERN              | 2 GAL.          | 12" O.C.  | STAGGERED   |
| HR                                    | TBD      | HEMEROCALLIS 'ROSEY RETURNS'              | DAYLILY                      | 2 GAL.          | 18" O.C.  | STAGGERED   |
| LP                                    | TBD      | LIRIOPE MUSCARI 'VARIEGATA'               | VARIEGATED LIRIOPE           | 2 GAL.          | 18" O.C.  | STAGGERED   |
| PH                                    | TBD      | PHLOX STOLONIFERA                         | CREeping PHLOX               | 2 GAL.          | 10" O.C.  | STAGGERED   |
| PL                                    | TBD      | PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'   | RUSSIAN SAGE                 | 3 GAL.          | 24" O.C.  | COMPACT CULTIVAR STAGGERED                          |
| RF                                    | TBD      | RUDBECKIA FULGIDA 'GOLDSTURM'             | BLACKEYED SUSAN              | 2 GAL.          | 18" O.C.  | STAGGERED   |
| SA                                    | TBD      | SEDUM 'AUTUMN JOY'                        | AUTUMN JOY SEDUM             | 2 GAL.          | 18" O.C.  | STAGGERED   |
| VM                                    | TBD      | VINCA MINOR                               | MYRTLE                       | FLATS           | 6" O.C.   | STAGGERED   |

**LOAM AND SODDING NOTES**

CONTRACTOR SHALL SOD AREAS NOTED ON THE PLANS.  
SOD IS TO BE A BLEND OF FOUR TO FIVE CURRENT AND IMPROVED HYBRID BLUEGRASS AND FESCUE MIXES APPROPRIATE FOR BOTH SEMI-SHADED AND AREAS OF SUN.  
HYBRIDS MAY INCLUDE: BLACKSTONE KENTUCKY BLUEGRASS, AWARD KENTUCKY BLUEGRASS, CHALLENGER KENTUCKY BLUEGRASS, BLACKBURG II KENTUCKY BLUEGRASS OR COMPARABLE AND EQUAL BLUEGRASS HYBRIDS.  
1. SOD SHALL BE HIGH QUALITY, NURSERY GROWN ON CULTIVATED MINERAL AGRICULTURAL SOILS. SOD SHALL BE MOIST, AND MACHINE CUT AT A UNIFORM SOIL THICKNESS OF AT LEAST 3/8" AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL INCLUDE TOP GROWTH AND THATCH. SOD SHALL BE FREE OF DISEASES, WEEDS, BARE SPOTS, OR INSECTS.  
2. SODDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SODDING OF BARE SPOTS. IF UNABLE TO SOD WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND GREATER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER 'FLUX TERRA HP-FGM SOIL STABILIZER' AS MANUFACTURED BY 'PROFILE' TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SODDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING AT NO ADDITIONAL COST TO OWNER. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.  
3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.  
4. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RE-SODDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.



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