

50 Bayberry Road

Special Permit: In-law Apartment

Variance: Set-Back

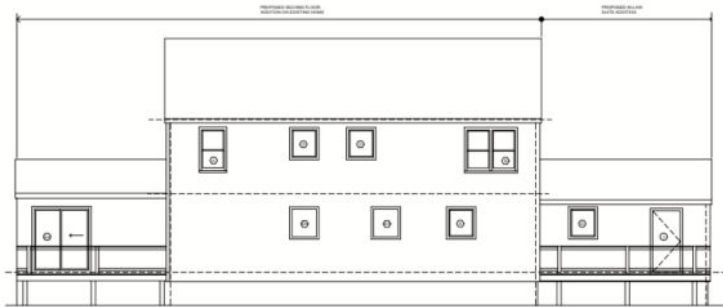
Special Permit: Over 500 sf. increase

In-Law Apartment Special Permit

- Addition to pre-existing one family ranch style home in R1 District
 - Placement on existing paved pad
- A one story 420 sf addition to west side of house
 - 270 sf of existing structure being used for a total of 690 sf in-law apartment consisting of one bedroom, one bathroom, and open living space including a kitchenette
- Will be used for Marybeth's mother and father
 - Mother has multiple physical disabilities
- Addition of in-law apartment a welcomed feature to the neighborhood
 - Will not create undue traffic congestion or impair pedestrian safety
 - Addition of two people to the neighborhood will not overload any public water, drainage, or sewer system, nor have negative impact on any other municipal system in the immediate area or in any other area of the great City of Newburyport
 - Will not impair the integrity or character of the district or adjoining districts as it will consist of only the stated family members and will not be used as any other type of residence or business
 - Letters from impacted neighbors show support and approval



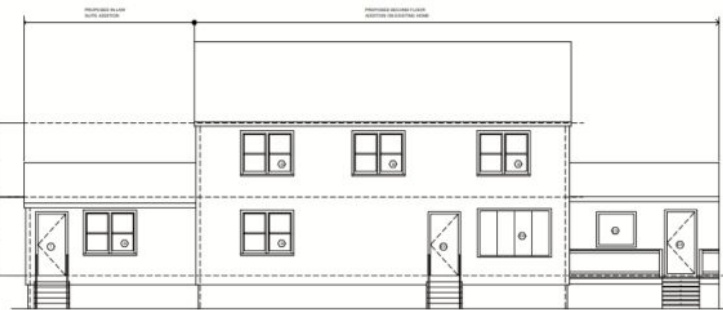
① Proposed Side Yard (at driveway) Elevation
1/4" = 1'-0"



② Proposed Back Yard Elevation
1/4" = 1'-0"



③ Proposed Side Yard (at corner) Elevation
1/4" = 1'-0"



④ Proposed Street Side Elevation
1/4" = 1'-0"

EA edth architecture
64 Peart St
Chapelton, MA
02729
pearth@earthmail.com

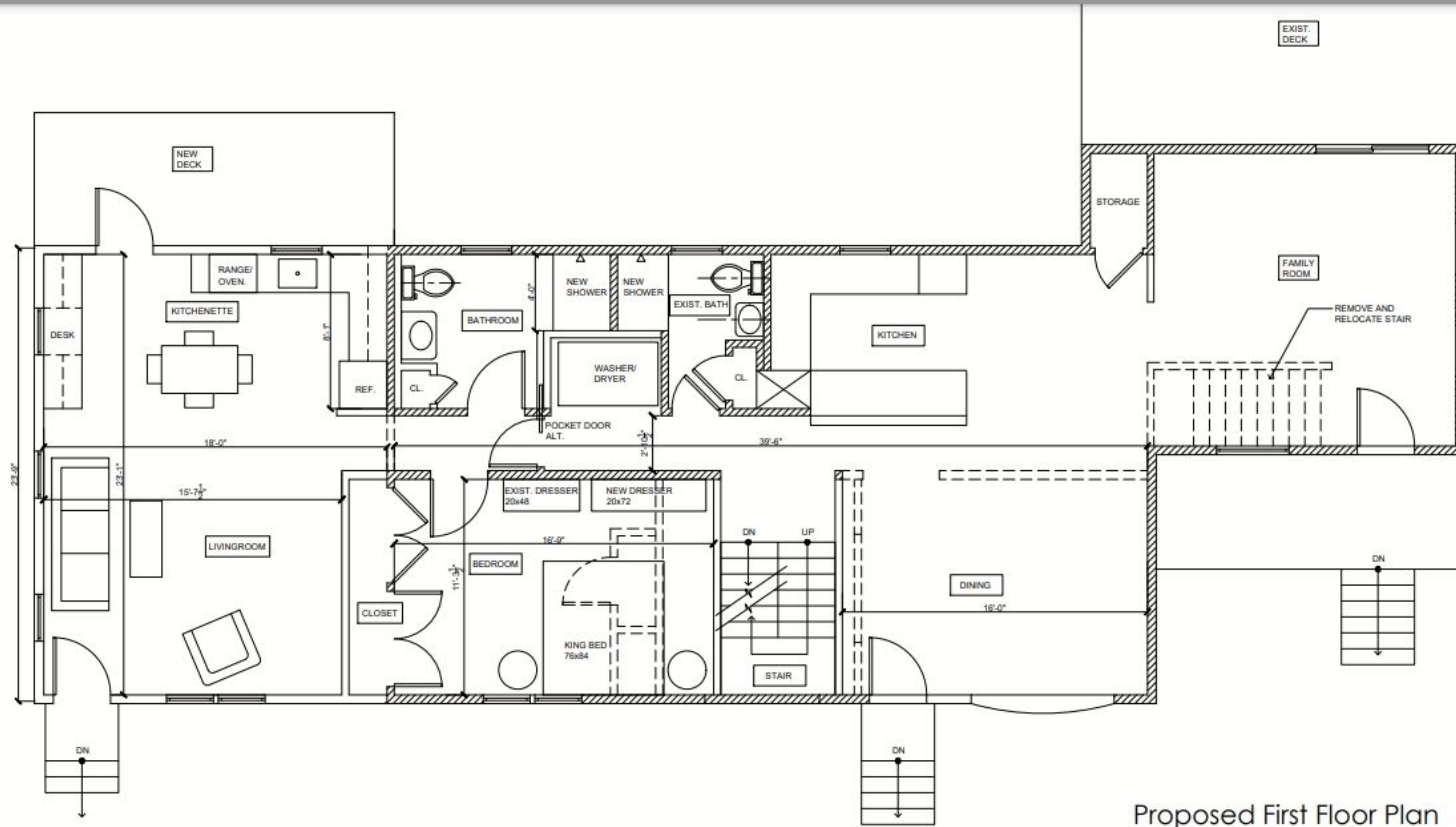
Martens Residence
50 Boyberry Rd.
Newburyport, MA 01950

Order: 2024.8.2024
Revised: Revision 02/24

Scale:
1/4" = 1'-0"

Drawing Title:
Exterior
Elevations
Zoning
Submittal


A-2.1

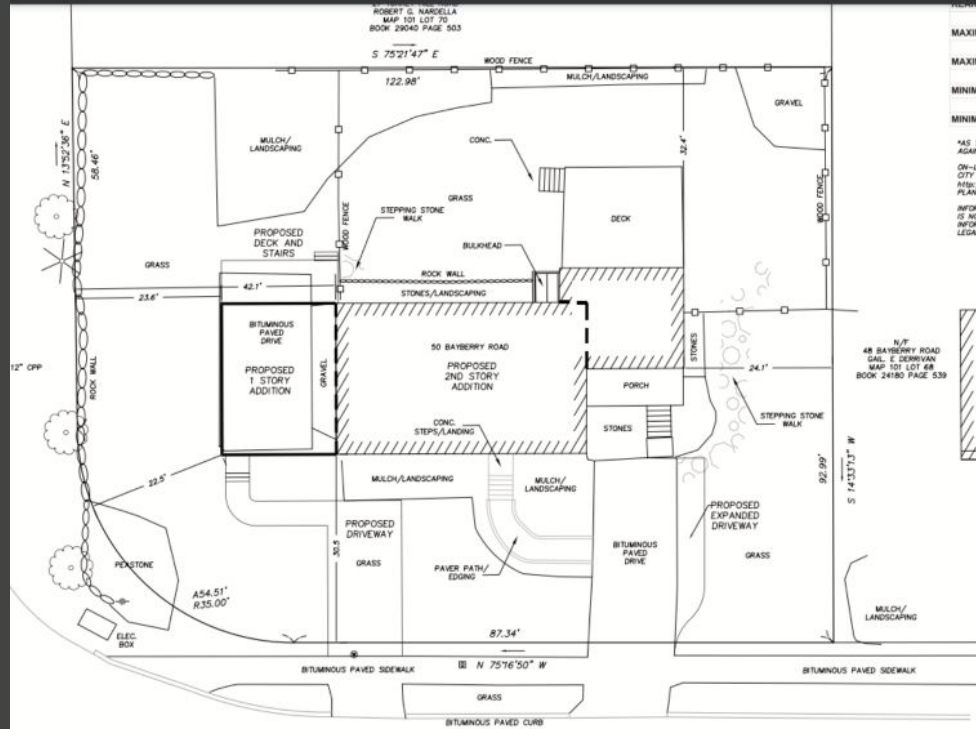


Proposed First Floor Plan
 1/4" = 1'-0"

<p>Martens Residence 50 Bayberry Rd. Newburyport, MA 0195</p>	<p>Drawing Title: First Floor Plan</p>	<p>Scale: 1/4" = 1'-0" Date: June 1, 2020 Rev:</p>	<p>Schematic Design</p>	<p>SD-1.1</p>
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Variance for Setback

- Addition of in-law will project into the required front yard setback at the non primary front yard/side yard to house
 - Required front yard setback is 30 ft, addition planned to occupy only the side yard (non-primary front due to corner lot)
 - Planned set-back is 23.6 ft
 - Addition 6.4 ft over set-back
 - Property line ends at rock wall, additional city property abuts street
 - Traditional side yard setback is 20 ft (addition conforms)
- 



MINIMUM SETBACK	MINIMUM SETBACK	FEET	FEET	FEET
MAXIMUM LOT COVERAGE(%)	MAXIMUM LOT COVERAGE(%)	20.0%	11.4%	15.5%
MAXIMUM HEIGHT	MAXIMUM HEIGHT	30 FEET	14.7 FEET	24.6 FEET
MINIMUM OPEN SPACE	MINIMUM OPEN SPACE	50.0%	76.9%	71.7%
MINIMUM PARKING REQUIRED	MINIMUM PARKING REQUIRED	2	2	0

*AS THIS LOT IS A CORNER LOT FRONT YARD SETBACK MUST BE RESPECTED AGAINST STREET LINE SIDE YARD.

ON-LINE ZONING ORDINANCES
CITY OF NEWBURYPORT
PLANNING DEPARTMENT - MAIN PHONE 318-460-4400
<http://www.cityofnewburyport.com/Planning/index.htm>

INFORMATION REGARDING ZONING, INCLUDING PARKING ABOVE, SHOWN HEREON IS NOT INTENDED TO BE A DEFINITIVE ZONING OPINION AND IS FOR INFORMATIONAL PURPOSES ONLY. ALL INFORMATION SHOULD BE VERIFIED BY LEGAL COUNSEL PRIOR TO RELIANCE UPON THE SAME.

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING BUILDING AND PROPOSED ADDITION TO THE SAME ON THE LOCUS PROPERTY. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED SEPTEMBER 24, 2020 BY THIS FIRM.

DESIGN INFORMATION HAS BEEN PROVIDED BY THE CLIENT.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF NEWBURYPORT ASSESSOR'S OFFICES.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.


P.L.S.
EVERETT J. CHAROLER, P.L.S.
MASS. REGISTRATION NO. 46263

BAYBERRY ROAD

LOCUS TITLE INFORMATION


50 BAYBERRY ROAD

OWNER: JOEL D. & MARYBETH A. MARTENS

DEED REFERENCE: BK. 34949 PG. 71

ASSESSORS: MAP 101 LOT 69

Special Permit Over 500 sf

- The existing lot is identified as a non-conforming lot in the R1 District because it is 11,130 square feet when R1 zoning dictates 20,000 square feet lots.
 - Addition of in-law suite occupies 270 sf of existing one family house
 - Takes over full master bedroom and full second bedroom, as well as a portion of the third bedroom.
 - Second floor needed to provide bedrooms for two children and couple
 - Projected 864 sf
 - In-law projected 420 sf
 - Total additional sf 1,284 sf
- 



Turkey Hill Rd

Turkey Hill F





Thank you for your time!