

**Newburyport Historical Commission
DEMOLITION PERMIT APPLICATION (Step 1)**

Property Address: 7 Marlboro Street

Applicant: Paul and Patricia Henault, c/o Lisa L Mead, Mead, Talerman & Costa LLC

Address: 30 Green Street, Newburyport MA 01950

Phone: 978 463 7700 Email: lisa@mtclawyers.com

Owner (if different) _____

Year built: 1750 +/- Area (sq. ft.): 1657 living

Architectural style: central chimney vernacular

- The structure is:
- A principal structure which is in whole or in part 75 or more years old
 - An accessory structure 100 or more years old
 - Listed on the National Register of Historic Places
 - Previously designated by the Commission to be a significant building

Structure type: Residential: Single Family Two-Family Multi-Family

Outbuilding: Specify: _____

Commercial: Specify: _____

Institutional: Specify: _____

A Form B survey is: attached not available

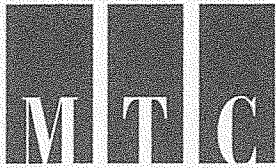
- Demolition type:
- Full Building Demolition?
 - Partial Building Demolition?
 - Roof Line Change?

Additional information describing request:

The Applicant is removing a portion of the attached single story shed roof and kitchen and reconstruction with a small addition of 14 x 24 on the westerly side of the house.

Applicant's Signature Paul & Patricia M. Henault (Date) 10/28/19

Owner's Signature (if different) _____ Date _____



October 28, 2019

Glenn Richards, Chair
Historical Commission
City of Newburyport
City Hall
60 Pleasant Street
Newburyport, Massachusetts 01950

Re: Request for Determination of Historic Significance
7 Marlboro Street, Newburyport, MA (the "Property")
Assessor's Map: 30 Lot: 78-A

Dear Chair and Members of the Commission:

Reference is made to the above-captioned matter. In that connection, this firm represents Paul and Patricia Henault, the owners of the Property (the "Applicant") relative to a proposed addition to be constructed along the western side of an existing single-family home (the "Residence") on the Property. The Structure is listed as contributory on the Historic Data sheets with a construction date of +/- 1750 (Assessors noted at 1850). While the property is located in the R2 zoning district and the Demolition Control Overlay District ("DCOD") of the Ordinance, the Applicant is not proposing to remove more than 17% (up to 25% permitted) of the exterior walls of the structure. However, because there is a roof line change of the shed roof over the one story addition, the proposed construction triggers Historic Commission Review under the Demolition Delay Ordinance.

The Applicant proposes to construct a modest 14' by 24' addition on the western side of the existing Residence. The addition will serve to, among other things, lengthen the existing kitchen located at the rear of the Residence, which the Applicants intend to renovate as part of this project. The work will be undertaken with the same care and detail as the prior historic renovation of the home on the Property.

The Applicant now requests that the Board determine that the Structure is not historically significant and release the demolition delay.

Respectfully submitted
Paul and Patricia Henault
By its Attorney

Lisa L. Mead
Attachment
cc: client

Mead, Talerman & Costa, LLC
Attorneys at Law

30 Green Street
Newburyport, MA 01950
Phone 978.463.7700
Fax 978.463.7747
www.mtclawyers.com

Millis Office
730 Main Street, Suite 1F
Millis, MA 02054
Phone 508.376.8400

7 MARLBORO ST**Location** 7 MARLBORO ST**MBLU** 30/ 78/A / /**Owner** HENAULT PAUL R**Assessment** \$428,600**PID** 1723**Building Count** 1**Current Value**

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$178,400	\$250,200	\$428,600

Owner of Record

Owner HENAULT PAUL R
Co-Owner PATRICIA M T/E
Address 7 MARLBORO ST
 NEWBURYPORT, MA 01950

Sale Price \$295,000
Certificate
Book & Page 30491/0183
Sale Date 06/27/2011
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
HENAULT PAUL R	\$295,000		30491/0183	00	06/27/2011
HEFFERNAN MICHAEL	\$355,000		20640/0045	00	04/22/2003
FAY CHRISTOPHER J	\$0		15342/0233	1A	12/21/1998
FAY CHRISTOPHER & J.M. T/E	\$155,500		12784/0050	00	10/14/1994
KIRBY CHRISTINE M	\$158,500		10556/ 282	00	09/04/1990

Building Information**Building 1 : Section 1**

Year Built: 1850
Living Area: 1,657

Building Attributes	
Field	Description
Style	Old Style Colonial
Model	Residential
Stories:	2 Stories
Occupancy	1

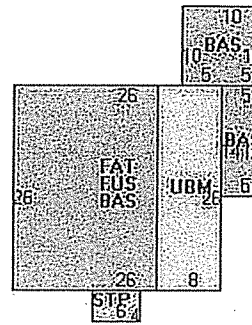
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure:	Gable/Hip
Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Plastered
Interior Wall 2	Cust Wd Panel
Interior Flr 1	Pine/Soft Wood
Interior Flr 2	Carpet
Heat Fuel	Gas
Heat Type:	Forced Air-Duc
AC Type:	None
Total Bedrooms:	2 Bedrooms
Total Bthrms:	2
Total Half Baths:	1
Total Xtra Fixtrs:	
Total Rooms:	5
Bath Style:	Average
Kitchen Style:	Modern

Building Photo



(<http://images.vgsi.com/photos/NewburyportMAPhotos//\01\00\>)

Building Layout



(<http://images.vgsi.com/photos/NewburyportMAPhotos//Sketches>)

Building Sub-Areas (sq ft)			Legend	
Code	Description	Gross Area	Living Area	
BAS	First Floor	846	846	
FUS	Upper Story, Finished	676	676	
FAT	Attic	676	135	
STP	Stoop	24	0	
UBM	Basement, Unfinished	208	0	
		2,430	1,657	

Extra Features

Extra Features				Legend
Code	Description	Size	Value	Bldg #
FPL3	FIREPLACE 2 ST	1 UNITS	\$2,900	1
FPO	EXTRA FPL OPEN	2 UNITS	\$1,400	1

Land Use

Use Code 1010
 Description SINGLE FAM
 Zone R2

Land Line Valuation

Size (Acres) 0.07
 Depth 0
 Assessed Value \$250,200

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
PAT1	PATIO-AVG			204 S.F.	\$900	1

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total
2018	\$168,000	\$238,300	\$406,300

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NOTES:

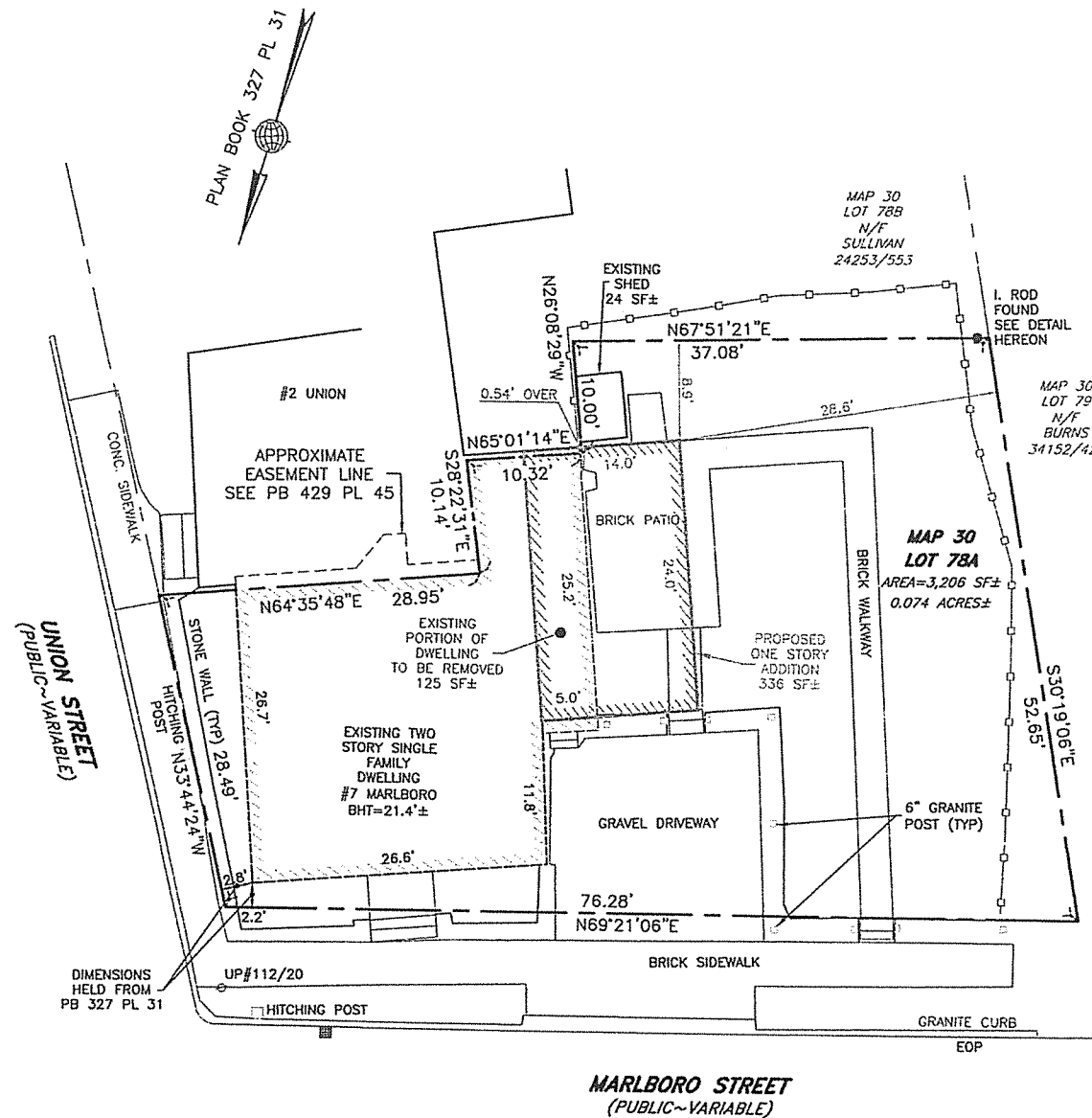
1. FIELD SURVEY PERFORMED: FEBRUARY 7, 2019
2. THIS PLAN IS PREPARED FOR OUR CLIENT USE ONLY FOR THE SPECIFIC PURPOSE OF OBTAINING PERMITS AND LOCAL APPROVALS, AND IS NOT TO BE USED OR RELIED UPON AS A CONSTRUCTION DOCUMENT OR ANY OTHER USE BY OTHERS WITHOUT THE WRITTEN CONSENT OF HANCOCK ASSOCIATES.
3. THE ENTIRETY OF THE PROPERTY LIES IN ZONE "X" AS DEPICTED ON FEMA MAP 25009C0136G WITH AN EFFECTIVE DATE OF JULY 16, 2014
4. OWNERSHIP OF ABUTTING LANDS ACCORDING TO CITY OF NEWBURYPORT ASSESSOR'S DEPARTMENT.
5. SUBJECT TO EASEMENTS DEPICTED ON ECRD PLAN BOOK 429 PLANS 45 & 46

OWNER/APPLICANT:

PAUL & PATRICIA HENAULT
DEED BOOK 30491 PAGE 183
ASSESSOR'S MAP 30 LOT 78A

REFERENCES:

1. ESSEX COUNTY REGISTRY OF DEEDS
BK 30491 PG 183 (DEED)
BK 10542 PG 573 (1990 VARIANCE)
- PLAN BK 264 PL 31
PLAN BK 327 PL 31
PLAN BK 429 PL 45
PLAN BK 429 PL 46



I HEREBY CERTIFY THAT:

THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.

I FURTHER CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR THE NEW WAYS ARE SHOWN AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

Edward Dixon
EDWARD DIXON
No. 34304
REGISTERED PROFESSIONAL LAND SURVEYOR
DATE: 10-22-19

ZONING:

RESIDENTIAL 2 (R2)
DEMOLITION CONTROL OVERLAY
DISTRICT (DCOD)

REQUIRED:

LOT AREA=10,000SF
FRONTAGE=90'

MIN. FRONT SETBACK=25'

MIN. SIDE SETBACK=10'
MIN. REAR SETBACK=25'

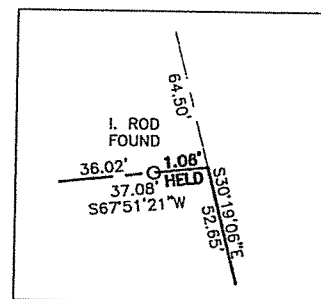
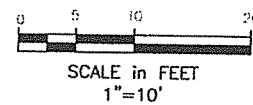
BUILDING HEIGHT=35' MAX
LOT COVERAGE=25% (BLDGS ONLY)
OPEN SPACE=40%

EXISTING:

3,206 SF±
28.49' (MARLBORO)
76.28' (UNION)
2.2' (MARLBORO)
2.8' (UNION)
(L)0.54' OVER/(R)35.7'
9.5'
21.4'±
28.04%
62.68%

PROPOSED

3,206 SF± (NC)
28.49' (MARLBORO) (NC)
76.28' (UNION) (NC)
2.2' (MARLBORO) (NC)
2.8' (UNION) (NC)
(L)0.54' OVER/(NC)/(R)28.6'
8.9'
21.4'± (NC)
34.872%
55.845%



DETAIL
(NOT TO SCALE)
SEE PLAN BOOK 327 PLAN 31

PROPOSED PLOT PLAN
7 MARLBORO STREET
IN
NEWBURYPORT, MASSACHUSETTS
ESSEX COUNTY

PREPARED FOR:
PAUL HENAULT

PREPARED BY:
HANCOCK ASSOCIATES

ONE HARRIS STREET
SUITE 3
NEWBURYPORT, MA
01950

Civil Engineers
Land Surveyors
Wetland Scientists
TEL: 978-465-9992
www.hancockassociates.com

RESEARCH:
EDX

FIELD:
CHA/AAM

CALCULATION:
EDX

DRAFTING:
AAM

CHECK:
EDX

PROJ. MANAGER:
EDX

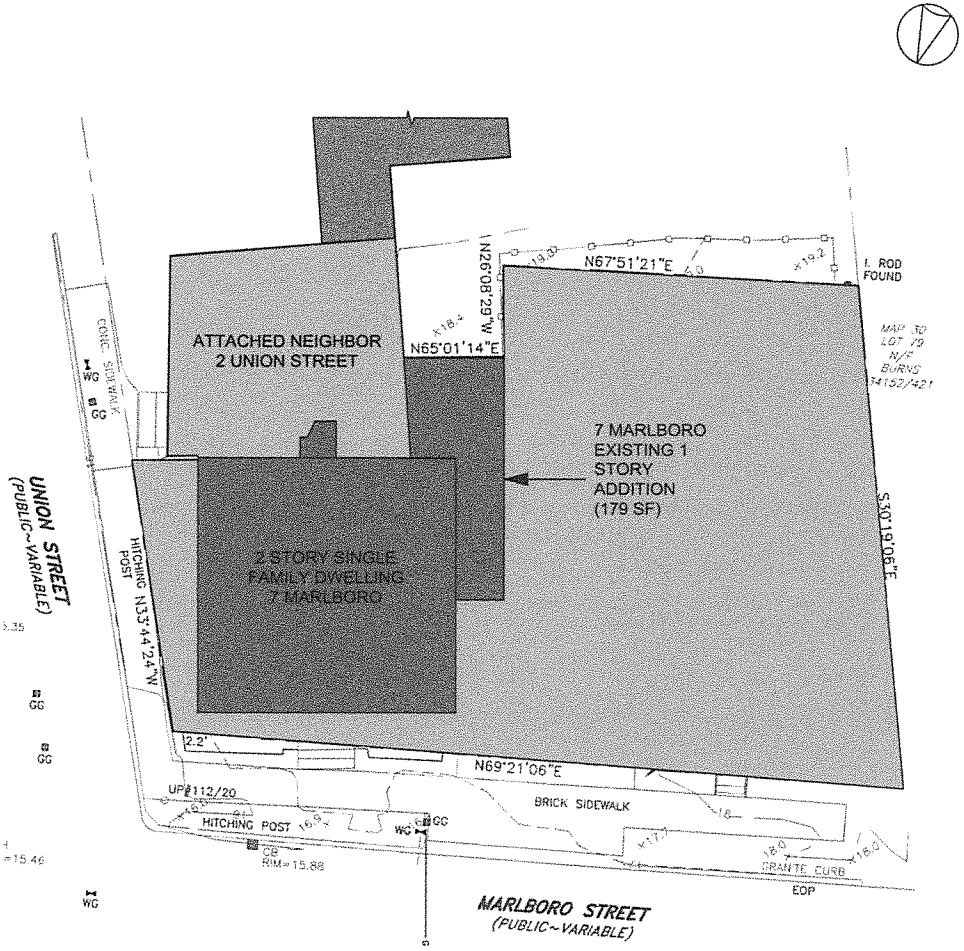
DATE:
OCTOBER 22, 2019

HANCOCK JOB#
22247

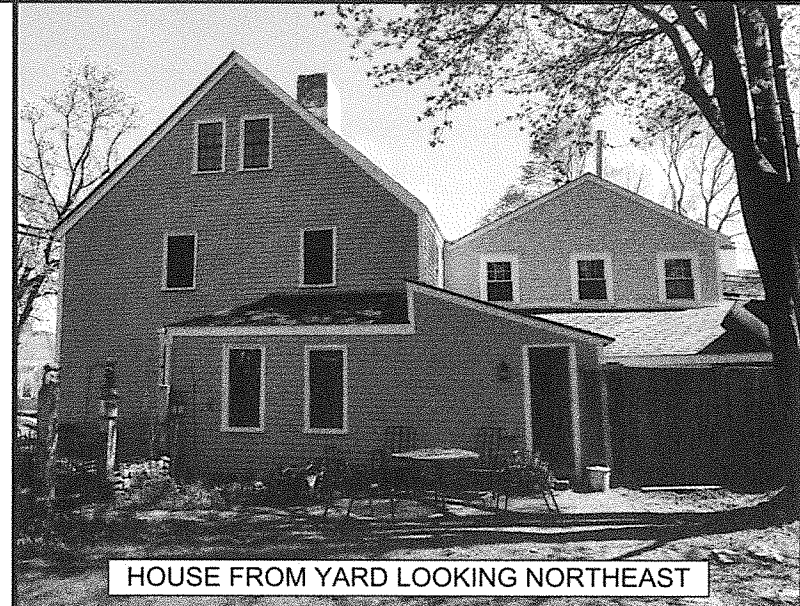
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SHEET NO.
1 OF 1

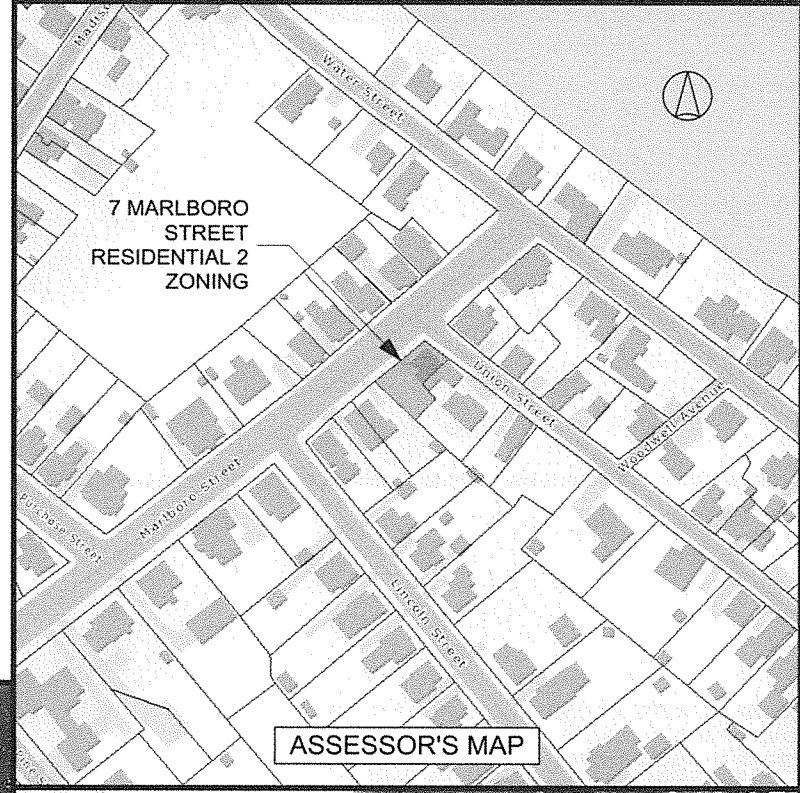
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DRAWING NO.:			REV: 0
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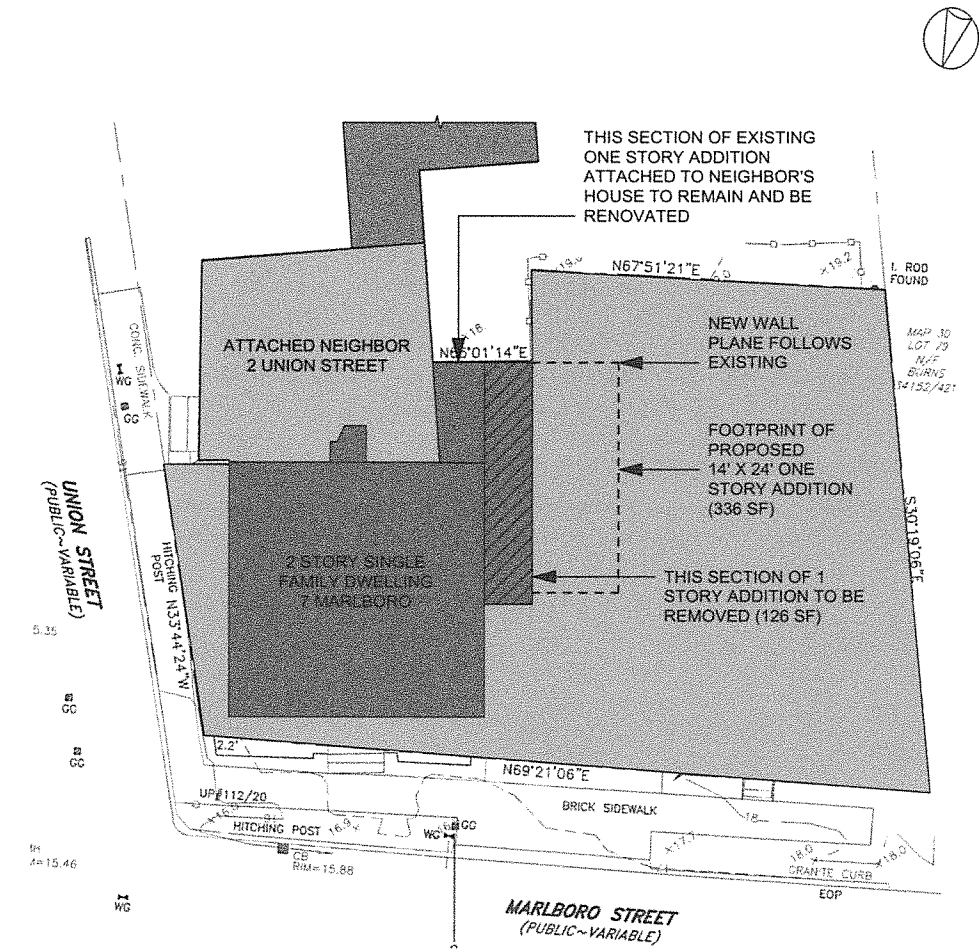
1 Existing Site
Scale: 1" = 20'-0"



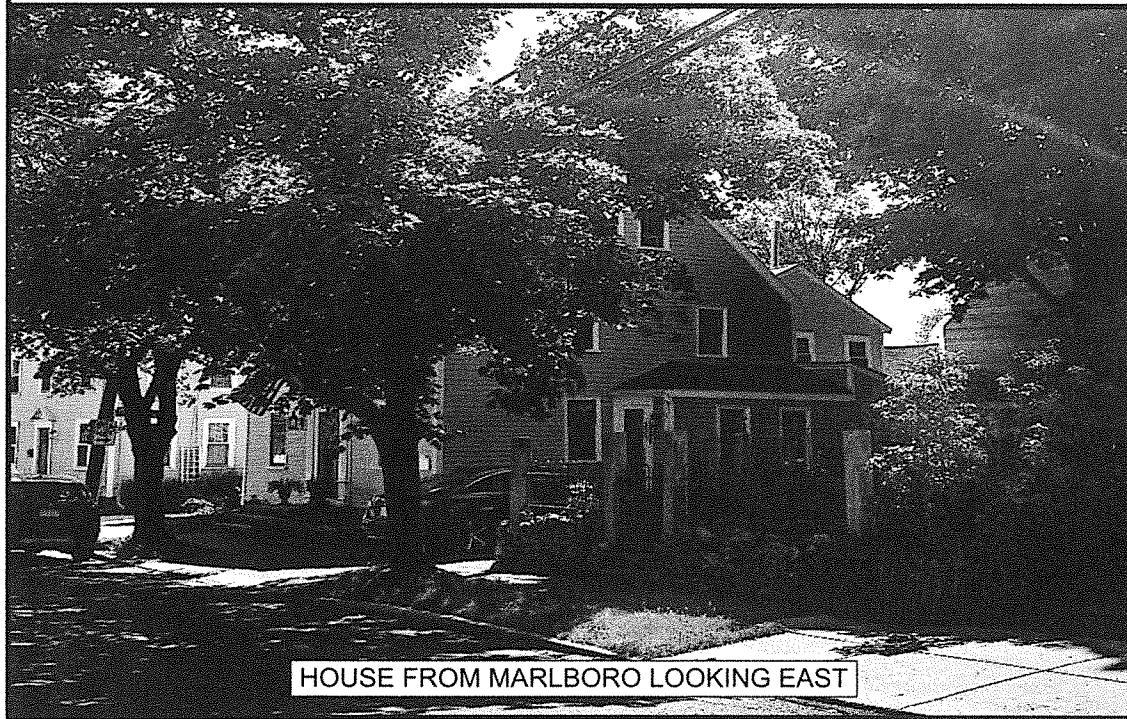
HOUSE FROM YARD LOOKING NORTHEAST



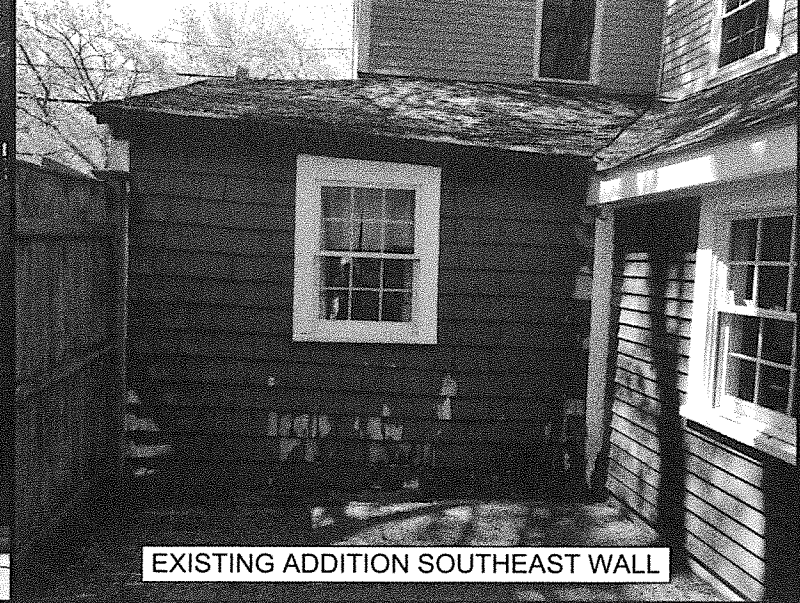
ASSESSOR'S MAP



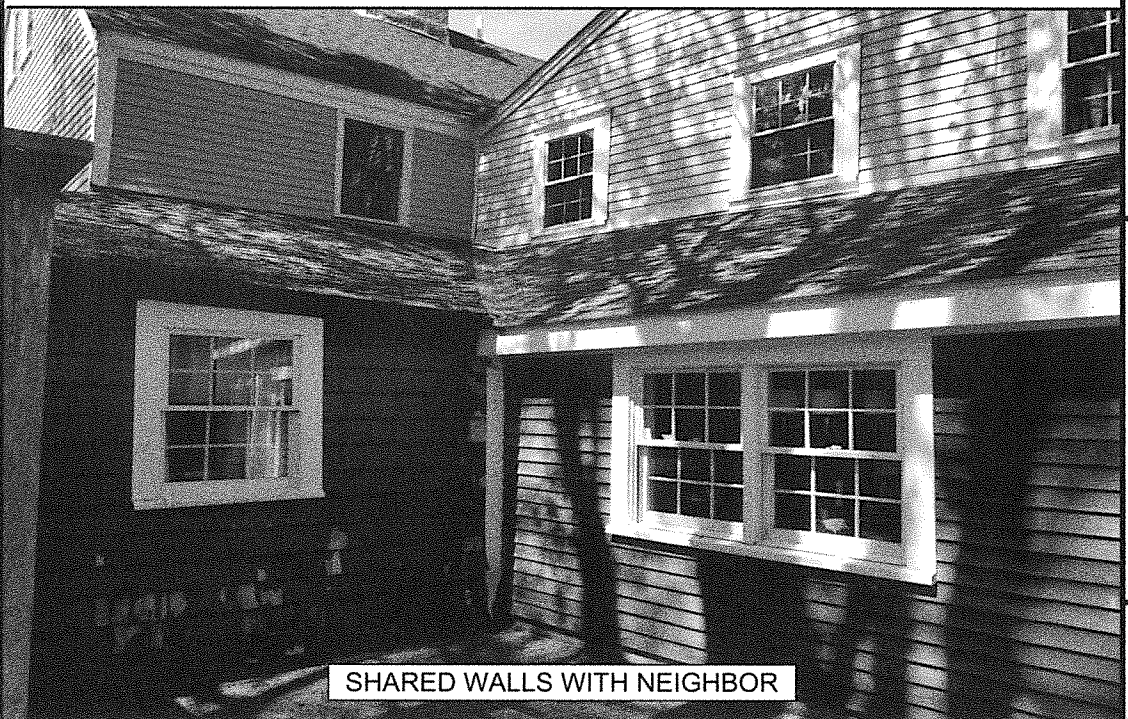
2 Existing Site - Project Overview
Scale: 1" = 20'-0"



HOUSE FROM MARLBORO LOOKING EAST



EXISTING ADDITION SOUTHEAST WALL



SHARED WALLS WITH NEIGHBOR

DAVID DAVIES DESIGN STUDIO
ddaviesdesign@gmail.com

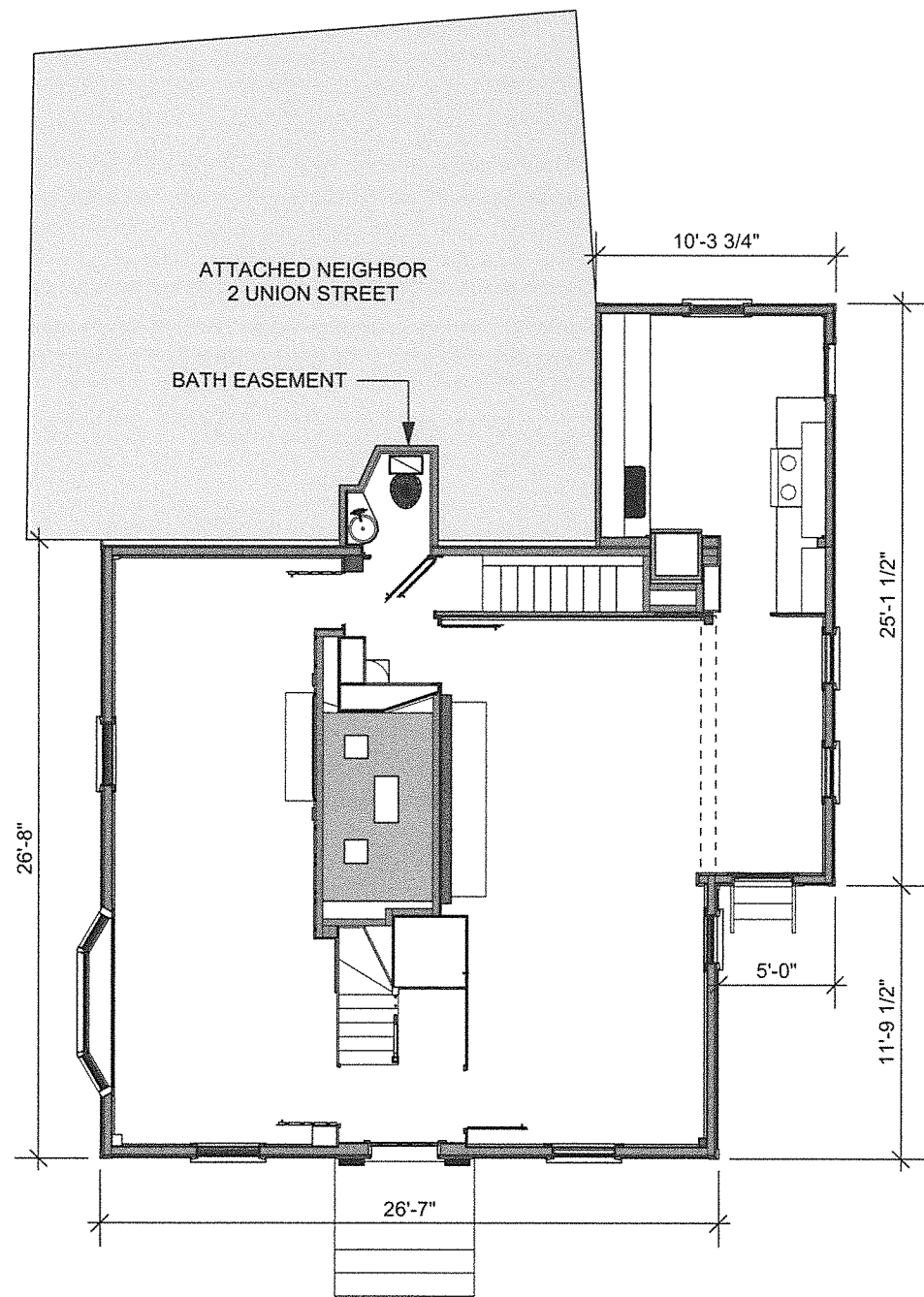
10.28.19

PROJECT OVERVIEW
EXISTING SITE

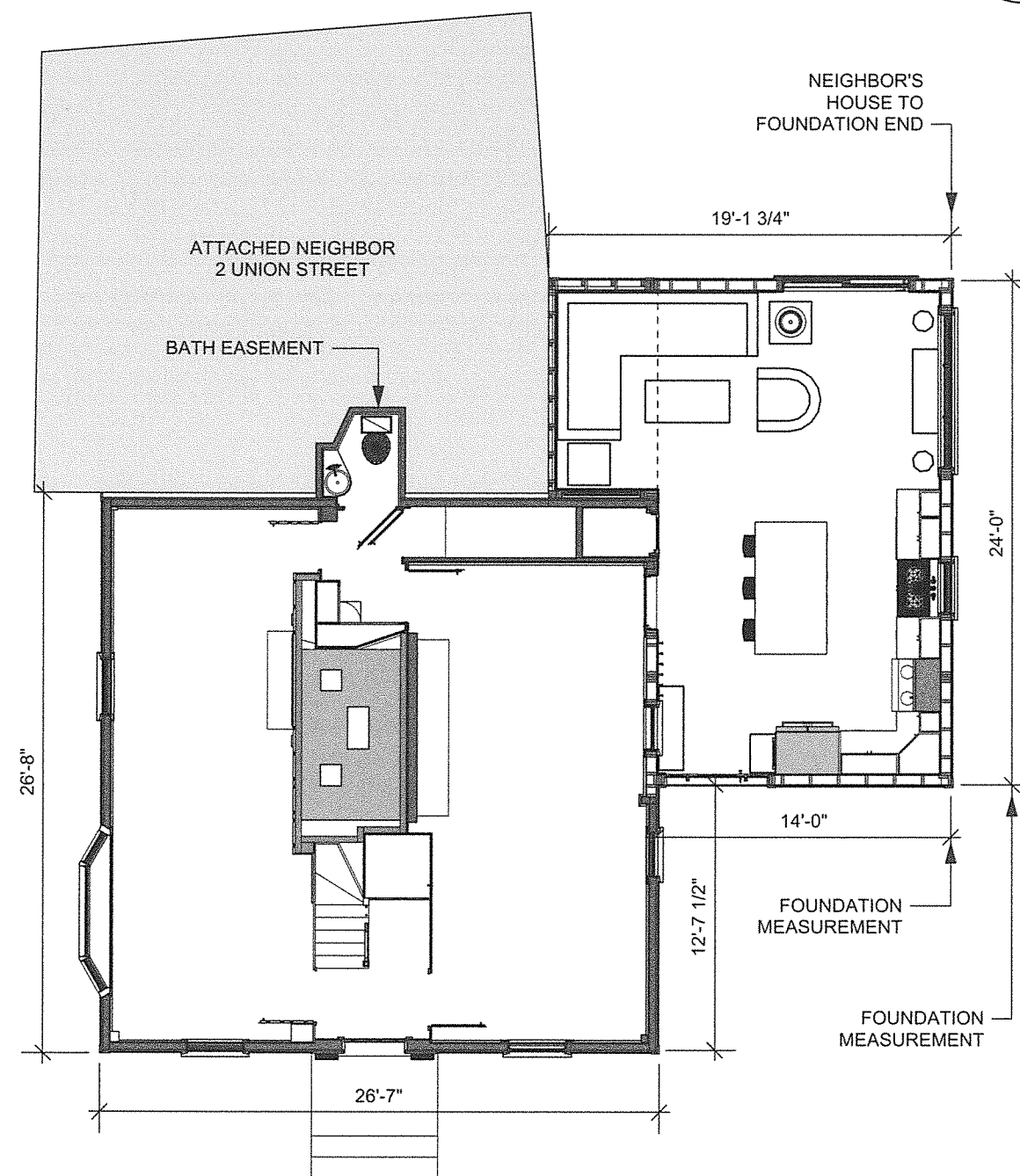
1 STORY
KITCHEN + SITTING AREA
ADDITION

HENAULT RESIDENCE
7 MARLBORO STREET
NEWBURYPORT, MA 01950

1



1 Existing First Floor
Scale: 1/8" = 1'-0"



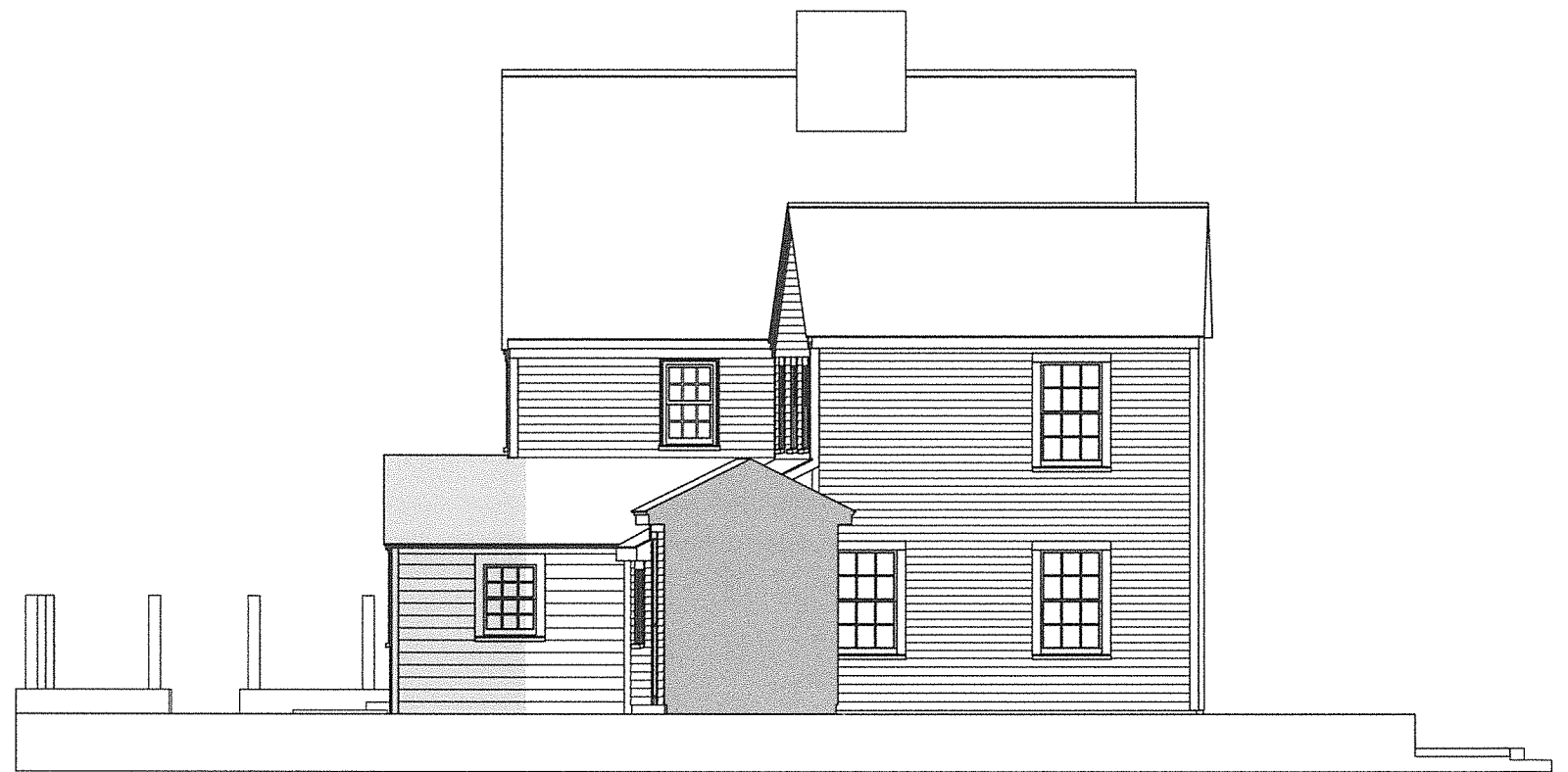
2 Proposed First Floor
Scale: 1/8" = 1'-0"

*BASED ON FIELD MEASUREMENTS

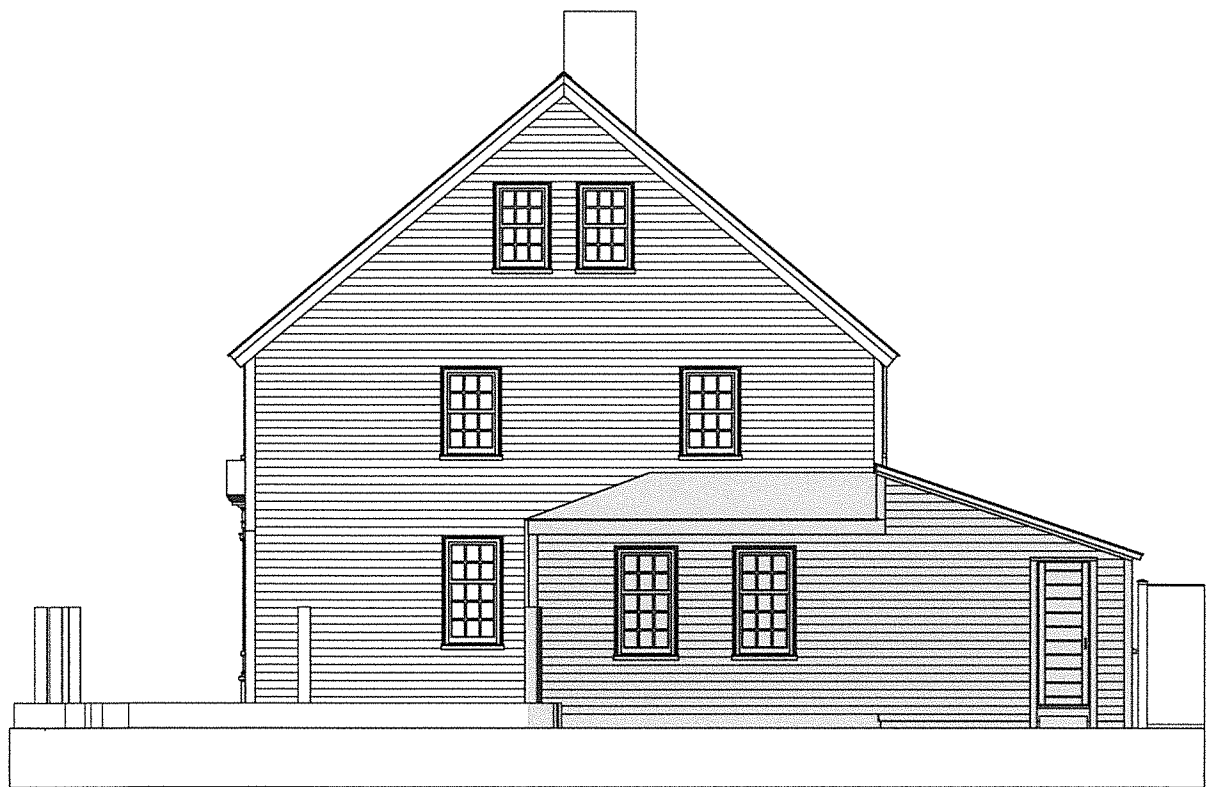


☐ = TO BE REMOVED

1 Existing Northwest Elevation With Attached Neighbor
Scale: 1/8" = 1'-0"



2 Existing Southeast Elevation With Attached Neighbor
Scale: 1/8" = 1'-0"

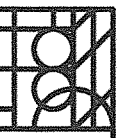


3 Existing Southwest Elevation
Scale: 1/8" = 1'-0"



TOTAL EXPOSED ELEVATIONS = 1857 SF
TOTAL ELEVATIONS TO BE REMOVED = 317 SF
TOTAL PERCENTAGE OF EXPOSED ELEVATIONS TO BE REMOVED = 17%

4 Existing Southwest Elevation With Attached Neighbor
Scale: 1/8" = 1'-0"



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ddaviesdesign@gmail.com

10.28.19
1/8" = 1'-0"

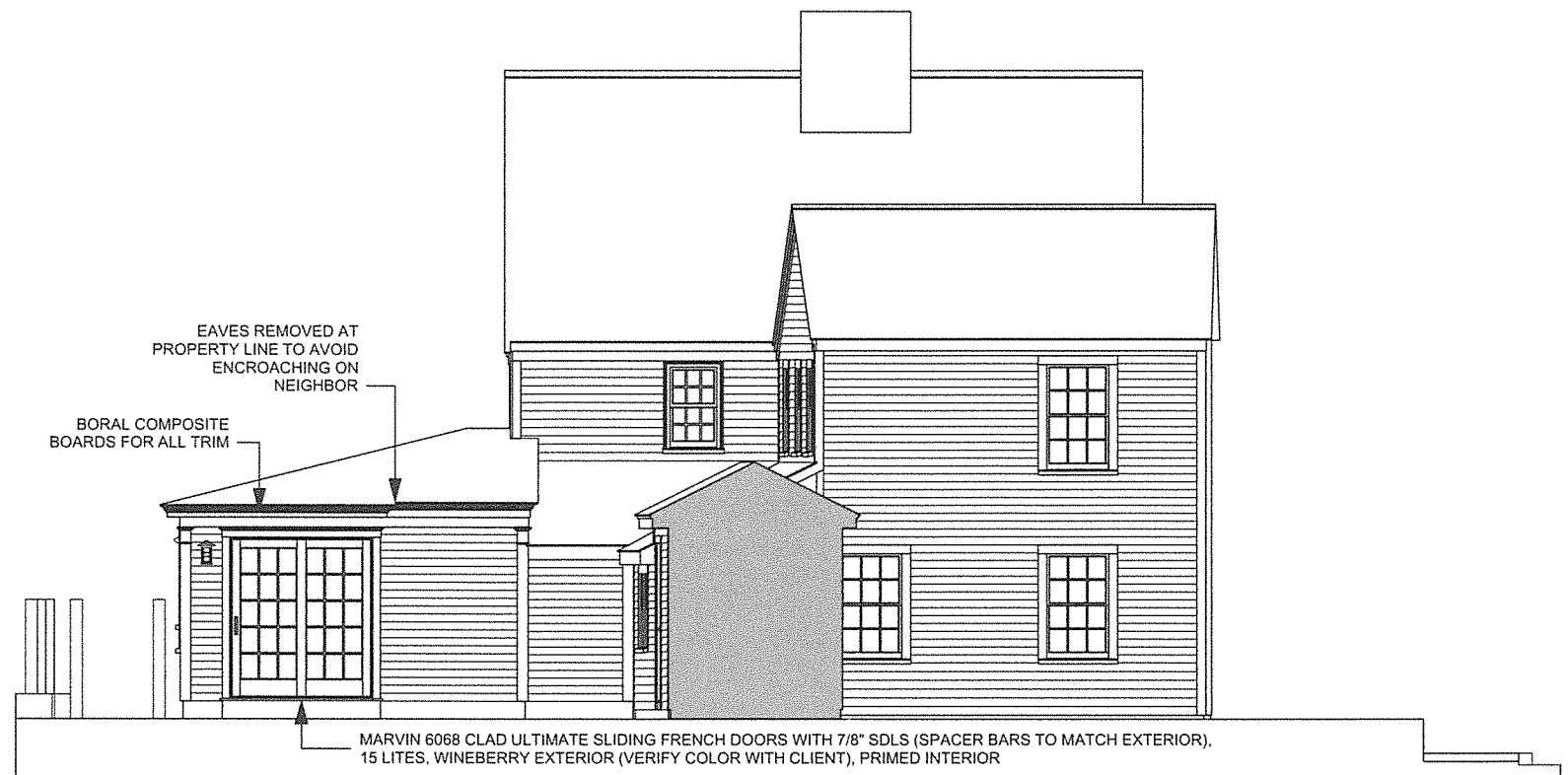
EXISTING ELEVATIONS
WITH AND WITHOUT ATTACHED
NEIGHBOR

1 STORY
KITCHEN + SITTING AREA
ADDITION

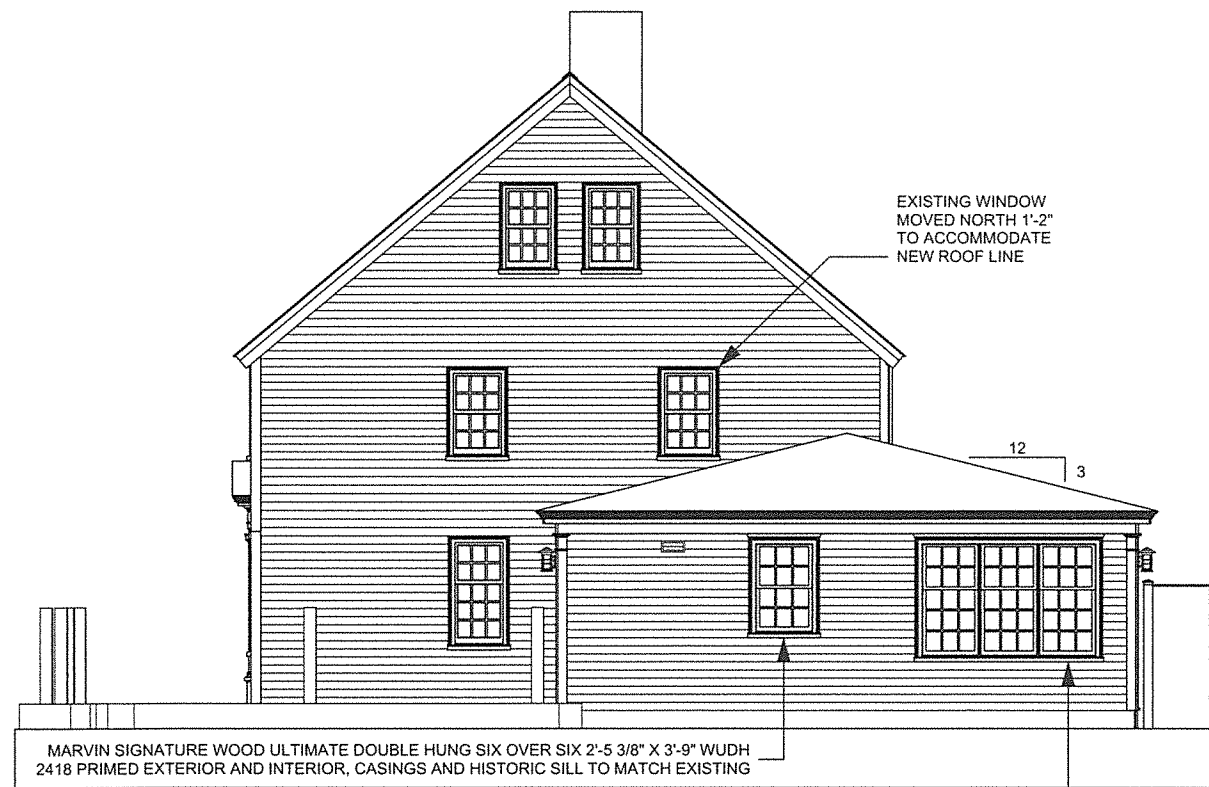
HENAULT RESIDENCE
7 MARLBORO STREET
NEWBURYPORT, MA 01950



1 Proposed Northwest Elevation With Attached Neighbor
Scale: 1/8" = 1'-0"



2 Proposed Southeast Elevation With Attached Neighbor
Scale: 1/8" = 1'-0"

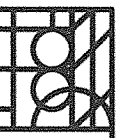


3 Proposed Southwest Elevation
Scale: 1/8" = 1'-0"

MARVIN SIGNATURE WOOD
ULTIMATE COTTAGE STYLE 6 OVER 9
DOUBLE HUNG (3) 2'-5 3/8" X 4'-9"
WUDH 2424 PRIMED EXTERIOR AND
INTERIOR, CASINGS AND HISTORIC
SILL TO MATCH EXISTING



4 Proposed Southwest Elevation With Attached Neighbor
Scale: 1/8" = 1'-0"



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10.28.19
1/8" = 1'-0"

PROPOSED ELEVATIONS
WITH AND WITHOUT ATTACHED
NEIGHBOR

1 STORY
KITCHEN + SITTING AREA
ADDITION

HENALUT RESIDENCE
7 MARLBORO STREET
NEWBURYPORT, MA 01950



1 Existing House - Isometric Looking North
Scale: 1/8" = 1'-0"



2 Proposed Addition - Isometric Looking North
Scale: 1/8" = 1'-0"



EXISTING

PROPOSED



LOOKING EAST
FROM MARLBORO STREET



EXISTING

PROPOSED

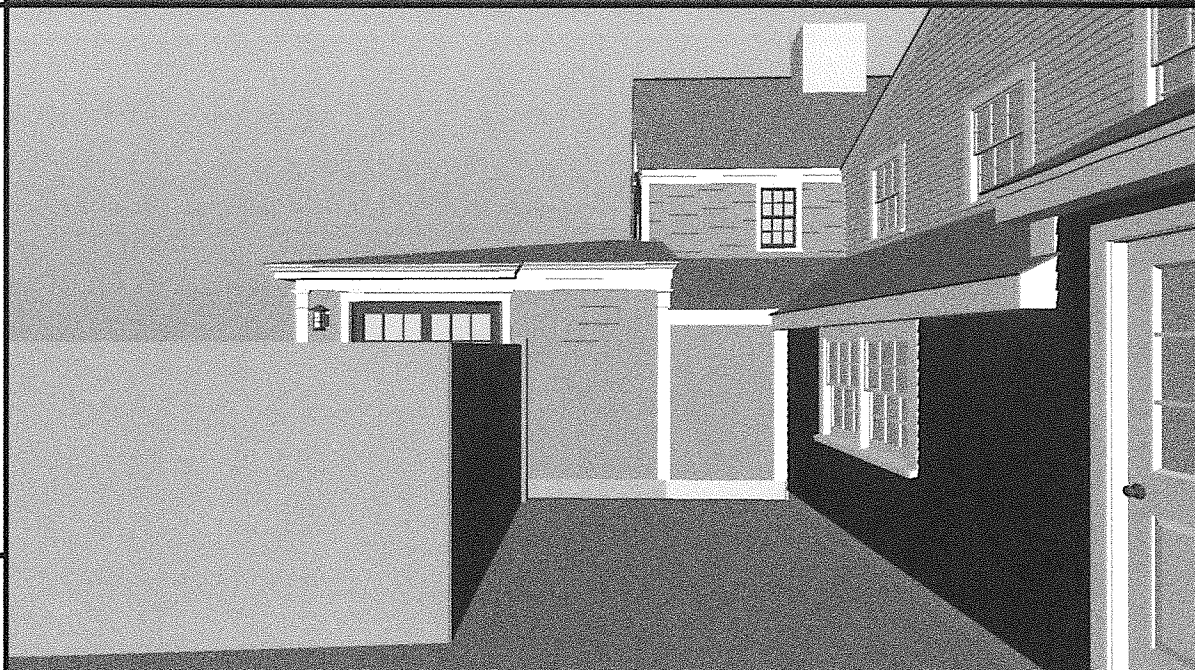


LOOKING NORTH
FROM CORNER OF YARD

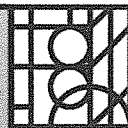


EXISTING

PROPOSED



LOOKING NORTHWEST
FROM NEIGHBOR'S YARD TOWARD
SOUTHWEST ELEVATION



DAVID DAVIES DESIGN STUDIO
ddaviesdesign@gmail.com

10.28.19

EXISTING AND PROPOSED
PERSPECTIVES

1 STORY
KITCHEN + SITTING AREA
ADDITION

HENAULT RESIDENCE
7 MARLBORO STREET
NEWBURYPORT, MA 01950