

# City of Newburyport Zoning Board of Appeals Application for a SPECIAL PERMIT for NON-CONFORMITIES

Petitioner: Lauren Eramo & Amy Rasimas c/o Lisa Mead, Mead, Talerman & Costa, LLC

Mailing Address: 30 Green Street

Phone: 978-463-7700 Email: lisa@mtclawyers.com

Property Address: 49 Kent Street

Map and Lot(s): 51 - 2 Zoning District: R2/DCOD

Book and Page(s): 35397 - 0298

Owner(s) Name: Lauren M. Eramo and Amy S. Rasimas

Mailing Address (if different): \_\_\_\_\_

This request for a Special Permit for Non-Conformities is made under section(s):  
(Refer to the Zoning Determination form supplied by the Zoning Administrator)

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Extension or Alteration (IX.B.2) | <input checked="" type="checkbox"/> Over 500 s.f. increase (IX.B.3.c) |
| ___ Parking  | <input type="checkbox"/> Plum Island Overlay District (XXI-G-3)       |
| ___ Upward Extension   | ___ FAR   |
| ___ Open Space   | ___ Footprint Expansion   |
| ___ Height   | ___ Height Increase   |
| ___ Lot Area   |   |
| ___ Use  |   |
| ___ Rear Yard  |   |
| ___ Lot Coverage   |   |
| ___ Side Yard  |   |
| ___ Lot Frontage   |   |
| ___ Front Yard   |   |

Description of request:

Construct <sup>561</sup>524 square foot one-story addition for in-law apartment attached to single-family residence. Demolish existing garage and construct new shed in same location.

All information contained within this application will become a formal part of the Zoning Board of Appeals proceedings and decision.

**City of Newburyport Zoning Board of Appeals**  
**Application for a SPECIAL PERMIT for NON-CONFORMITIES**

	Existing Dimensional Controls	Proposed Dimensional Controls	Required Dimensional Controls
Lot Area	5,488 sf	5,488 sf	10,000 sf
Frontage	50 ft	50 ft	90 ft
Height*	24 ft	24 ft	35 ft
Lot Coverage (%)**	27.4%	33.6%	25%
Open Space (%)***	58%	56.2%	40%
Front Setback	6 ft	6 ft	25 ft
Side A Setback	2.6 ft (res); 6.5 ft (acc)	2.6 ft (res); 6.5 ft (acc)	10 ft (res); 6ft (acc)
Side B Setback	17.2 ft	17.2 ft	10 ft
Rear Setback	51.2 ft (res); 1.9 ft (acc)	25.2 ft (res); 2.6 ft (acc)	25 ft (res); 6 ft (acc)
Parking Spaces	2+	2+	2
FAR****			

\*Height is measured to median roof line.

\*\*Total building footprint divided by the lot area expressed as a percentage.

\*\*\*Area unoccupied by building, parking areas, or driveways expressed as a percentage of lot area. Pools, patios, and decks may be included in open space.

\*\*\*\*FAR is only applicable in the Plum Island Overlay District (PIOD).

Any advice, opinion, or information given by any board member or any other official or employee of the City of Newburyport shall not be binding on the Zoning Board of Appeals. It shall be the responsibility of the petitioner to furnish all supporting documentation with this application. The dated copy of this application received by the City Clerk or Planning Office does not absolve the petitioner from this responsibility. The petitioner shall be responsible for all expenses for the filing, publication, and legal notification. Failure to comply with the application requirements, as cited herein and in the Zoning Board Rules and Regulations may result in a dismissal by the ZBA of this application as incomplete.

Petitioner's and Owner's signature(s):

*Lauren Gramo* 12/10/19

\_\_\_\_\_

**City of Newburyport Zoning Board of Appeals  
Application for a SPECIAL PERMIT**

Petitioner: Lauren Eramo & Amy Rasimas c/o Lisa Mead, Mead, Talerman & Costa, LLC

Mailing Address: 30 Green Street

Phone: 978-463-7700

Email: lisa@mtclawyers.com

Property Address: 49 Kent Street

Map and Lot(s): 51 - 2

Zoning District: R2/DCOD

Book and Page(s): 35397 - 0298

Owner(s) Name: Lauren M. Eramo and Amy S. Rasimas

Mailing Address (if different): \_\_\_\_\_

The applicant is requesting a Special Permit under section(s):

Special Permit for Use (V.D) – Use # \_\_\_\_\_

Personal Wireless Communication Services (XX)

Spacing (VI.D)

Wind Energy Conversion Facilities (XXVI)

In-Law Apartment (XIIA)\*

Other \_\_\_\_\_

Bonus Provisions for Multifamily Developments (XVI)

\*Include In-Law Apartment Attachment

Description of request:

Construct one-story addition to single-family home to be used as in-law apartment.

Any advice, opinion, or information given by any board member or any other official or employee of the City of Newburyport shall not be binding on the Zoning Board of Appeals. It shall be the responsibility of the petitioner to furnish all supporting documentation with this application. The dated copy of this application received by the City Clerk or Planning Office does not absolve the petitioner from this responsibility. The petitioner shall be responsible for all expenses for the filing, publication, and legal notification. Failure to comply with the application requirements, as cited herein and in the Zoning Board Rules and Regulations may result in a dismissal by the ZBA of this application as incomplete.

Petitioner's and Owner's signature(s):

Lauren Eramo 12/10/19

**City of Newburyport Zoning Board of Appeals**  
**IN-LAW APARTMENT Attachment**

---

Please attach this completed form to the end of the application for Special Permit.

Petitioner: Lauren Eramo & Amy Rasimas c/o Lisa Mead, Mead, Talerman & Costa, LLC

Property Address: 49 Kent Street

I hereby certify that the in-law apartment will be occupied by:  Parents  Grandparents  
 Children  Grandchildren

Please choose one:  Dimensional requirements will be met for any new construction  
 Additional permits are being sought for new construction  
 There will be no new construction. Any alterations will be within the existing structure.

The gross floor area of the in-law apartment will be: 561 sq ft

The gross floor area of all *new* construction for the in-law apartment will be: 561 sq ft

Total number of parking spaces proposed: 1

I understand that in the eleventh and twenty-third months following the grant of a special permit, the homeowner shall certify, under the pains and penalties of perjury, that the in-law apartment is in compliance and occupied by parents, grandparents, children, or grandchildren. I also understand that at the expiration of three (3) years from its granting, the special permit shall expire unless renewed by the ZBA upon application.

Signature \_\_\_\_\_



Mead, Talerman & Costa, LLC  
Attorneys at Law

30 Green Street  
Newburyport, MA 01950  
Phone 978.463.7700  
Fax 978.463.7747  
[www.mtclawyers.com](http://www.mtclawyers.com)

December 11, 2019

By Hand

Renee Bourdeau, Chair  
Zoning Board of Appeals  
City of Newburyport  
City Hall  
60 Pleasant Street  
Newburyport, Massachusetts 01950

Re: Request for an In-Law Apartment Special Permit and Special Permit for  
Nonconformities  
49 Kent Street, Newburyport, MA (the "Property")  
Assessor's Map: 51 Lot: 2

Dear Chair and Members of the Board:

Reference is made to the above-captioned matter. In that connection, this firm represents Lauren Eramo and Amy Rasimas (the "Applicants"), the owners of the Property. The Applicants propose to construct a 561 square foot one-story addition at the rear of their single-family home (the "Residence") to be used as an in-law apartment. The Applicants also propose to demolish an existing garage to construct a new shed in the same location.

The Property is located in the R2 zoning district of the Newburyport Zoning Ordinance (the "Ordinance") and the Demolition Control Overlay District ("DCOD"). The Residence was constructed in 1800, according to the Assessor's records, or 1875, according to the District Data Sheet. The Residence is designated as "contributing" on the District Data Sheet. There is a presently a deck and landscaping at the rear of the Residence which cannot be seen from Kent Street<sup>1</sup>. The deck will be removed to accommodate the one-story addition for the in-law apartment. Lauren Eramo's parents will live in the in-law apartment.

The garage is located at the southwestern corner of the Property and measures 360 square feet. The age of the garage is unknown; it appears on the 1924 Assessor's Map but is not on the 1900 Assessor's Map.

The Property, Residence, and garage are pre-existing, nonconforming as noted below and will require a special permit for nonconformities. The Applicants will also require a special permit for an in-law apartment.

Finally, the proposed project is in the process of review by the Historical Commission under the Demolition Delay Ordinance ("DDO") related to the roof line change and removal of the garage structure.

---

<sup>1</sup> Currently there is a fence at the end of the drive. However, even if the fence were gone, given the narrowness of the lot and the location of the rear deck, it could not be seen from Kent Street.

---

*Millis Office*  
730 Main Street, Suite 1F  
Millis, MA 02054  
Phone 508.376.8400

## Special Permit for Nonconformities

The Applicants require a special permit for nonconformities pursuant to Section IX.B.2.A of the Ordinance, for the Residence, and Section IX.B.2.B for the garage. The Property is a pre-existing, nonconforming lot for lot area, frontage, and lot coverage. The R2 district requires 90 feet of frontage and a minimum area of 10,000 square feet; the Property has 50 feet of frontage and an area of 5,488 square feet. The lot coverage is 27.4%, while the R2 district allows a maximum lot coverage of 25%. The Residence is a pre-existing, nonconforming structure for front setback and one side yard setback. The R2 district requires a front yard setback of 25 feet; the Residence has a front yard setback of 6.0 feet, which will remain unchanged. The minimum side yard setback in the R2 district is 10 feet; the side yard setback on the eastern side of the Residence is 2.6 feet and will remain unchanged.

Under the proposed project, the one-story addition will result in a 25.2 foot rear setback, in compliance with the Ordinance but will extend the easterly side yard non-conforming setback. Finally, the garage is a pre-existing, nonconforming accessory structure for rear yard setback. Pursuant to Section VI-F of the Ordinance, an accessory structure that is smaller than 22' x 24' must be located a minimum of 6 feet from any side or rear lot line. The garage has a rear setback of 1.9 feet. The proposed shed will improve this condition with a rear setback of 2.6 feet. The height of the proposed shed, 12.6 feet, complies with the height requirement in Section VI-F for an accessory structure.

Section IX-B.2.A allows for the modification of a pre-existing nonconforming single-family structure where the Board finds that:

- 1. there will be no addition of a new nonconformity; and**
- 2. the proposed change will not be substantially more detrimental to the neighborhood than the preexisting nonconforming structure.**

1. There will be no new nonconformity created by the project.
2. The one-story addition will not be substantially more detrimental to the neighborhood. The addition will not be viewable from the street view in front of the Residence, as shown on the attached elevations. While the non-conforming side yard setback will be extended said extension will move away from the side line given the angle of the eastern property line. Further, the architectural style of the addition is in keeping with the rest of the Residence. The increase in lot coverage is minimal at 6.2%. Despite the increase in lot coverage, the resulting open space of 56.2% far exceeds the minimum 40% required under the Ordinance. The lot coverage is also comparable to the lot coverages on other single-family properties along Kent Street and the minimal increase in lot coverage on the Property is not substantially more detrimental.

Section IX-B-2.B allows the alteration of a structure (the garage) where the Board makes the following findings:

- 1. That there will be no intensification or extension of an existing nonconformity or the addition of a new nonconformity; and**
- 2. That the proposed change will not be substantially more detrimental to the neighborhood than the existing nonconforming structure or use.**

1. As is shown on the site plan, the proposed shed will not result in the addition of a new nonconformity and it will not intensify any existing nonconformity. The proposed shed at 12' x 20', as compared to 18'

x 20', will be smaller than the existing garage and in compliance with the maximum allowable square footage for accessory structures. Additionally, the nonconforming rear yard setback of 1.9 feet will be improved; the rear setback for the new shed will be 2.6 feet. The height, at 12.6', is also in compliance.

2. The demolition of the garage and replacement with a smaller shed in the same location poses no detriment to the neighborhood. Further, the increase in the rear yard setback is an improvement as the proposed shed will be more in compliance with the Ordinance than the existing garage.

### **Special Permit for In-law Apartment**

The proposed one-story addition is for an in-law apartment in which Applicant Lauren Eramo's parents will reside. As such, the Applicants require a special permit for the in-law apartment.

An In-Law use is allowed in accordance with section XIIA of the Ordinance with a Special Permit from the Board based upon the criteria set forth therein as follows:

- (a) The in-law apartment is occupied by parents, grandparents, children or grandchildren, by blood or by marriage.
  - i. *The in-law apartment will be occupied by Applicant Lauren Eramo's parents.*
- (b) Dimensional requirements of the zoning ordinance are otherwise met for an attached unit or for new construction.
  - i. *The Property and the Residence are pre-existing, nonconforming and will therefore require a Special Permit for Nonconformities. The proposed new construction for the one-story in-law apartment at the rear of the Residence will comply with the rear yard setback criteria, but will extend the side yard setback nonconformity on the eastern side of the Property. Assuming relief is granted this criteria will be fulfilled.*
- (c) The gross floor area of the in-law apartment shall not exceed nine hundred (900) square feet. All new construction or additions to existing residential structures shall not to exceed seven hundred (700) square feet.
  - i. *The gross floor area of the in-law apartment is 561 square feet and the square footage of new construction is 561 square feet, both in compliance with subsection c.*
- (d) The zoning board of appeals may impose reasonable conditions granting a special permit, including the number of parking spaces (except that there shall be a minimum of one (1) additional space for the in-law unit).
  - i. *There is sufficient parking for at least 3 vehicles.*
- (e) Safety, health and building codes are met.
  - i. *All building codes will be met.*
- (f) In order to become effective, the special permit granted under this section shall be recorded at the Essex South District Registry of Deeds and a copy of the recorded permit shall be provided to the

inspector of buildings, who shall issue a certificate of occupancy if he finds compliance with this section.

*i. The permit will be recorded should it be granted.*

(g) In the eleventh and twenty-third months following the grant or renewal of a special permit hereunder, the homeowner shall certify, under the pains and penalties of perjury, that paragraph (a) herein is still being complied with; and shall file this certification with the building inspector and the zoning board of appeals.

*i. The Applicant will comply with this requirement as set forth in the Ordinance.*

(h) The special permit shall expire:

- (1) If the certification is not filed pursuant to (g) herein;
- (2) If the in-law apartment ceases to be occupied as provided for herein; or
- (3) At the expiration of three (3) years from its granting unless the zoning board of appeals shall renew it upon application.

*i. The Applicant agrees with these terms.*

(i) Where new kitchens/kitchen appliances have been added, they shall be removed within six (6) months of the expiration of the special permit, and the building inspector shall report such removal to the zoning board of appeals.

*i. The Applicant agrees with these terms.*

(j) The zoning board of appeals may order an inspection of the premises for compliance hereunder at any time upon reasonable written notice to the homeowner.

*i. The Applicant agree with this term.*

As a result, having demonstrated that the proposed one-story addition to the Residence and the demolition of the garage to construct a smaller shed are not substantially more detrimental to the neighborhood than the preexisting, nonconforming structures, the Board can grant the Applicants' request for a Special Permit for Nonconformities. Having also demonstrated that the Board can grant the requested relief to allow the Applicants to construct the addition for an in-law apartment which satisfies the criteria of Section XIIA of the Ordinance, the Applicants respectfully requests the Board grant a Special Permit for an In-Law Apartment.

Respectfully submitted  
Lauren Eramo and Amy Rasimas  
By their Attorney

  
Lisa L. Mead

Attachment  
cc: client



ZONING DETERMINATION

Name: Lauren Eramo and Amy Rasimas c/o Lisa Mead, MTC LLC

Address: 49 Kent Street

Zoning District(s): R2/DCOD

Request: Construct a 524 sf addition of an In-law unit attached to a single family residence extending a non conforming side yard setback and lot coverage. Demolish existing barn that may be considered historic under demo delay due to age and reconstruct new shed in same location.

ZONING BOARD REVIEW REQUIRED

Variance

- Dimensional Controls (VI)
Lot Area, Open Space, Front Yard, Lot Frontage, Height, Side Yard, Lot Coverage, Lot Width, Rear Yard, Parking (VII), Modification

Sign Variance

- Signs (VIII)
Type, Size, Lighting, Location

Other

Special Permit

- Table of Use Regulations (V.D) #, Spacing (VI.D), In-Law Apartment (XIIA), Bonus for Multifamily Developments (XVI), Personal Wireless Communication Services (XX), Demolition Control Overlay District (XXVIII)\*, Wind Energy Conversion Facilities (XXVI), Other

Special Permit for Non-Conformities

- Extension or Alteration (IX.B.2)
Parking, Rear Yard, Upward Extension, Lot Coverage, Open Space, Side Yard, Height, Lot Frontage, Lot Area, Front Yard, Use, Over 500 sf. increase (IX.B.3.c), Plum Island Overlay District (XXI-G-3), FAR, Height, Lot Coverage, Setbacks, Open Space

PLANNING BOARD REVIEW REQUIRED

Special Permit

- Table of Use Regulations (V-D) #, One residential structure per lot (VI.C), Open Space Residential Development (XIV), Water Resource Protection District (XIX), Federal Street Overlay District (XXII), Courts and Lanes (XXIII), Waterfront West Overlay District (XXIV), Towle Complex Redev. Overlay District (XXV), Downtown Overlay District (XXVII)\*, Other

Special Permit for Non-Conformities

- Extension or Alteration (IX.B.2)
Parking, Rear Yard, Upward Extension, Lot Coverage, Open Space, Side Yard, Height, Lot Frontage, Lot Area, Front Yard, Use, Over 500 sf. increase (IX.B.3.c)

Site Plan Review (XV)

- Major, Minor

Smart Growth District (XXIX)

- Plan Approval

HISTORICAL COMMISSION REVIEW REQUIRED

- Demo. Delay, \*Advisory Review
1 - FOR MAIN STRUCTURE 1 - FOR ACCESSORY STRUCTURES

CONSERVATION COMMISSION REVIEW REQUIRED

sidewalk and street tree review required

Signature of Jennifer Chubb, Newburyport Zoning Administrator, Date 12/5/2019

# 49 KENT ST

**Location** 49 KENT ST

**MBLU** 51/ 2/ / /

**Owner** RASIMAS AMY S

**Assessment** \$599,800

**PID** 3370

**Building Count** 1

## Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$381,300	\$218,500	\$599,800

## Owner of Record

**Owner** RASIMAS AMY S  
**Co-Owner** LAUREN M ERAMO T/E  
**Address** 49 KENT ST  
 NEWBURYPORT, MA 01950

**Sale Price** \$0  
**Certificate**  
**Book & Page** 35397/0298  
**Sale Date** 10/28/2016  
**Instrument** 1F

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
RASIMAS AMY S	\$0		35397/0298	1F	10/28/2016
WALTON PATRICIA M	\$0		35397/0296	1F	10/28/2016
RASIMAS AMY S	\$140,000		13715/0032	00	08/19/1996
RASIMAS AMY S	\$0		P96P0713ADI		08/16/1996
DOBSON MYRON K-JACQUELINE T/E	\$0		5721/ 117		10/23/1970

## Building Information

**Year Built:** 1800  
**Living Area:** 2,132

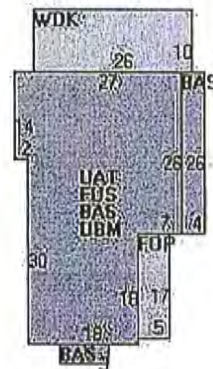
Building Attributes	
Field	Description
Style	Antique
Model	Residential
Stories:	2 Stories
Occupancy	1
Exterior Wall 1	Vinyl Siding
Exterior Wall 2	
Roof Structure:	Gable/Hip
Roof Cover	Slate
Interior Wall 1	Plastered
Interior Wall 2	
Interior Flr 1	Pine/Soft Wood
Interior Flr 2	Hardwood
Heat Fuel	Oil
Heat Type:	Steam
AC Type:	None
Total Bedrooms:	3 Bedrooms
Total Bthrms:	1
Total Half Baths:	1
Total Xtra Fixtrs:	
Total Rooms:	8 Rooms
Bath Style:	Average
Kitchen Style:	Average

**Building Photo**



(<http://images.vgsi.com/photos/NewburyportMAPhotos//\00\00\23\32.jpg>)

**Building Layout**



([http://images.vgsi.com/photos/NewburyportMAPhotos//Sketches/3370\\_3517.jpg](http://images.vgsi.com/photos/NewburyportMAPhotos//Sketches/3370_3517.jpg))

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1,130	1,130
FUS	Upper Story, Finished	1,002	1,002
FOP	Porch, Open	85	0
UAT	Attic	1,002	0
UBM	Basement, Unfinished	1,002	0
WDK	Deck, Wood	260	0
		4,481	2,132

Extra Features	<u>Legend</u>
No Data for Extra Features	

**Land**

**Land Use**

**Use Code** 1010  
**Description** SINGLE FAM

**Land Line Valuation**

**Size (Acres)** 0.12  
**Depth** 0  
**Assessed Value** \$218,500

**Outbuildings**

Outbuildings						<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
FGR1	GARAGE-AVE			360 S.F.	\$2,500	1

**Valuation History**

Assessment			
Valuation Year	Improvements	Land	Total
2018	\$354,300	\$208,100	\$562,400



**ZONING**

RESIDENTIAL (R-2)  
SINGLE-FAMILY (101)

	REQUIRED (SINGLE-FAMILY - 101)	EXISTING (SINGLE-FAMILY - 101)	PROPOSED (SINGLE-FAMILY - 101)
MINIMUM LOT AREA	10,000 SQUARE FEET	5,488 SQUARE FEET	5,488 SQUARE FEET
MINIMUM FRONTAGE	90 FEET	50.00 FEET	50.00 FEET
FRONT SETBACK	25 FEET	6.0 FEET	6.0 FEET
SIDE SETBACK (R)	10 FEET	2.6 FEET	2.6 FEET
SIDE SETBACK (L)	6 FEET (ACCESSORY)	6.5 FEET	6.5 FEET
REAR SETBACK	10 FEET	17.2 FEET	17.2 FEET
	25 FEET	51.2 FEET	25.2 FEET
	6 FEET (ACCESSORY)	1.9 FEET	2.6 FEET
MAXIMUM LOT COVERAGE (%)	25%	27.4%	33.6%
MAXIMUM HEIGHT	35 FEET	24 FEET	24 FEET
MINIMUM OPEN SPACE	40%	58.0%	56.2%
MINIMUM PARKING	2	2+	2+

ON-LINE ZONING ORDINANCES  
CITY OF NEWBURYPORT WEBSITE  
<http://www.cityofnewburyport.com/Planning/Index.html>  
PLANNING DEPARTMENT - MAIN PHONE 978-465-4400

INFORMATION REGARDING ZONING, INCLUDING PARKING ABOVE, SHOWN HEREON IS NOT INTENDED TO BE A DEFINITIVE ZONING OPINION AND IS FOR INFORMATIONAL PURPOSES ONLY. ALL INFORMATION SHOULD BE VERIFIED BY LEGAL COUNSEL PRIOR TO RELIANCE UPON THE SAME.


**NOTES**

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING BUILDING AND PROPOSED RECONSTRUCTION OF THE SAME ON THE LOCUS PROPERTY. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED JULY 15 & 16, 2019 BY THIS FIRM.

ARCHITECTURAL PLANS HAVE BEEN UTILIZED FOR BUILDING ADDITION DETAILS.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF NEWBURYPORT ASSESSOR'S OFFICES.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

P.L.S.   
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41763

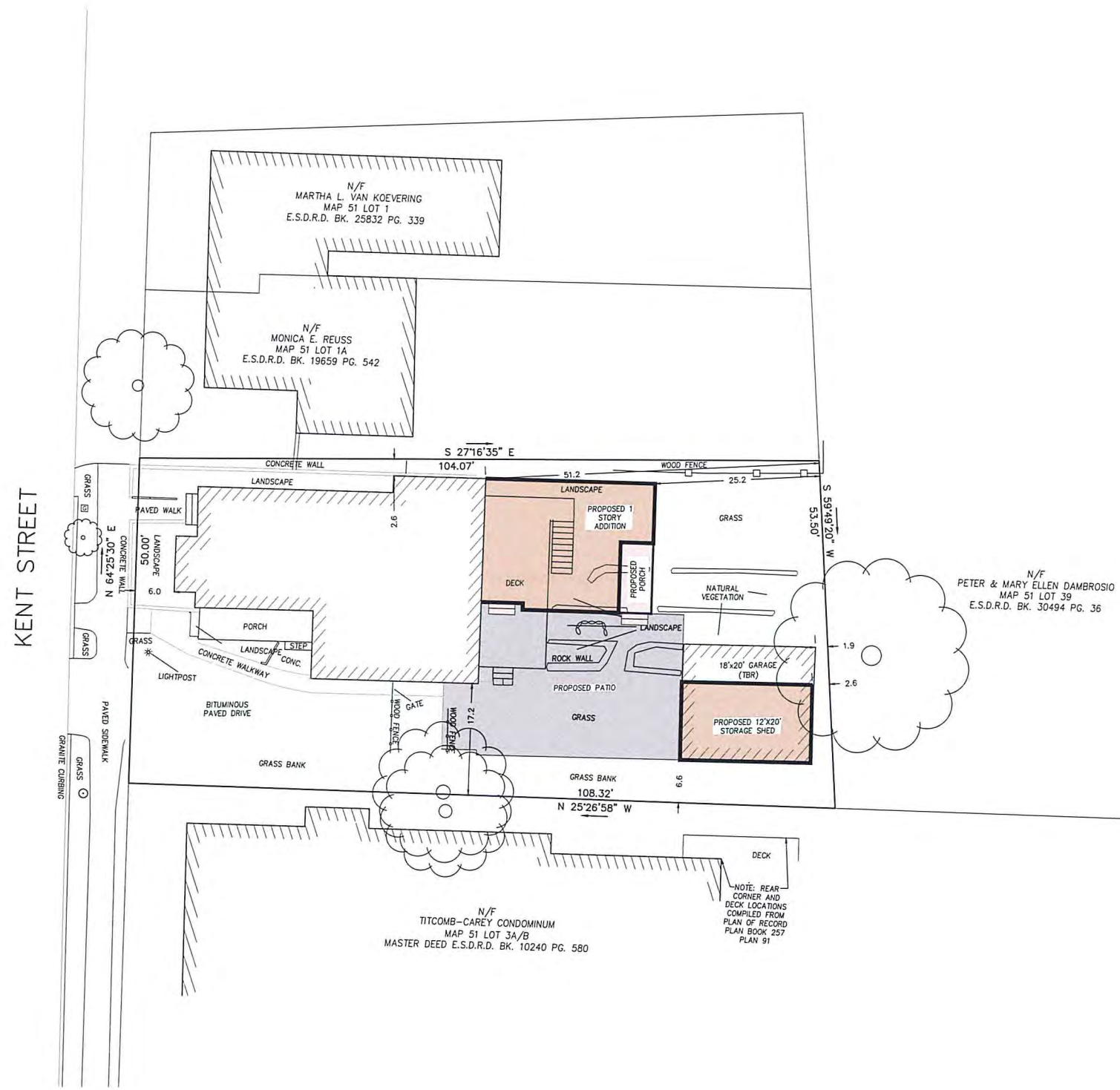
**LOCUS TITLE INFORMATION**

49 KENT STREET

OWNER: AMY S. RASIMAS & LAUREN M. ERAMO

DEED REFERENCE: BK. 35397 PG. 298

ASSESSORS: MAP 51 LOT 2



Copyright 2019 Winter GEC, LLC

Winter GEC, LLC

44 MERRIMAC STREET  
NEWBURYPORT, MA 01950  
978-270-8626

NO.	DATE	BY	REVISIONS

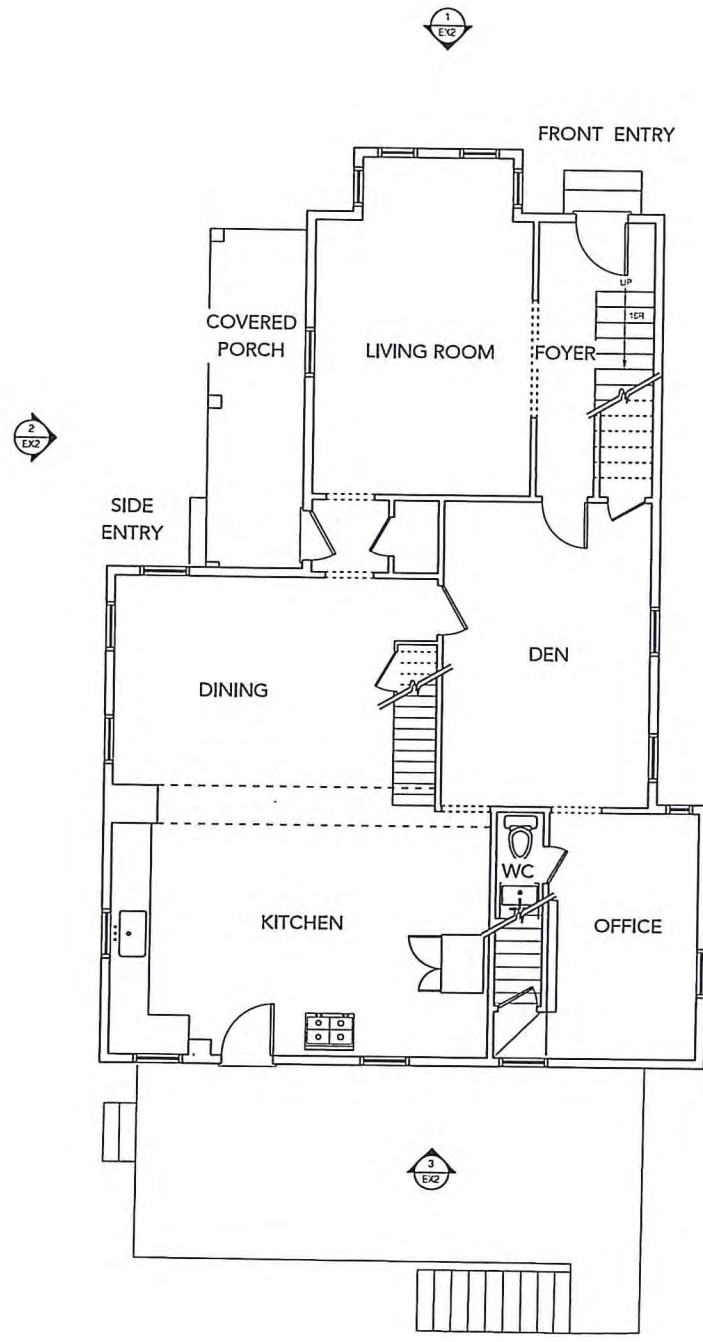
FIELD: CO  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

ZONING BOARD OF APPEALS  
PLAN

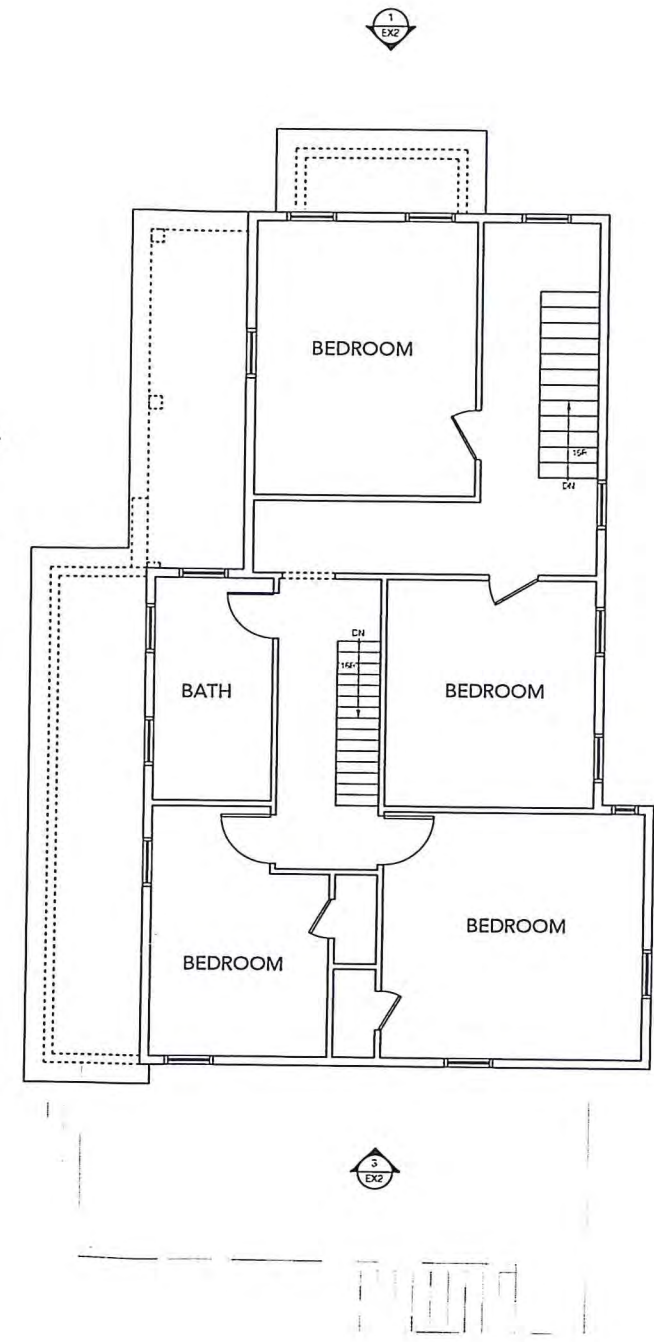
49 KENT STREET

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
AMY S. RASIMAS & LAUREN M. ERAMO

PROJECT NO.  
2019-49KENT  
DATE: NOV. 20, 2019  
SHEET NO.  
1 OF 1



1 First Floor Plan  
SCALE: 1/8" = 1'-0"



2 Second Floor Plan  
SCALE: 1/8" = 1'-0"

project:  
**ERAMO/RASIMAS  
RESIDENCE**

49 Kent Street  
Newburyport, MA

architect:  
**GRAF  
ARCHITECTS**  
2 Liberty Street  
Newburyport, MA  
01950  
T. 978 499 9442  
www.grafvch.com

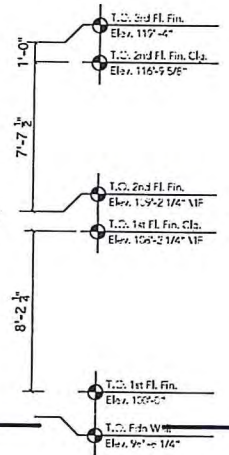
title:  
**EXISTING  
Floor Plans**

SCALE: 1/8" = 1'-0"  
14 november 2019

EX1



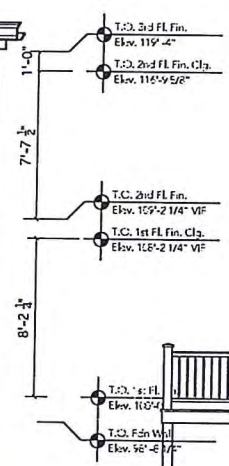
① Exterior Elevation - FRONT  
SCALE: 1/8" = 1'-0"



② Exterior Elevation - SIDE  
SCALE: 1/8" = 1'-0"



③ Exterior Elevation - REAR  
SCALE: 1/8" = 1'-0"



④ Exterior Elevation - SIDE  
SCALE: 1/8" = 1'-0"

project:  
**ERAMO/RASIMAS  
RESIDENCE**

49 Kent Street  
Newburyport, MA

architect:

**GRAF  
ARCHITECTS**  
2 Liberty Street  
Newburyport, MA  
01950  
T. 978 499 9442  
www.grafvch.com

title:

**EXISTING  
Exterior Elevations**

SCALE: 1/8" = 1'-0"

14 november 2019

**EX2**

project

# ERAMO:RASIMAS RESIDENCE

49 Kent Street  
Newburyport, MA

architect:

**GRAF ARCHITECTS**  
2 Liberty Street  
Newburyport, MA  
01950  
T. 978 499 9442  
www.grafarch.com

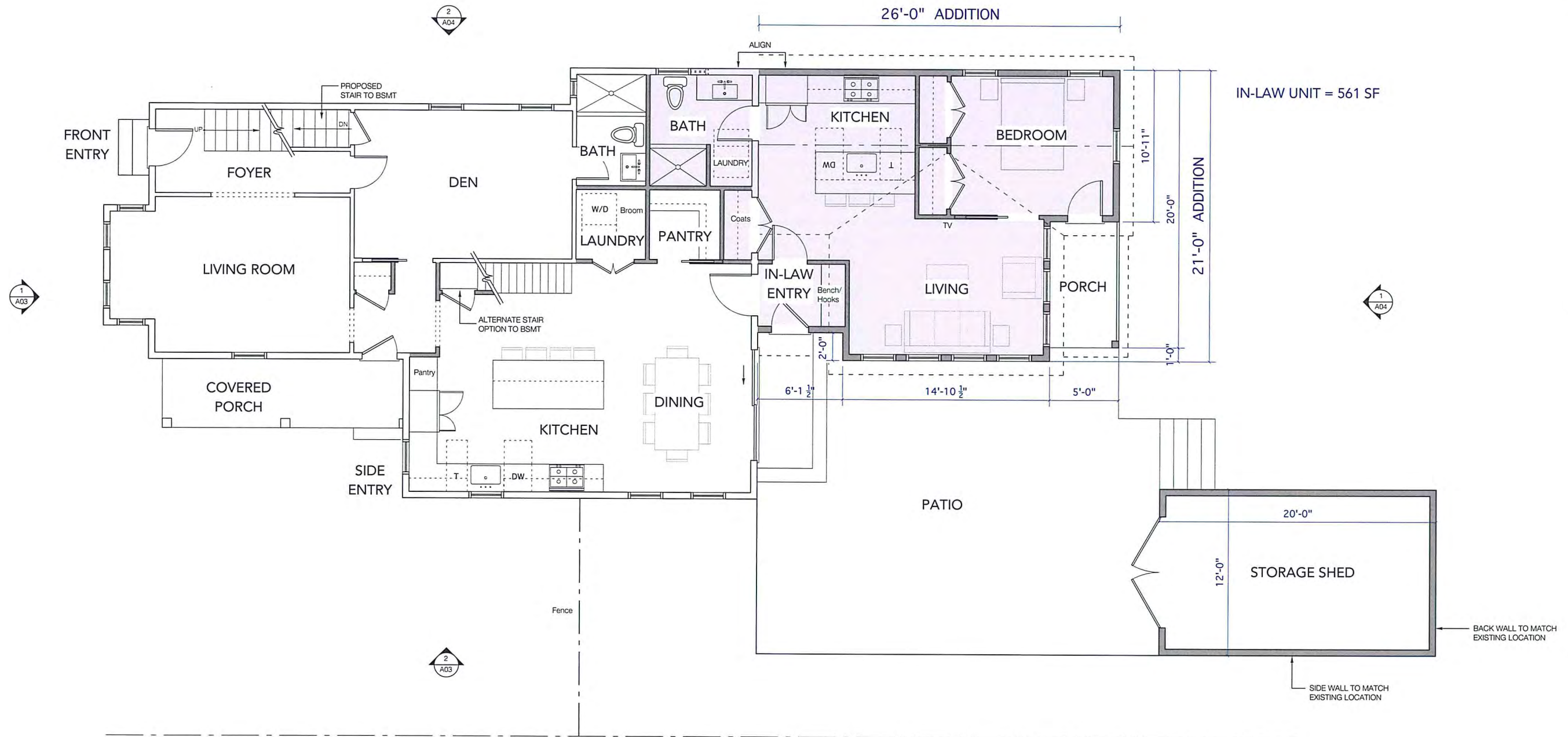
title:

**PROPOSED  
First Floor Plan**

SCALE: 1/8" = 1'-0"

14 november 2019

A01

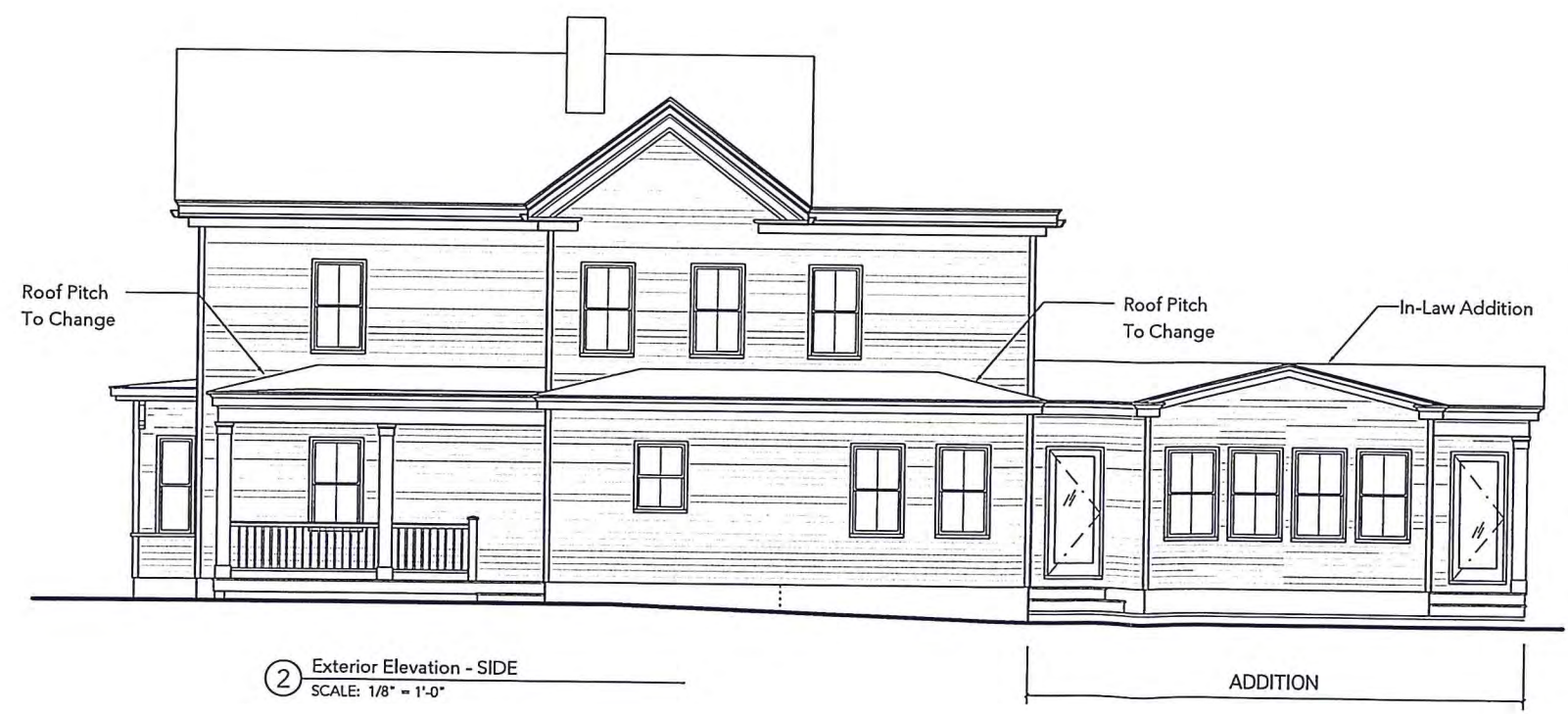


1 First Floor Plan  
SCALE: 1/8" = 1'-0"





① Exterior Elevation - FRONT  
SCALE: 1/8" = 1'-0"



② Exterior Elevation - SIDE  
SCALE: 1/8" = 1'-0"

project:  
**ERAMO/RASIMAS  
RESIDENCE**

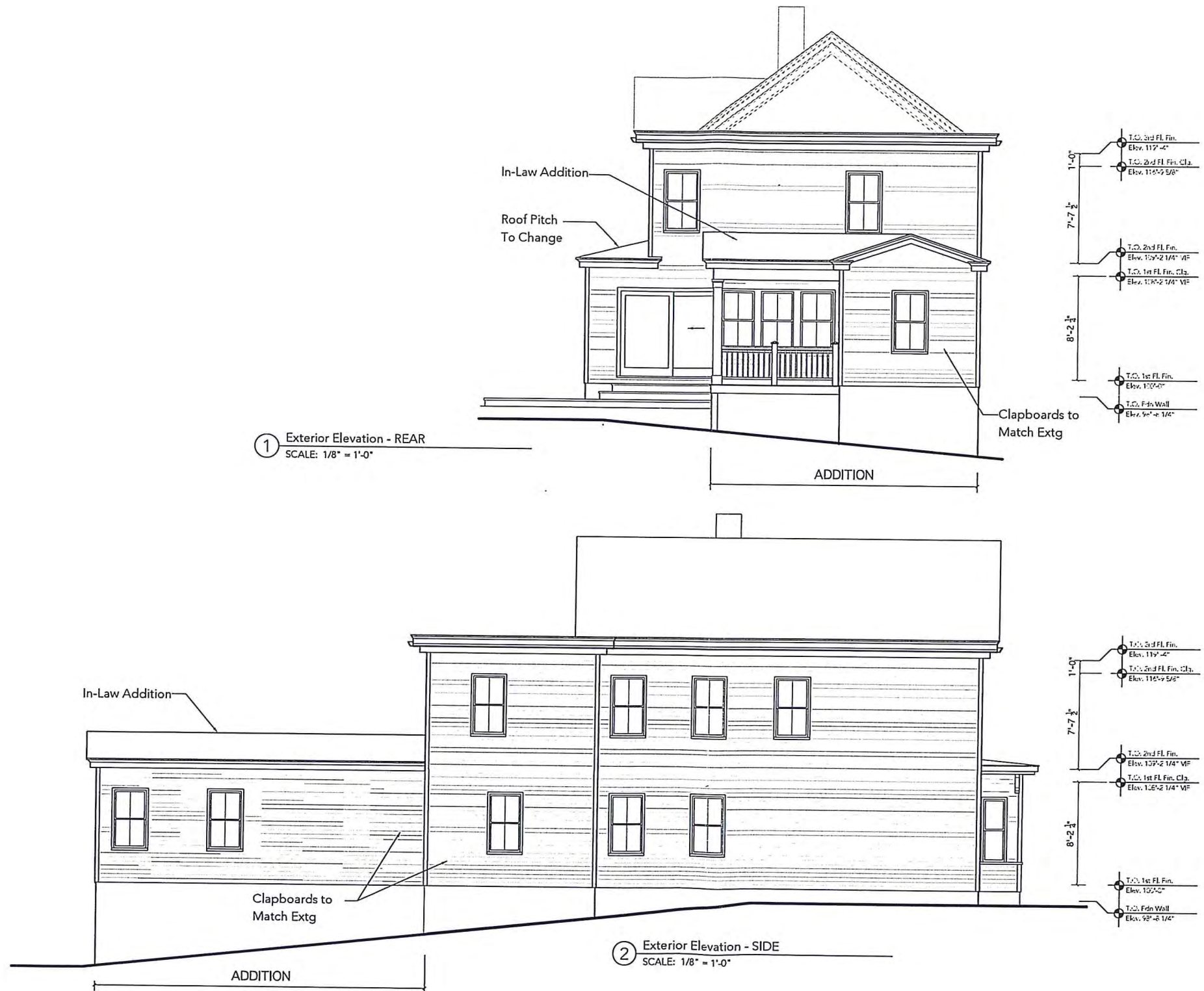
49 Kent Street  
Newburyport, MA

architect:  
**GRAF  
ARCHITECTS**  
2 Liberty Street  
Newburyport, MA  
01950  
T. 978 499 9442  
www.grafcd.com

title:  
**PROPOSED  
Exterior Elevations**

SCALE: 1/8" = 1'-0"  
14 november 2019

A02



project:

# ERAMO/RASIMAS RESIDENCE

49 Kent Street  
Newburyport, MA

architect:

GRAF  
ARCHITECTS  
2 Liberty Street  
Newburyport, MA  
01950  
T. 978 499 9442  
www.grafvdc.com

title:

PROPOSED  
Exterior Elevations

SCALE: 1/8" = 1'-0"

14 november 2019

A03

project:  
**ERAMO:RASIMAS  
 RESIDENCE**

49 Kent Street  
 Newburyport, MA

architect:

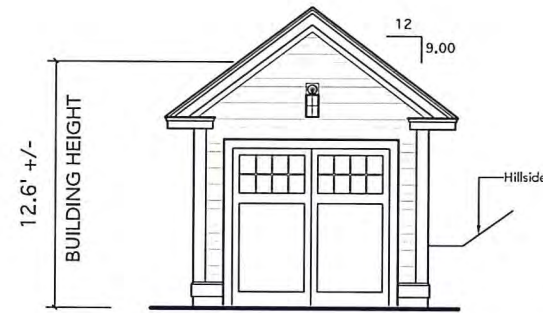
**GRAF  
 ARCHITECTS**  
 2 Liberty Street  
 Newburyport, MA  
 01950  
 T. 978.499.9442  
 www.grafarch.com

title:

**Proposed Garage  
 Exterior Elevations**

SCALE: 1/8" = 1'-0"  
 14 november 2019

**G01**



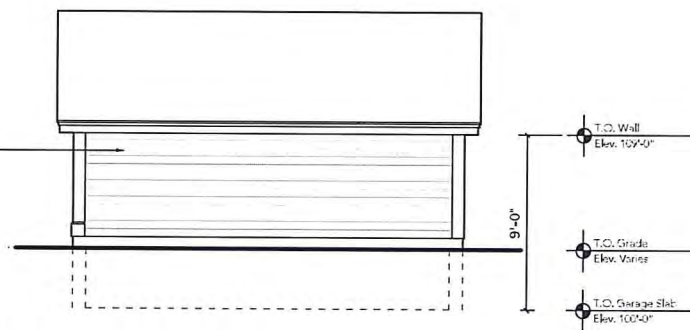
⑤ Exterior Elevation - FRONT  
 SCALE: 1/8" = 1'-0"



⑥ Exterior Elevation - SIDE  
 SCALE: 1/8" = 1'-0"



⑦ Exterior Elevation - REAR  
 SCALE: 1/8" = 1'-0"



⑧ Exterior Elevation - SIDE  
 SCALE: 1/8" = 1'-0"