

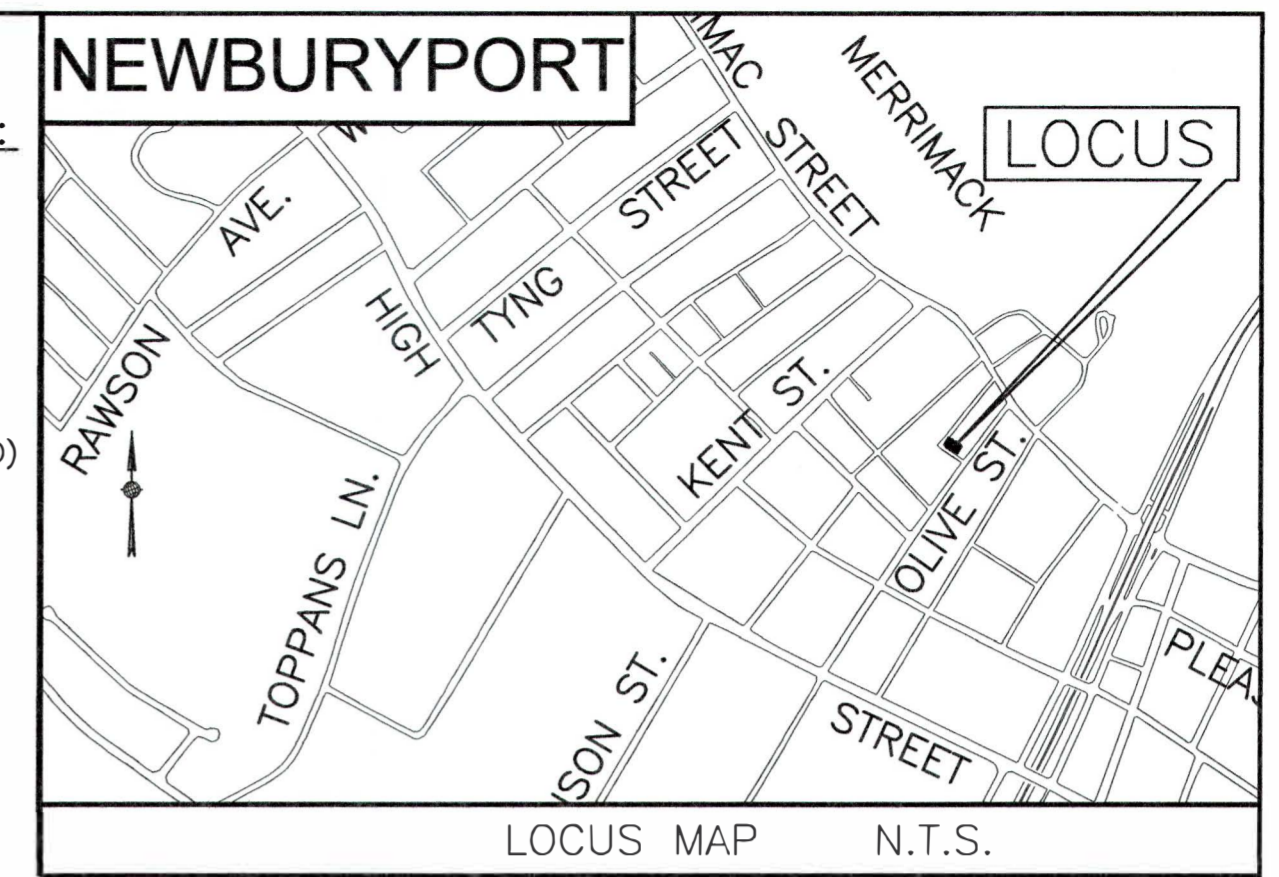
OWNER/APPLICANT:

MICHAEL BUKHIN
& ANNA WALLACK
ASSESSOR'S MAP
52 LOT 53

REFERENCES:

1. ESSEX COUNTY
REGISTRY OF DEEDS
BK 39030 PG 395 (DEED)
BK 954 PG 76 (DEED)

PLAN BK 173 PL 84
PLAN BK 465 PL 41



I HEREBY CERTIFY THAT:

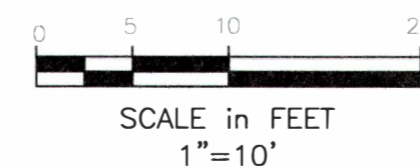
THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.

I FURTHER CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR THE NEW WAYS ARE SHOWN AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

[Signature]
EDWARD DIXON
No. 34304
REGISTERED
PROFESSIONAL LAND SURVEYOR
DATE: 10-20-21

NOTES:

- FIELD SURVEY PERFORMED: SEPT. 7TH THRU 14TH, 2021
- THE CURRENT DEED DESCRIPTION FOR THE SUBJECT PROPERTY DOES NOT CLOSE FOR 0.56'. THE ORIGINAL DESCRIPTION CLOSURE WAS ACHIEVED BY HOLDING THE DISTANCES FOR THE TWO COURSES AT THE SOUTHWEST CORNER OF THE PROPERTY.
- THE ENTIRETY OF THE PROPERTY LIES IN ZONE "X" AS DEPICTED ON FEMA MAP 25009C0109F WITH AN EFFECTIVE DATE OF JULY 3, 2012
- OWNERSHIP OF ABUTTING LANDS ACCORDING TO CITY OF NEWBURYPORT ASSESSOR'S DEPARTMENT.
- ARCHITECTURAL DESIGN PROVIDED BY ALLSOPP DESIGN, INC..



ZONING

RESIDENTIAL 2 (R2) USE CODE #101
SINGLE FAMILY USE
DEMOLITION CONTROL OVERLAY DISTRICT

	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	10,000 SF	1,300± SF	1,300± SF N.C.
MINIMUM FRONTAGE	90 FEET	82.00 FEET (PLUM & ELM)	82.00 FEET (PLUM & ELM) N.C.
FRONT	25 FEET	0 FEET	0 FEET N.C.
SIDE	10 FEET	0.0 FEET (L) (ELM ST.) 21.5 FEET (R)	0.0 FEET (L) (ELM ST.) N.C. 20.6 FEET (R)
REAR	25 FEET	-0.07' FEET	-0.07' FEET N.C.
% LOT COVERAGE	25%	57.5%	60.0%
MAX BLD HEIGHT	35 FEET	21.34 FEET±	21.34 FEET± N.C.
% OPEN SPACE	40%	11%	8.4%

EDx	ADJ. DESIGN TO ACTUAL	9-24-21	REV: 1
BY:	DESCRIPTION:	DATE:	REV: 0
DRAWING NO.:		25316 PPP.dwg	

**PROPOSED PLOT PLAN
4 PLUM STREET
IN
NEWBURYPORT, MASSACHUSETTS
ESSEX COUNTY**

PREPARED FOR:
ALSOPP DESIGN

PREPARED BY:
HANCOCK ASSOCIATES

ONE HARRIS STREET
SUITE 3
NEWBURYPORT, MA 01950
Civil Engineers
Land Surveyors
Wetland Scientists
TEL: 978-465-9992
www.hancockassociates.com

RESEARCH: EDX
FIELD: CHA/AAM
CALCULATION: EDX
DRAFTING: EDX
CHECK: EDX
PROJ. MANAGER: EDX
DATE: SEPTEMBER 16, 2021
HANCOCK JOB# 25316
CRD FILE 25316.CRD
SHEET NO. 1 OF 1