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December 19, 2019

By Hand

Renee Bourdeau, Chair  
Zoning Board of Appeals  
City of Newburyport  
City Hall  
60 Pleasant Street  
Newburyport, Massachusetts 01950

Re: Request for an In-Law Apartment Special Permit and Special Permit for  
Nonconformities  
49 Kent Street, Newburyport, MA (the "Property")  
Assessor's Map: 51 Lot: 2

Dear Chair and Members of the Board:

Reference is made to the above-captioned matter and the applications submitted to the Board on December 11, 2019. Please find attached hereto a revised site plan showing a parking area accommodating 3 vehicles.

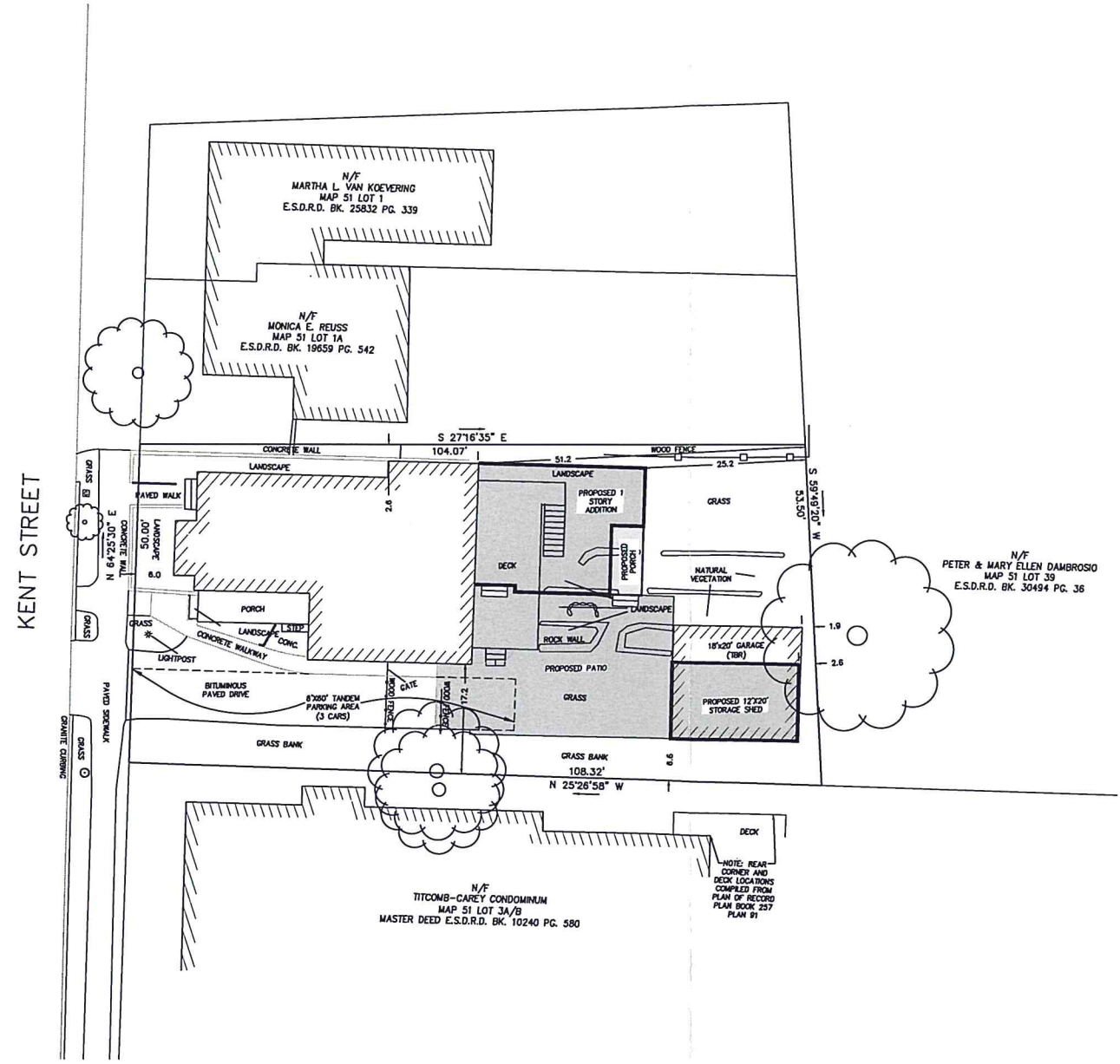
Respectfully submitted  
Lauren Eramo and Amy Rasimas  
By their Attorney

  
Lisa L. Mead

Attachment  
cc: client

*Millis Office*

730 Main Street, Suite 1F  
Millis, MA 02054  
Phone 508.376.8400



**ZONING**  
RESIDENTIAL (R-2)  
SINGLE-FAMILY (101)

	REQUIRED (SINGLE-FAMILY - 101)	EXISTING (SINGLE-FAMILY - 101)	PROPOSED (SINGLE-FAMILY - 101)
MINIMUM LOT AREA	10,000 SQUARE FEET	5,488 SQUARE FEET	5,488 SQUARE FEET
MINIMUM FRONTAGE	90 FEET	50.00 FEET	50.00 FEET
FRONT SETBACK	25 FEET	8.0 FEET	8.0 FEET
SIDE SETBACK (R)	10 FEET	2.6 FEET	2.6 FEET
SIDE SETBACK (L)	8 FEET (ACCESSORY)	6.5 FEET	6.5 FEET
REAR SETBACK	10 FEET	17.2 FEET	17.2 FEET
REAR SETBACK	25 FEET	31.2 FEET	23.2 FEET
REAR SETBACK	8 FEET (ACCESSORY)	1.9 FEET	2.6 FEET
MAXIMUM LOT COVERAGE (X) 25%		27.4%	33.6%
MAXIMUM HEIGHT	35 FEET	24 FEET	24 FEET
MINIMUM OPEN SPACE	40%	58.0%	56.2%
MINIMUM PARKING	2	2+	2+

EXISTING GARAGE MEAN HEIGHT 9.2', HEIGHT TO RIDGE 13.0'.  
ON-LINE ZONING ORDINANCES  
CITY OF NEWBURYPORT WEBSITE  
<https://www.cityofnewburyport.com/Planning/index.html>  
PLANNING DEPARTMENT - MAIN PHONE: 978-463-4400  
INFORMATION REGARDING ZONING, INCLUDING PARKING ABOVE, SHOWN HEREON IS NOT INTENDED TO BE A DEFINITIVE ZONING OPINION AND IS FOR INFORMATIONAL PURPOSES ONLY. ALL INFORMATION SHOULD BE VERIFIED BY LEGAL COUNSEL PRIOR TO RELIANCE UPON THE SAME.

**NOTES**

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING BUILDING AND PROPOSED RECONSTRUCTION OF THE SAME ON THE LOCUS PROPERTY. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED JULY 15 & 16, 2019 BY THIS FIRM.  
ARCHITECTURAL PLANS HAVE BEEN UTILIZED FOR BUILDING ADDITION DETAILS. NO STATEMENT IS MADE AS TO THE ADEQUACY FOR ACTUAL USE OR COMPLIANCE WITH ANY DESIGN REQUIREMENTS WITH REGARD TO THE AREA SHOWN FOR PARKING THREE CARS. SAID AREA IS SHOWN AS REQUESTED.  
OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF NEWBURYPORT ASSESSOR'S OFFICES.  
TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



P.L.S. *Everett J. Chandler*  
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783

**LOCUS TITLE INFORMATION**

49 KENT STREET  
OWNER: AMY S. RASIMAS & LAUREN M. ERAMO  
DEED REFERENCE: BK. 35397 PG. 298  
ASSESSORS: MAP 51 LOT 2

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Winter GEC, LLC  
44 MERRIMAC STREET  
NEWBURYPORT, MA 01950  
978-270-8626

SCALE:			
HORIZ:	1" = 10'		
VERT:			
NO.	DATE	BY	REVISIONS
2	12/13/19	EJC	SHOWED PARKING AREA AS REQUESTED
1	12/12/19	EJC	ADDED GARAGE MEAN AND RIDGE HEIGHTS

FIELD: CO  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

ZONING BOARD OF APPEALS  
PLAN  
49 KENT STREET

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
AMY S. RASIMAS & LAUREN M. ERAMO

PROJECT NO.  
2019-49KENT  
DATE: NOV. 20, 2019  
SHEET NO.  
1 OF 1