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December 19, 2019

By Hand

Renee Bourdeau, Chair
Zoning Board of Appeals
City of Newburyport
City Hall
60 Pleasant Street
Newburyport, Massachusetts 01950

Re: Request for an In-Law Apartment Special Permit and Special Permit for
Nonconformities
49 Kent Street, Newburyport, MA (the "Property")
Assessor's Map: 51 Lot: 2

Dear Chair and Members of the Board:

Reference is made to the above-captioned matter and the applications submitted to the Board on December 11, 2019. Please find attached hereto a revised site plan showing a parking area accommodating 3 vehicles.

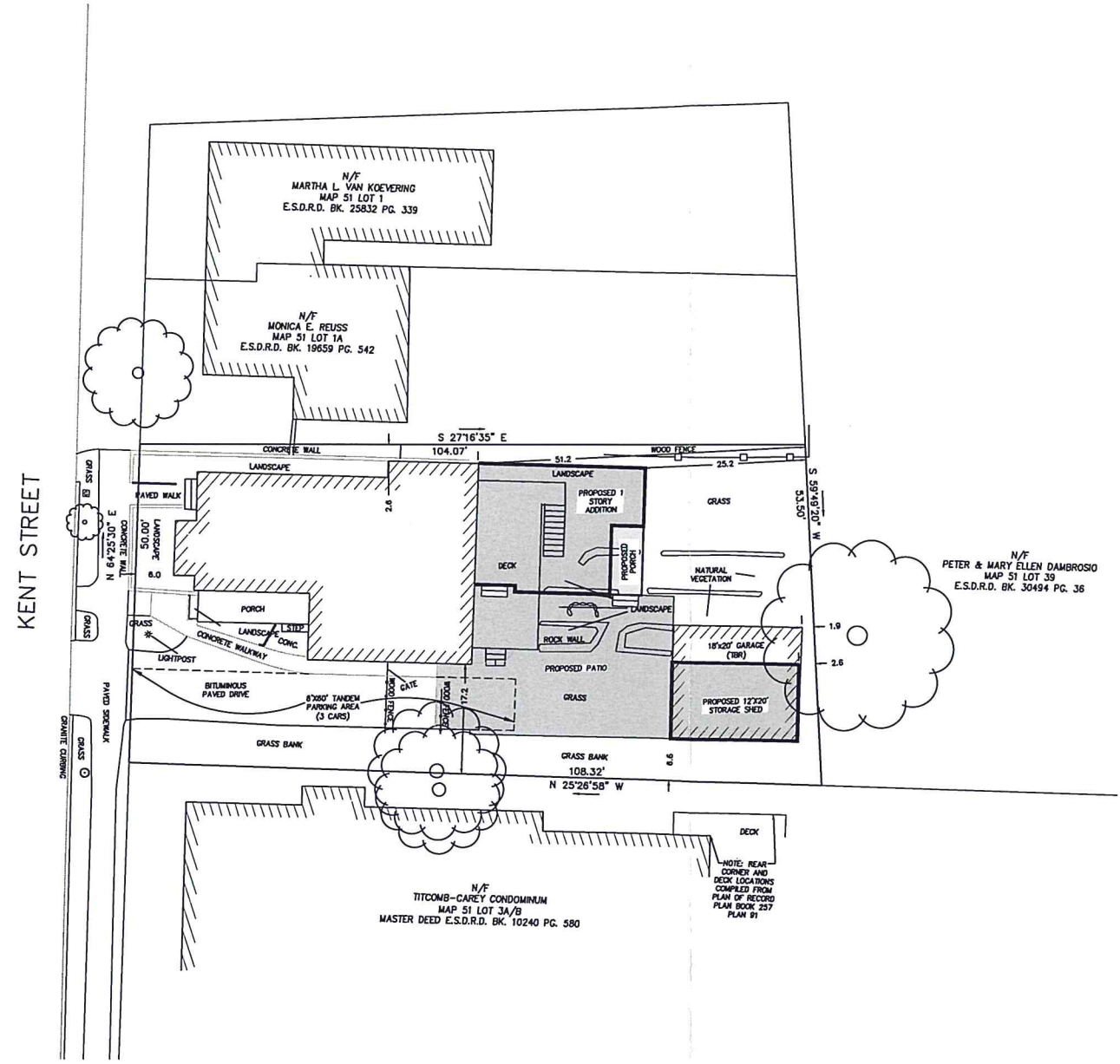
Respectfully submitted
Lauren Eramo and Amy Rasimas
By their Attorney


Lisa L. Mead

Attachment
cc: client

Millis Office

730 Main Street, Suite 1F
Millis, MA 02054
Phone 508.376.8400



ZONING
RESIDENTIAL (R-2)
SINGLE-FAMILY (101)

	REQUIRED (SINGLE-FAMILY - 101)	EXISTING (SINGLE-FAMILY - 101)	PROPOSED (SINGLE-FAMILY - 101)
MINIMUM LOT AREA	10,000 SQUARE FEET	5,488 SQUARE FEET	5,488 SQUARE FEET
MINIMUM FRONTAGE	90 FEET	50.00 FEET	50.00 FEET
FRONT SETBACK	25 FEET	8.0 FEET	6.0 FEET
SIDE SETBACK (R)	10 FEET	2.6 FEET	2.6 FEET
SIDE SETBACK (L)	8 FEET (ACCESSORY)	6.5 FEET	6.5 FEET
REAR SETBACK	10 FEET	17.2 FEET	17.2 FEET
REAR SETBACK (A)	25 FEET	31.2 FEET	23.2 FEET
REAR SETBACK (B)	8 FEET (ACCESSORY)	1.9 FEET	2.6 FEET
MAXIMUM LOT COVERAGE (X) 25%		27.4%	33.6%
MAXIMUM HEIGHT	35 FEET	24 FEET	24 FEET
MINIMUM OPEN SPACE	40%	58.0%	56.2%
MINIMUM PARKING	2	2+	2+

EXISTING GARAGE MEAN HEIGHT 9.2', HEIGHT TO RIDGE 13.0'.
ON-LINE ZONING ORDINANCES
CITY OF NEWBURYPORT WEBSITE
<https://www.cityofnewburyport.com/Planning/index.html>
PLANNING DEPARTMENT - MAIN PHONE: 978-463-4400
INFORMATION REGARDING ZONING, INCLUDING PARKING ABOVE, SHOWN HEREON IS NOT INTENDED TO BE A DEFINITIVE ZONING OPINION AND IS FOR INFORMATIONAL PURPOSES ONLY. ALL INFORMATION SHOULD BE VERIFIED BY LEGAL COUNSEL PRIOR TO RELIANCE UPON THE SAME.

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING BUILDING AND PROPOSED RECONSTRUCTION OF THE SAME ON THE LOCUS PROPERTY. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED JULY 15 & 16, 2019 BY THIS FIRM.
ARCHITECTURAL PLANS HAVE BEEN UTILIZED FOR BUILDING ADDITION DETAILS. NO STATEMENT IS MADE AS TO THE ADEQUACY FOR ACTUAL USE OR COMPLIANCE WITH ANY DESIGN REQUIREMENTS WITH REGARD TO THE AREA SHOWN FOR PARKING THREE CARS. SAID AREA IS SHOWN AS REQUESTED.
OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF NEWBURYPORT ASSESSOR'S OFFICES.
TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



P.L.S. *Everett J. Chandler*
EVERETT J. CHANDLER, P.L.S.
MASS. REGISTRATION NO. 41783

LOCUS TITLE INFORMATION

49 KENT STREET
OWNER: AMY S. RASMAS & LAUREN M. ERAMO
DEED REFERENCE: BK. 35397 PG. 298
ASSESSORS: MAP 51 LOT 2

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Winter GEC, LLC
44 MERRIMAC STREET
NEWBURYPORT, MA 01950
978-270-8626

NO.	DATE	BY	REVISIONS
2	12/13/19	EJC	SHOWED PARKING AREA AS REQUESTED
1	12/12/19	EJC	ADDED GARAGE MEAN AND RIDGE HEIGHTS

FIELD: CO
CALCS: EC
CHECKED: EJC
APPROVED: EJC

ZONING BOARD OF APPEALS
PLAN
49 KENT STREET

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
AMY S. RASMAS & LAUREN M. ERAMO

PROJECT NO.
2019-49KENT
DATE: NOV. 20, 2019
SHEET NO.
1 OF 1