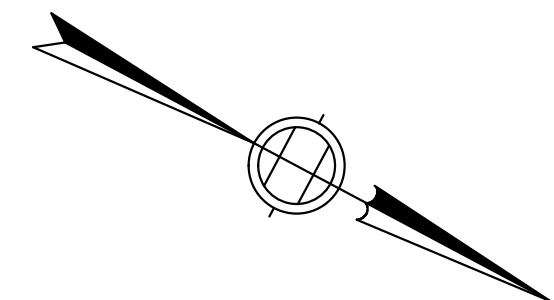
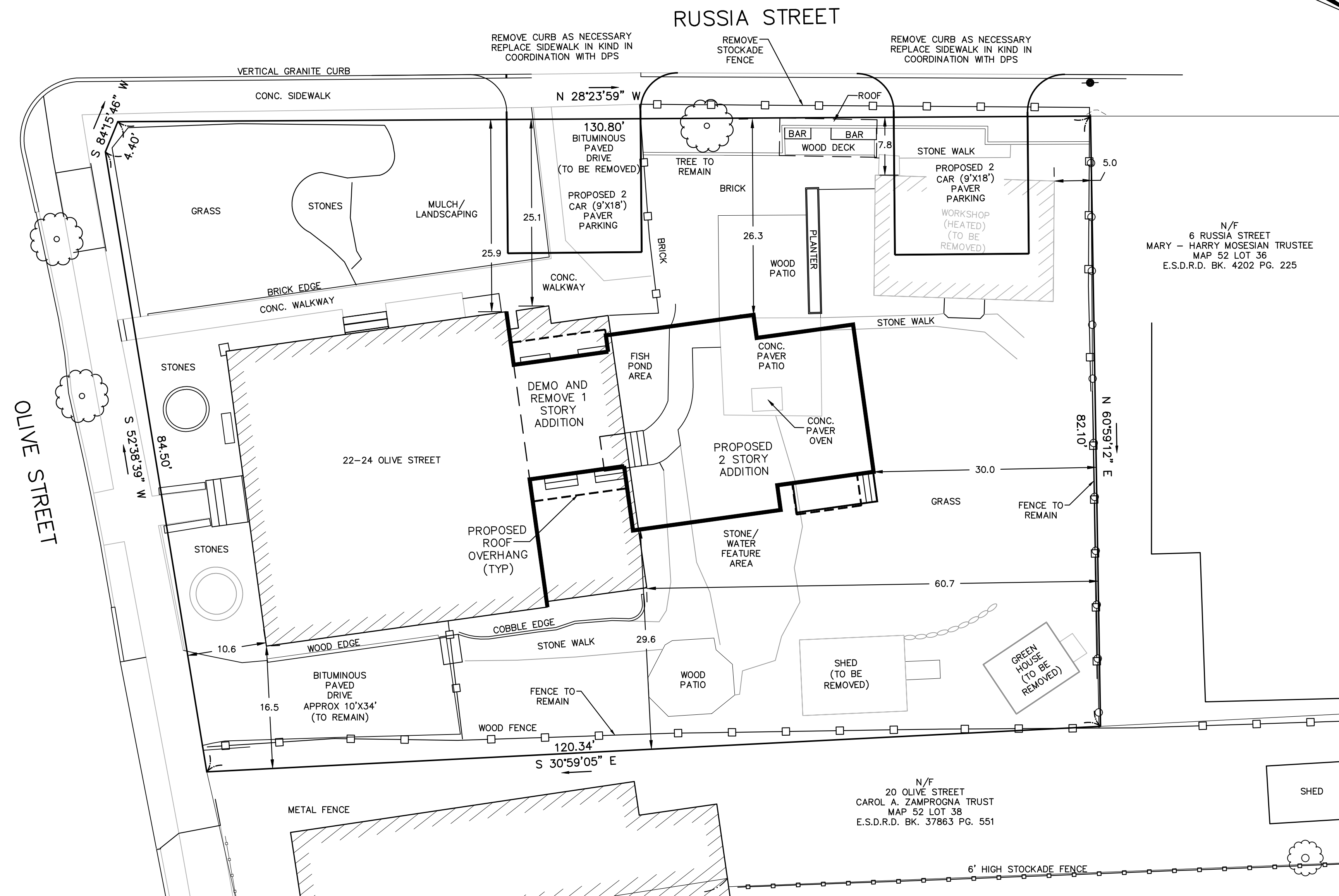


**22-24 Olive Street,
Newburyport**

Application for
Special Permit for Non-Conformities
January 11, 2022



Mead, Talerman & Costa, LLC
Attorneys at Law



ZONING

	REQUIRED (TWO-FAMILY - 102)	EXISTING (TWO-FAMILY - 102)	PROPOSED (TWO-FAMILY - 102)
MINIMUM LOT AREA	15,000 SQUARE FEET	10,758 SQUARE FEET	10,758 SQUARE FEET
MINIMUM LOT FRONTAGE	120 FEET	219.70 FEET	219.70 FEET
FRONT SETBACK	25 FEET	25.1 FEET	25.9 FEET
SIDE (FRONT) SETBACK (R)	25 FEET	10.6 FEET	10.6 FEET
SIDE SETBACK (L)	20 FEET	60.7 FEET	29.0 FEET
REAR SETBACK	25 FEET	16.5 FEET	16.5 FEET
MAXIMUM LOT COVERAGE(%)	25.0%	24.7%	24.5%
MAXIMUM HEIGHT	35 FEET	24.7 FEET	24.6 FEET
MINIMUM OPEN SPACE	40.0%	67.8%	65.3%
MINIMUM PARKING REQUIRED	4	2	5

ON-LINE ZONING ORDINANCES
CITY OF NEWBURYPORT WEBSITE
<http://www.cityofnewburyport.com/Planning/index.html>
PLANNING DEPARTMENT - MAIN PHONE 978-465-4400

INFORMATION REGARDING ZONING, INCLUDING PARKING ABOVE, SHOWN HEREON IS NOT INTENDED TO BE A DEFINITIVE ZONING OPINION AND IS FOR INFORMATIONAL PURPOSES ONLY. ALL INFORMATION SHOULD BE VERIFIED BY LEGAL COUNSEL PRIOR TO RELIANCE UPON THE SAME.

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING BUILDING AND PROPOSED ADDITION TO THE SAME ON THE LOCUS PROPERTY. THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN APRIL 14, 2021 BY THIS FIRM.

ELEVATIONS ARE BASED ON AN ASSUMED DATUM.

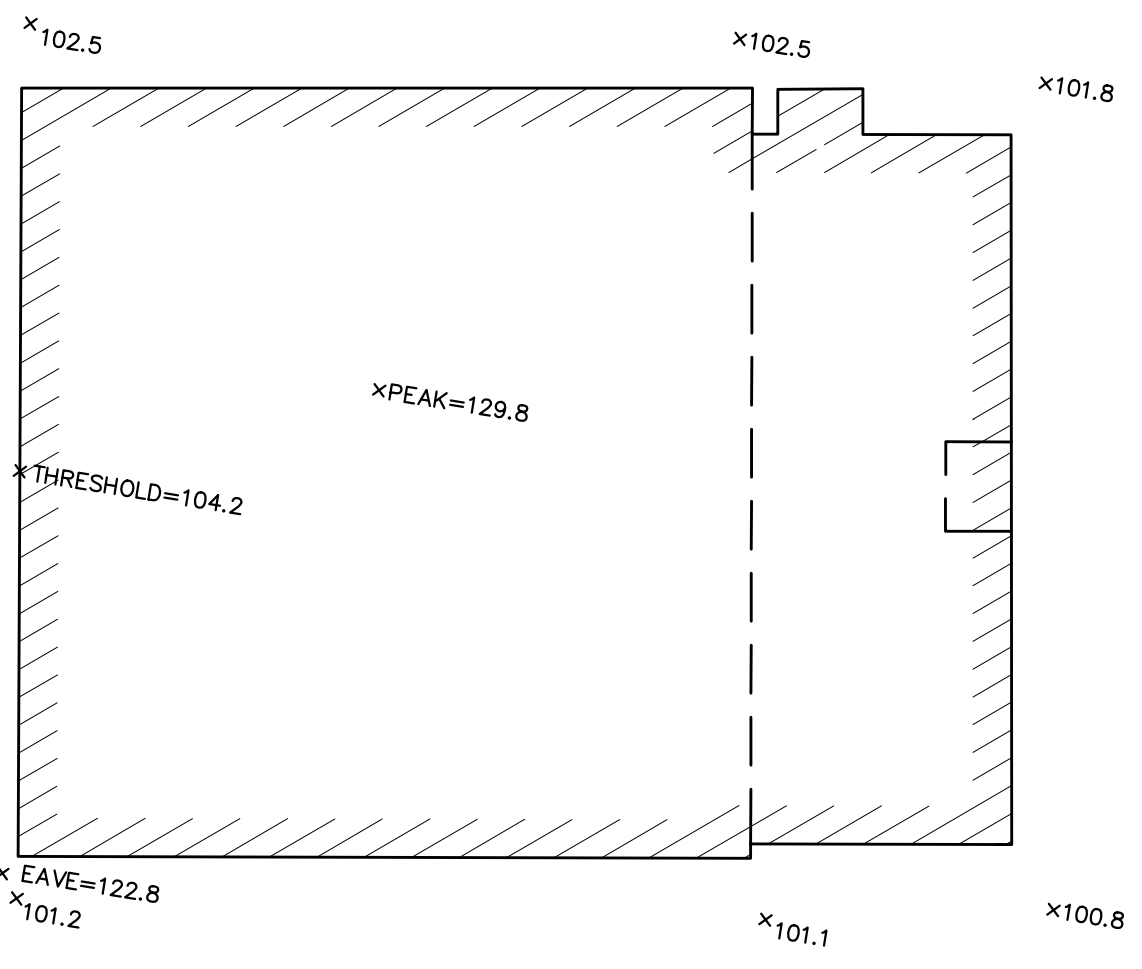
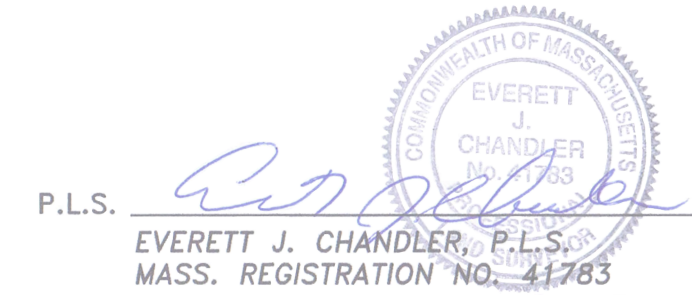
DESIGN INFORMATION IS AS PROVIDED BY THE CLIENT.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF NEWBURYPORT ASSESSOR'S OFFICES.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

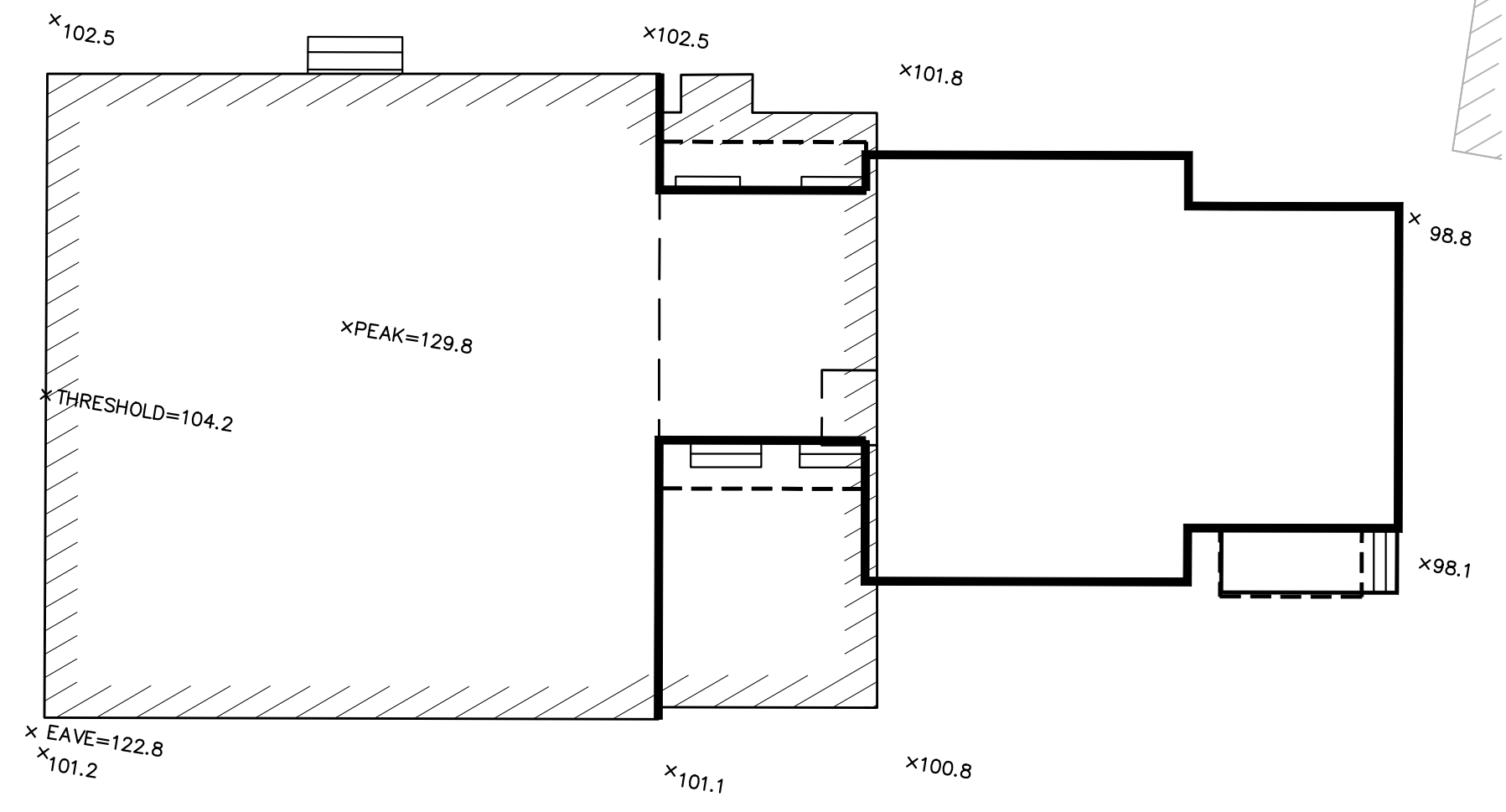
LOCUS TITLE INFORMATION

22-24 OLIVE STREET
OWNER: 22-24 OLIVE STREET LLC
DEED REFERENCE: BK. 39775 PG. 380
ASSESSORS: MAP 52 LOT 37

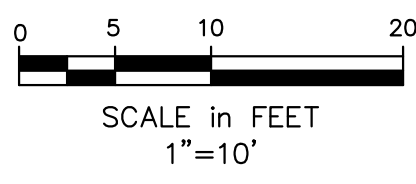


EXISTING BUILDING

Building Height Calculations		
	Existing	Proposed
Building Height	24.7	25.5
Grades Used In Calculation		
	102.5	102.5
	102.5	102.5
	101.8	101.8
	100.8	100.8
	101.1	101.1
	101.2	101.2
		98.8
		98.1
Average Grade	101.7	100.9
Ridge Grade	129.8	129.8
Eave Grade	122.8	122.8
Mean Roof Grade	126.3	126.3



EXISTING BUILDING WITH ADDITION



Copyright 2021 Winter GEC, LLC

<p>Winter GEC, LLC</p> <p>44 MERRIMAC STREET NEWBURYPORT, MA 01950 978-270-8626</p>	<p>SCALE:</p> <p>HORIZ: 1"= 10'</p> <p>VERT: _____</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> <tr> <td>1</td> <td>9/14/21</td> <td>EJC</td> <td>UPDATED FOOTPRINT AS PROVIDED</td> </tr> </table>	NO.	DATE	BY	REVISIONS	1	9/14/21	EJC	UPDATED FOOTPRINT AS PROVIDED	<p>FIELD: <u>CO/EC</u></p> <p>CALCS: <u>EC</u></p> <p>CHECKED: <u>EJC</u></p> <p>APPROVED: <u>EJC</u></p>	<p>ZONING PLAN</p> <hr/> <p>22-24 OLIVE STREET</p>	<p>PLAN OF LAND IN NEWBURYPORT, MASSACHUSETTS SURVEYED FOR SARKIS DEVELOPMENT COMPANY</p>	<p>PROJECT NO. 2021-22-24OLIVE</p> <p>DATE: JUN 28, 2021</p> <p>SHEET NO. 1 OF 1</p>
			NO.	DATE	BY	REVISIONS								
1	9/14/21	EJC	UPDATED FOOTPRINT AS PROVIDED											
<p>Copyright 2021 Winter GEC, LLC</p>														







Section IX(B)(2)(A) Criteria for Special Permit for Nonconformities:

Pre-existing nonconforming structures or uses may be extended or altered, upon the issuance of a special permit for nonconformities by the board of appeals, based on the following findings for single- and two-family residential structures or uses:

- (1) That there will be no addition of a new nonconformity; and**
- (2) That the proposed change will not be substantially more detrimental to the neighborhood than the preexisting nonconforming structure or use. The board of appeals may consider, among other relevant factors, the size, scale, massing, volume, and location of the proposed structure, extension or alteration as compared to:**
 - (a) The existing structure and lot;**
 - (b) Other structures and lots in the neighborhood.**

City of Newburyport

12/02/2021



Data Sources: Produced by Merrimack Valley Planning Commission (MVPC) using data provided by the City of Newburyport & MassIT/MassGIS. MVPC AND THE CITY OF NEWBURYPORT MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY, COMPLETENESS, RELIABILITY, OR SUITABILITY OF THESE DATA. THE CITY OF NEWBURYPORT AND MVPC DOES NOT ASSUME ANY LIABILITY ASSOCIATED WITH THE USE OR MISUSE OF THIS INFORMATION.



Legend

Municipal Boundary	Roads	Interstate	Major Road
Stream	Road Right of Way	Paved	Unpaved
	Intermittent Stream	Local Road	Parcels
		Hydrographic Features	Streams

DISTANCE BETWEEN BUILDINGS SHOWN THUS: "26"
BUILDINGS NUMBERS SHOWN THUS: " #22 "

