



INSTITUTION FOR SAVINGS

Building Stronger Communities Together Since 1820

PLANNING BOARD SUBMITTAL

February 17, 2021

Civil Drawings



PERMIT SITE DEVELOPMENT PLANS

(TO ACCOMPANY A SITE PLAN REVIEW APPLICATION)

93 STATE STREET

(MAP: 14 LOTS: 39 & 40)

LOCATED IN

NEWBURYPORT, MASSACHUSETTS

DATE: JANUARY 8, 2020

REVISED: FEBRUARY 6, 2020

REVISED: MARCH 25, 2020

REVISED: MAY 20, 2020

REVISED: OCTOBER 14, 2020

REVISED: JANUARY 06, 2021

OWNER/APPLICANT:

INSTITUTION FOR SAVINGS

93 STATE STREET

NEWBURYPORT, MASSACHUSETTS 01950



500 CUMMINGS CENTER SUITE 9950 WESTBOROUGH, MASSACHUSETTS 01581
BEVERLY, MASSACHUSETTS 01915 TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM



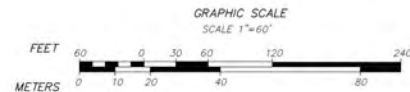
DRAWING INDEX:

- SHEET 1 COVER SHEET
- SHEET 2 RECORD CONDITIONS/DEMOLITION PLAN
- SHEET 3 SITE LAYOUT, GRADING & EROSION CONTROL PLAN
- SHEET 4 SITE UTILITY PLAN
- SHEET 5 LANDSCAPING PLAN
- SHEET 6 SITE DETAILS
- SHEET 7 SITE DETAILS

APPROVED BY PLANNING BOARD

DATE: _____

LOCUS CONTEXT MAP



TEMPORARY BENCHMARK CHART

T.B.M.#	DESCRIPTION	ELEVATION
△	K-CUT RIGHT FRONT CAP BOLT HYDRANT, 2.5' A.G.	102.30
△	TOP OF GRANITE POST, 3.5' A.G.	107.26

(SEE NOTE #)



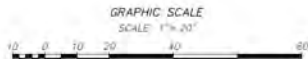
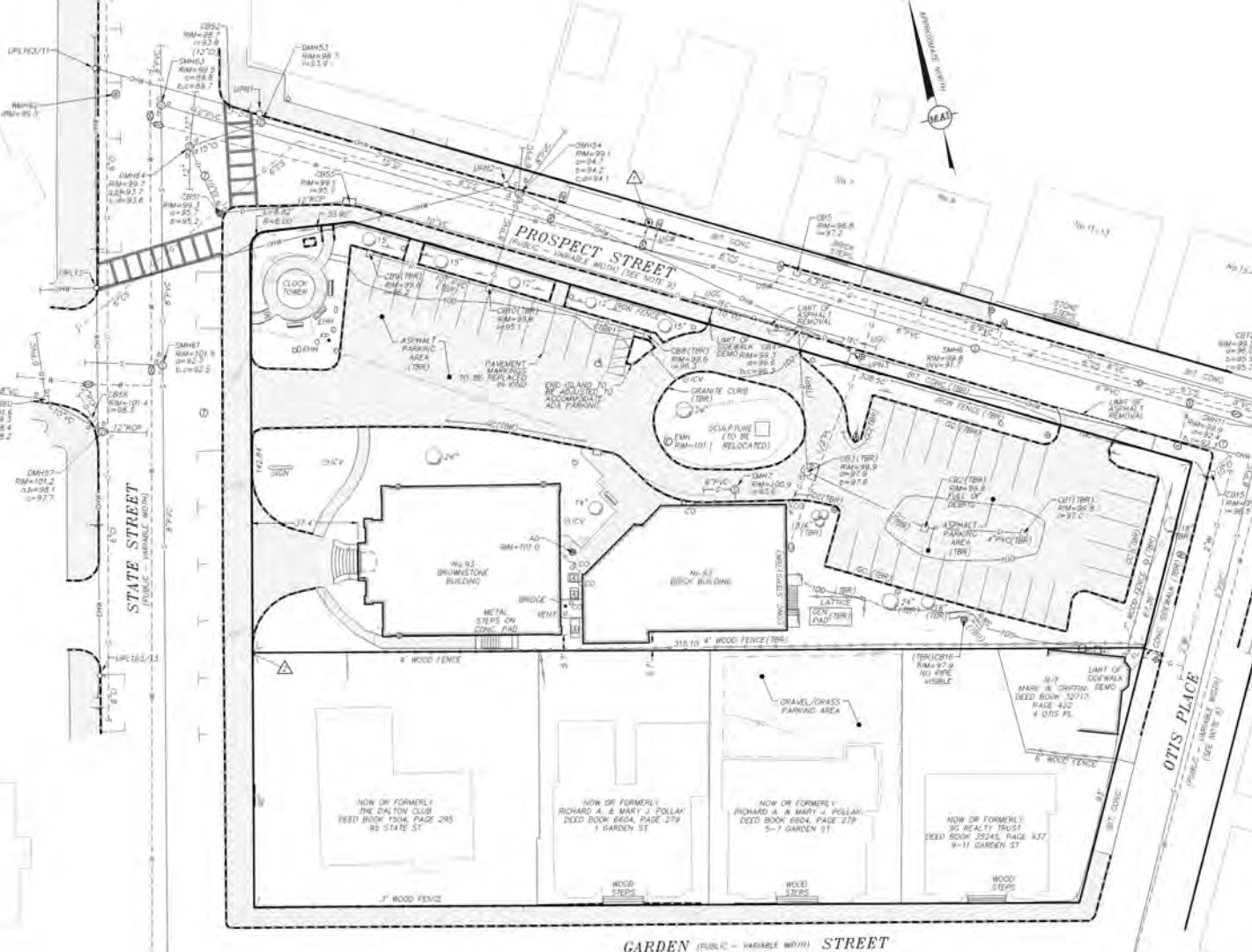
EXISTING LEGEND:

(Symbol)	ONE FOOT CONTOUR
(Symbol)	FIVE FOOT CONTOUR
(Symbol)	GRANITE CURB
(Symbol)	IRON FENCE
(Symbol)	WOOD FENCE
(Symbol)	RETAINING WALL
(Symbol)	BRICK
(Symbol)	CONCRETE
(Symbol)	ASPHALT PARKING AREA TO BE REMOVED
(Symbol)	GRAVEL/GRASS PARKING AREA
(Symbol)	HANDICAP RAMP
(Symbol)	ESCAIR
(Symbol)	BENCH
(Symbol)	DECIDUOUS TREE
(Symbol)	CONIFEROUS TREE
(Symbol)	COMPLETED GAS LINE
(Symbol)	GAS GATE
(Symbol)	GAS METER
(Symbol)	COMMUNICATIONS LINE
(Symbol)	UNDERGROUND CABLE RAYT MARKING
(Symbol)	TELEPHONE MANHOLE
(Symbol)	OVERHEAD WIRES
(Symbol)	COMPLETED ELECTRIC LINE
(Symbol)	ELECTRIC POLE
(Symbol)	ELECTRIC MANHOLE
(Symbol)	UTILITY POLE WITH LIGHT
(Symbol)	QUITY WIRE
(Symbol)	ELECTRIC HANDLE
(Symbol)	AIR CONDITIONER
(Symbol)	DRAIN LINE
(Symbol)	COMPLETED DRAIN LINE
(Symbol)	DRAIN MANHOLE
(Symbol)	COMPLETED DRAIN MANHOLE
(Symbol)	CATCH BASIN
(Symbol)	COMPLETED CATCH BASIN
(Symbol)	AREA DRAIN/POND/CATCH BASIN
(Symbol)	D-SHAPE CATCH BASIN
(Symbol)	DOUBLE CATCH BASIN
(Symbol)	CLEANOUT
(Symbol)	WATER LINE
(Symbol)	COMPLETED WATER LINE
(Symbol)	UNDERGROUND WATER RAYT MARKING
(Symbol)	WATER GATE
(Symbol)	COMPLETED WATER GATE
(Symbol)	HYDRANT
(Symbol)	WATER SERVICE
(Symbol)	IRRIGATION CONTROL VALVE
(Symbol)	SEWER LINE
(Symbol)	COMPLETED SEWER LINE
(Symbol)	SEWER MANHOLE
(Symbol)	COMPLETED SEWER MANHOLE
(Symbol)	MANHOLE ABOVE GROUND
(Symbol)	TERMINUS UNKNOWN
(Symbol)	BIT CONC.
(Symbol)	CONC.
(Symbol)	CONCRETE
(Symbol)	CORRUGATED STEEL
(Symbol)	FINISHED FIRST FLOOR
(Symbol)	GENERATOR
(Symbol)	GRANITE CURB
(Symbol)	INVERT
(Symbol)	PVC
(Symbol)	FRS
(Symbol)	STONE RETAINING WALL TO BE REMOVED

NOTES:

- THE TOPOGRAPHIC, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. (MAI) IN APRIL AND JULY 2018, AND JANUARY 2020.
- THE SUBJECT PROPERTY IS LOCATED IN THE DOWNTOWN BUSINESS DISTRICT (B2) AND THE DOWNTOWN (OVERLAP) DISTRICT.
- THE SUBJECT PROPERTY IS DEPICTED AS LOTS 39 & 40 ON CITY OF NEWBURYPORT ASSESSOR'S MAP 14.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT THE SAFE AT RISK.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND. HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE ELEVATIONS DEPICTED HEREON ARE BASED ON AN ASSUMED DATUM.
- LIMITED PROPERTY LINES ARE DEPICTED HEREON.
- THE SUBJECT PREMISES IS LOCATED IN FLOOD ZONE X (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE U-25 ANNUAL CHANCE FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 25000R0130G DATED JULY 16, 2014.
- THE RIGHT OF WAY LINES FOR OTIS AND PROSPECT STREET WERE BASED UPON EVIDENCE OF OCCUPATION. MAI WAS UNABLE TO FIND RECORD STREET LAYOUTS FOR EITHER STREET. THE CITY OF NEWBURYPORT HAS NOT BEEN ABLE TO FIND ANY RECORDS OF TOWNING OR LAYOUT PLANS TO ACCOUNT FOR THE CURRENT ROADWAY AND SIDEWALK FOOTPRINT. THE PLANS OF RECORD FOR THE SUBJECT PROPERTY COULD NOT BE PUT ON THE GROUND. THE FRONTAGE ALONG STATE STREET INDICATES THAT THE OWNERSHIP EXTENDS INTO THE APPARENT RIGHT OF WAY OF PRESENT DAY PROSPECT STREET, AS CONSTRUCTION, BASED ON LINES OF OCCUPATION.
- ALL VEGETATION INCLUDING TREES, SHRUBS, AND LANDSCAPED AREAS NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED UNTIL THE COMPLETION OF ALL CONSTRUCTION RELATED ACTIVITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MINIMIZE THE DISTURBANCE OF ANY WORK PERFORMED INSIDE OF THE "ROOT ZONE".

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORDED INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION



RECORD OWNER:
INSTITUTION FOR SAVINGS IN
NEWBURYPORT AND ITS HEIR/HEIR
93 STATE STREET
NEWBURYPORT, MASSACHUSETTS 01850

- DEED BOOK 764, PAGE 51
- DEED BOOK 1831, PAGE 147
- DEED BOOK 1888, PAGE 219
- DEED BOOK 3423, PAGE 564
- DEED BOOK 5446, PAGE 332
- DEED BOOK 6788, PAGE 210

REFERENCES:
- PLAN BOOK 35, PLAN 13
- PLAN IN RECORD BOOK 2308, PAGE 1
- PLAN 320 OF 1946
- PLAN 704 OF 1935

DOCUMENTS ON RECORD AT THE ESSEX
SOUTH COUNTY REGISTRY OF DEEDS:

REASONS

REVISION NUMBER	DESCRIPTION	DATE
01		
02		
03		
04		
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08		
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10		
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18		
19		
20		



93 STATE STREET
RECORD CONDITIONS & DEMO PLAN
PROJECT NO. 2021-001
NEWBURYPORT, MASSACHUSETTS
(ESSEX COUNTY)
PREPARED FOR:
INSTITUTION FOR SAVINGS

MERIDIAN ASSOCIATES
A MAI COMPANY
360 STATE STREET, SUITE 100
NEWBURYPORT, MASSACHUSETTS 01850
PHONE: 978.278.4444 FAX: 978.278.4444
WWW.MERIDIANASSOCIATES.COM

DESIGNED BY: MAE
ENCLINED BY: DEP

DATE: OCTOBER 14, 2020
SCALE: 1"=20'
SHEET No. 2 of 7
PROJECT No. 6215

TEMPORARY BENCHMARK CHART

T.B.M.#	DESCRIPTION	ELEVATION
△	K-CUT RIGHT FRONT CAP BOLT HYDRANT, 2.5' A.G.	102.30
△	TOP OF GRANITE POST, 3.5' A.G.	107.26

(SEE NOTE 6)

AVERAGE RIDGE & PEAK HEIGHTS:

ADDRESS	AVG. RIDGE ELEVATION (SURVEY)	AVG. EAVE ELEVATION (SURVEY)	AVG. GROUND ELEVATION (SURVEY)	AVG. RIDGE HEIGHT	AVG. EAVE HEIGHT
2 PROSPECT	130.1	121.0	99.5	30'-7"	21'-6"
8 PROSPECT	125.4	116.6	98.8	25'-10"	17'-0"
11-13 PROSPECT	137.1	123.5	100.3	36'-10"	23'-2"
18-17 PROSPECT	132.2	123.3	100.1	31'-7"	23'-2"
19-21 PROSPECT	127.1	123.4	100.0	27'-1"	23'-5"
3 OTIS	136.5	124.2	101.8	34'-8"	22'-5"
4 OTIS	128.6	122.3	100.6	28'-0"	21'-8"
7 OTIS	138.8	128.8	102.7	36'-2"	23'-11"
16 OTIS	130.6	121.8	100.5	32'-0"	21'-2"
9-11 GARDEN	148.3	125.4	101.9	46'-3"	23'-8"

* ELEVATIONS AND MEASUREMENTS ARE CONSIDERED APPROXIMATE. (SEE NOTES)



REVISIONS	DESCRIPTION	DATE



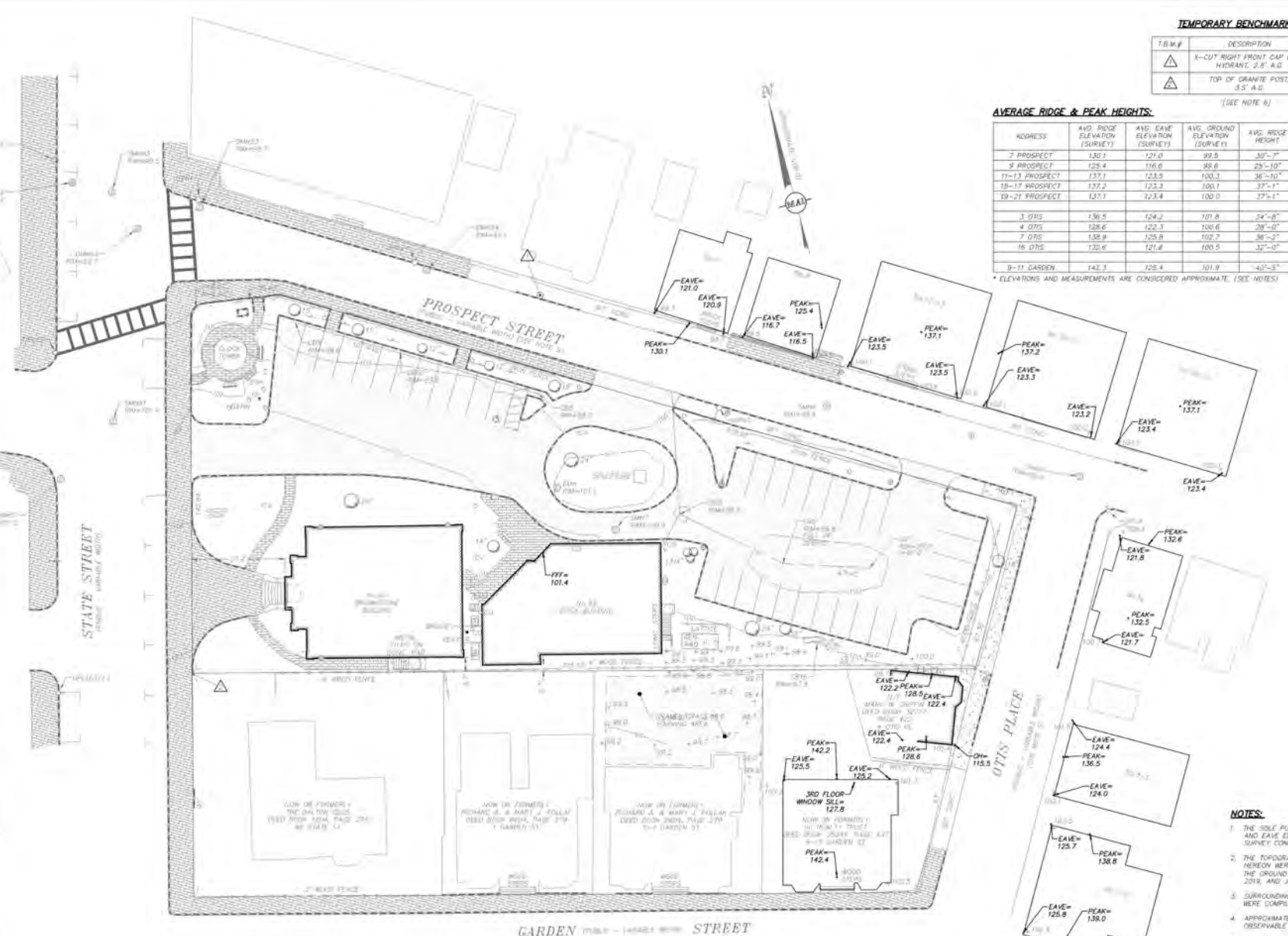
93 STATE STREET
APPROXIMATE RIDGE/EAVE HEIGHTS
LOCATED IN
NEWBURYPORT, MASSACHUSETTS
(ESSEX COUNTY)
PREPARED FOR:
INSTITUTION FOR SAVINGS

MERIDIAN ASSOCIATES
180 STATE STREET, 10TH FLOOR
NEWBURYPORT, MASSACHUSETTS 01960
TELEPHONE: (978) 236-4447 FAX: (978) 236-4448
WWW.MERIDIANSOCIATES.COM

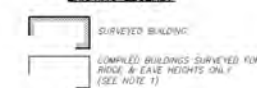
DESIGNED BY:
CHECKED BY:

DATE: JANUARY 25, 2021
SCALE: 1"=20'
SHEET No. 1 OF 1
PROJECT No. 6215

BY: 6215.PG.#1/40
DWG. No. 6215_REC.DWG

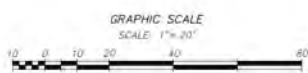


EXISTING LEGEND:



NOTES:

- THE SOLE PURPOSE OF THIS PLAN IS TO DEPICT THE APPROXIMATE RIDGE AND EAVE ELEVATIONS OF THE SURROUNDING BUILDINGS BASED ON A FIELD SURVEY CONDUCTED BY MERIDIAN ASSOCIATES, INC. ON JANUARY 19, 2021.
- THE TOPOGRAPHY, SITE DETAIL, & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. (MAI) IN APRIL AND JULY 2018 AND JANUARY 2020.
- SURROUNDING BUILDING LOCATIONS AND FOOTPRINTS DEPICTED HEREON WERE COMPILED FROM MASSACHUSETTS GIS.
- APPROXIMATE RIDGE ELEVATIONS WERE TAKEN FROM THE HIGHEST OBSERVABLE POINT OF THE ROOF.
- APPROXIMATE EAVE ELEVATIONS WERE TAKEN FROM THE TOP OF THE GUTTER OR DRIP EDGE.
- GIVEN THE VARIATIONS IN GROUND ELEVATIONS, BUILDING CONSTRUCTION AND AGE OF BUILDING STRUCTURES, ELEVATIONS DEPICTED HEREON ARE CONSIDERED APPROXIMATE.



SCHEDULE OF DIMENSIONAL CONTROLS

ZONING DISTRICT: 404 B-2 (DOWNTOWN OVERLAY DISTRICT)

REQUIREMENT	REQUIRED	EXISTING	PROPOSED ADDITION
LOT AREA:	5,000 S.F.	36,998± S.F.	36,998± S.F.
FRONTAGE:	80 FT.	491.06± FT.	491.06± FT.
LOT WIDTH:	N/A	VARIABLES	VARIABLES
FRONT YARD:	0 FT.	37.4± FT.	5.3 FT.
SIDE YARD:	0 FT.	126.4± FT.	9.8 FT.
REAR YARD:	0 FT.	-2.7± FT.	4.9± FT.
PARKING SPACES:	58	30	62

TEMPORARY BENCHMARK CHART

T.B.M.#	DESCRIPTION	ELEVATION
△	X-CITY RIGHT FRONT CURB (BOLT HYDRANT, 2'± A.G.)	102.30
△	TOP OF GRANITE POST	107.28

(SEE NOTE 6 SHEET 2)



LOCUS MAP
(NOT TO SCALE)

EROSION CONTROL LEGEND

□ PROPOSED SILT/SAC CATCHBASIN INLET PROTECTION

EROSION CONTROL NOTES:

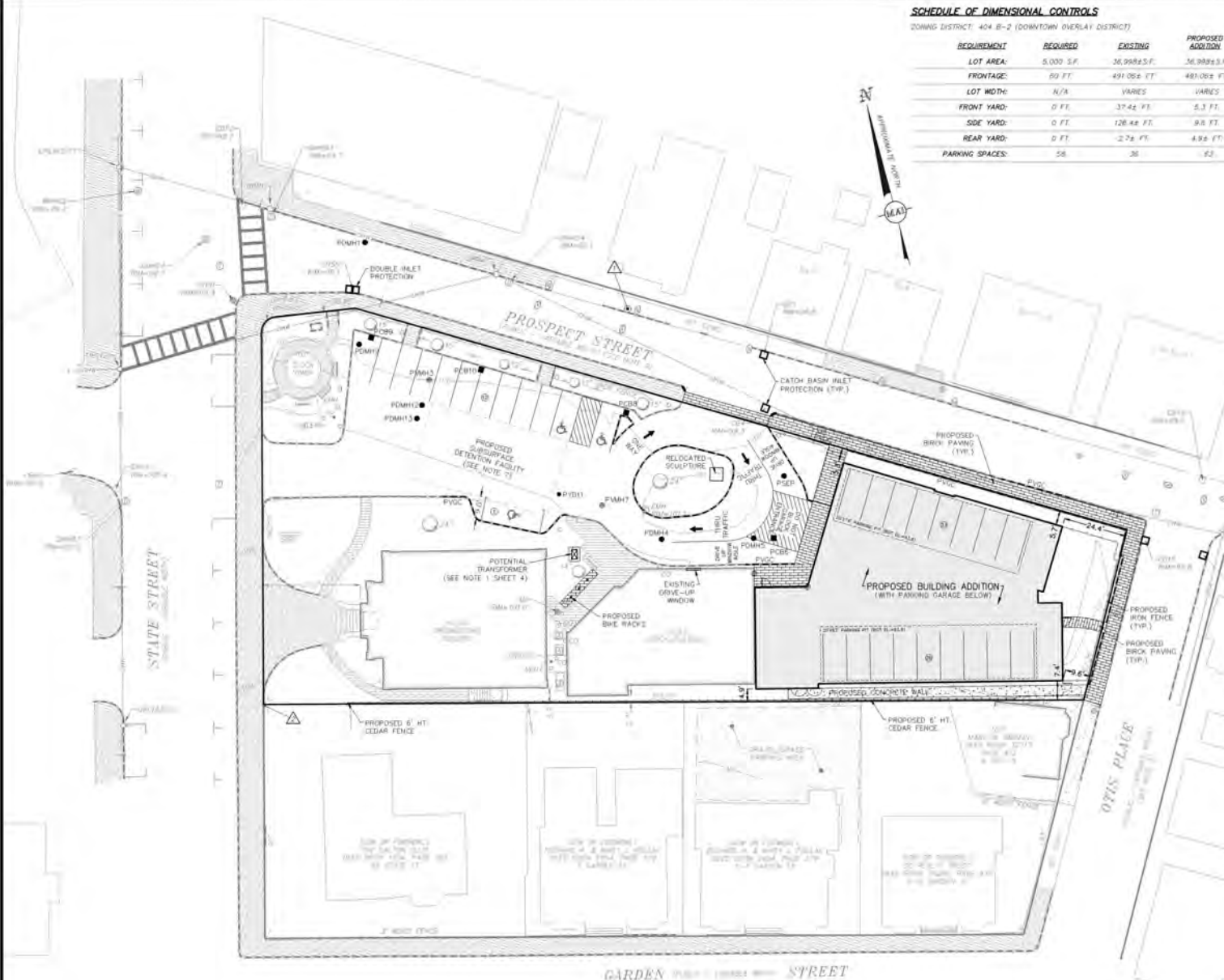
- ALL EXISTING STRUCTURES WITHIN THE LIMIT OF WORK TO BE REMOVED SHALL BE PROTECTED AND MAINTAINED UNTIL TIME OF REMOVAL/REPLACEMENT.
- EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY TO ENSURE PROPER FUNCTION.
- LOCATION OF TEMPORARY CONSTRUCTION ENTRANCE TO BE DETERMINED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

PROPOSED LEGEND

- PROPOSED VERTICAL GRANITE CURB
- PROPOSED WOODEN FENCE
- PROPOSED IRON FENCE (MATCH EXISTING)
- PROPOSED CONCRETE WALK
- PROPOSED SUBSURFACE DETENTION FACILITY
- PROPOSED BRICK PAVING
- PROPOSED WHEELCHAIR RAMP
- PROPOSED DECORATIVE POLE LIGHT
- PROPOSED RECESSED LIGHT
- PROPOSED BIKE RACK
- FDMH PROPOSED DRAIN MANHOLE
- FVBC PROPOSED VORTEX CATCHBASIN
- PCB PROPOSED CATCHBASIN
- FVGC PROPOSED VERTICAL GRANITE CURB

PARKING NOTES:

- TOTAL NUMBER OF PARKING SPACES BASED ON USE OF CITY LIFT 2600±750 SUBTERRANEAN PARKING SYSTEM.



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NOT FOR CONSTRUCTION

REVISIONS	DATE	DESCRIPTION

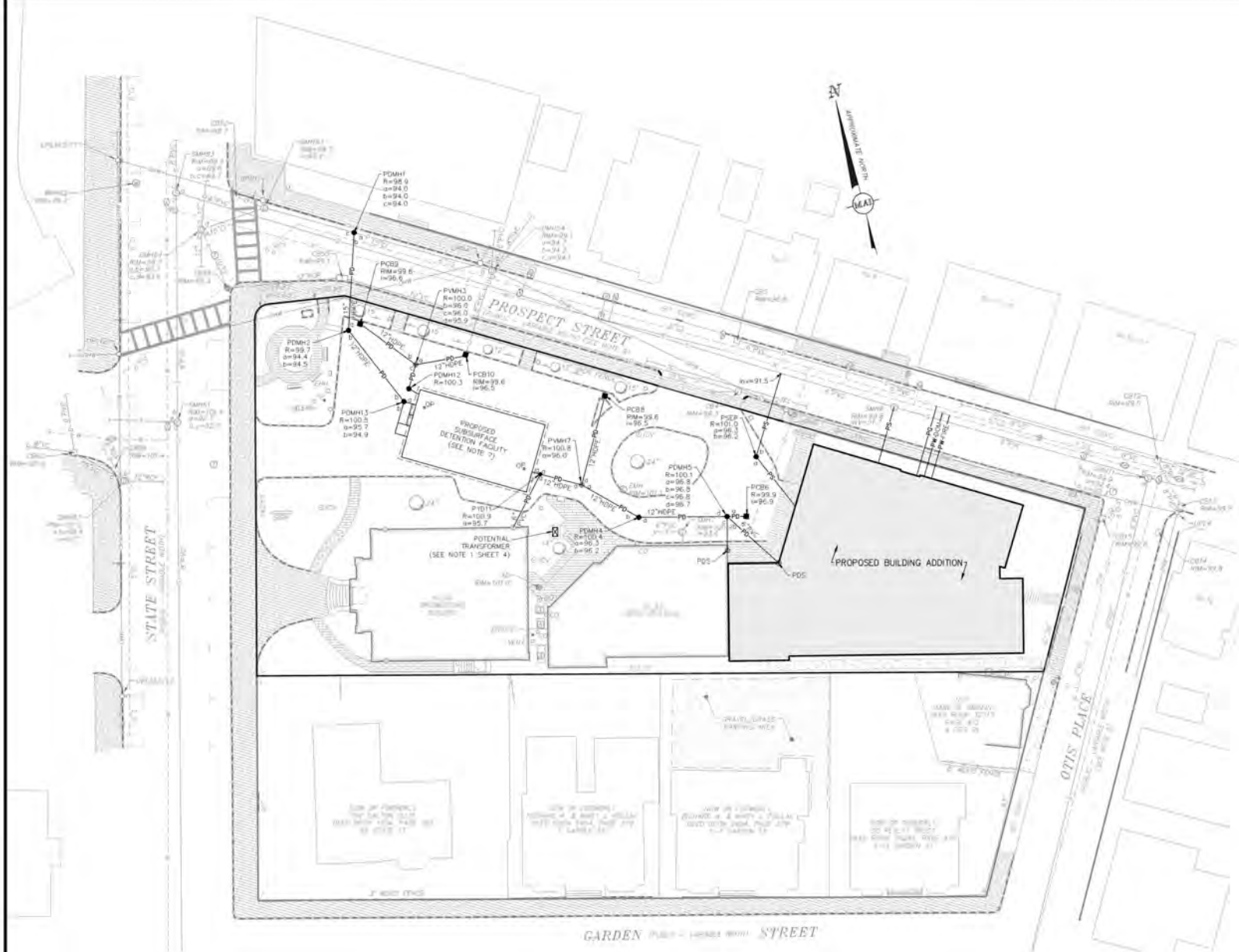


93 STATE STREET
SITE LAYOUT, GRADING & EROSION CONTROL PLAN
 LOCATED IN
NEWBURYPORT, MASSACHUSETTS
 (ESSEX COUNTY)
 PREPARED FOR
INSTITUTION FOR SAVINGS

MERIDIAN ASSOCIATES
 80 ATLANTIC STREET, SUITE 200
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 326-4444 FAX: (978) 326-4444
 WWW.MERIDIANASSOCIATES.COM

DESIGNED BY: HAH
 CHECKED BY: CEW
 DATE: OCTOBER 14, 2020
 SCALE: 1"=20'
 SHEET No. **3 OF 7**
 PROJECT No. **6215**

(REF: 6215-REC)
 DWG. NO. 6215-SITE.DWG



REVISIONS	DATE	BY	APP

- PROPOSED LEGEND:**
- PD — PROPOSED DRAIN LINE
 - PDMH PROPOSED DRAIN MANHOLE
 - PDS PROPOSED DRAIN MANHOLE
 - ⊗ PMVH PROPOSED VORTEX MANHOLE
 - PSL PROPOSED SEWER LINE
 - PFD PROPOSED FLOOR DRAIN
 - PSEP PROPOSED OIL & GRIT SEPARATOR
 - PWS — PROPOSED WATER LINE
 - PHS — PROPOSED HYDRANT
 - PGL — PROPOSED GAS LINE
 - PGO — PROPOSED OBSERVATION POINT
 - (E) — RIM ELEVATION
 - (I) — INVERT ELEVATIONS

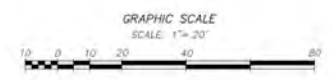
- PROPOSED UTILITY NOTES:**
- PROPOSED TRANSFORMER LOCATION IS APPROXIMATE AND MAY CHANGE PER REQUEST OF UTILITY COMPANY. ADDITIONAL UTILITY INFORMATION IS NEEDED TO VERIFY THE FINAL LOCATION.
 - COORDINATE UTILITY CONSTRUCTION WITH ALL TRADES AND CORRESPONDING DESIGN PLANS FOR CONNECTION TO PROPOSED BUILDING AND SITE UTILITIES.
 - PROPOSED ELECTRIC AND UTILITY CONNECTIONS DEPICTED HEREIN HAVE BEEN PROVIDED FOR SCHEMATIC PURPOSE ONLY. ACTUAL UTILITY CONFIGURATIONS SHALL BE DETERMINED BY RESPECTIVE UTILITY PROVIDERS, MEP SPECIFICATIONS AND ARCHITECTURAL PLANS.
 - LOCATION OF PROPOSED OIL AND GRIT SEPARATOR SHOWN FOR SCHEMATIC PURPOSES ONLY. ALL DESIGN CALCULATIONS AND DETAIL FOR SYSTEM SHALL BE SHOWN ON THE CONSTRUCTION PLANS WHICH WILL BE PROVIDED TO THE BOARD OF HEALTH FOR REVIEW AND APPROVAL.
 - INTERIOR FLOOR DRAIN SYSTEM SHALL BE DESIGNED BY MEP AND SUBMITTED TO THE DPS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - LOCATIONS OF ROOF DRAIN GUTTER DOWNSPOUTS TO BE COORDINATED WITH ARCHITECTURAL PLANS.
 - REFER TO SUBSURFACE DETENTION FACILITY DETAIL (SHEET 6) FOR ADDITIONAL INLET INFORMATION.



93 STATE STREET
 SITE UTILITY PLAN
 LOCATED IN
 NEWBURYPORT, MASSACHUSETTS
 (ESSEX COUNTY)
 PREPARED FOR
 INSTITUTION FOR SAVINGS

MERIDIAN ASSOCIATES
 90 GARDEN STREET, 4TH FLOOR, SUITE 400
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 339-4444
 FAX: (978) 339-4444
 WWW.MERIDIANASSOCIATES.COM
 DESIGNED BY: HBE/CAF
 CHECKED BY: CEW

DATE: OCTOBER 14, 2020
 SCALE: 1"=20'
 SHEET No.
 4 OF 7
 PROJECT No.
 6215



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NOT FOR CONSTRUCTION**



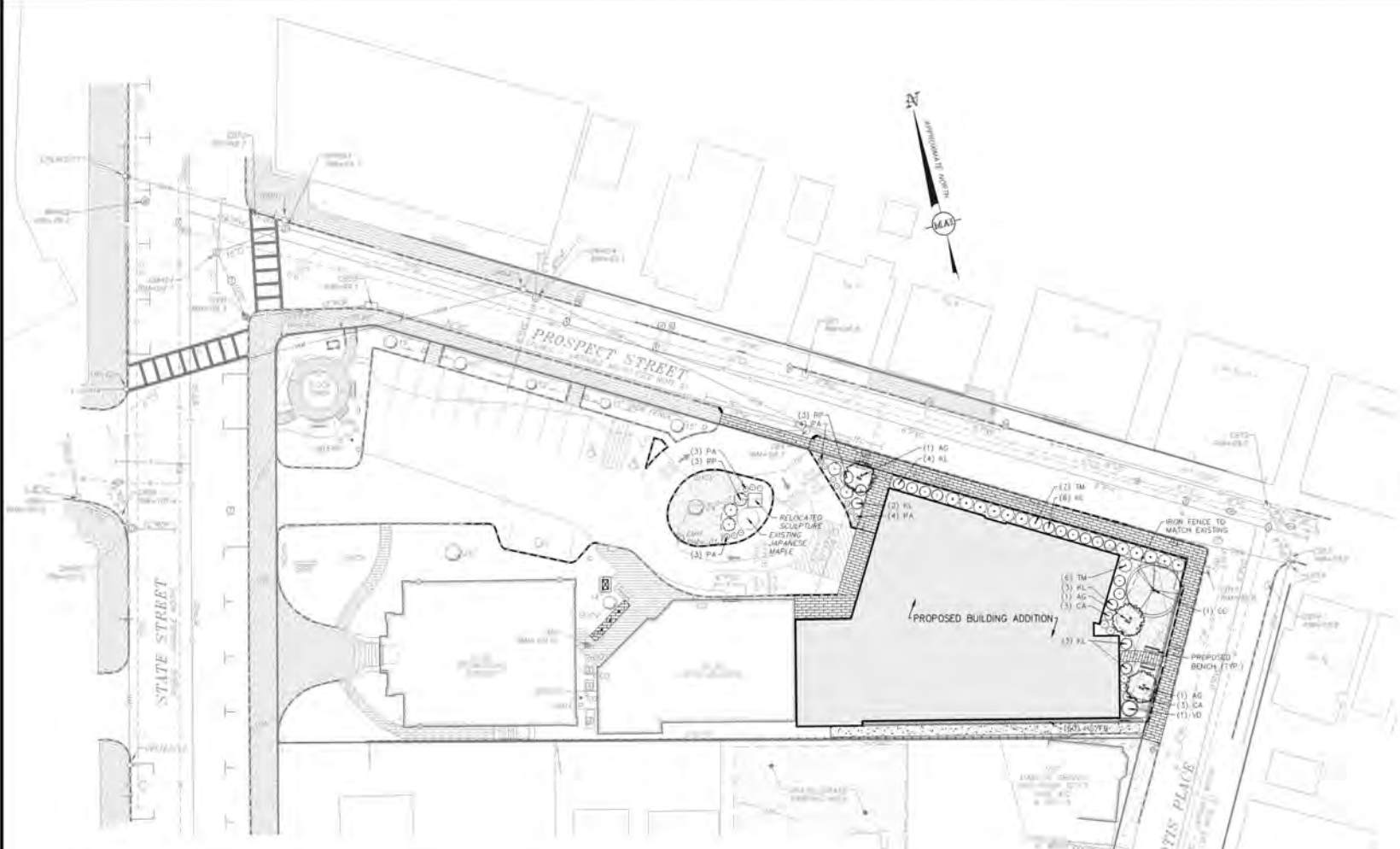
REVISIONS	DATE	DESCRIPTION



93 STATE STREET
 SITE LANDSCAPE PLAN
 LOCATED IN
 NEWBURYPORT, MASSACHUSETTS
 (ESSEX COUNTY)
 PREPARED FOR
 INSTITUTION FOR SAVINGS

MERIDIAN ASSOCIATES
 600 UNIVERSITY AVENUE
 BEVERLY, MASSACHUSETTS 01915
 TEL: (978) 234-4444 FAX: (978) 234-4445
 WWW.MERIDIANASSOCIATES.COM

DESIGNED BY: **MAE**
 CHECKED BY: **MAE**
 DATE: **DECEMBER 30, 2020**
 SCALE: **1"=20'**
 SHEET No. **5 OF 7**
 PROJECT No. **6215**

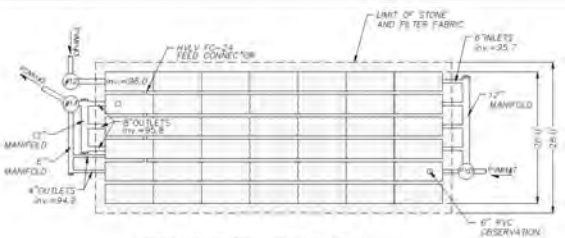


QTY	SYM	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
3	AG	<i>Ametancthes grandiflora</i> 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	6'-8" Ht. M5 B&B	BR N ST White Birds Showy Edible Fruit Fall Color April-May
1	CC	<i>Carpinus caroliniana</i>	American Hornbeam	3"-3.5" Cal. B&B	DT N White Street tree Fall Color February
SHRUBS					
6	CA	<i>Clethra alnifolia</i>	Summersweet	24"-30" Ht. #3 Pot	BR N ST White Butterflies Showy Fragrant Heavy Shade July-August
16	KL	<i>Kalmia latifolia</i>	Mountain Laurel	30"-36" Ht. B&B	N DT ST Evergreen Winter Interest Heavy Shade
6	RP	<i>Rhododendron x PJM</i>	PJM Rhododendron	24"-30" Ht. #5 Pot	DR 60" OC Purple Winter Interest April
13	TM	<i>Taxus x media</i> 'Hustfieldii'	Hustfield Yew	30"-36" Ht. B&B	DT ST 60" OC Evergreen Winter Interest Heavy Shade
1	VD	<i>Viburnum dentatum</i> 'Ralph Senior'	Autumn Jazz Arrowwood Viburnum	36"-60" Ht. #7 Pot	BR DR N ST 6' OC White Birds/Butterflies May-June
PERENNIALS & GROUND COVER					
14	PA	<i>Perovskia atriplicifolia</i>	Russian Sage	#1 Pot	DR DT ST 18" OC Purple Birds/Butterflies June-August
30	HS	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	ST 30" OC White-Pale Lavender Hummingbirds Showy Heavy Shade July-August
30	FB	Hosta 'Fragrant Bouquet'	Fragrant Bouquet Hosta	#2 Pot	ST 30" OC White Fragrant Hummingbirds Heavy Shade June-July

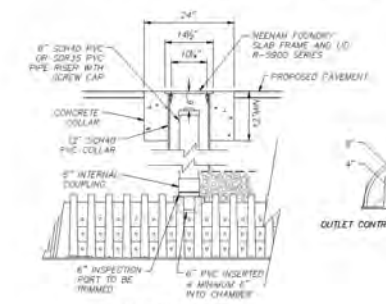
DR = DEER RESISTANT | DT = DROUGHT TOLERANT | N = NATIVE | ST = SALT TOLERANT | OC = DN-CENTER | B&B = BALLED AND BURLAPPED

- NOTES:**
- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY AMERICANHORT 2014 AND AS AMENDED.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
 - NO REVISIONS OR SUBSTITUTIONS FROM THE PLANT SCHEDULE SHALL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANT MATERIALS INCLUDING EXISTING TREES AGAINST DAMAGE DURING THE CONSTRUCTION PERIOD. PROTECTION SHALL BEGIN PRIOR TO COMMENCEMENT OF ANY WORK AND CONTINUE UNTIL FINAL ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
 - ALL NEW PLANTING AREAS SHALL BE EXCAVATED TO A DEPTH THAT CONFORMS WITH THE PLANTING DETAILS (SHEET 7 OF THIS PLAN SET) AND RECEIVE NEW PLANTING SOIL.
 - PROPOSED BENCHES SHALL MATCH SIZE AND STYLE OF EXISTING BENCHES FOUND ON-SITE. INSTALLATION REQUIREMENTS WILL BE PROVIDED BY MANUFACTURER.
 - ALL MATERIALS REMOVED FROM SITE SHALL BE DISPOSED OF IN A LEGAL AND PROFESSIONAL MANNER.
 - ALL DISTURBED AREAS SHALL BE RE-SEEDDED WITHIN 15 DAYS OF DISTURBANCE OR REPLANTING AS SHOWN HEREON WITH A DROUGHT TOLERANT TURFGRASS SEED MIX (NOT TALL FESCUE, 100 PERENNIAL RYE GRASS, 100 KENTUCKY BLUEGRASS) AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
 - BALLED AND BURLAPPED PLANTS MAY BE PLANTED IN THE SPRING FROM APRIL 1ST UNTIL JUNE 15TH AND IN THE FALL FROM AUGUST 15TH TO NOVEMBER 1ST.

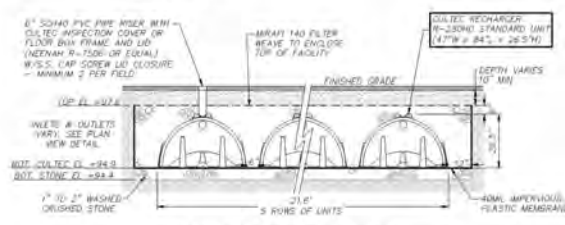
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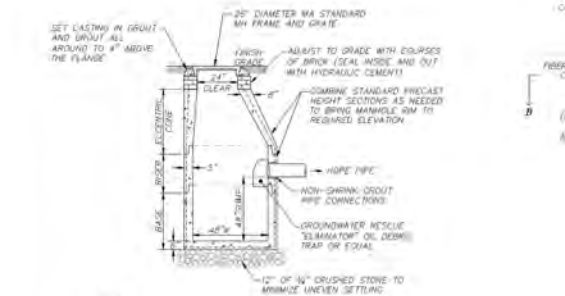
SUBSURFACE DETENTION FACILITY LAYOUT
(NOT TO SCALE)



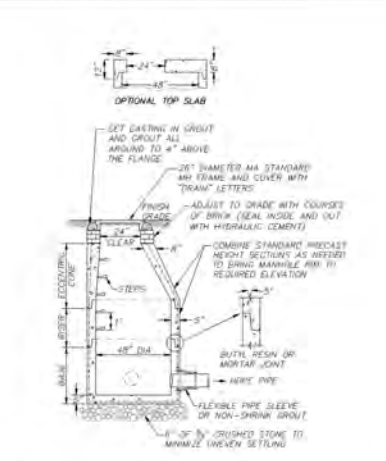
OBSERVATION PORT
(NOT TO SCALE)



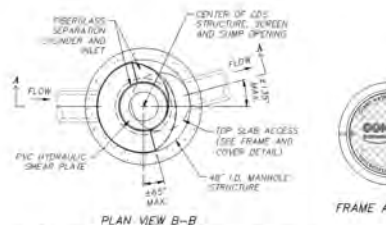
SUBSURFACE DETENTION FACILITY
(NOT TO SCALE)



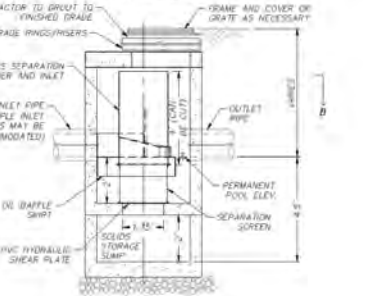
CATCHBASIN WITH OIL DEBRIS TRAP
(NOT TO SCALE)



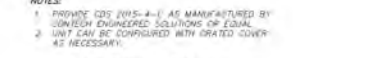
DRAIN MANHOLE DETAIL
(NOT TO SCALE)



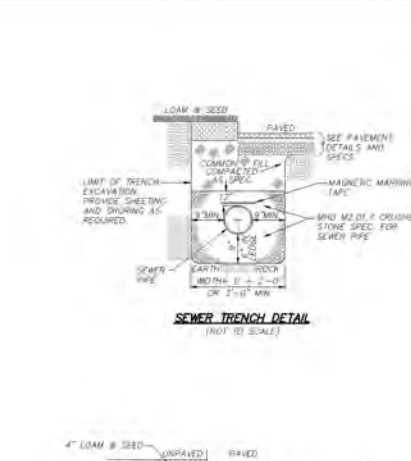
PLAN VIEW B-B



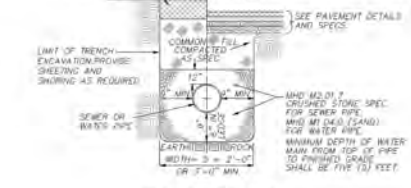
ELEVATION A-A



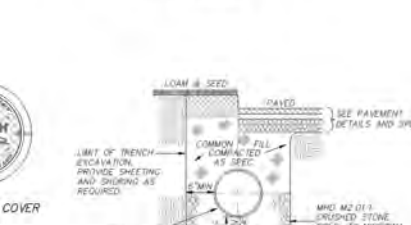
CONTECH CDS DETAIL
(NOT TO SCALE)



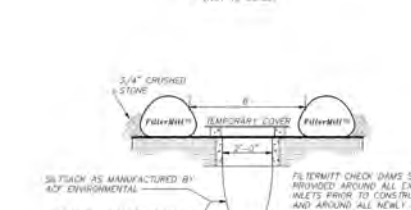
SEWER TRENCH DETAIL
(NOT TO SCALE)



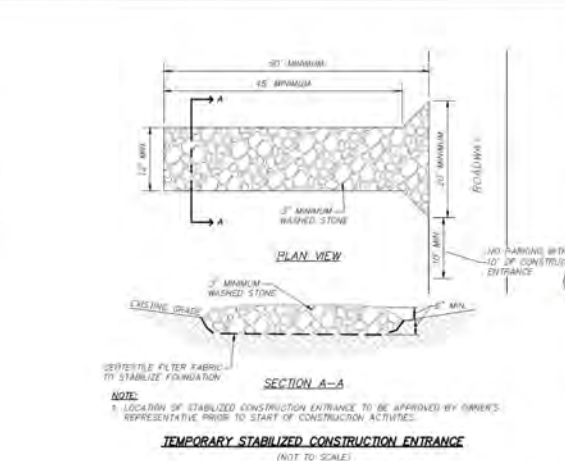
WATER TRENCH DETAIL
(NOT TO SCALE)



DRAIN TRENCH
(NOT TO SCALE)



CATCH BASIN FILTER DETAIL
(NOT TO SCALE)



TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
(NOT TO SCALE)



TOP VIEW

UNION TOP VIEW

UNION SECTION VIEW

UNION SECTION VIEW

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

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(NOT TO SCALE)

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(NOT TO SCALE)

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(NOT TO SCALE)

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(NOT TO SCALE)

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(NOT TO SCALE)

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(NOT TO SCALE)

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(NOT TO SCALE)

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(NOT TO SCALE)

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(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

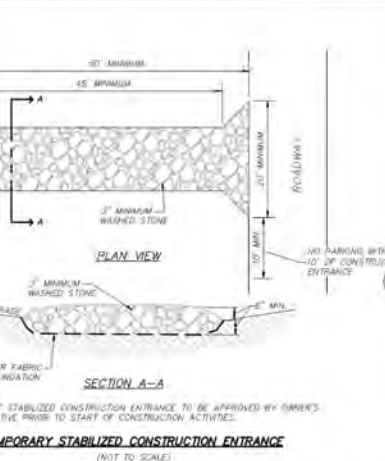
EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)

EROSION CONTROL SOCK - FILTERMITT DETAIL
(NOT TO SCALE)



TREE PROTECTION
(NOT TO SCALE)

NOTE: ALL TREES 3" DBH WITHIN THE LIMIT OF WORK SHALL RECEIVE PROTECTION PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

REVISIONS	DATE	DESCRIPTION



93 STATE STREET
SITE DETAILS
LOCATED IN
NEWBURYPORT, MASSACHUSETTS
(ESSEX COUNTY)
PREPARED FOR
INSTITUTION FOR SAVINGS

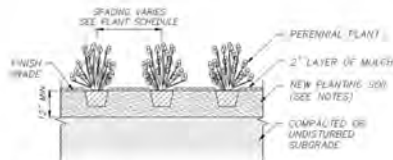
MERIDIAN ASSOCIATES
100 STATE STREET, 10TH FLOOR
BURLINGTON, MASSACHUSETTS 01803
TELEPHONE: (978) 251-1100
FAX: (978) 251-1101
WWW.MERIDIANASSOCIATES.COM

DATE:	OCTOBER 14, 2020
SCALE:	AS NOTED
SHEET No:	6 OF 7
PROJECT No:	6215

DESIGNED BY: JAW
CHECKED BY: JAW

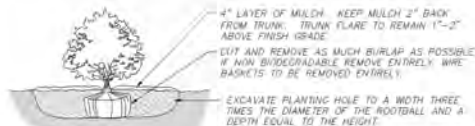


LOAM & SEEDING
(NOT TO SCALE)



- NOTE:**
1. SEE LANDSCAPE NOTES FOR ADDITIONAL PLANTING REQUIREMENTS
 2. SPACE PLANTS EQUALLY TO PROVIDE CONSISTENT COVER OVER INDICATED PLANTING BED
 3. ALL ROOT BALLS TO BE SCARIFIED PRIOR TO BACKFILLING

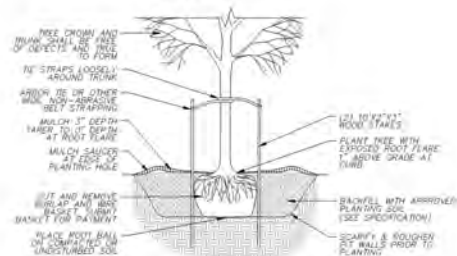
GROUNDCOVER / ANNUAL / PERENNIAL PLANTING
(NOT TO SCALE)



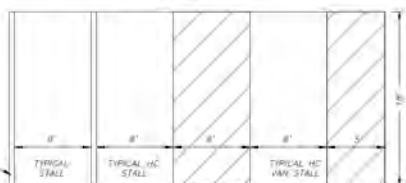
NOTES:

1. BACKFILL PLANTING HOLE WITH NEW PLANTING SOIL
2. BACKFILL HALF THE SOIL AND WATER TO SETTLE (OUT AIR POCKETS. COMPLETE BACKFILLING AND REPEAT WATERING
3. IF ROOTS ARE CURVING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING

SHRUB PLANTING
(NOT TO SCALE)



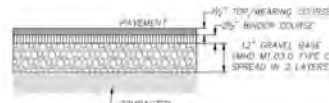
TREE PLANTING
(NOT TO SCALE)



NOTE: FOR LOCATION AND DIMENSIONS OF ALL PAVEMENT MARKING, SEE SITE PLAN

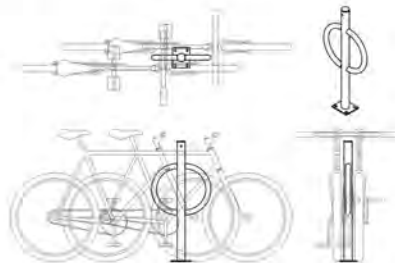
PAVEMENT MARKING DETAIL
(NOT TO SCALE)

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

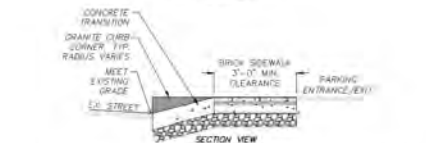


NOTE: THE WEARING AND BINDER COURSES SHALL CONSIST OF CLASS 1 TYPE I-1 BITUMINOUS CONCRETE (HOT MIX ASPHALT)

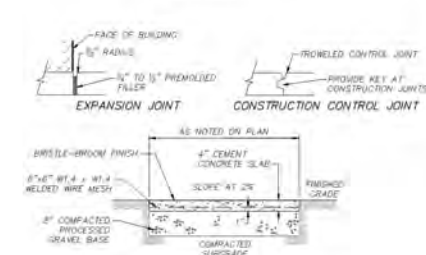
BITUMINOUS CONCRETE PAVEMENT
(NOT TO SCALE)



BICYCLE RACK
(NOT TO SCALE)

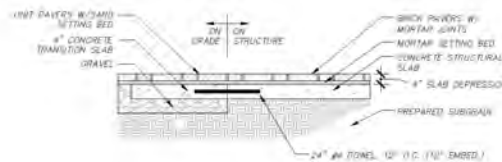


PARKING ENTRANCE/EXIT TRANSITION
(NOT TO SCALE)

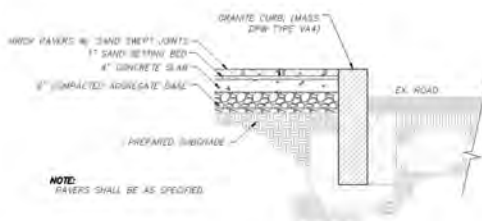


- NOTES:**
1. TYPICAL EXPANSION JOINT SPACING EVERY 30'-0"
 2. TYPICAL CONTROL JOINT SPACING EVERY 5' (I.C.)

CONCRETE WALKWAY
(NOT TO SCALE)

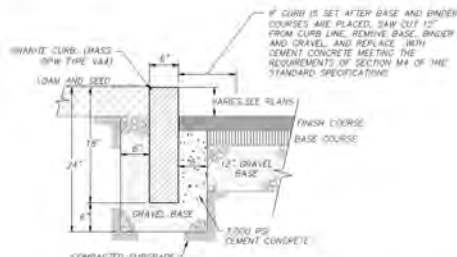


BRICK PAVERS
(NOT TO SCALE)

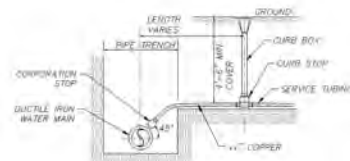


NOTE: PAVERS SHALL BE AS SPECIFIED

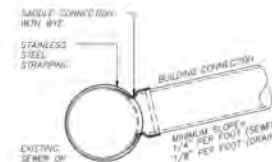
BRICK PAVER SIDEWALK/CROSSWALK
(NOT TO SCALE)



VERTICAL GRANITE CURB
(NOT TO SCALE)



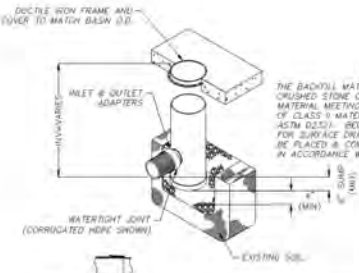
TYPICAL WATER SERVICE
(NOT TO SCALE)



NOTES:

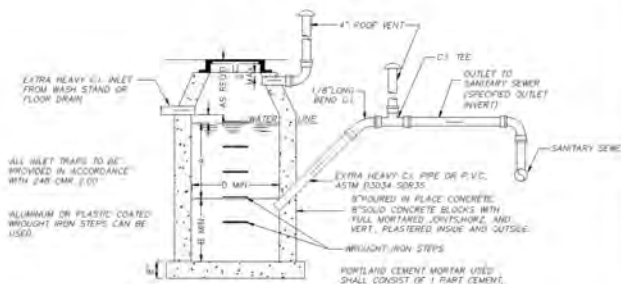
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE OR IRON PIPE
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAINS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE
3. FULL WIRE CONNECTION FITTINGS MAY BE USED
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE
5. LUMINOUS DISFULT INTO THE EXISTING PIPE WITHOUT A SADDLE OR FULL WIRE FITTING ARE NOT ALLOWED
6. BUILDING CONNECTIONS SHALL BE BEDDED IN 3/4\"/>

SADDLE CONNECTION DETAIL
(NOT TO SCALE)



- NOTE:**
1. PROVIDE 24\"/>

PROPOSED YARD DRAIN
(NOT TO SCALE)



NOTES:

1. FOR INLETS LARGER THAN 10\"/>

NOTE:

1. THIS DETAIL IS FOR SCHEMATIC PURPOSES ONLY - THE OIL/WATER SEPARATOR SHALL BE DESIGNED BY THE PLUMBING ENGINEER

OIL/WATER SEPARATOR
(NOT TO SCALE)



93 STATE STREET
SITE DETAILS
LOCATED IN
NEWBURYPORT, MASSACHUSETTS
(ESSEX COUNTY)
PREPARED FOR
INSTITUTION FOR SAVINGS

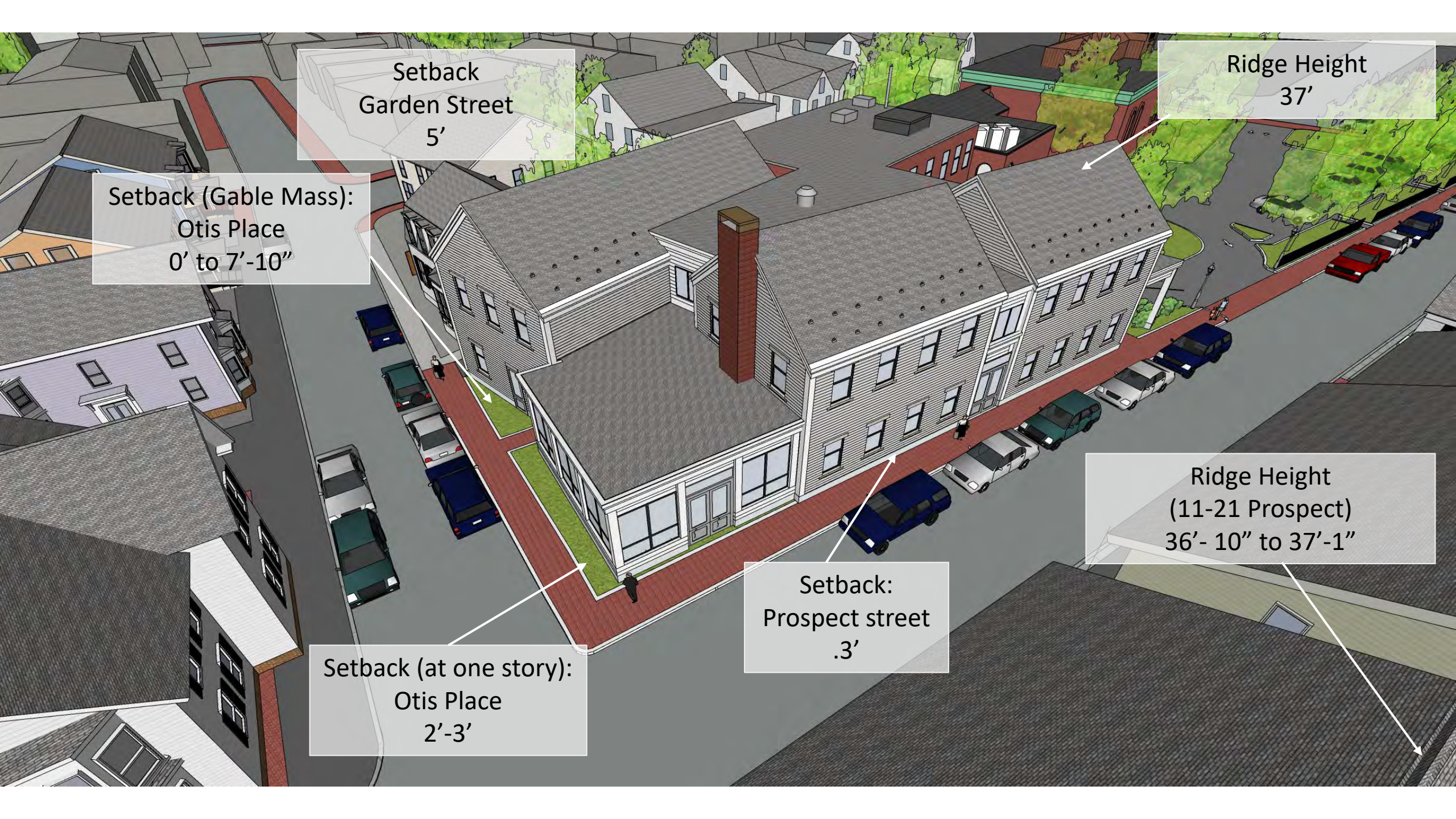
MERIDIAN ASSOCIATES
100 WASHINGTON STREET, 10TH FLOOR
BOSTON, MASSACHUSETTS 02111
TELEPHONE: (617) 552-4400
FAX: (617) 552-4401
WWW.MERIDIANSOCIATES.COM
DESIGNED BY: HAD
CHECKED BY: JEM

DATE: OCTOBER 14, 2020
SCALE: AS NOTED
SHEET No: 7 OF 7
PROJECT No: 6215

Model Views

Dimensional Comparisons





Setback
Garden Street
5'

Ridge Height
37'

Setback (Gable Mass):
Otis Place
0' to 7'-10"

Ridge Height
(11-21 Prospect)
36'- 10" to 37'-1"

Setback (at one story):
Otis Place
2'-3'

Setback:
Prospect street
.3'

Setback
Garden Street
7'-1" to 7'-7"

Ridge Height
(Garden Street)
33'-4"

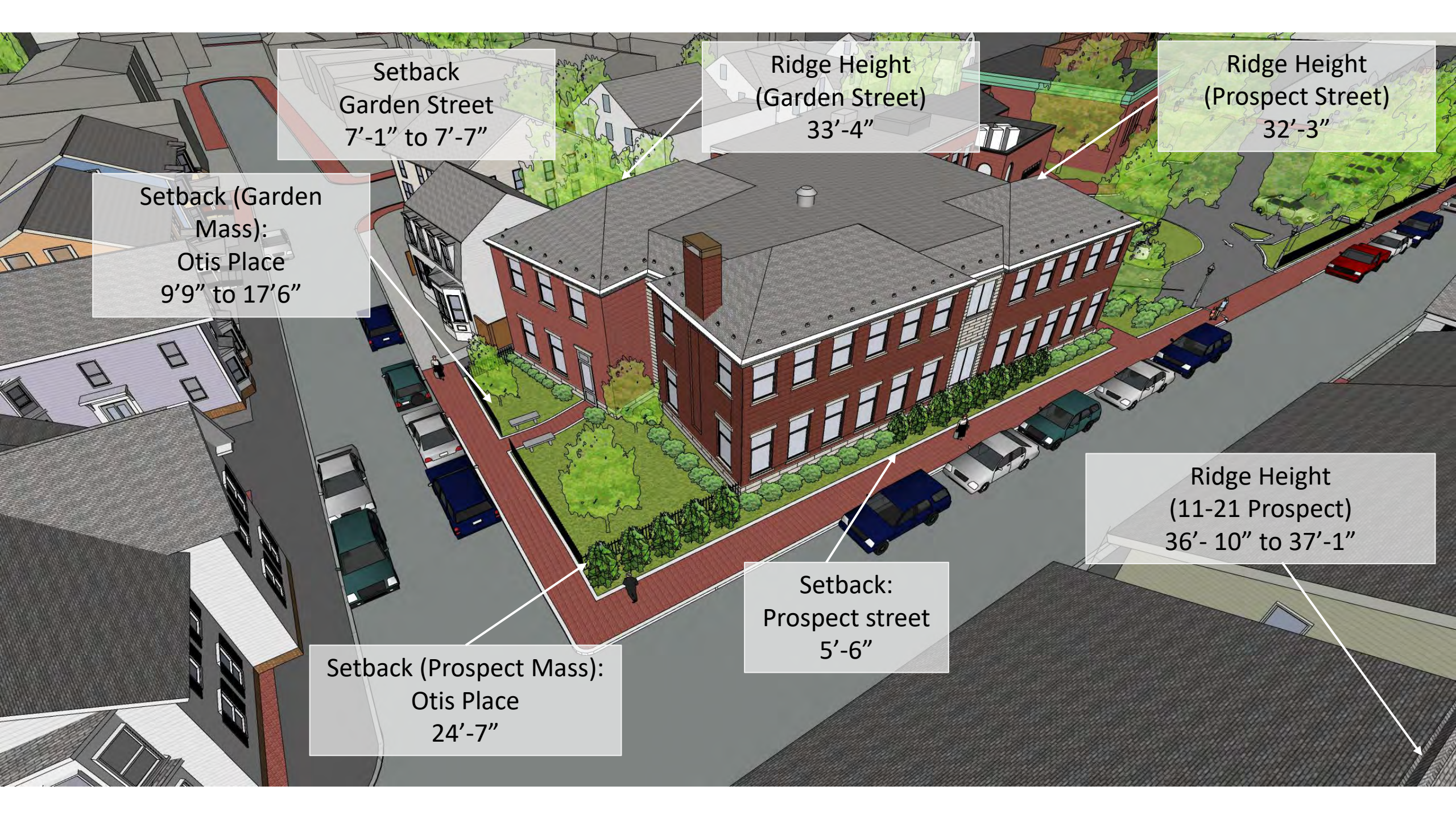
Ridge Height
(Prospect Street)
32'-3"

Setback (Garden
Mass):
Otis Place
9'-9" to 17'-6"

Ridge Height
(11-21 Prospect)
36'-10" to 37'-1"

Setback:
Prospect street
5'-6"

Setback (Prospect Mass):
Otis Place
24'-7"





ROOF/EAVE HEIGHT

Eave Height
Typical
24'-6"

Eave Height
(11-13, 15-17 19-21 Prospect)
23'-2" to 23'-5"



ROOF/EAVE HEIGHT

Eave Height
Typical
24'-6"

Eave Height
(11-13, 15-17 19-21 Prospect)
23'-2" to 23'-5"



ROOF/EAVE HEIGHT

Eave Height
(11-13, 15-17 19-21 Prospect)
23'-4"

Eave Height
Typical
24'-6"





Eave Height
(11-13, 15-17 19-21 Prospect)
23'-2" to 23'-5"

Eave Height
Typical
24'-6"

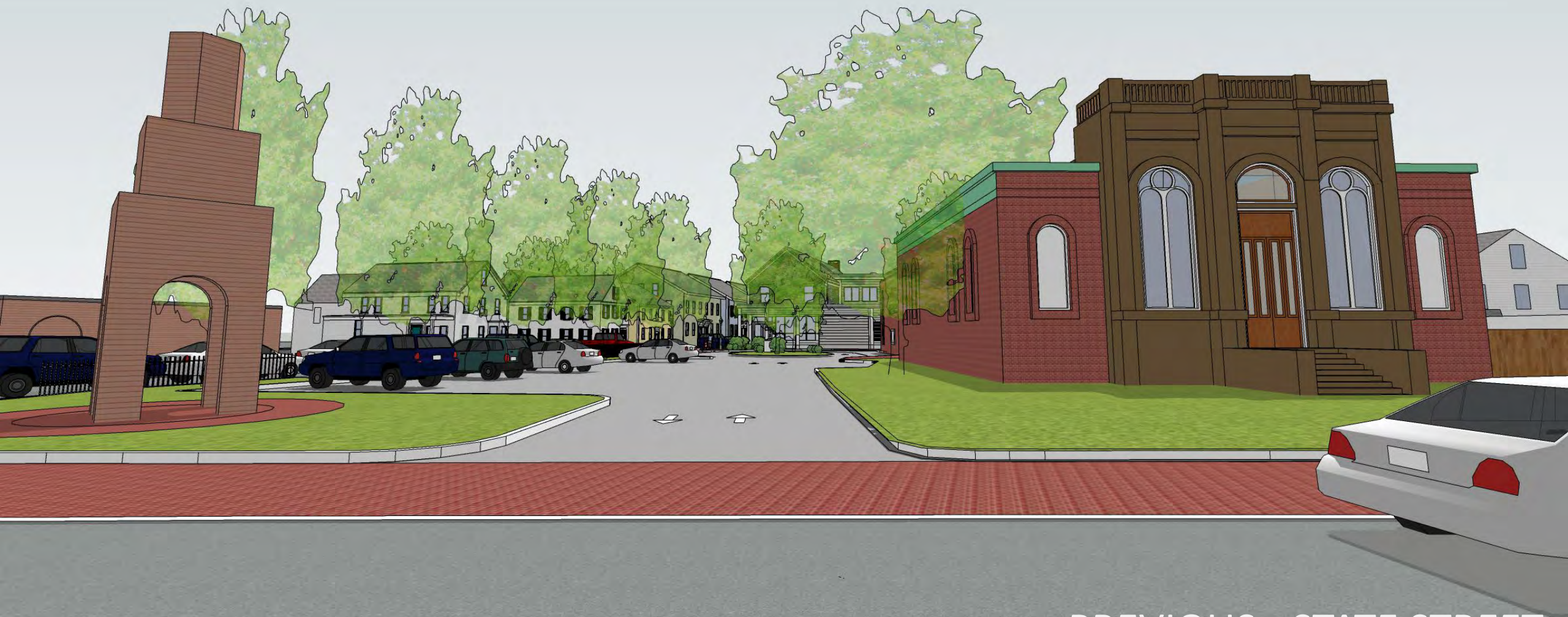


Rear Property Line
Setback
5'



Rear Property Line
Setback
7'1" to 7'-7"

Model Views



PREVIOUS - STATE STREET



PROPOSED - STATE STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - STATE AND PROSPECT STREET



PROPOSED - STATE AND PROSPECT STREET



PREVIOUS - GARDEN STREET



PROPOSED - GARDEN STREET



PREVIOUS - OTIS PLACE



PROPOSED - OTIS PLACE



PREVIOUS - OTIS PLACE



PROPOSED - OTIS PLACE



PREVIOUS - OTIS PLACE



PROPOSED - OTIS PLACE



PREVIOUS - FAÇADE DETAIL



PROPOSED - FAÇADE DETAIL



PREVIOUS - AERIAL NORTHWEST



PROPOSED - AERIAL NORTHWEST



PREVIOUS - AERIAL NORTHEAST



PROPOSED - AERIAL NORTHEAST

Tangram Renderings















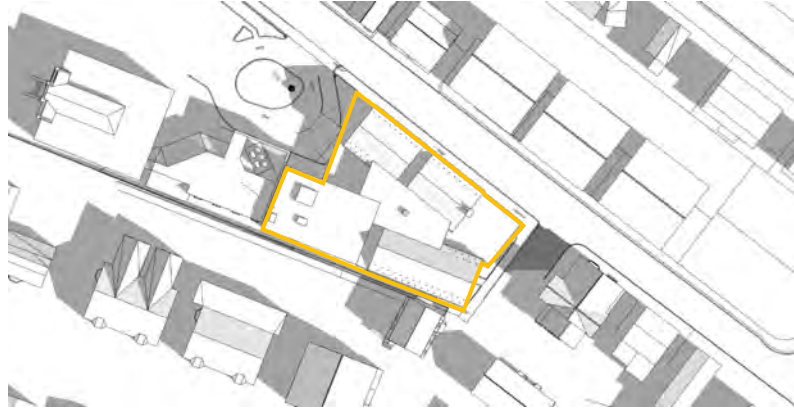




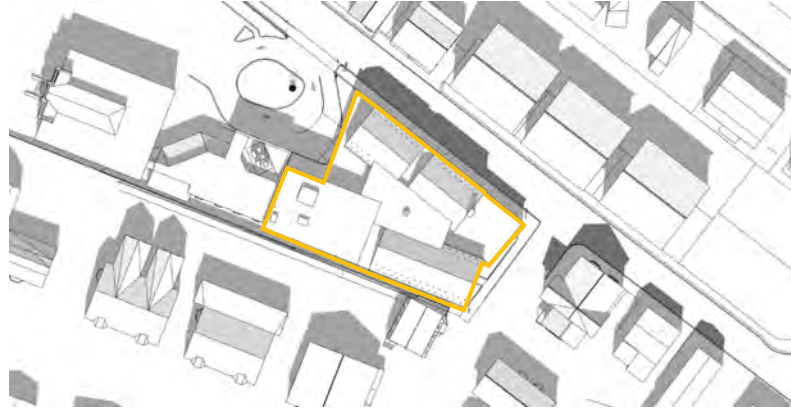


Shadow Studies

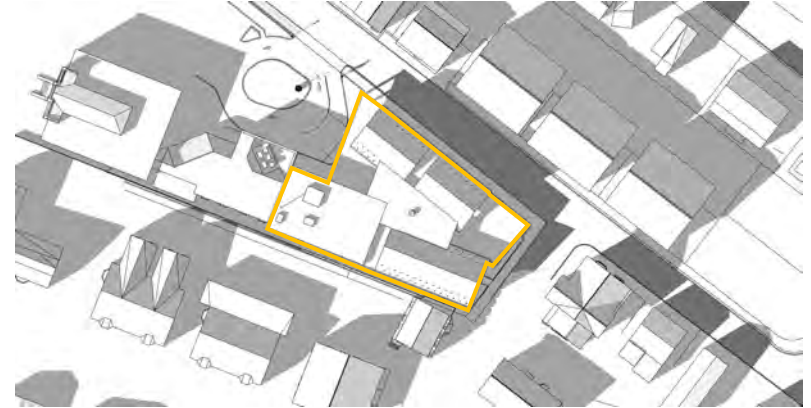
Vernal Equinox
March 21



9AM

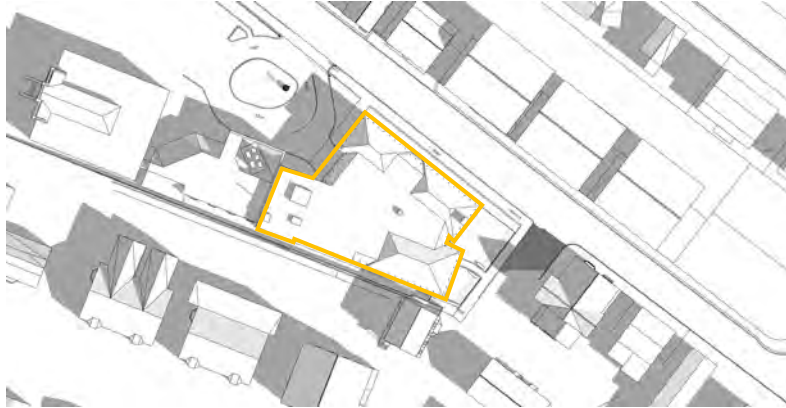


12PM

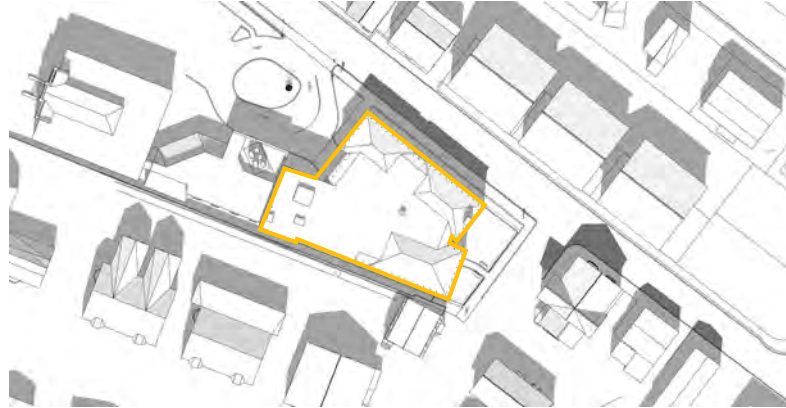


3PM

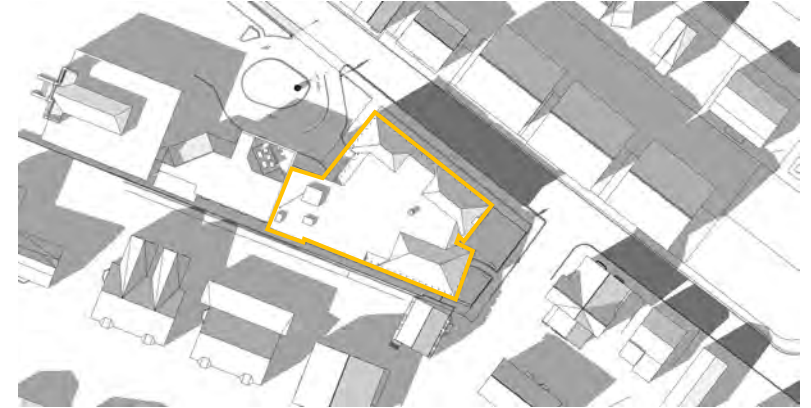
Vernal Equinox
March 21



9AM



12PM

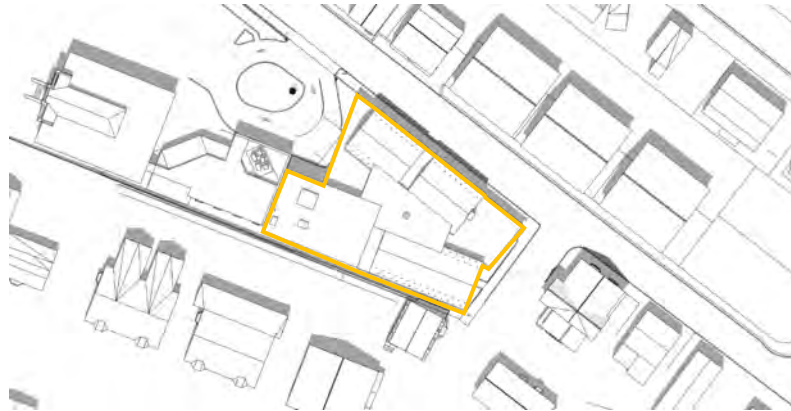


3PM

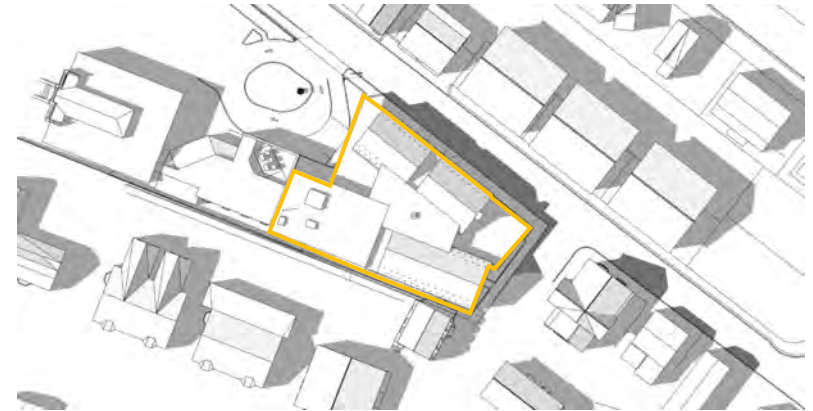
Summer Solstice
June 21



9AM

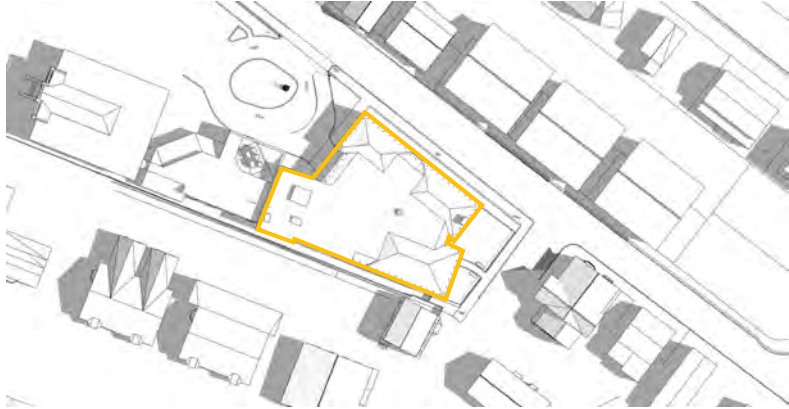


12PM

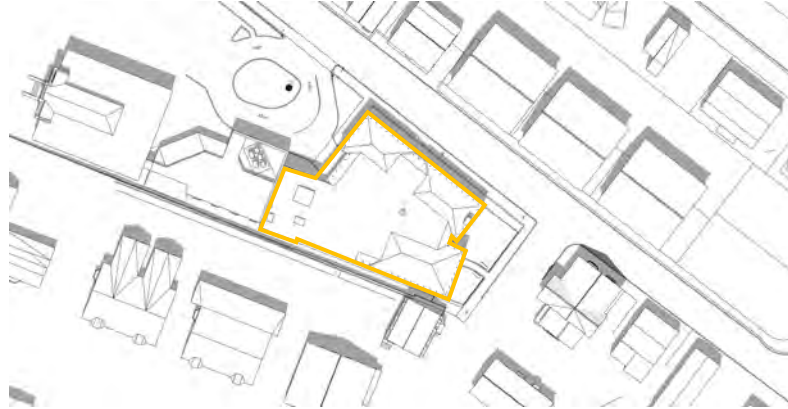


3PM

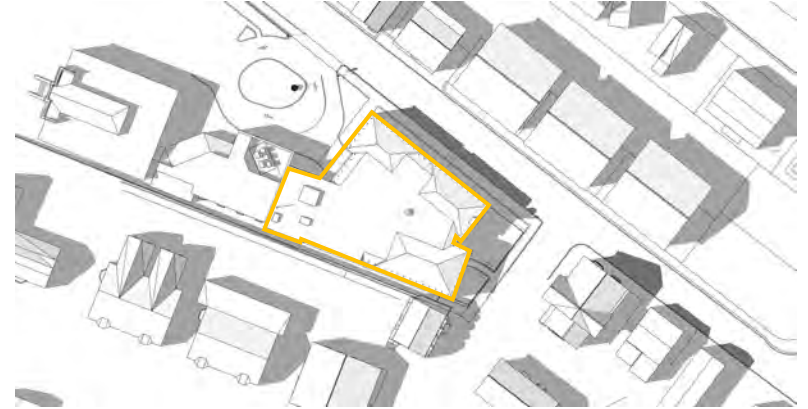
Summer Solstice
June 21



9AM

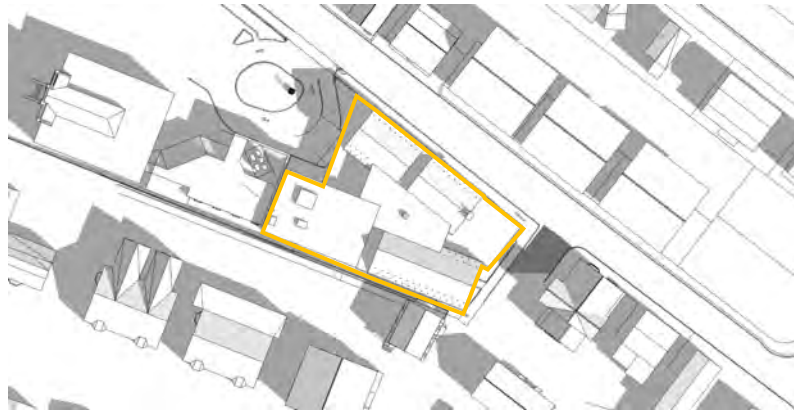


12PM

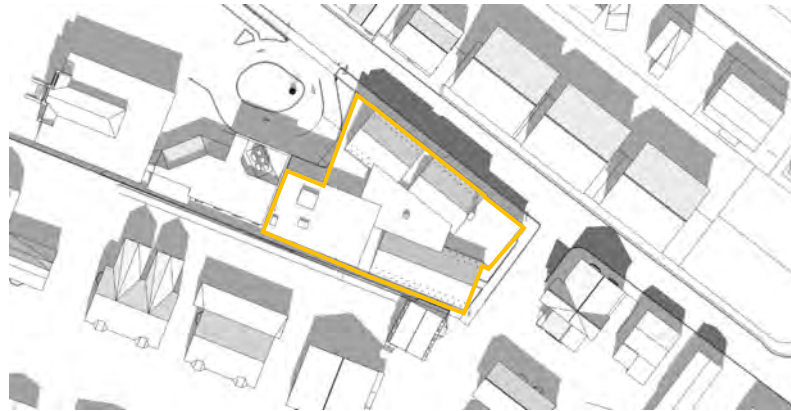


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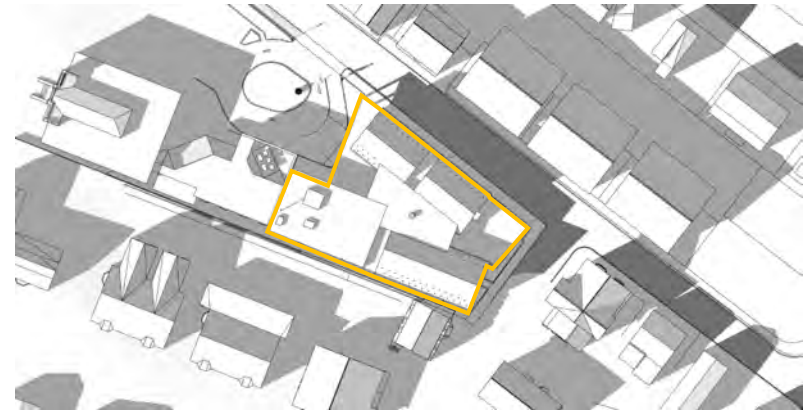
Autumnal Equinox
September 21



9AM

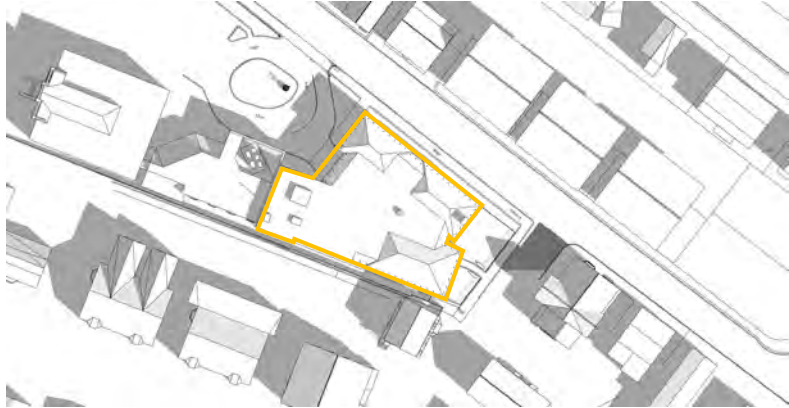


12PM

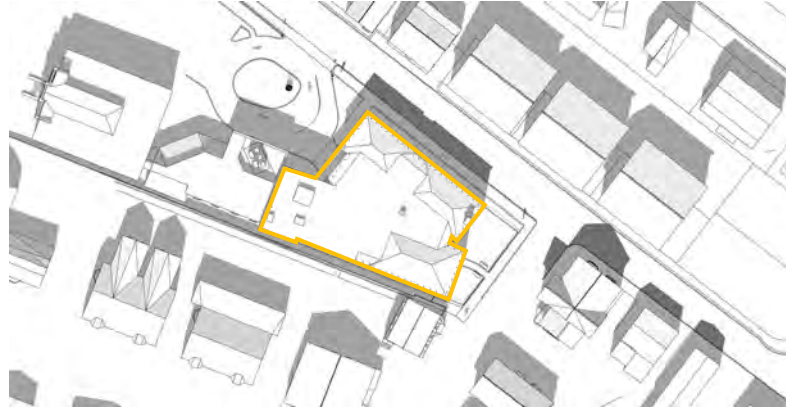


3PM

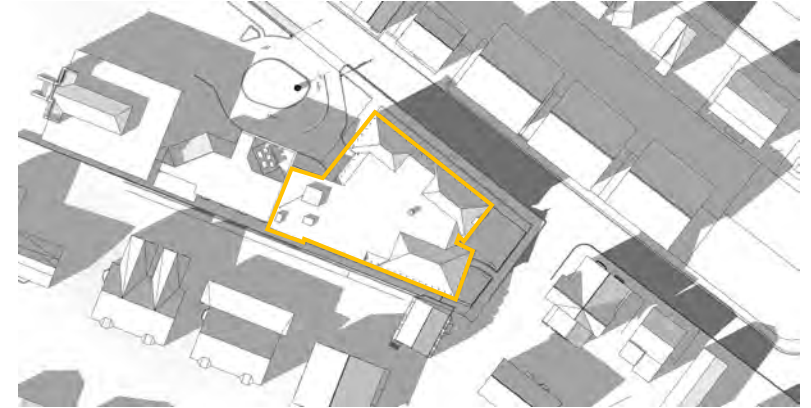
Autumnal Equinox
September 21



9AM



12PM

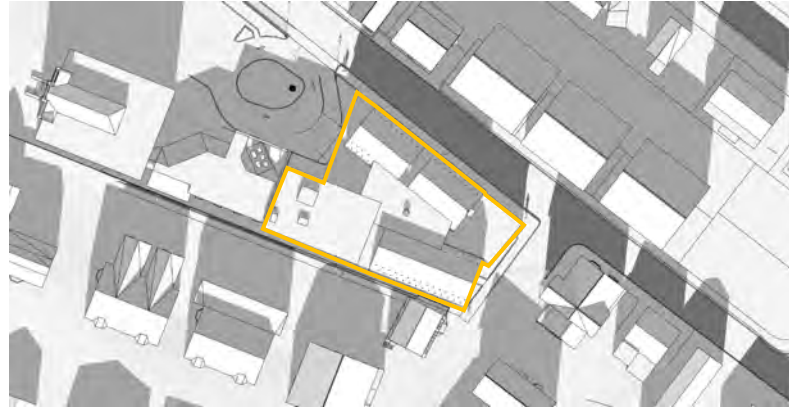


3PM

Winter Solstice
December 21



9AM



12PM

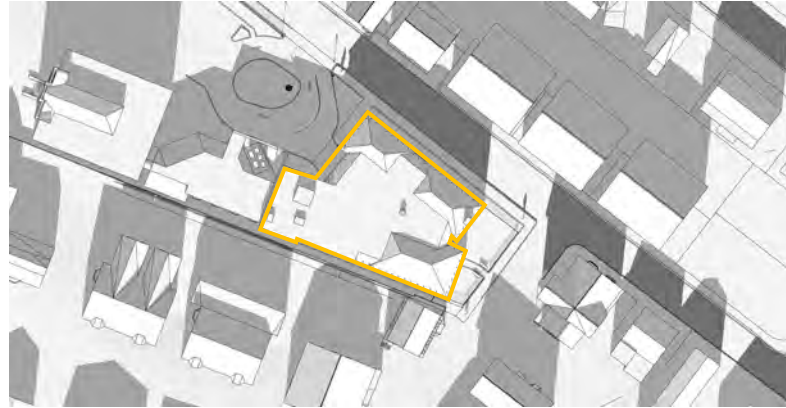


3PM

Winter Solstice
December 21



9AM

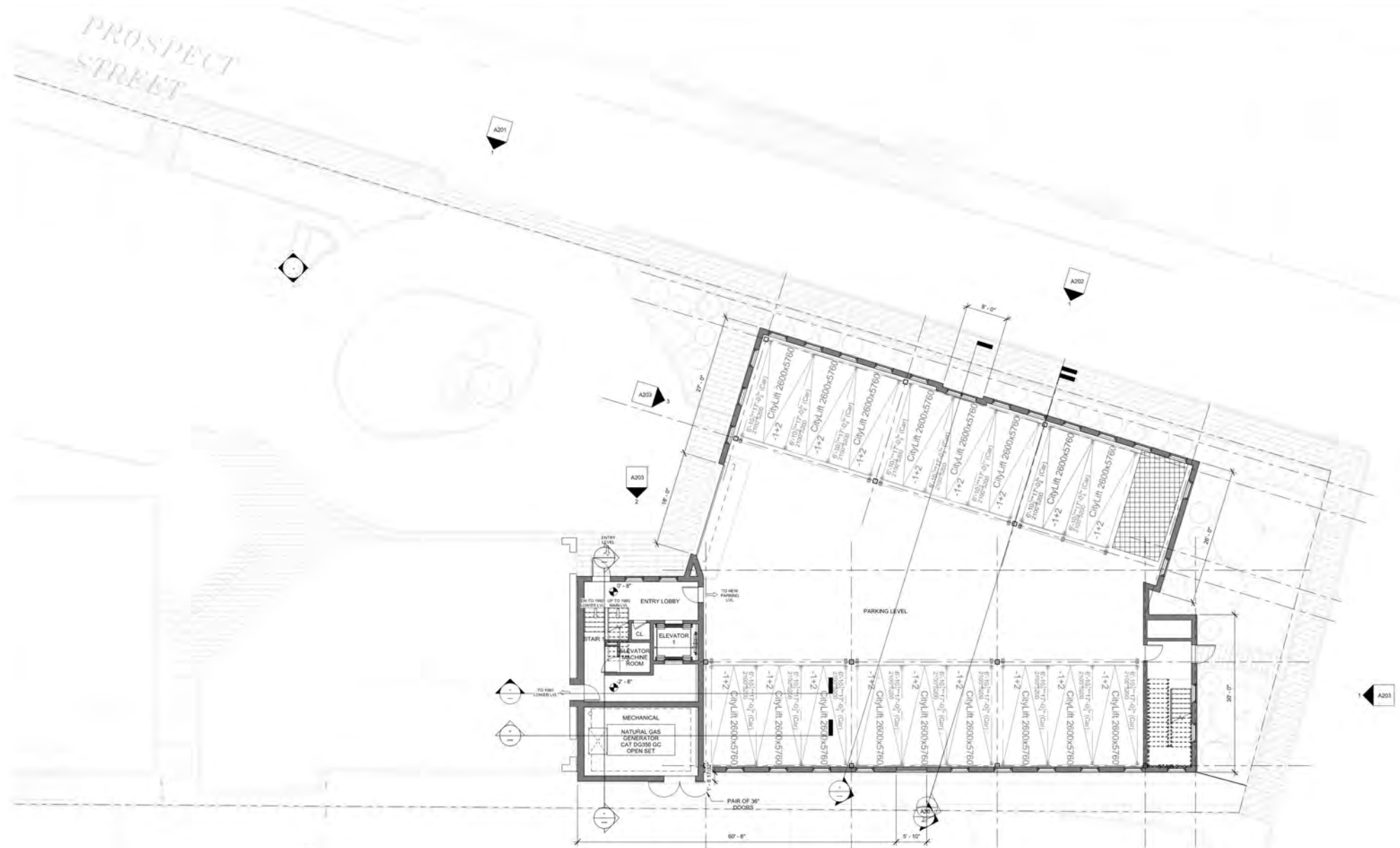


12PM



3PM

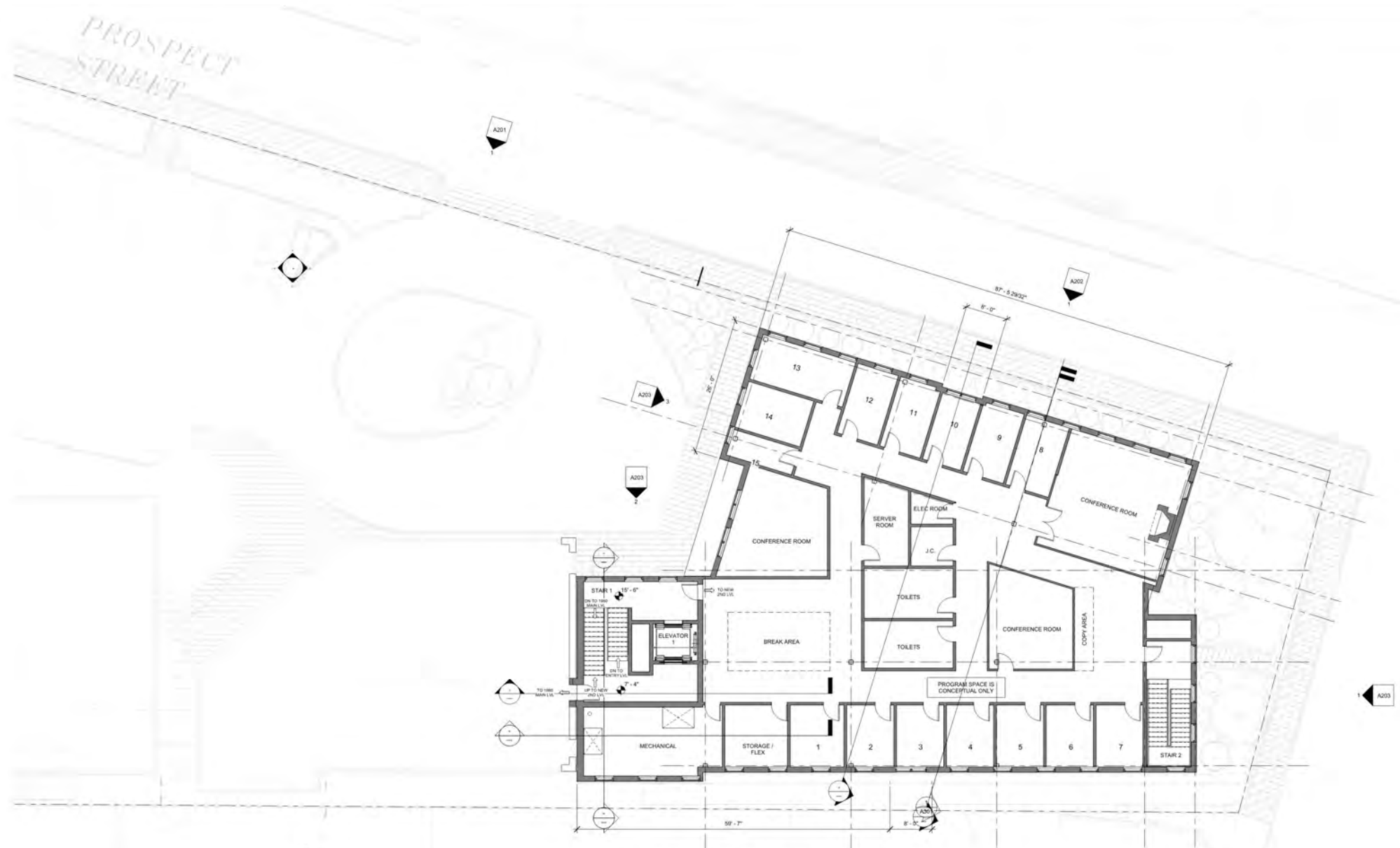
Plan Views



**Institution for Savings
Office Addition**

FIRST FLOOR PLAN

12/30/2020



**Institution for Savings
Office Addition**

93 STATE STREET
NEWBURYPORT, MA 01950

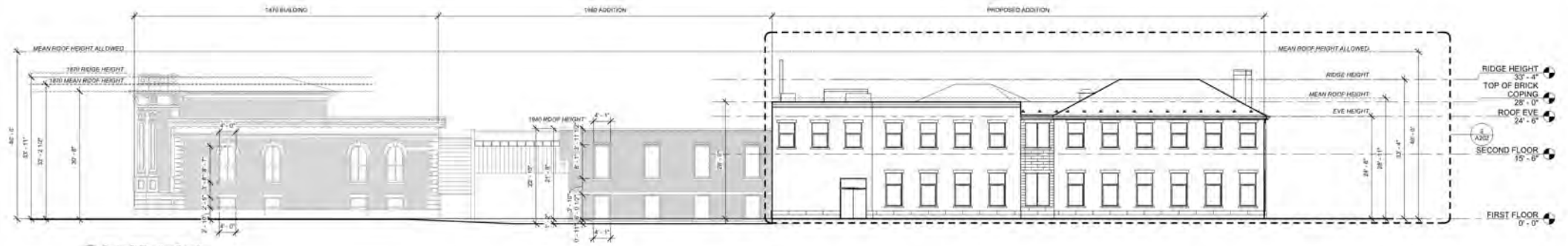
SECOND FLOOR PLAN

A102

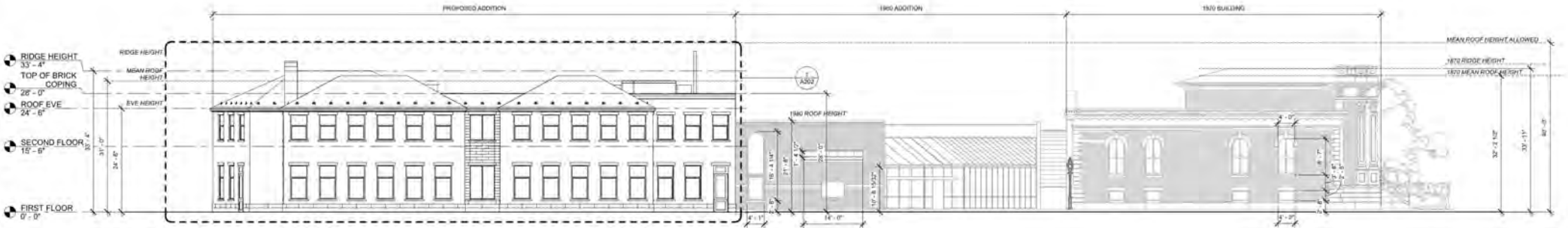
SCALE: 1/8" = 1'-0"

12/30/2020

Elevation and Section Views



2 Garden St Elevation Overall
3/32" = 1'-0"

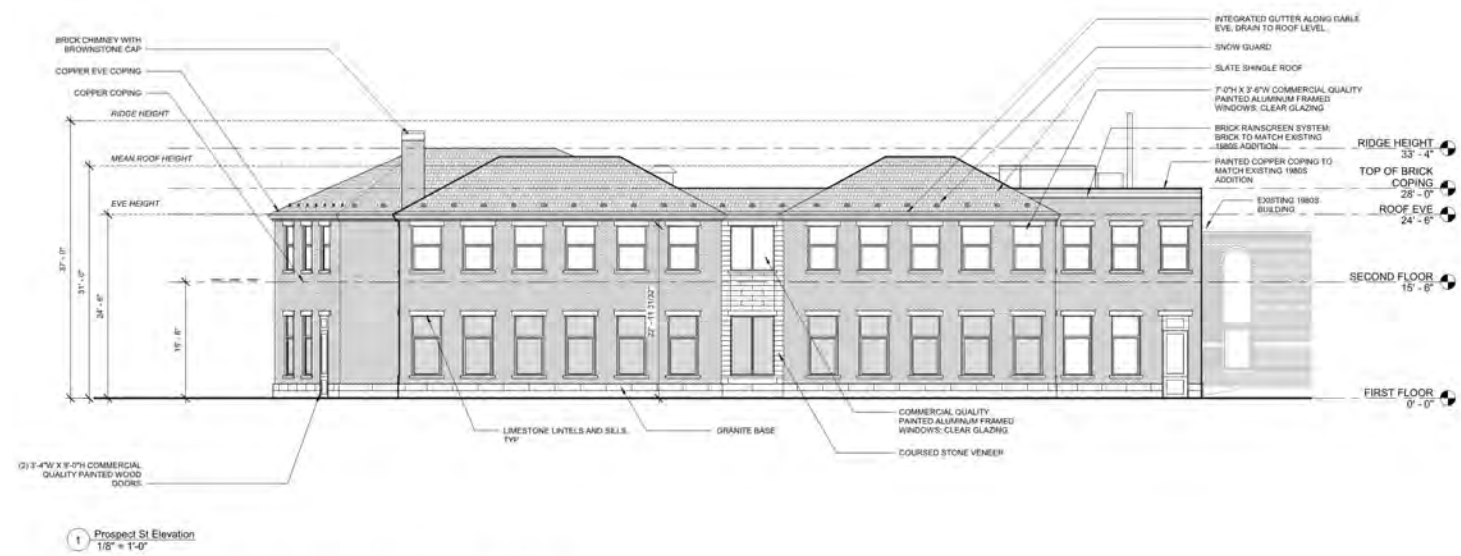
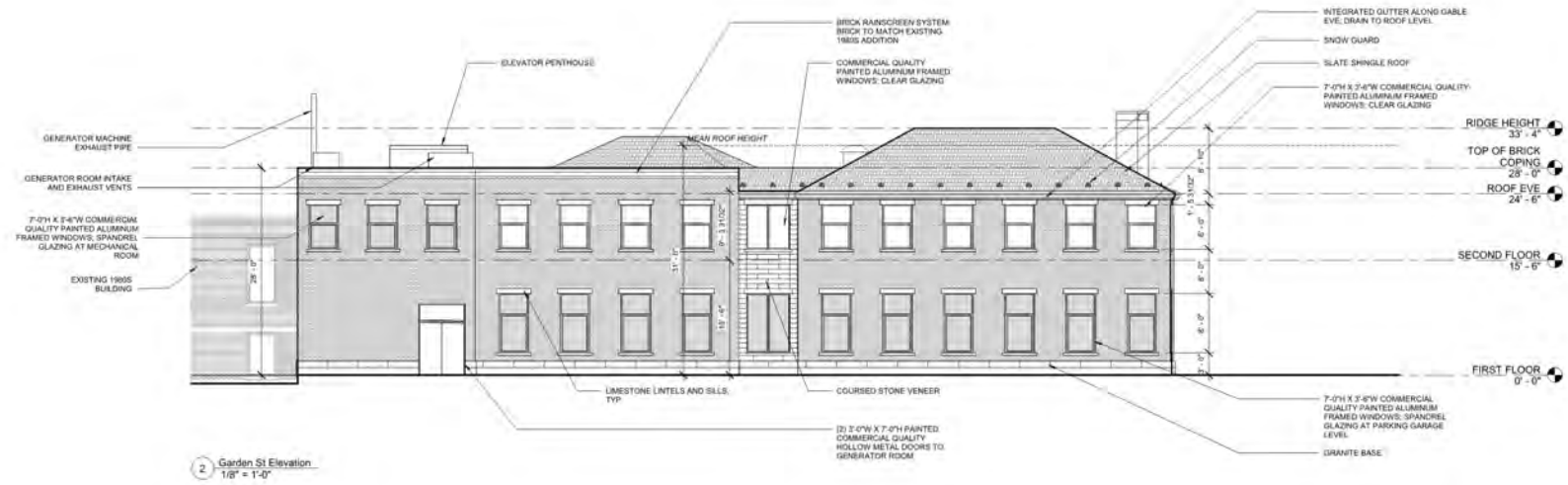


1 Prospect St Elevation Overall
3/32" = 1'-0"

Institution for Savings Office Addition

01/12/2020

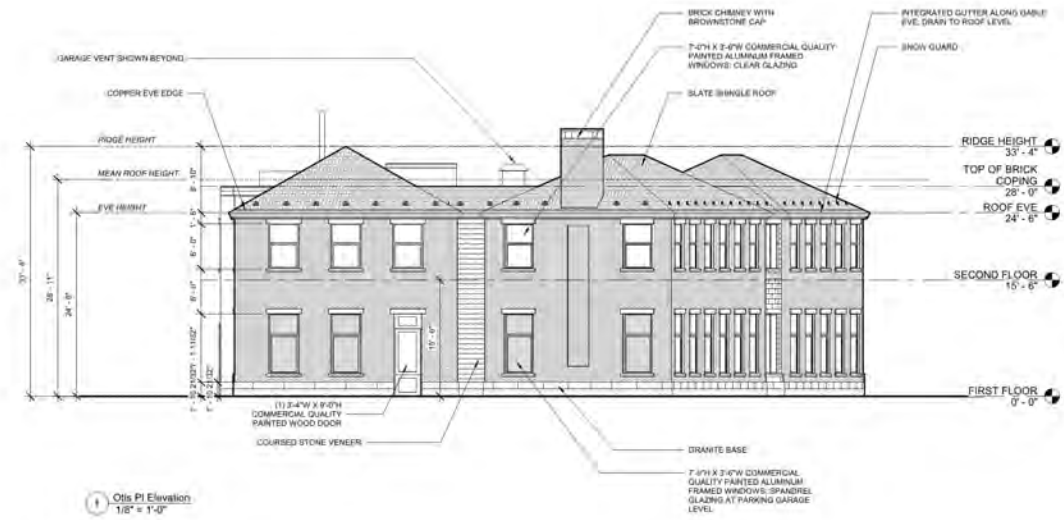
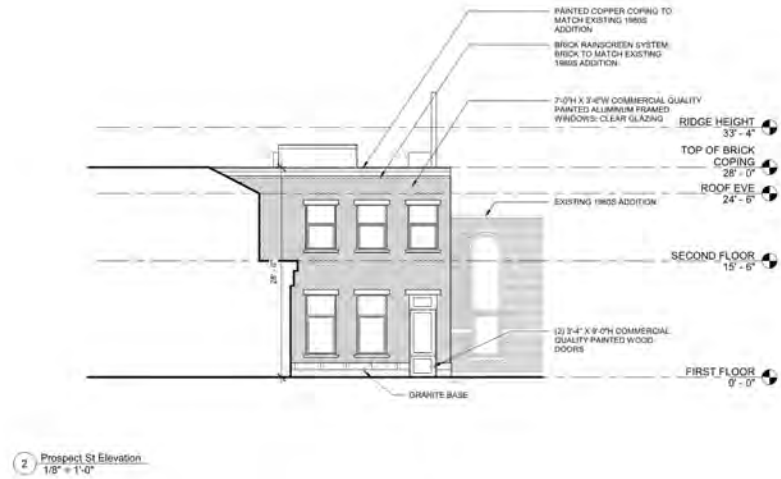
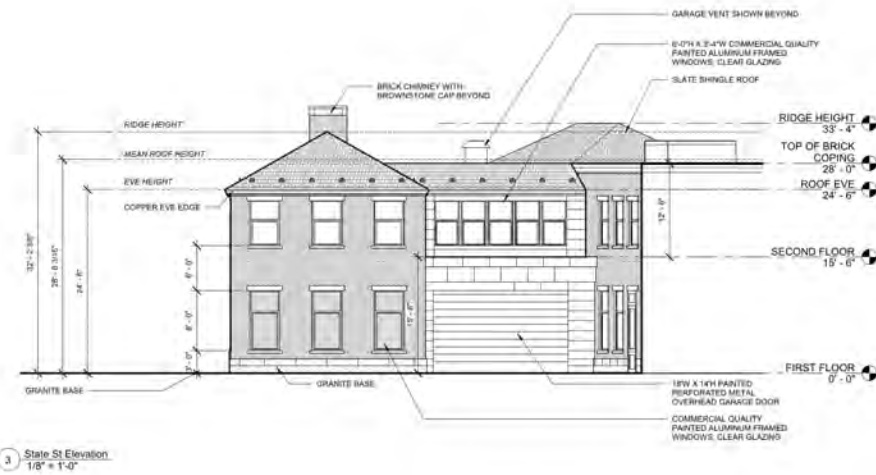
BUILDING ELEVATIONS



Institution for Savings Office Addition

01/12/2020

BUILDING ELEVATIONS

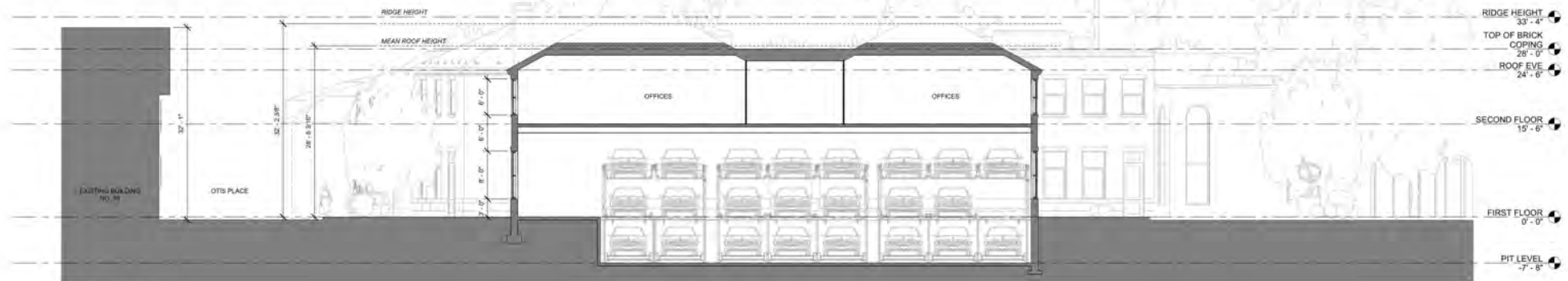


Institution for Savings Office Addition

93 STATE STREET
NEWBURYPORT, MA 01950

BUILDING ELEVATIONS

01/12/2020



2 Otis Place Building Section
1/8" = 1'-0"



1 Prospect St Building Section
1/8" = 1'-0"

Institution for Savings Office Addition

93 STATE STREET
NEWBURYPORT, MA 01950

BUILDING SECTIONS

12/30/2020