

NEWBURYPORT CROSSING AT PARKER ST

166-168 Newburyport Turnpike, Newburyport, MA 01950

ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
www.arrowstreet.com



Release Date SD	Release Date DD	Release Date CD	SHEET NUMBER	SHEET NAME
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	A1.11			NEIGHBORHOOD CONTEXT
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	A5.07			PERSPECTIVE VIEW
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PROJECT TEAM

OWNER
MINCO DEVELOPMENT CORPORATION
231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845
TEL: 978.687.6200

ARCHITECT
ARROWSTREET INC.
10 POST OFFICE SQ. STE 700N
BOSTON, MA 02109
TEL: 617.623.5555

CIVIL
THE MORIN-CAMERON GROUP, INC.
66 ELM STREET
DANVERS, MA 01923
TEL: 978.777.8586

LANDSCAPE
HALVORSON TIGHE & BOND STUDIO
25 KINGSTON STREET, 5TH FLOOR
BOSTON, MA 02111
TEL: 617.536.0380

TRAFFIC
VANASSE & ASSOCIATES INC.
35 NEW ENGLAND
BUSINESS CENTER DR STE 140
ANDOVER, MA 01810
TEL: 978.474.8800

STRUCTURAL

MEP/FP

ACOUSTICAL

SPECIFICATIONS

10/27/2021

CONCEPT DESIGN



CLIENT:

**MINCO
DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

**ARROWSTREET
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CONSULTANTS:

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ISSUANCE:

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DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**REGIONAL
CONTEXT**

Project No. 21039.00

Drawn By HS

Date 10/27/2021

Scale

DRAWING NUMBER:

A1.10



CLIENT:

**MINCO
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231 SUTTON STREET, SUITE 1B
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DRAWING TITLE:

**NEIGHBORHOOD
CONTEXT**

Project No. 21039.00

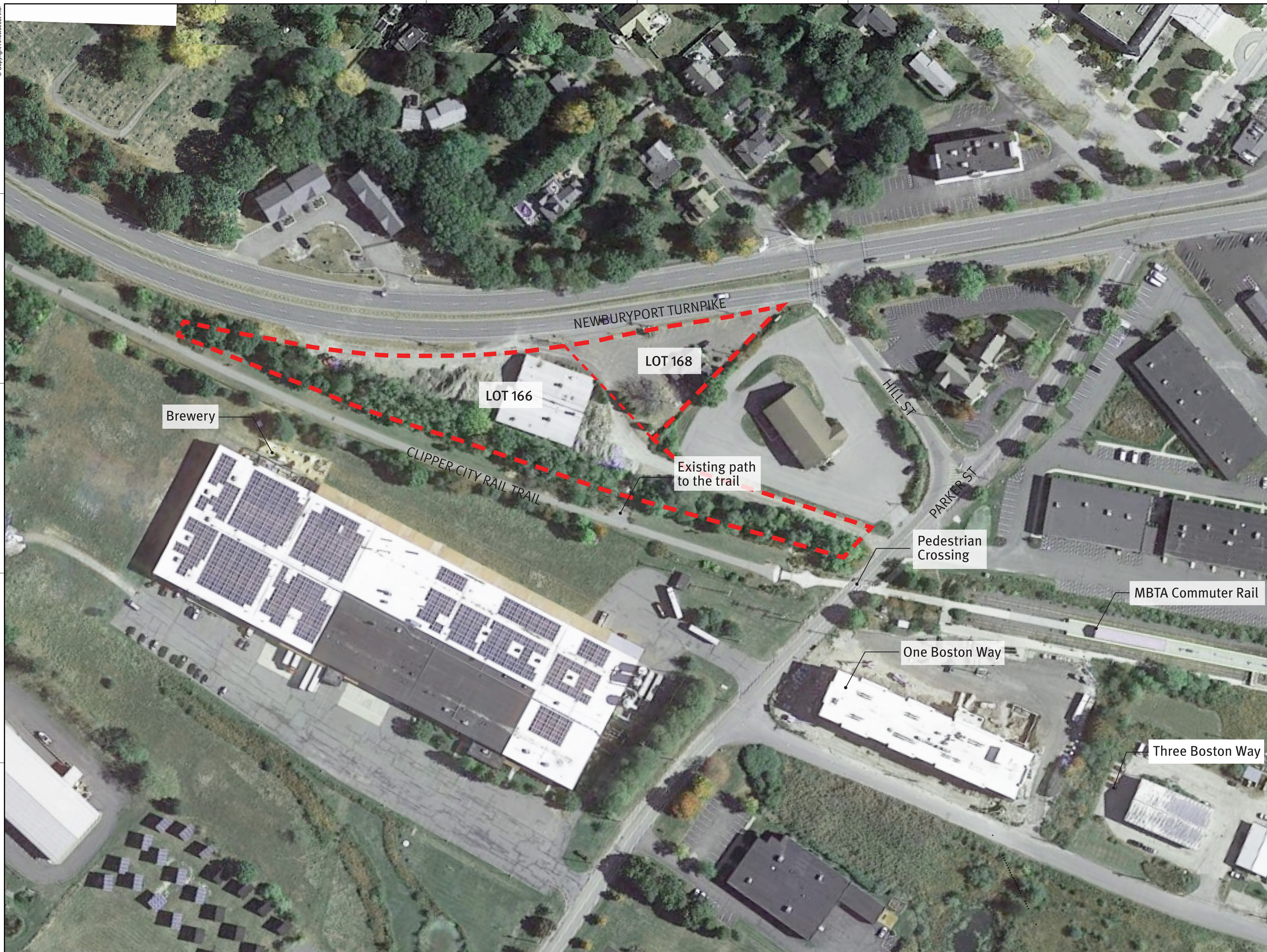
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DRAWING NUMBER:

A1.11



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SITE CONTEXT

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A1.12

ZONING & PROGRAM

ZONING	40 R SMART GROWTH DISTRICT (SUBDISTRICT A)	
	PROPOSED	REQUIRED
PROJECT SITE	107,656 SF (2.47 ACRES)	10,000 SF
BUILDING FOOTPRINT	32,000 SF	22,000 SF
BUILDING HEIGHT	35' - 45'	45' MAX
NUMBER OF STORIES	3 & 4	4 MAX
SETBACKS		
MIN. FRONTAGE	861.81' (ROUTE 1), 56.73' (PARKER)	40'
MIN. FRONT SETBACK	16'	NO REQUIREMENT
MAX FRONT SETBACK	16' (ROUTE 1), 3' (CCRT), 323' (PARKER)	10'
MIN. SIDE SETBACK	10'	NO REQUIREMENT
MIN. REAR SETBACK	10'	10'
UNDEVELOPED AREA	25%	20%
VEHICLE PARKING	78 COVERED PARKING 53 UNCOVERED PARKING	
TOTAL	131 SPACES	108 SPACES REQUIRED

PROGRAM	94 NEW DWELLING UNITS
RESIDENTIAL USES	7,000 SF LOBBY & AMMENITY SPACES
OTHER USES	800 SF RETAIL
BICYCLE PARKING	40 SPACES
UNIT MIX	UNITS AFFORD. (25%)
STUDIO	25 UNITS (27%) 7
1 BR	29 UNITS (31%) 8
2 BR	29 UNITS (31%) 7
3 BR	11 UNITS (12%) 2
TOTAL	94 UNITS 24

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**ZONING &
PROGRAM**

Project No. 21039.00

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Date 10/27/2021

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A1.13



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**EXISTING
CONDITIONS
PHOTOS**

Project No. 21039.00

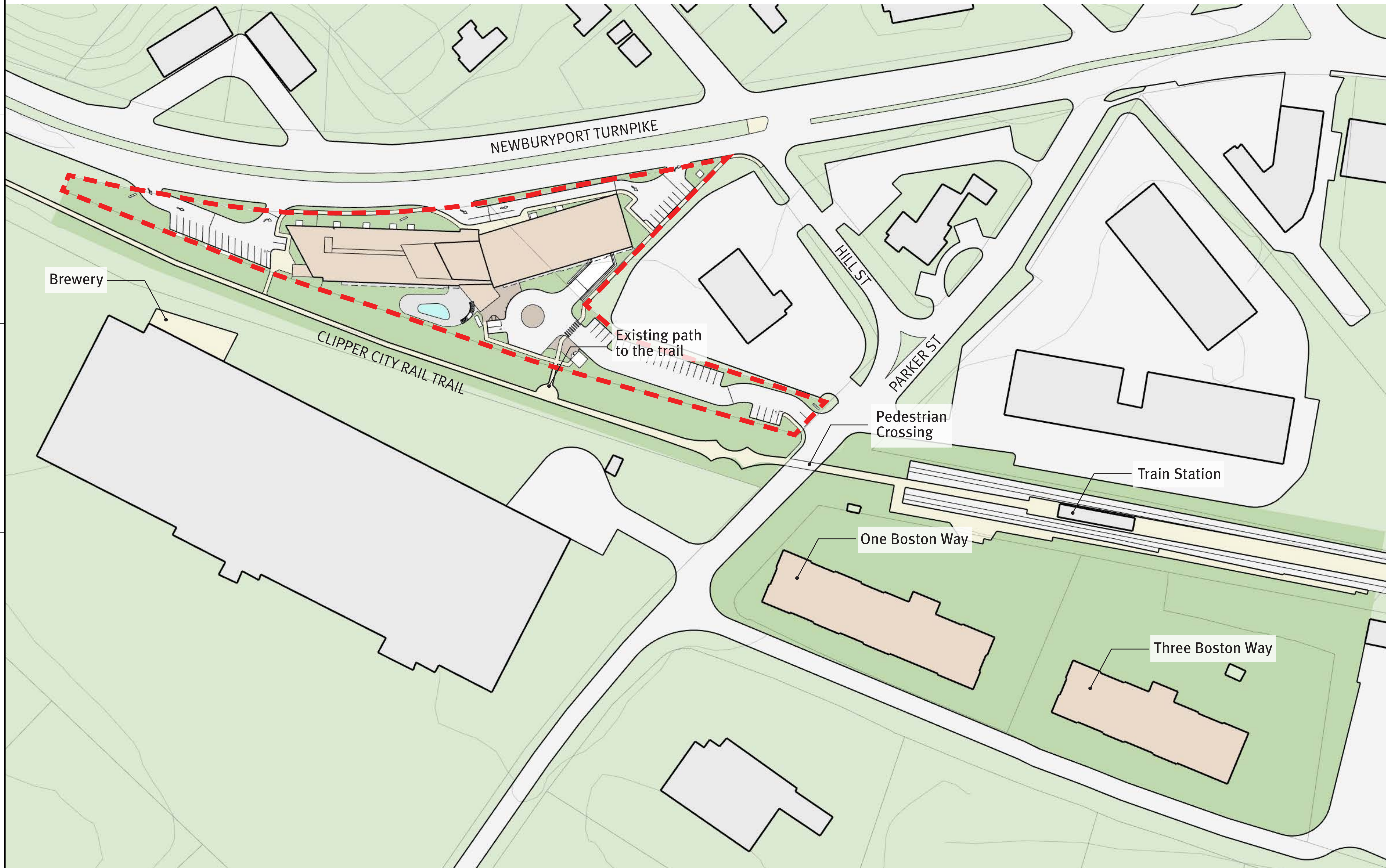
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Date 10/27/2021

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DRAWING NUMBER:

A1.14



CLIENT:

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ARCHITECT:

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ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
SUITE 700N
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No.	Date	Description

DRAWING TITLE:

**SITE PLAN
DIAGRAM -
NEWBURYPORT
CROSSING**

Project No. 21039.00

Drawn By HS

Date 10/27/2021

Scale

DRAWING NUMBER:

A1.15

CLIENT:
MINCO DEVELOPMENT CORPORATION
231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:
ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANTS:
The Morin-Cameron GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
25 KENOZA AVENUE, HAVERHILL, MASSACHUSETTS 01830
P. 978-373-0310, W. WWW.MORINCAMERON.COM

PROJECT INFORMATION:
NEWBURYPORT CROSSING AT PARKER ST
166-168 Newburyport Turnpike,
Newburyport, MA 01950

ISSUANCE:
EXISTING CONDITIONS



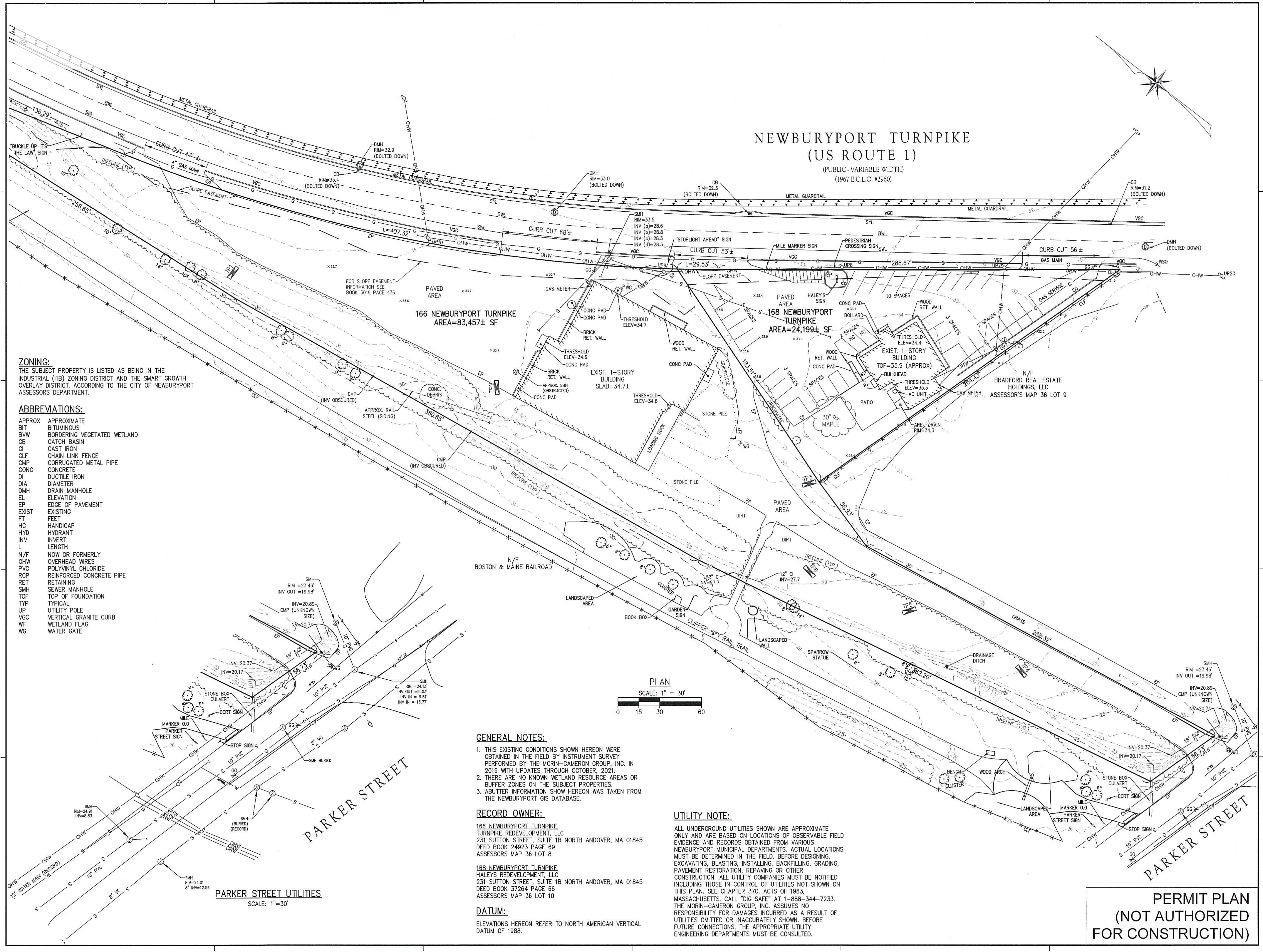
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No.	Date	Description

DRAWING TITLE:

Project No.	3539
Drawn By	DJP
Date	10/27/2021
Scale	1"=30"

DRAWING NUMBER:
C2.1



ZONING:
THE SUBJECT PROPERTY IS LISTED AS BEING IN THE INDUSTRIAL (I1B) ZONING DISTRICT AND THE SMART GROWTH OVERLAY DISTRICT, ACCORDING TO THE CITY OF NEWBURYPORT ASSESSORS DEPARTMENT.

ABBREVIATIONS:
APPROX APPROXIMATE
BIT BITUMINOUS
BVW BORDERING VEGETATED WETLAND
CB CATCH BASIN
CI CAST IRON
CLF CHAIN LINK FENCE
CMP CORRUGATED METAL PIPE
CONC CONCRETE
DI DUCTILE IRON
DIA DIAMETER
DMH DRAIN MANHOLE
EL ELEVATION
EP EDGE OF PAVEMENT
EXIST EXISTING
FT FEET
HC HANDICAP
HYD HYDRANT
INV INVERT
L LENGTH
N/F NOW OR FORMERLY
OHW OVERHEAD WIRES
PVC POLYVINYL CHLORIDE
RCP REINFORCED CONCRETE PIPE
RET RETAINING
SMH SEWER MANHOLE
TOF TOP OF FOUNDATION
TYP TYPICAL
UP UTILITY POLE
VGC VERTICAL GRANITE CURB
WF WETLAND FLAG
WG WATER GATE

GENERAL NOTES:
1. THIS EXISTING CONDITIONS SHOWN HEREON WERE OBTAINED IN THE FIELD BY INSTRUMENT SURVEY PERFORMED BY THE MORIN-CAMERON GROUP, INC. IN 2019 WITH UPDATES THROUGH OCTOBER, 2021.
2. THERE ARE NO KNOWN WETLAND RESOURCE AREAS OR BUFFER ZONES ON THE SUBJECT PROPERTIES.
3. ABUTTER INFORMATION SHOW HEREON WAS TAKEN FROM THE NEWBURYPORT GIS DATABASE.

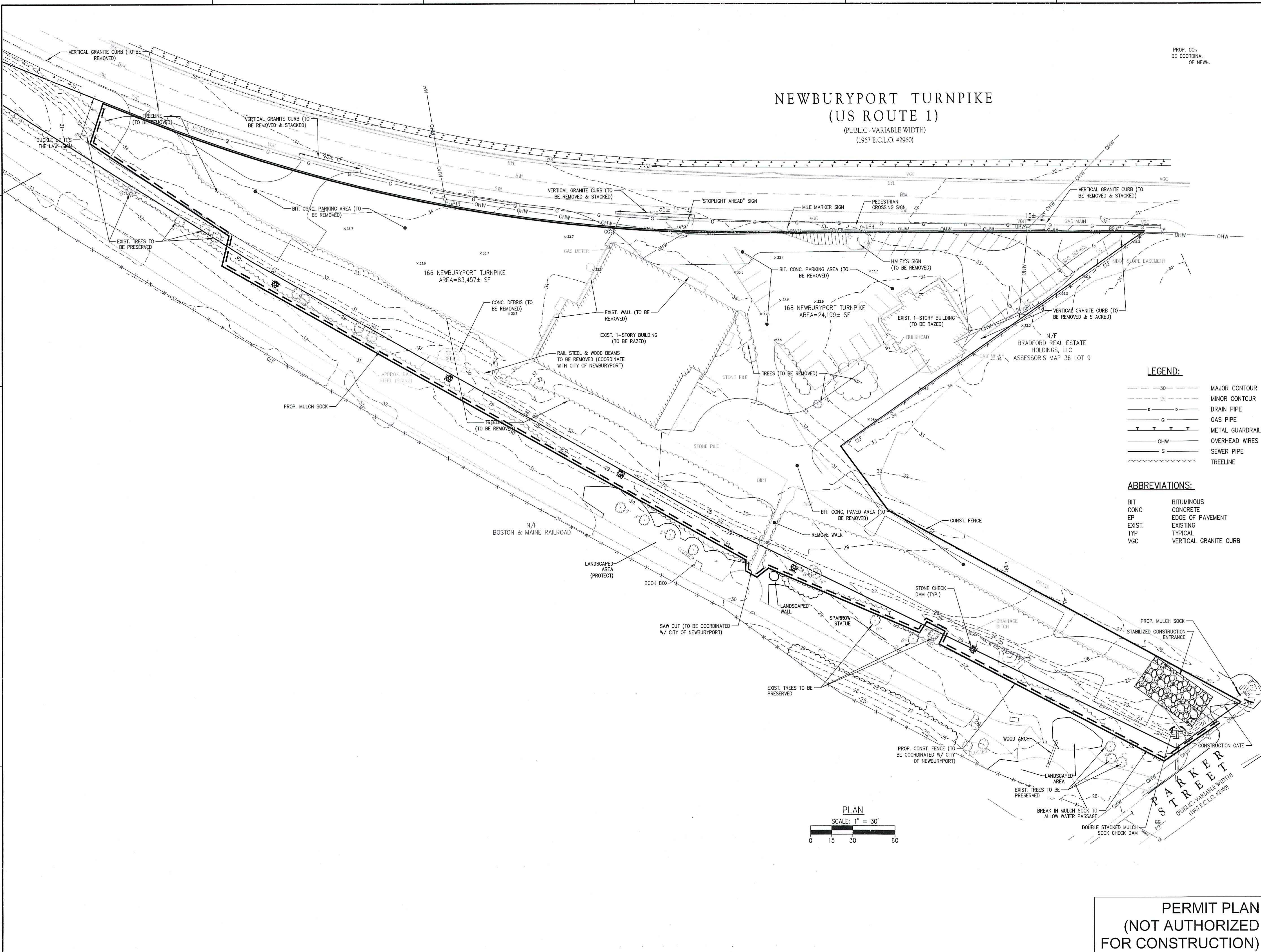
RECORD OWNER:
166 NEWBURYPORT TURNPIKE
TURNPIKE REDEVELOPMENT, LLC
231 SUTTON STREET, SUITE 1B NORTH ANDOVER, MA 01845
DEED BOOK 24923 PAGE 69
ASSESSORS MAP 36 LOT 8

168 NEWBURYPORT TURNPIKE
HALEY'S REDEVELOPMENT, LLC
231 SUTTON STREET, SUITE 1B NORTH ANDOVER, MA 01845
DEED BOOK 37264 PAGE 66
ASSESSORS MAP 36 LOT 10

UTILITY NOTE:
ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON LOCATIONS OF OBSERVABLE FIELD EVIDENCE AND RECORDS OBTAINED FROM VARIOUS NEWBURYPORT MUNICIPAL DEPARTMENTS. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, REPAVING OR OTHER CONSTRUCTION, ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS. CALL "DIG SAFE" AT 1-888-344-7233. THE MORIN-CAMERON GROUP, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED.

DATUM:
ELEVATIONS HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988.

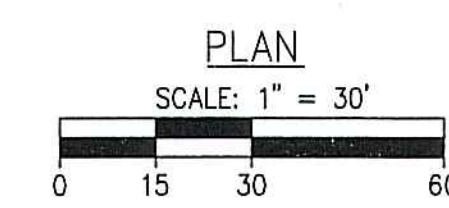
**PERMIT PLAN
(NOT AUTHORIZED
FOR CONSTRUCTION)**



**NEWBURYPORT TURNPIKE
(US ROUTE 1)**
(PUBLIC-VARIABLE WIDTH)
(1967 E.C.L.O. #2960)

PROP. CON.
BE COORDINA.
OF NEWB.

- LEGEND:**
- 30 --- MAJOR CONTOUR
 - 24 --- MINOR CONTOUR
 - 0 --- DRAIN PIPE
 - G --- GAS PIPE
 - T --- METAL GUARDRAIL
 - OHW --- OVERHEAD WIRES
 - S --- SEWER PIPE
 - TREELINE --- TREELINE
- ABBREVIATIONS:**
- BIT BITUMINOUS
 - CONC CONCRETE
 - EP EDGE OF PAVEMENT
 - EXIST. EXISTING
 - TYP TYPICAL
 - VGC VERTICAL GRANITE CURB



**PERMIT PLAN
(NOT AUTHORIZED
FOR CONSTRUCTION)**

CLIENT:
**MINCO
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CORPORATION**
231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:
**ARROWSTREET
ARCHITECTURE & DESIGN**

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ISSUANCE:
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DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:
**SITE PREPERATION
AND DEMOLITION
PLAN**

Project No.	3539
Drawn By	EWB
Date	10/27/2021
Scale	AS NOTED

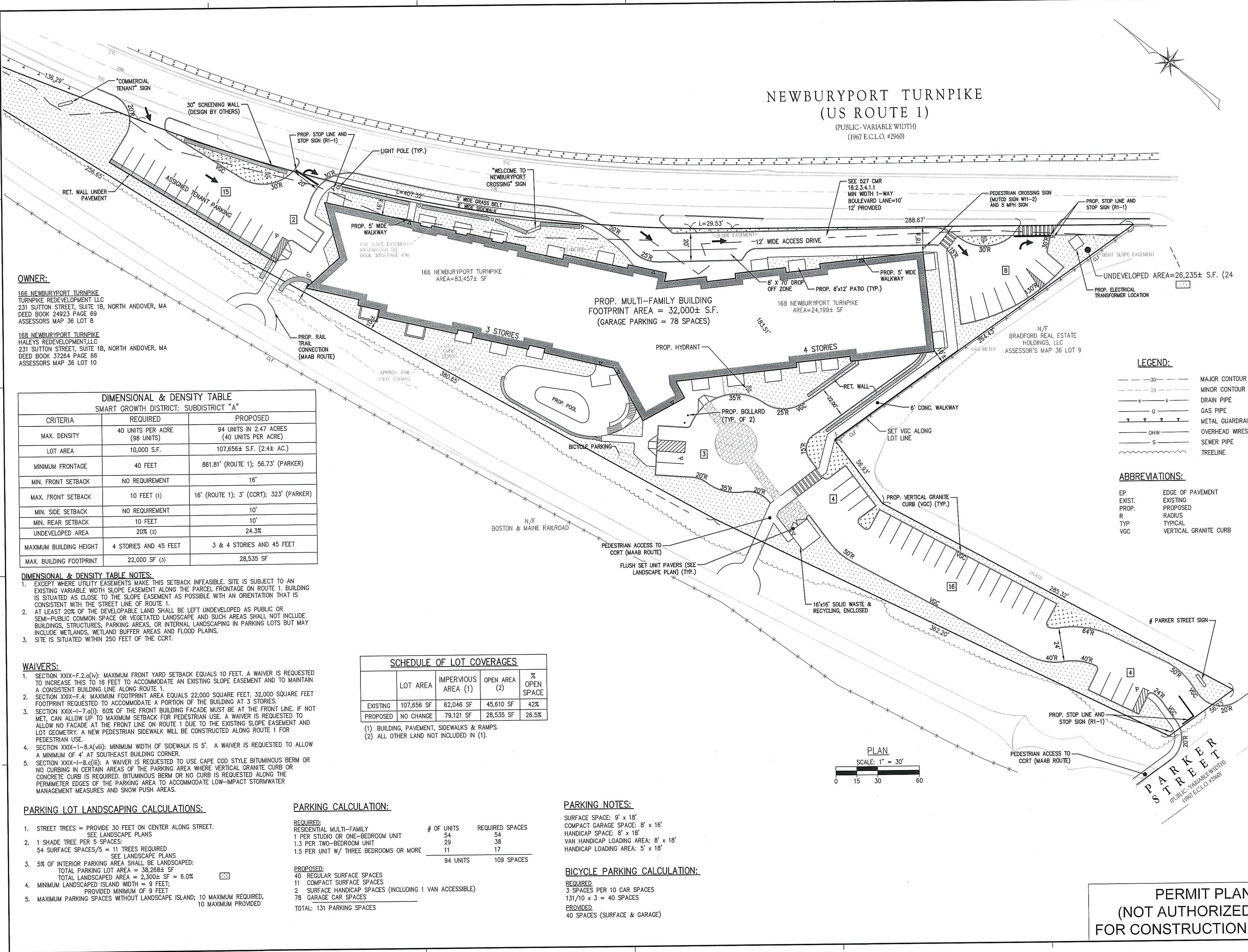
DRAWING NUMBER:
C2.2

REVISIONS:

No.	Date	Description

DRAWING TITLE:
SITE PLAN

Project No.	3539
Drawn by	CEM
Date	10/27/2021
Scale	AS NOTED



OWNER:
 166 NEWBURYPORT TURNPIKE
 TURNPIKE REDEVELOPMENT LLC
 231 SUTTON STREET, SUITE 1B, NORTH ANDOVER, MA
 DEED BOOK 24923 PAGE 69
 ASSESSORS MAP 36 LOT 8
 168 NEWBURYPORT TURNPIKE
 HALEYS REDEVELOPMENT, LLC
 231 SUTTON STREET, SUITE 1B, NORTH ANDOVER, MA
 DEED BOOK 37264 PAGE 66
 ASSESSORS MAP 36 LOT 10

DIMENSIONAL & DENSITY TABLE
 SMART GROWTH DISTRICT: SUBDISTRICT "A"

CRITERIA	REQUIRED	PROPOSED
MAX. DENSITY	40 UNITS PER ACRE (98 UNITS)	94 UNITS IN 2.47 ACRES (40 UNITS PER ACRE)
LOT AREA	10,000 S.F.	107,656± S.F. (2.4± AC.)
MINIMUM FRONTAGE	40 FEET	861.81' (ROUTE 1); 56.73' (PARKER)
MIN. FRONT SETBACK	NO REQUIREMENT	16'
MAX. FRONT SETBACK	10 FEET (1)	16' (ROUTE 1); 3' (CCRT); 323' (PARKER)
MIN. SIDE SETBACK	NO REQUIREMENT	10'
MIN. REAR SETBACK	10 FEET	10'
UNDEVELOPED AREA	20% (2)	24.3%
MAXIMUM BUILDING HEIGHT	4 STORIES AND 45 FEET	3 & 4 STORIES AND 45 FEET
MAX. BUILDING FOOTPRINT	22,000 SF (3)	28,535 SF

DIMENSIONAL & DENSITY TABLE NOTES:
 1. EXCEPT WHERE UTILITY EASEMENTS MAKE THIS SETBACK INFEASIBLE, SITE IS SUBJECT TO AN EXISTING VARIABLE WIDTH SLOPE EASEMENT ALONG THE PARCEL FRONTAGE ON ROUTE 1. BUILDING IS SITUATED AS CLOSE TO THE SLOPE EASEMENT AS POSSIBLE WITH AN ORIENTATION THAT IS CONSISTENT WITH THE STREET LINE OF ROUTE 1.
 2. AT LEAST 20% OF THE DEVELOPABLE LAND SHALL BE LEFT UNDEVELOPED AS PUBLIC OR SEMI-PUBLIC COMMON SPACE OR VEGETATED LANDSCAPE AND SUCH AREAS SHALL NOT INCLUDE BUILDINGS, STRUCTURES, PARKING AREAS, OR INTERNAL LANDSCAPING IN PARKING LOTS BUT MAY INCLUDE WETLANDS, WETLAND BUFFER AREAS AND FLOOD PLAINS.
 3. SITE IS SITUATED WITHIN 250 FEET OF THE CCRT.

WAIVERS:
 1. SECTION XXIX-F.2.a(iv): MAXIMUM FRONT YARD SETBACK EQUALS 10 FEET. A WAIVER IS REQUESTED TO INCREASE THIS TO 16 FEET TO ACCOMMODATE AN EXISTING SLOPE EASEMENT AND TO MAINTAIN A CONSISTENT BUILDING LINE ALONG ROUTE 1.
 2. SECTION XXIX-F.4: MAXIMUM FOOTPRINT AREA EQUALS 22,000 SQUARE FEET. 32,000 SQUARE FEET FOOTPRINT REQUESTED TO ACCOMMODATE A PORTION OF THE BUILDING AT 3 STORIES.
 3. SECTION XXIX-I.7.a(i): 60% OF THE FRONT BUILDING FACADE MUST BE AT THE FRONT LINE. IF NOT MET, CAN ALLOW UP TO MAXIMUM SETBACK FOR PEDESTRIAN USE. A WAIVER IS REQUESTED TO ALLOW NO FACADE AT THE FRONT LINE ON ROUTE 1 DUE TO THE EXISTING SLOPE EASEMENT AND LOT GEOMETRY. A NEW PEDESTRIAN SIDEWALK WILL BE CONSTRUCTED ALONG ROUTE 1 FOR PEDESTRIAN USE.
 4. SECTION XXIX-1-8.A(viii): MINIMUM WIDTH OF SIDEWALK IS 5'. A WAIVER IS REQUESTED TO ALLOW A MINIMUM OF 4' AT SOUTHEAST BUILDING CORNER.
 5. SECTION XXIX-1-8.c(iii): A WAIVER IS REQUESTED TO USE CAPE COD STYLE BITUMINOUS BERM OR NO CURBING IN CERTAIN AREAS OF THE PARKING AREA WHERE VERTICAL GRANITE CURB OR CONCRETE CURB IS REQUIRED. BITUMINOUS BERM OR NO CURB IS REQUESTED ALONG THE PERIMETER EDGES OF THE PARKING AREA TO ACCOMMODATE LOW-IMPACT STORMWATER MANAGEMENT MEASURES AND SNOW PUSH AREAS.

PARKING LOT LANDSCAPING CALCULATIONS:
 1. STREET TREES = PROVIDE 30 FEET ON CENTER ALONG STREET. SEE LANDSCAPE PLANS
 2. 1 SHADE TREE PER 5 SPACES:
 54 SURFACE SPACES/5 = 11 TREES REQUIRED
 SEE LANDSCAPE PLANS
 3. 5% OF INTERIOR PARKING AREA SHALL BE LANDSCAPED:
 TOTAL PARKING LOT AREA = 38,268± SF
 TOTAL LANDSCAPED AREA = 2,300± SF = 6.0%
 4. MINIMUM LANDSCAPED ISLAND WIDTH = 9 FEET;
 PROVIDED MINIMUM OF 9 FEET
 5. MAXIMUM PARKING SPACES WITHOUT LANDSCAPE ISLAND; 10 MAXIMUM REQUIRED,
 10 MAXIMUM PROVIDED

PARKING CALCULATION:

REQUIRED:	# OF UNITS	REQUIRED SPACES
RESIDENTIAL MULTI-FAMILY	94	94
1 PER STUDIO OR ONE-BEDROOM UNIT	54	54
1.3 PER TWO-BEDROOM UNIT	29	38
1.5 PER UNIT W/ THREE BEDROOMS OR MORE	11	17
TOTAL:	94 UNITS	109 SPACES

PROPOSED:
 40 REGULAR SURFACE SPACES
 11 COMPACT SURFACE SPACES
 2 SURFACE HANDICAP SPACES (INCLUDING 1 VAN ACCESSIBLE)
 78 GARAGE CAR SPACES
TOTAL: 131 PARKING SPACES

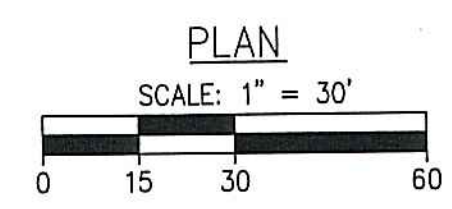
SCHEDULE OF LOT COVERAGES

	LOT AREA	IMPERVIOUS AREA (1)	OPEN AREA (2)	% OPEN SPACE
EXISTING	107,656 SF	62,046 SF	45,610 SF	42%
PROPOSED	NO CHANGE	79,121 SF	28,535 SF	26.5%

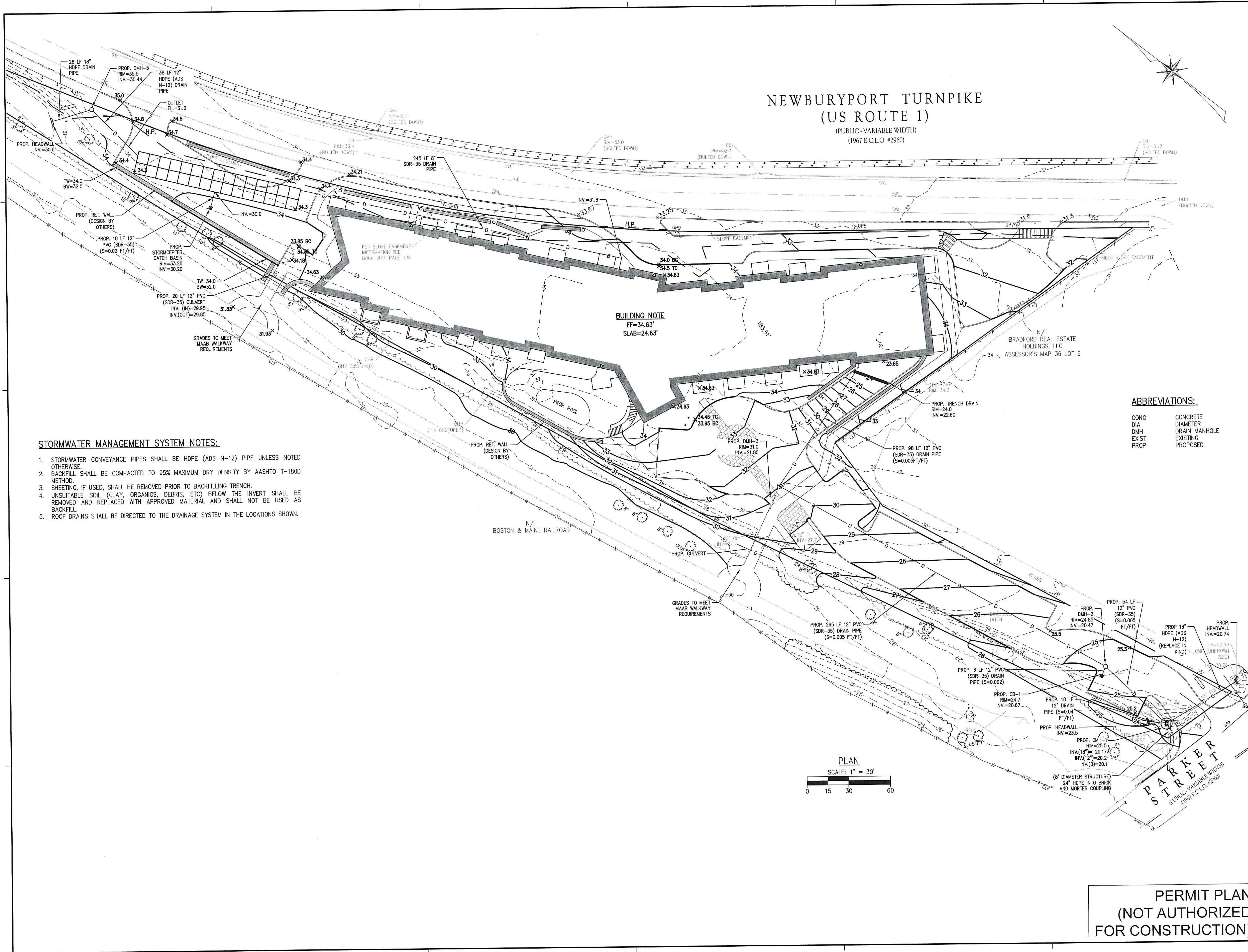
(1) BUILDING, PAVEMENT, SIDEWALKS & RAMPS.
 (2) ALL OTHER LAND NOT INCLUDED IN (1).

PARKING NOTES:
 SURFACE SPACE: 9' x 18'
 COMPACT GARAGE SPACE: 8' x 16'
 HANDICAP SPACE: 8' x 18'
 VAN HANDICAP LOADING AREA: 8' x 18'
 HANDICAP LOADING AREA: 5' x 18'

BICYCLE PARKING CALCULATION:
REQUIRED:
 3 SPACES PER 10 CAR SPACES
 131/10 x 3 = 40 SPACES
PROVIDED:
 40 SPACES (SURFACE & GARAGE)



PERMIT PLAN
 (NOT AUTHORIZED FOR CONSTRUCTION)



STORMWATER MANAGEMENT SYSTEM NOTES:

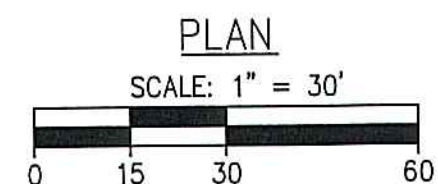
1. STORMWATER CONVEYANCE PIPES SHALL BE HDPE (ADS N-12) PIPE UNLESS NOTED OTHERWISE.
2. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-1800 METHOD.
3. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH.
4. UNSUITABLE SOIL (CLAY, ORGANICS, DEBRIS, ETC) BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
5. ROOF DRAINS SHALL BE DIRECTED TO THE DRAINAGE SYSTEM IN THE LOCATIONS SHOWN.

**NEWBURYPORT TURNPIKE
(US ROUTE 1)**
(PUBLIC - VARIABLE WIDTH)
(1967 E.C.L.O. #2960)

BUILDING NOTE
FF=34.63'
SLAB=24.63'

ABBREVIATIONS:

CONC	CONCRETE
DIA	DIAMETER
DMH	DRAIN MANHOLE
EXIST	EXISTING
PROP	PROPOSED



**PERMIT PLAN
(NOT AUTHORIZED
FOR CONSTRUCTION)**

CLIENT:
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DEVELOPMENT
CORPORATION**
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NORTH ANDOVER, MA 01845

ARCHITECT:
**ARROWSTREET
ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANTS:

**The
Morin-Cameron
GROUP, INC.**

CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
25 KENOZA AVENUE, MASSACHUSETTS 01830
P: 978-373-0310, W: WWW.MORINCAMERON.COM

PROJECT INFORMATION:

**NEWBURYPORT
CROSSING AT
PARKER ST**
166-168 Newburyport Turnpike,
Newburyport, MA 01950

ISSUANCE:

**CONCEPT
DESIGN**

STAMP:



REVISIONS:

No.	Date	Description

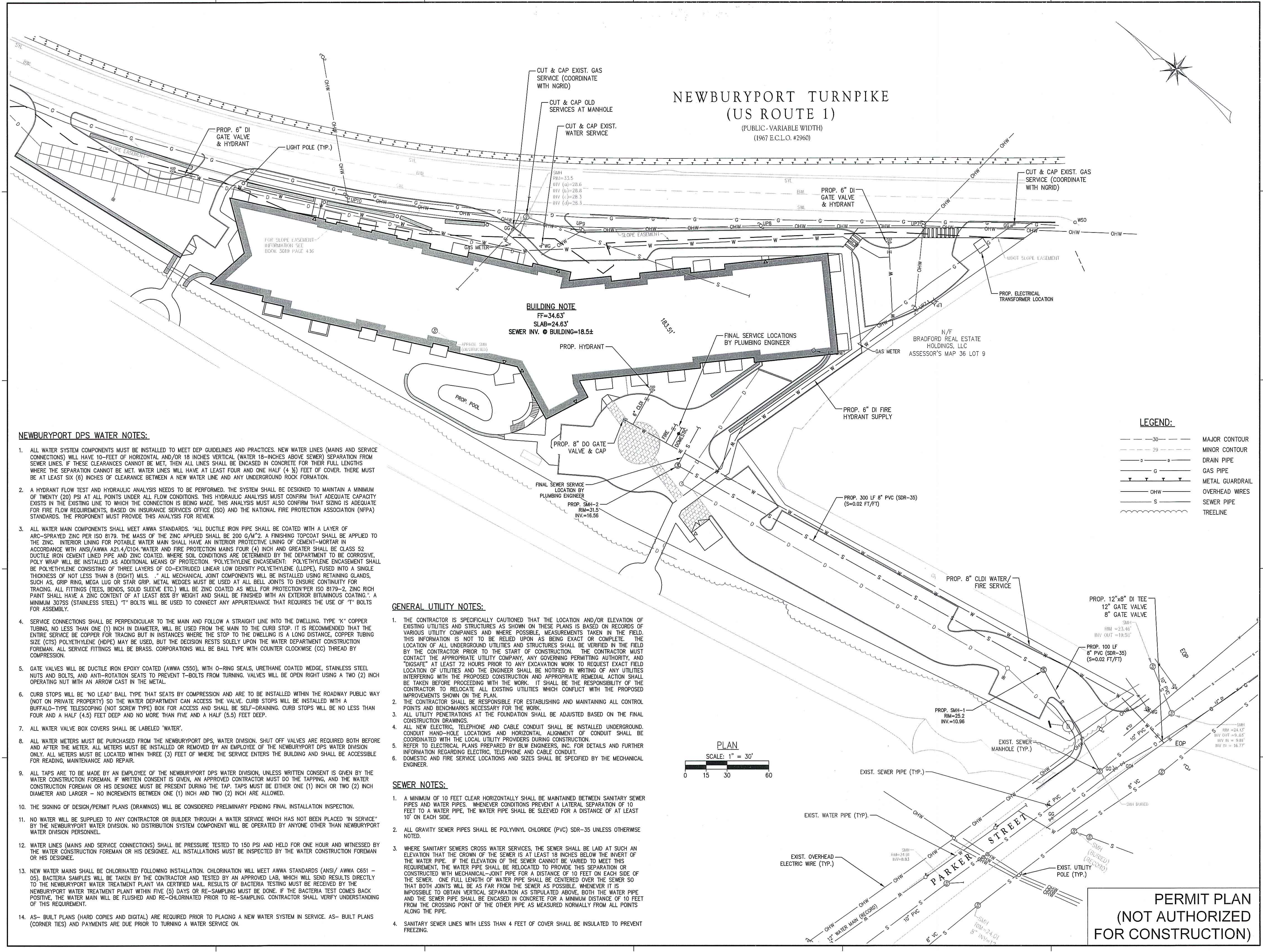
DRAWING TITLE:

**GRADING &
DRAINAGE PLAN**

Project No.	3539
Drawn By	EWB
Date	10/27/2021
Scale	AS NOTED

DRAWING NUMBER:

C3.2



**NEWBURYPORT TURNPIKE
(US ROUTE 1)**
(PUBLIC-VARIABLE WIDTH)
(1967 E.C.L.O. #2960)

BUILDING NOTE
FF=34.63'
SLAB=24.63'
SEWER INV. @ BUILDING=18.5±

NEWBURYPORT DPS WATER NOTES:

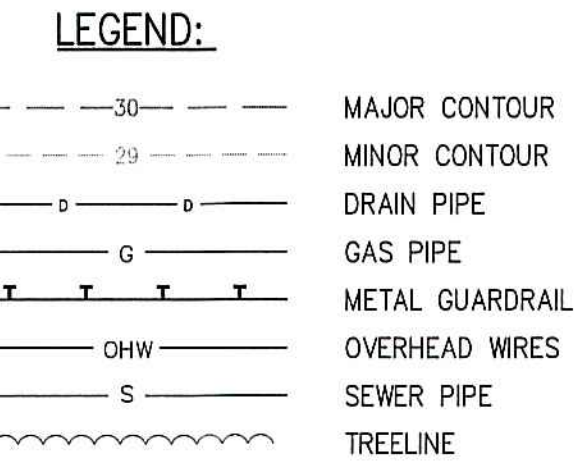
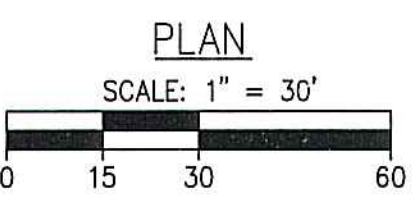
- ALL WATER SYSTEM COMPONENTS MUST BE INSTALLED TO MEET DEP GUIDELINES AND PRACTICES. NEW WATER LINES (MAINS AND SERVICE CONNECTIONS) WILL HAVE 10-FOOT OF HORIZONTAL AND/OR 18 INCHES VERTICAL (WATER 18-INCHES ABOVE SEWER) SEPARATION FROM SEWER LINES. IF THESE CLEARANCES CANNOT BE MET, THEN ALL LINES SHALL BE ENCASED IN CONCRETE FOR THEIR FULL LENGTHS WHERE THE SEPARATION CANNOT BE MET. WATER LINES WILL HAVE AT LEAST FOUR AND ONE HALF (4 1/2) FEET OF COVER. THERE MUST BE AT LEAST SIX (6) INCHES OF CLEARANCE BETWEEN A NEW WATER LINE AND ANY UNDERGROUND ROCK FORMATION.
- A HYDRANT FLOW TEST AND HYDRAULIC ANALYSIS NEEDS TO BE PERFORMED. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM OF TWENTY (20) PSI AT ALL POINTS UNDER ALL FLOW CONDITIONS. THIS HYDRAULIC ANALYSIS MUST CONFIRM THAT ADEQUATE CAPACITY EXISTS IN THE EXISTING LINE TO WHICH THE CONNECTION IS BEING MADE. THIS ANALYSIS MUST ALSO CONFIRM THAT SIZING IS ADEQUATE FOR FIRE FLOW REQUIREMENTS, BASED ON INSURANCE SERVICES OFFICE (ISO) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS. THE PROPONENT MUST PROVIDE THIS ANALYSIS FOR REVIEW.
- ALL WATER MAIN COMPONENTS SHALL MEET AWWA STANDARDS. "ALL DUCTILE IRON PIPE SHALL BE COATED WITH A LAYER OF ARC-SPRAYED ZINC PER ISO 8179. THE MASS OF THE ZINC APPLIED SHALL BE 200 G/M². A FINISHING TOPCOAT SHALL BE APPLIED TO THE ZINC. INTERIOR LINING FOR POTABLE WATER MAIN SHALL HAVE AN INTERIOR PROTECTIVE LINING OF CEMENT-MORTAR IN ACCORDANCE WITH ANSI/AWWA A21.4/C104. WATER AND FIRE PROTECTION MAINS FOUR (4) INCH AND GREATER SHALL BE CLASS 52 DUCTILE IRON CEMENT LINED PIPE AND ZINC COATED. WHERE SOIL CONDITIONS ARE DETERMINED BY THE DEPARTMENT TO BE CORROSIVE, POLY WRAP WILL BE INSTALLED AS ADDITIONAL MEANS OF PROTECTION. "POLYETHYLENE ENCASEMENT: POLYETHYLENE ENCASEMENT SHALL BE POLYETHYLENE CONSISTING OF THREE LAYERS OF CO-EXTRUDED LINEAR LOW DENSITY POLYETHYLENE (LLDPE), FUSED INTO A SINGLE THICKNESS OF NOT LESS THAN 8 (EIGHT) MILS. " ALL MECHANICAL JOINT COMPONENTS WILL BE INSTALLED USING RETAINING GLANDS, SUCH AS, GRIP RING, MEGA LUG OR STAR GRIP. METAL WEDGES MUST BE USED AT ALL BELL JOINTS TO ENSURE CONTINUITY FOR TRACING. ALL FITTINGS (TEES, BENDS, SOLID SLEEVE ETC.) WILL BE ZINC COATED AS WELL FOR PROTECTION PER ISO 8179-2. ZINC RICH PAINT SHALL HAVE A ZINC CONTENT OF AT LEAST 85% BY WEIGHT AND SHALL BE FINISHED WITH AN EXTERIOR BITUMINOUS COATING. " A MINIMUM 3075S (STAINLESS STEEL) "T" BOLTS WILL BE USED TO CONNECT ANY APPURTENANCE THAT REQUIRES THE USE OF "T" BOLTS FOR ASSEMBLY.
- SERVICE CONNECTIONS SHALL BE PERPENDICULAR TO THE MAIN AND FOLLOW A STRAIGHT LINE INTO THE DWELLING. TYPE "K" COPPER TUBING, NO LESS THAN ONE (1) INCH IN DIAMETER, WILL BE USED FROM THE MAIN TO THE CURB STOP. IT IS RECOMMENDED THAT THE ENTIRE SERVICE BE COPPER FOR TRACING BUT IN INSTANCES WHERE THE STOP TO THE DWELLING IS A LONG DISTANCE, COPPER TUBING SIZE (CTS) POLYETHYLENE (HDPE) MAY BE USED, BUT THE DECISION RESTS SOLELY UPON THE WATER DEPARTMENT CONSTRUCTION FOREMAN. ALL SERVICE FITTINGS WILL BE BRASS. CORPORATIONS WILL BE BALL TYPE WITH COUNTER CLOCKWISE (CC) THREAD BY COMPRESSION.
- GATE VALVES WILL BE DUCTILE IRON EPOXY COATED (AWWA C550), WITH O-RING SEALS, URETHANE COATED WEDGE, STAINLESS STEEL NUTS AND BOLTS, AND ANTI-ROTATION SEATS TO PREVENT T-BOLTS FROM TURNING. VALVES WILL BE OPEN RIGHT USING A TWO (2) INCH OPERATING NUT WITH AN ARROW CAST IN THE METAL.
- CURB STOPS WILL BE "NO LEAD" BALL TYPE THAT SEATS BY COMPRESSION AND ARE TO BE INSTALLED WITHIN THE ROADWAY PUBLIC WAY (NOT ON PRIVATE PROPERTY) SO THE WATER DEPARTMENT CAN ACCESS THE VALVE. CURB STOPS WILL BE INSTALLED WITH A BUFFALO-TYPE TELESCOPING (NOT SCREW TYPE) BOX FOR ACCESS AND SHALL BE SELF-DRAINING. CURB STOPS WILL BE NO LESS THAN FOUR AND A HALF (4.5) FEET DEEP AND NO MORE THAN FIVE AND A HALF (5.5) FEET DEEP.
- ALL WATER VALVE BOX COVERS SHALL BE LABELED "WATER".
- ALL WATER METERS MUST BE PURCHASED FROM THE NEWBURYPORT DPS, WATER DIVISION. SHUT OFF VALVES ARE REQUIRED BOTH BEFORE AND AFTER THE METER. ALL METERS MUST BE INSTALLED OR REMOVED BY AN EMPLOYEE OF THE NEWBURYPORT DPS WATER DIVISION ONLY. ALL METERS MUST BE LOCATED WITHIN THREE (3) FEET OF WHERE THE SERVICE ENTERS THE BUILDING AND SHALL BE ACCESSIBLE FOR READING, MAINTENANCE AND REPAIR.
- ALL TAPS ARE TO BE MADE BY AN EMPLOYEE OF THE NEWBURYPORT DPS WATER DIVISION, UNLESS WRITTEN CONSENT IS GIVEN BY THE WATER CONSTRUCTION FOREMAN. IF WRITTEN CONSENT IS GIVEN, AN APPROVED CONTRACTOR MUST DO THE TAPPING, AND THE WATER CONSTRUCTION FOREMAN OR HIS DESIGNEE MUST BE PRESENT DURING THE TAP. TAPS MUST BE EITHER ONE (1) INCH OR TWO (2) INCH DIAMETER AND LARGER - NO INCREMENTS BETWEEN ONE (1) INCH AND TWO (2) INCH ARE ALLOWED.
- THE SIGNING OF DESIGN/PERMIT PLANS (DRAWINGS) WILL BE CONSIDERED PRELIMINARY PENDING FINAL INSTALLATION INSPECTION.
- NO WATER WILL BE SUPPLIED TO ANY CONTRACTOR OR BUILDER THROUGH A WATER SERVICE WHICH HAS NOT BEEN PLACED "IN SERVICE" BY THE NEWBURYPORT WATER DIVISION. NO DISTRIBUTION SYSTEM COMPONENT WILL BE OPERATED BY ANYONE OTHER THAN NEWBURYPORT WATER DIVISION PERSONNEL.
- WATER LINES (MAINS AND SERVICE CONNECTIONS) SHALL BE PRESSURE TESTED TO 150 PSI AND HELD FOR ONE HOUR AND WITNESSED BY THE WATER CONSTRUCTION FOREMAN OR HIS DESIGNEE. ALL INSTALLATIONS MUST BE INSPECTED BY THE WATER CONSTRUCTION FOREMAN OR HIS DESIGNEE.
- NEW WATER MAINS SHALL BE CHLORINATED FOLLOWING INSTALLATION. CHLORINATION WILL MEET AWWA STANDARDS (ANSI/ AWWA C651 - 05). BACTERIA SAMPLES WILL BE TAKEN BY THE CONTRACTOR AND TESTED BY AN APPROVED LAB, WHICH WILL SEND RESULTS DIRECTLY TO THE NEWBURYPORT WATER TREATMENT PLANT VIA CERTIFIED MAIL. RESULTS OF BACTERIA TESTING MUST BE RECEIVED BY THE NEWBURYPORT WATER TREATMENT PLANT WITHIN FIVE (5) DAYS OR RE-SAMPLING MUST BE DONE. IF THE BACTERIA TEST COMES BACK POSITIVE, THE WATER MAIN WILL BE FLUSHED AND RE-CHLORINATED PRIOR TO RE-SAMPLING. CONTRACTOR SHALL VERIFY UNDERSTANDING OF THIS REQUIREMENT.
- AS- BUILT PLANS (HARD COPIES AND DIGITAL) ARE REQUIRED PRIOR TO PLACING A NEW WATER SYSTEM IN SERVICE. AS- BUILT PLANS (CORNER TIES) AND PAYMENTS ARE DUE PRIOR TO TURNING A WATER SERVICE ON.

GENERAL UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- ALL UTILITY PENETRATIONS AT THE FOUNDATION SHALL BE ADJUSTED BASED ON THE FINAL CONSTRUCTION DRAWINGS.
- ALL NEW ELECTRIC, TELEPHONE AND CABLE CONDUIT SHALL BE INSTALLED UNDERGROUND. CONDUIT HAND-HOLE LOCATIONS AND HORIZONTAL ALIGNMENT OF CONDUIT SHALL BE COORDINATED WITH THE LOCAL UTILITY PROVIDERS DURING CONSTRUCTION.
- REFER TO ELECTRICAL PLANS PREPARED BY BLW ENGINEERS, INC. FOR DETAILS AND FURTHER INFORMATION REGARDING ELECTRIC, TELEPHONE AND CABLE CONDUIT.
- DOMESTIC AND FIRE SERVICE LOCATIONS AND SIZES SHALL BE SPECIFIED BY THE MECHANICAL ENGINEER.

SEWER NOTES:

- A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER PIPES AND WATER PIPES. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER PIPE, THE WATER PIPE SHALL BE SLEEVED FOR A DISTANCE OF AT LEAST 10' ON EACH SIDE.
- ALL GRAVITY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
- WHERE SANITARY SEWERS CROSS WATER SERVICES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER PIPE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER PIPE AND THE SEWER PIPE SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- SANITARY SEWER LINES WITH LESS THAN 4 FEET OF COVER SHALL BE INSULATED TO PREVENT FREEZING.



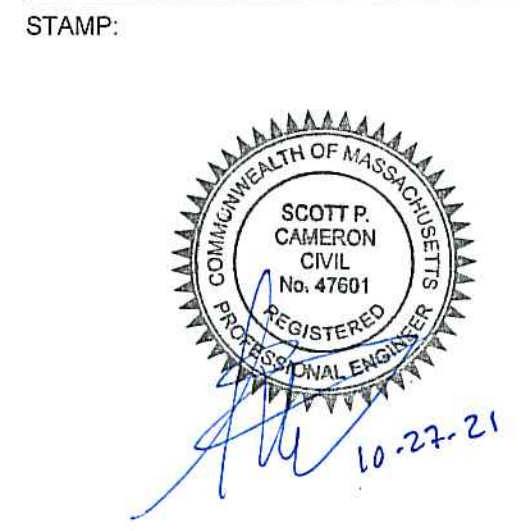
CLIENT:
MINCO DEVELOPMENT CORPORATION
231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:
ARROWSTREET ARCHITECTURE & DESIGN
10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANTS:
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25 KENOA AVENUE, MASSACHUSETTS 01850
P: 978-373-0310, W: WWW.MORINCAMERON.COM

PROJECT INFORMATION:
NEWBURYPORT CROSSING AT PARKER ST
166-168 Newburyport Turnpike,
Newburyport, MA 01950

CONCEPT DESIGN



REVISIONS:

No.	Date	Description

UTILITY PLAN

Project No.	3539
Drawn By	EWB
Date	10/27/2021
Scale	AS NOTED

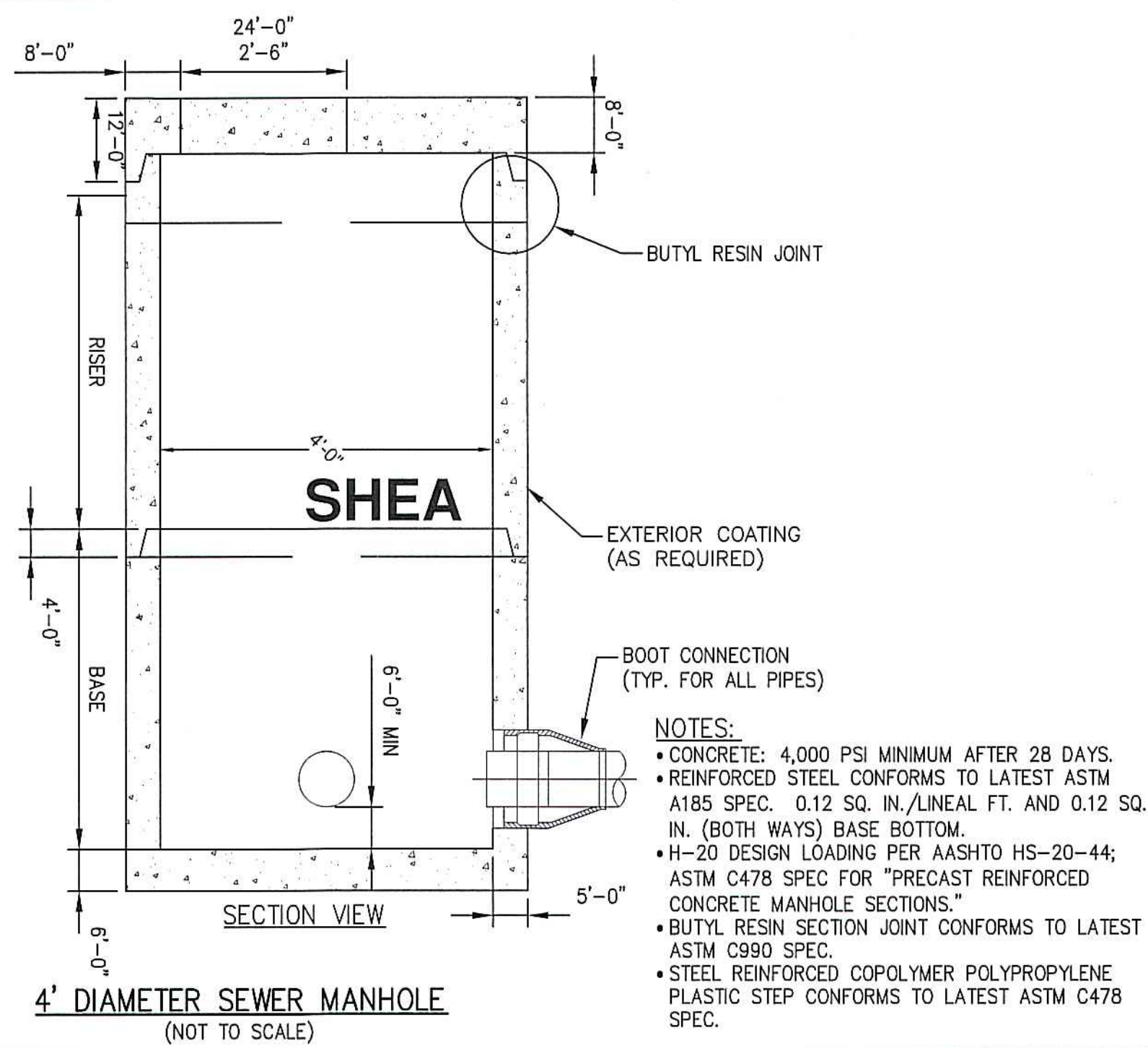
DRAWING NUMBER:
C3.3

**PERMIT PLAN
(NOT AUTHORIZED FOR CONSTRUCTION)**

FLAT TOP		
ITEM NO	ITEM NO	WEIGHT
1 HOLE	MH4-FT4ID	1,620#
2 HOLE	MH4-FT4ID2H	930#

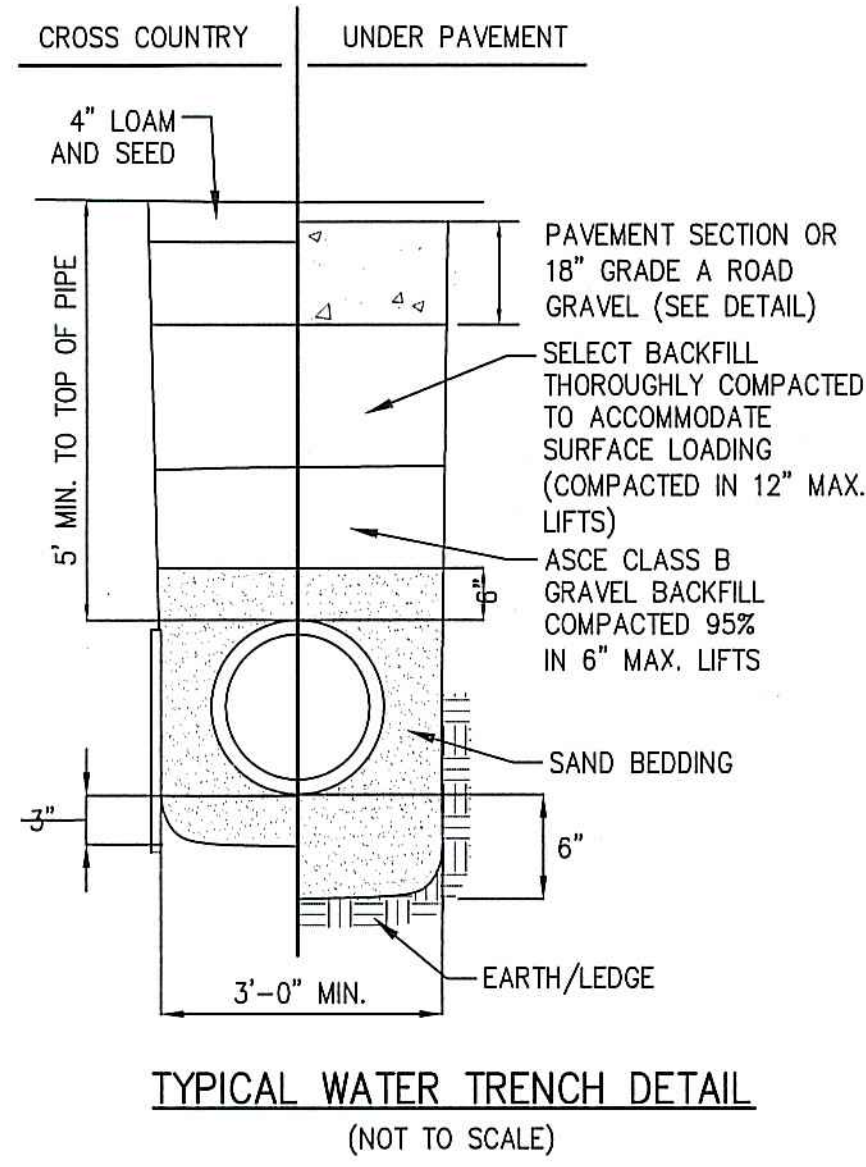
RISER SECTION		
HEIGHT	ITEM NO	WEIGHT
1'-0"	MH4-12CS4ID	856#
2'-0"	MH4-24CS4ID	1,712#
2'-6"	MH4-30CS4ID	2,140#
3'-0"	MH4-36CS4ID	2,568#
4'-0"	MH4-48CS4ID	3,424#
5'-0"	MH4-60CS4ID	4,280#

BASE SECTION		
HEIGHT	ITEM NO	WEIGHT
2'-0"	MH4-24S4ID	2,640#
2'-6"	MH4-30S4ID	3,067#
3'-0"	MH4-36S4ID	3,495#
3'-6"	MH4-42S4ID	3,922#
4'-0"	MH4-48S4ID	4,350#
4'-6"	MH4-54S4ID	4,777#
5'-0"	MH4-60S4ID	5,205#
5'-6"	MH4-66S4ID	5,633#
6'-0"	MH4-72S4ID	6,060#

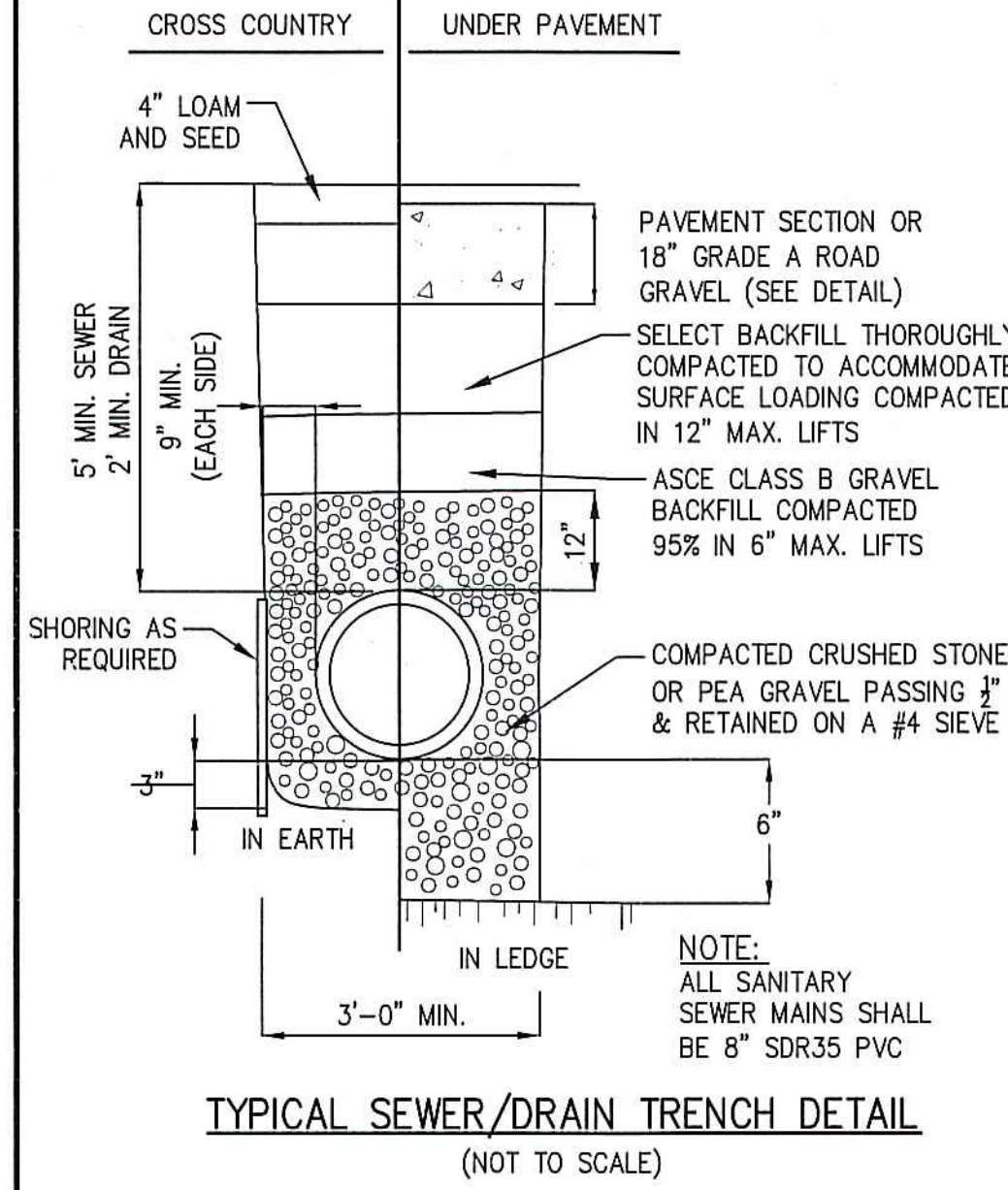


4' DIAMETER SEWER MANHOLE
(NOT TO SCALE)

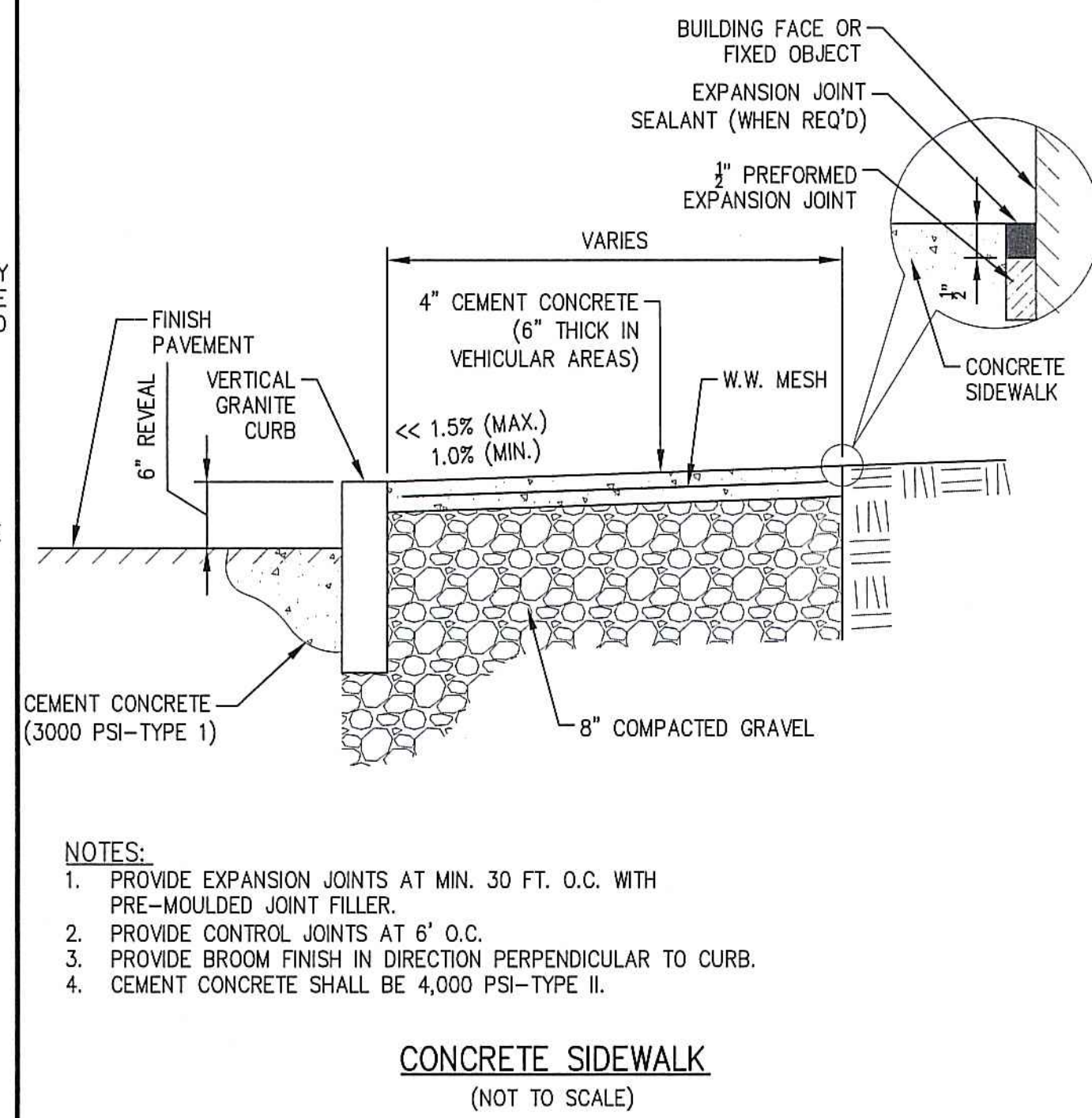
- NOTES:**
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 - H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C990 SPEC.
 - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C478 SPEC.



TYPICAL WATER TRENCH DETAIL
(NOT TO SCALE)

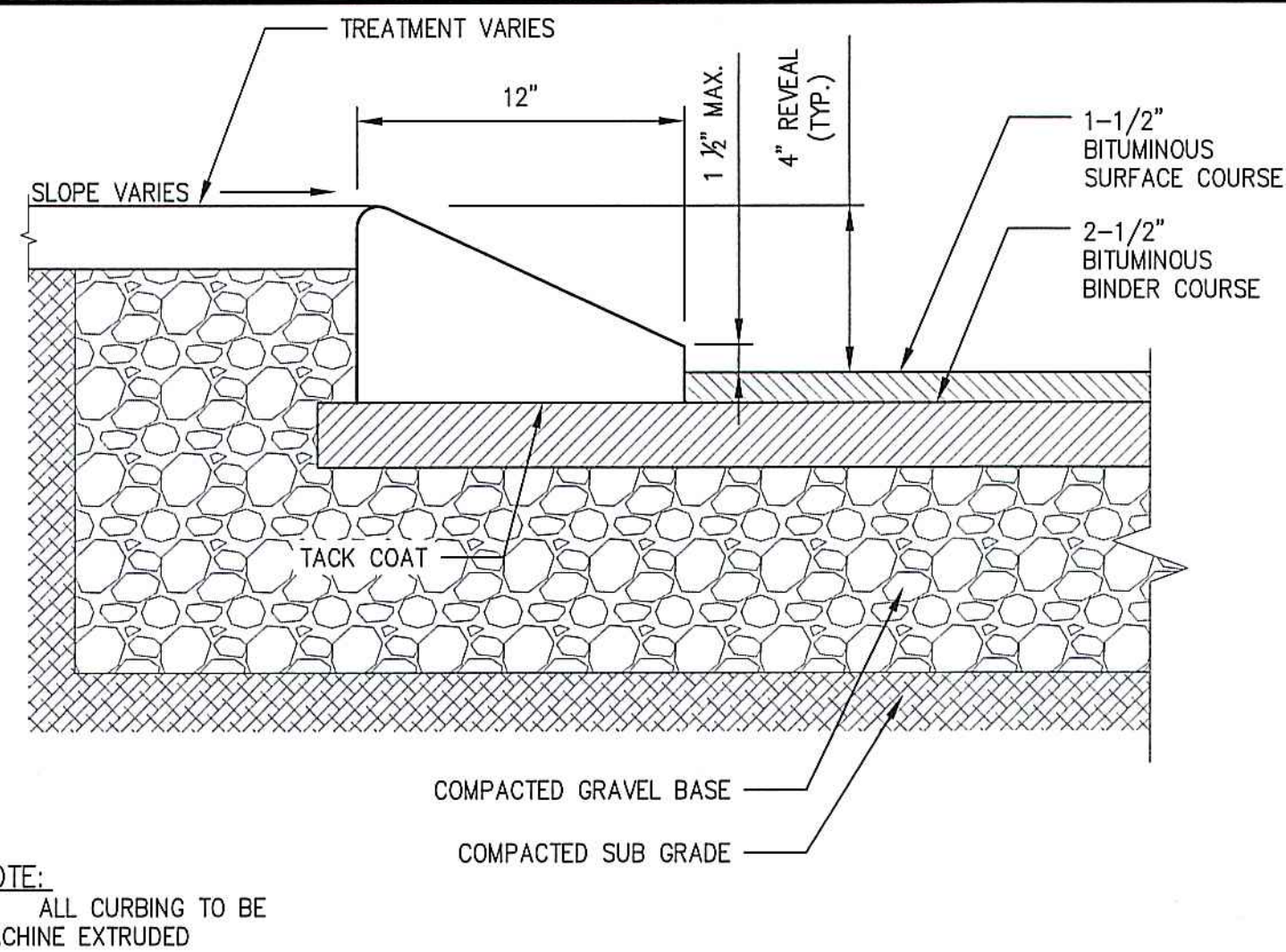


TYPICAL SEWER/DRAIN TRENCH DETAIL
(NOT TO SCALE)



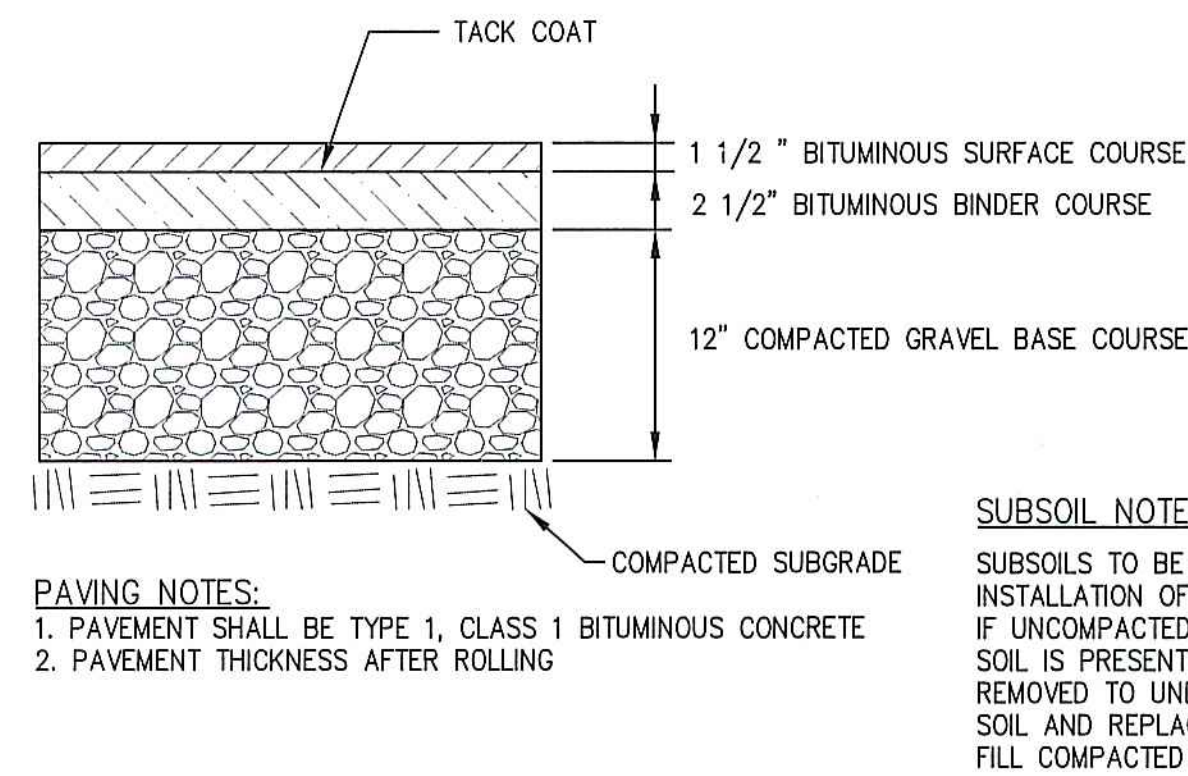
CONCRETE SIDEWALK
(NOT TO SCALE)

- NOTES:**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-MOULDED JOINT FILLER.
 2. PROVIDE CONTROL JOINTS AT 6' O.C.
 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 4. CEMENT CONCRETE SHALL BE 4,000 PSI-TYPE II.



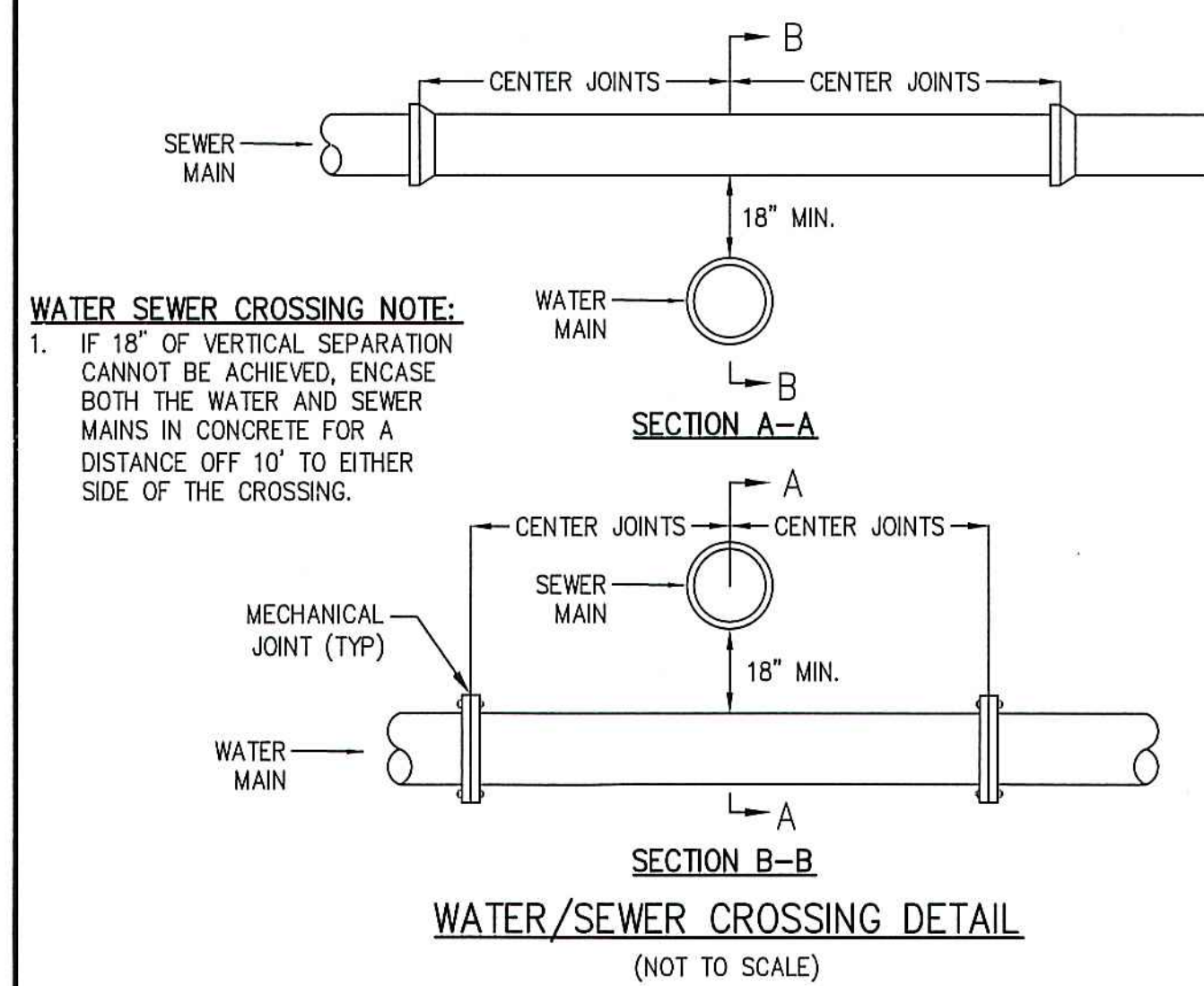
CAPE COD BERM (CCB)
(NOT TO SCALE)

- NOTE:**
1. ALL CURBING TO BE MACHINE EXTRUDED

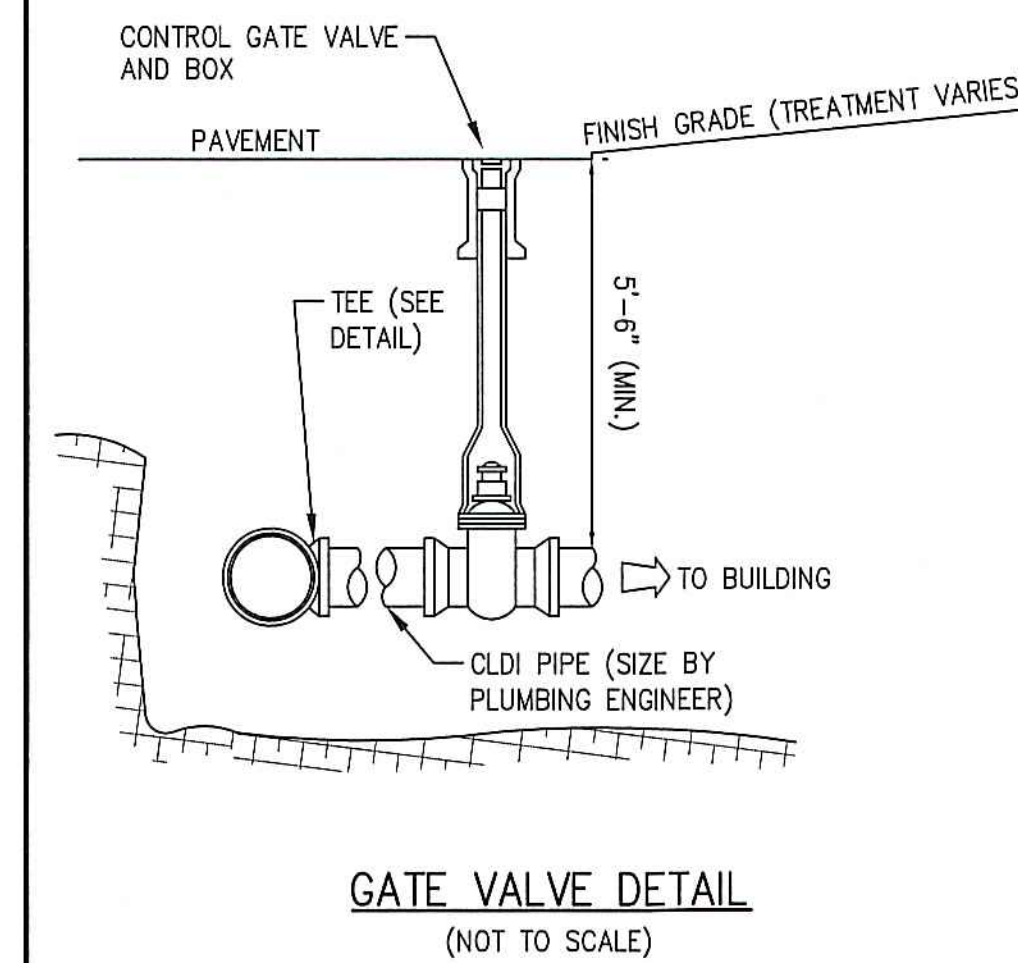


TYPICAL PAVEMENT SECTION
(NOT TO SCALE)

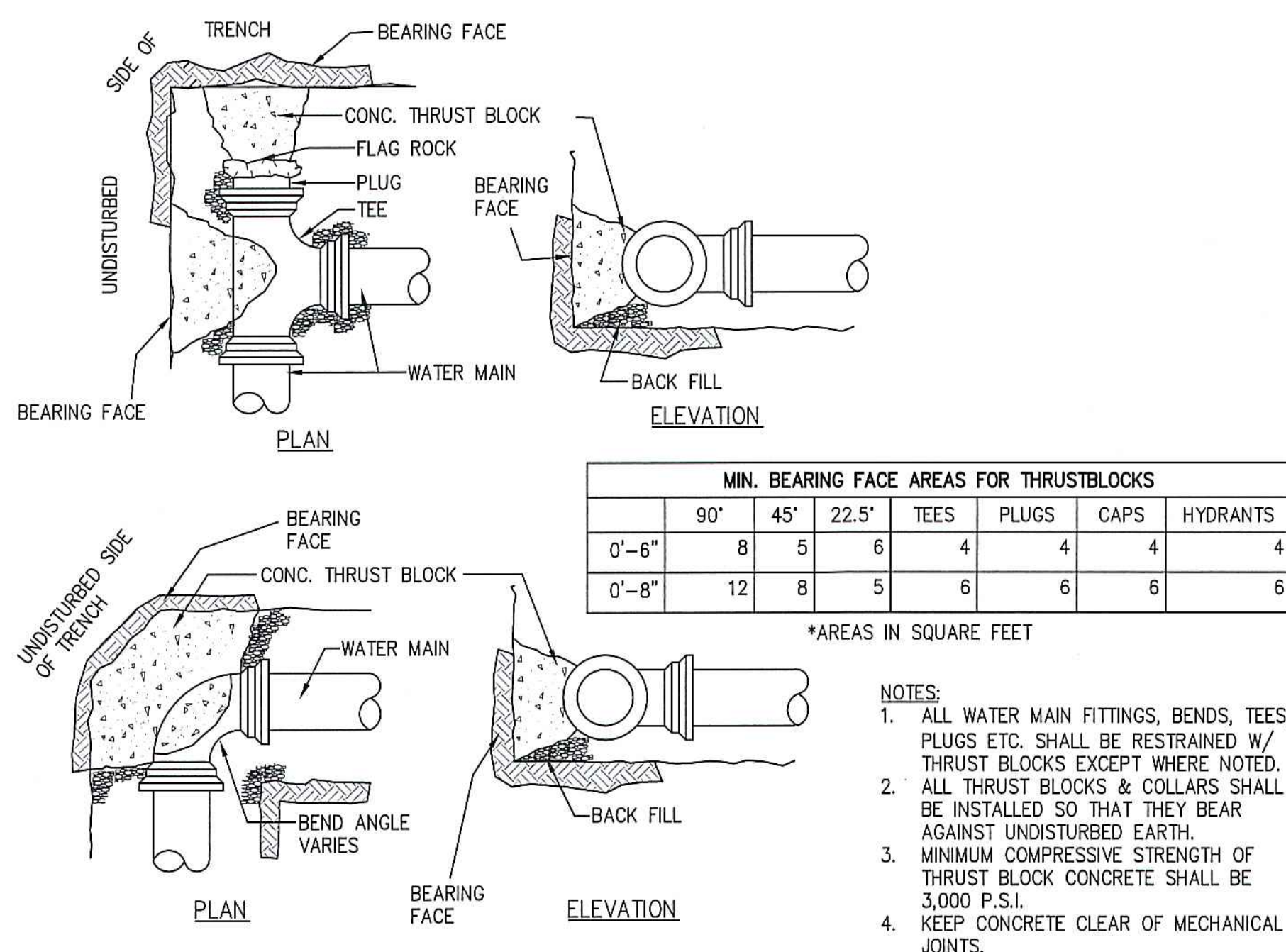
- PAVING NOTES:**
1. PAVEMENT SHALL BE TYPE 1, CLASS 1 BITUMINOUS CONCRETE
 2. PAVEMENT THICKNESS AFTER ROLLING
- SUBSOIL NOTE:**
- SUBSOILS TO BE INSPECTED PRIOR TO INSTALLATION OF PAVEMENT SUBBASE. IF UNCOMPACTED FILL OR UNSUITABLE SOIL IS PRESENT IT SHALL BE REMOVED TO UNDISTURBED NATIVE SOIL AND REPLACED WITH STRUCTURAL FILL COMPACTED TO 95% R.C.



- WATER SEWER CROSSING NOTE:**
1. IF 18" OF VERTICAL SEPARATION CANNOT BE ACHIEVED, ENCASE BOTH THE WATER AND SEWER MAINS IN CONCRETE FOR A DISTANCE OFF 10' TO EITHER SIDE OF THE CROSSING.



GATE VALVE DETAIL
(NOT TO SCALE)

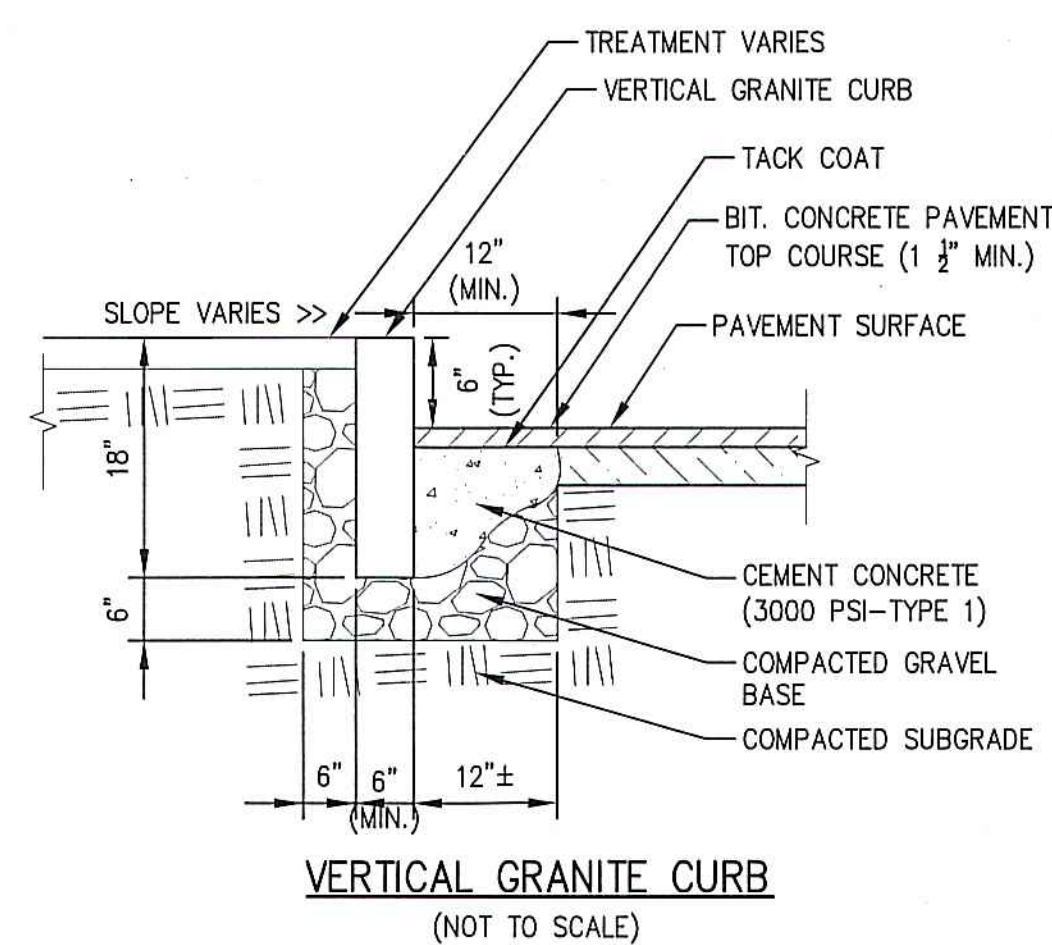


MIN. BEARING FACE AREAS FOR THRUSTBLOCKS							
	90°	45°	22.5°	TEES	PLUGS	CAPS	HYDRANTS
0'-6"	8	5	6	4	4	4	4
0'-8"	12	8	5	6	6	6	6

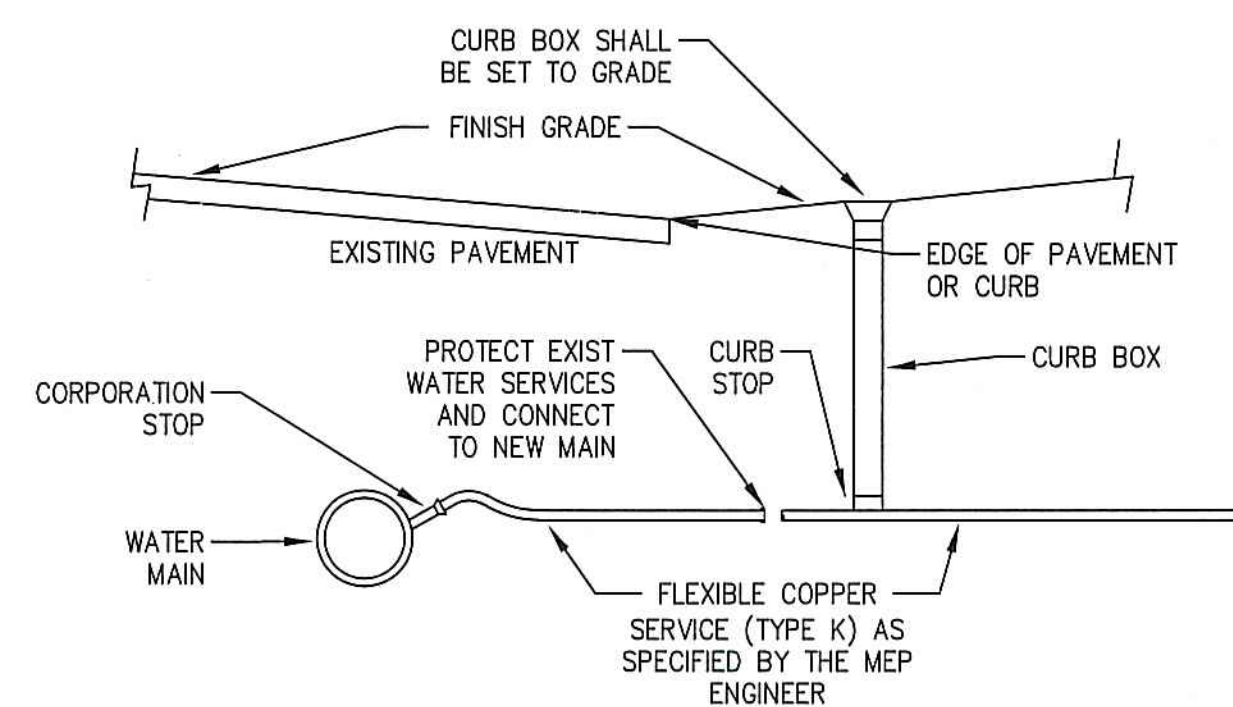
*AREAS IN SQUARE FEET

- NOTES:**
1. ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
 2. ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
 3. MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
 4. KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.

THRUST BLOCK DETAIL
(NOT TO SCALE)



VERTICAL GRANITE CURB
(NOT TO SCALE)



- NOTES:**
1. EXISTING WATER SERVICE SHALL BE SHUT OFF AT EXISTING CURB STOP AND SERVICE LINE CUT AND CAPPED JUST BEYOND CURB STOP.
 2. TAP EXISTING WATER MAIN WITH NEW CORPORATION STOP AND INSTALL NEW CURB STOP AND CURB BOX WITHIN EXISTING SIDEWALK
 3. SAW CUT EXISTING PAVEMENT AND SIDEWALK TO MINIMIZE REPAIRS. REPLACE ASPHALT PAVEMENT AND CONCRETE SIDEWALK TO MATCH EXISTING ELEVATIONS.

WATER SERVICE CORPORATION
(NOT TO SCALE)

PERMIT PLAN
(NOT AUTHORIZED
FOR CONSTRUCTION)

CLIENT:

**MINCO
DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:
**ARROWSTREET
ARCHITECTURE & DESIGN**

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ISSUANCE:

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DESIGN**

STAMP:



REVISIONS:

No.	Date	Description

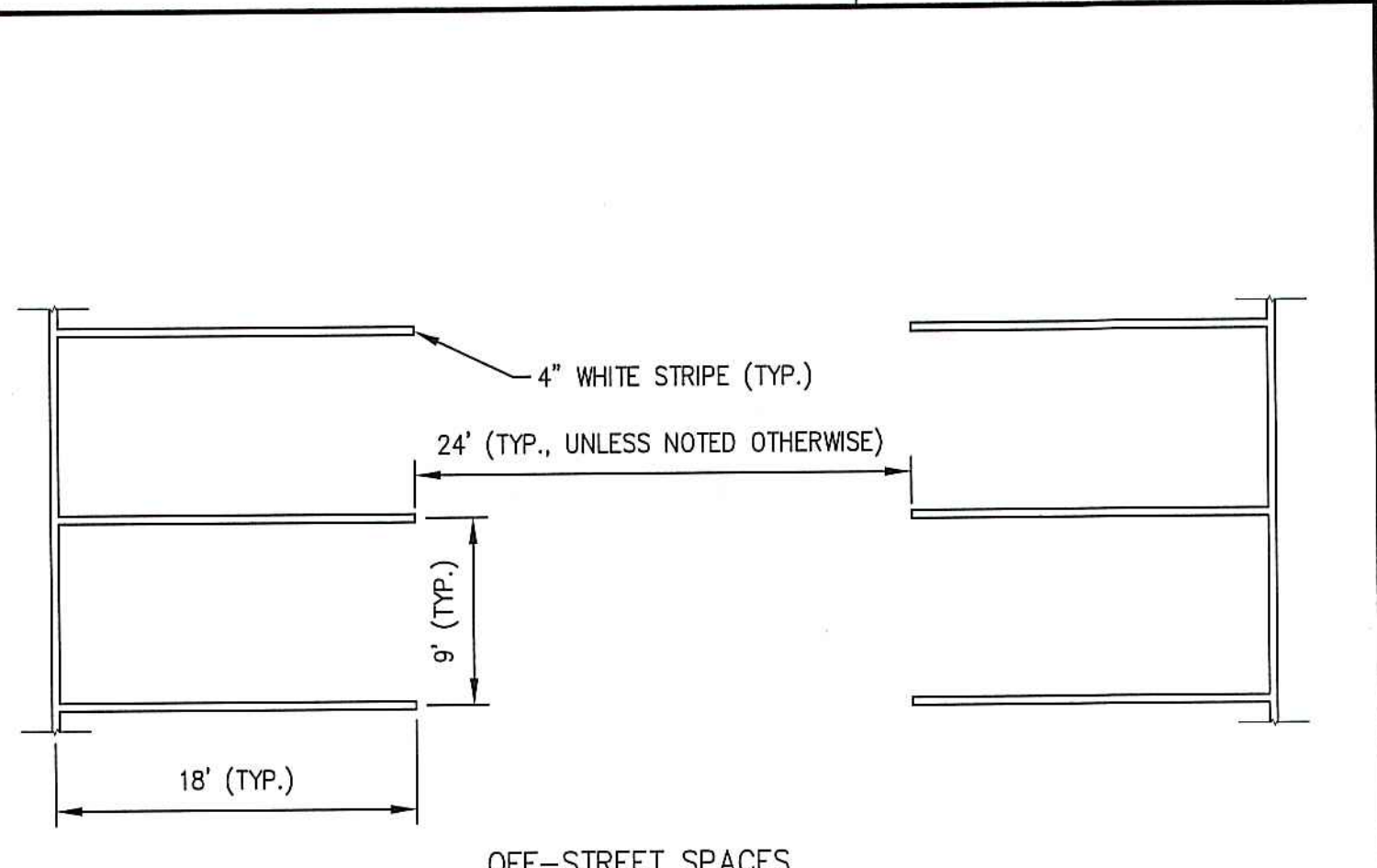
DRAWING TITLE:

**CONSTRUCTION
DETAILS I**

Project No.	3539
Drawn By	EWB
Date	10/27/2021
Scale	AS NOTED

DRAWING NUMBER:

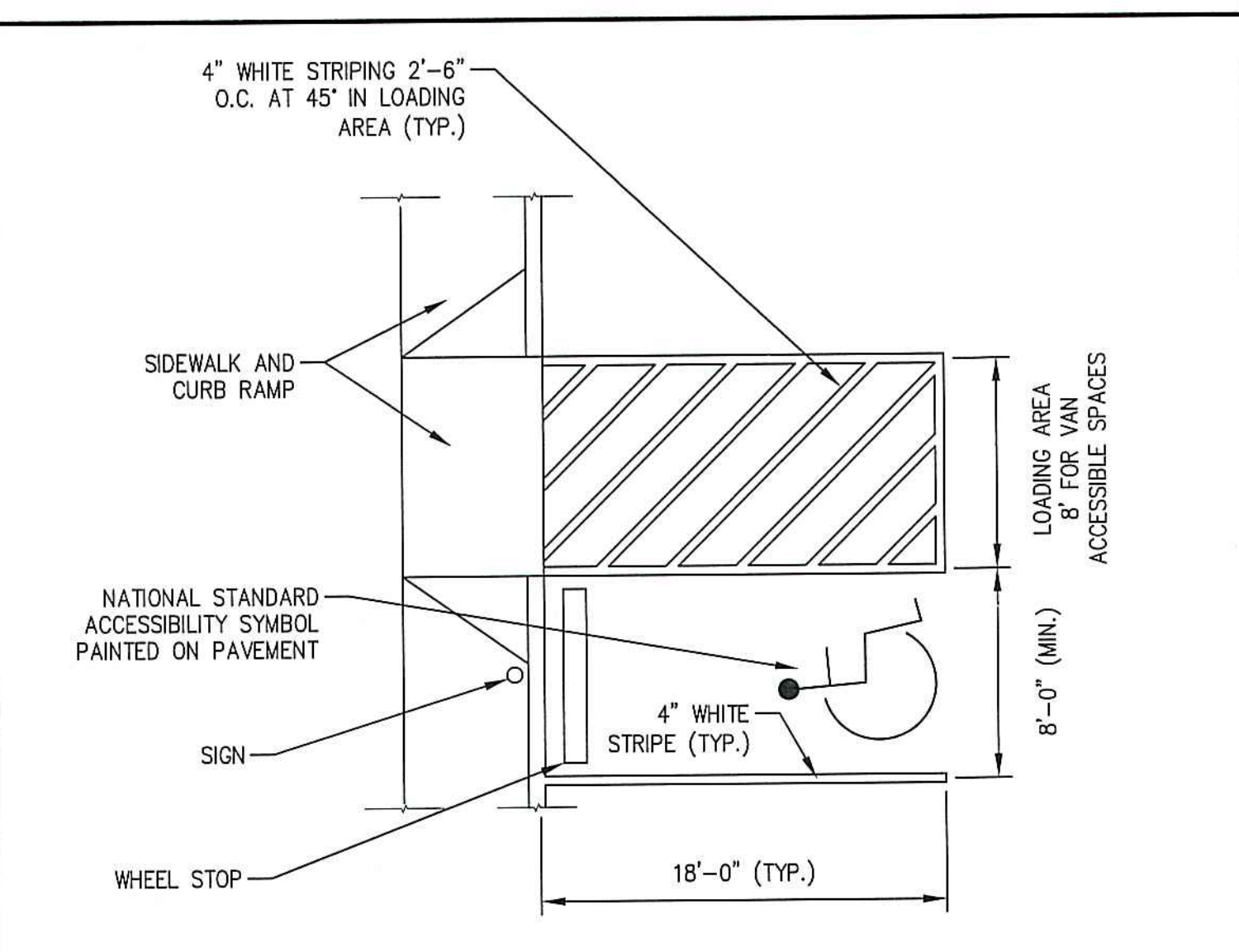
C4.1



OFF-STREET SPACES

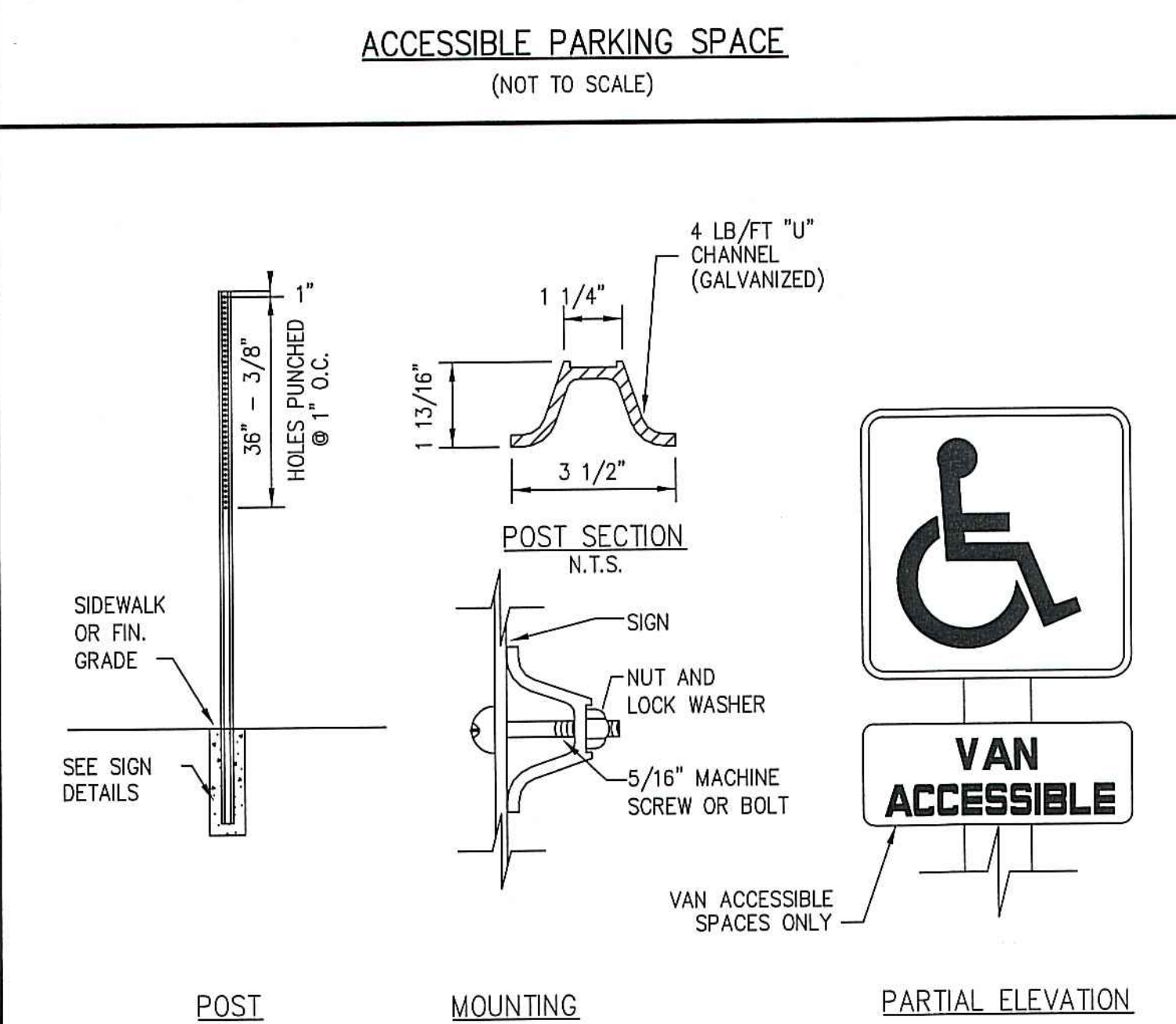


PARKING SPACE STRIPING
(NOT TO SCALE)

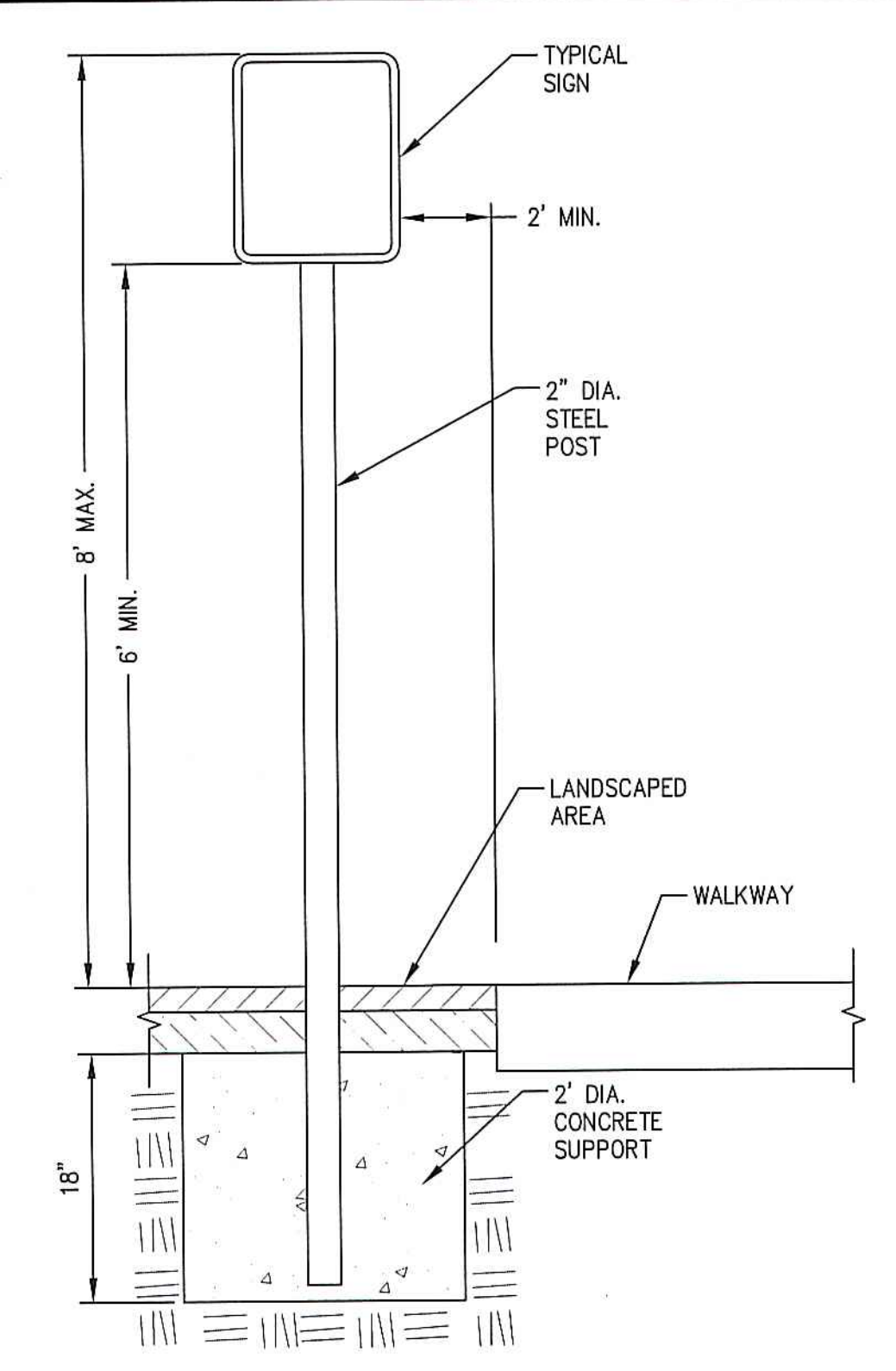


ACCESSIBLE PARKING SPACE
(NOT TO SCALE)

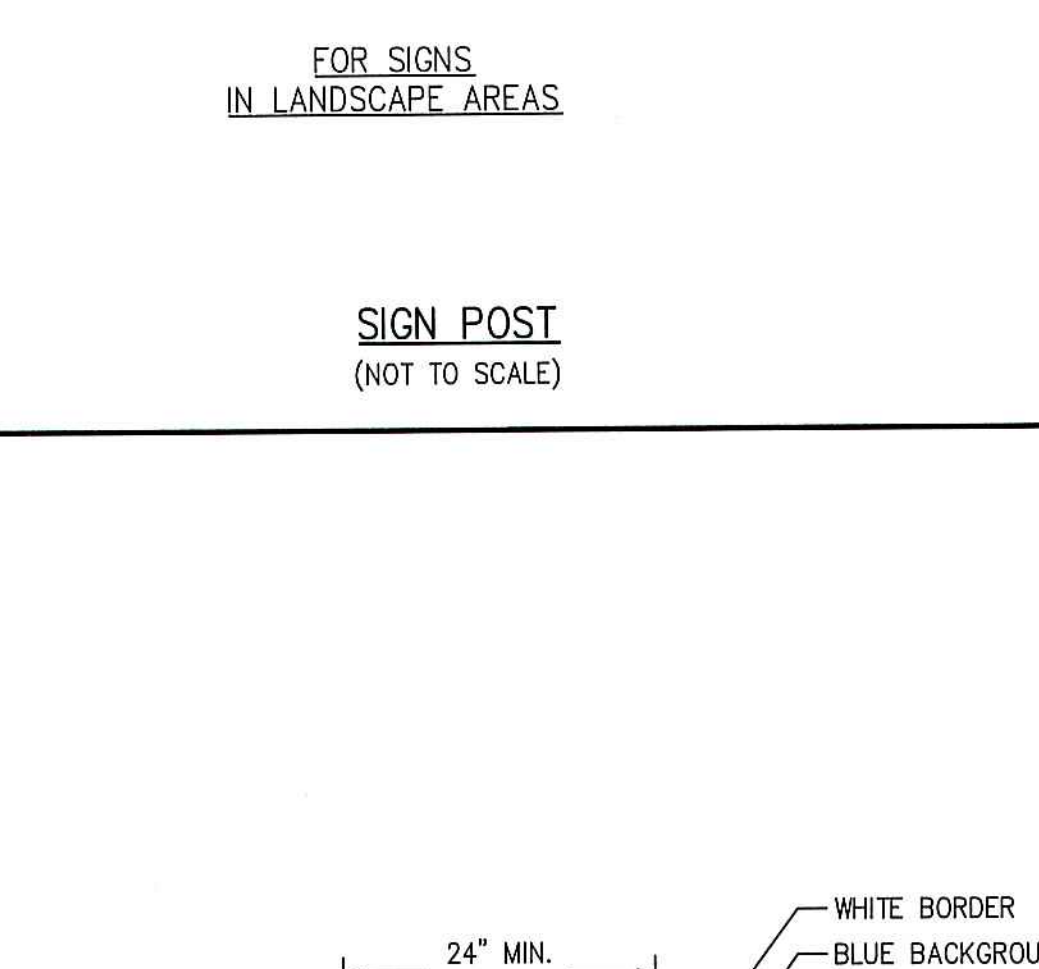
NOTE:
1. PAVEMENT MAX SLOPE 2% IN ALL DIRECTIONS.



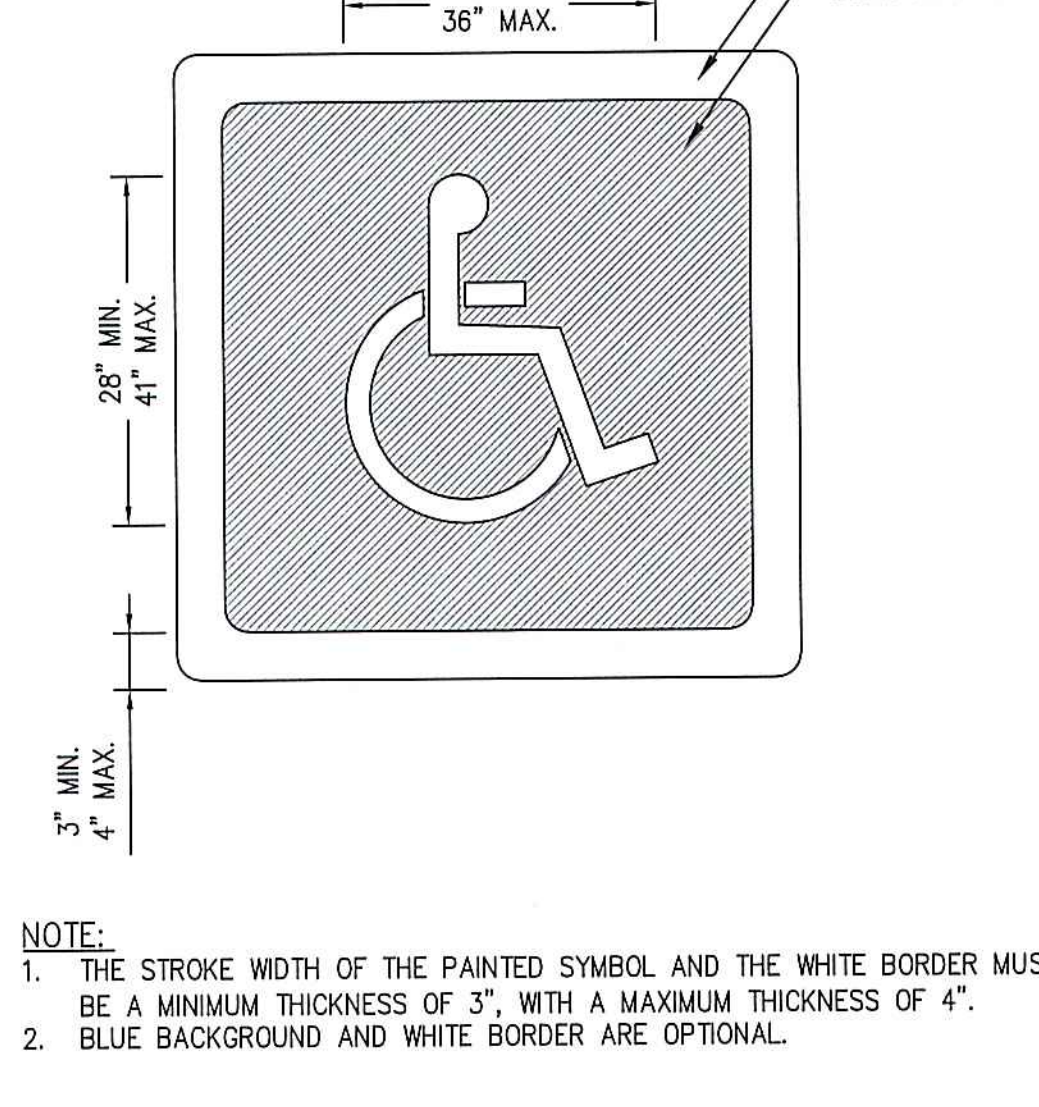
ACCESSIBLE PARKING SPACE SIGN
(NOT TO SCALE)



SIGN POST
(NOT TO SCALE)

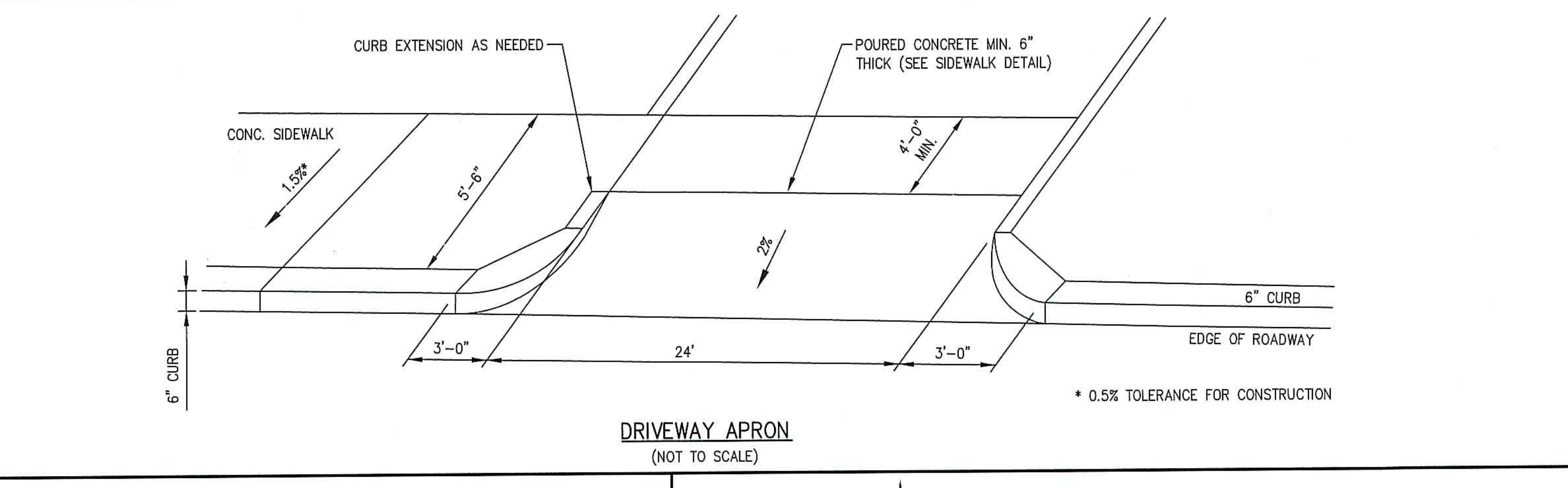


MULCH SOCK
(NOT TO SCALE)

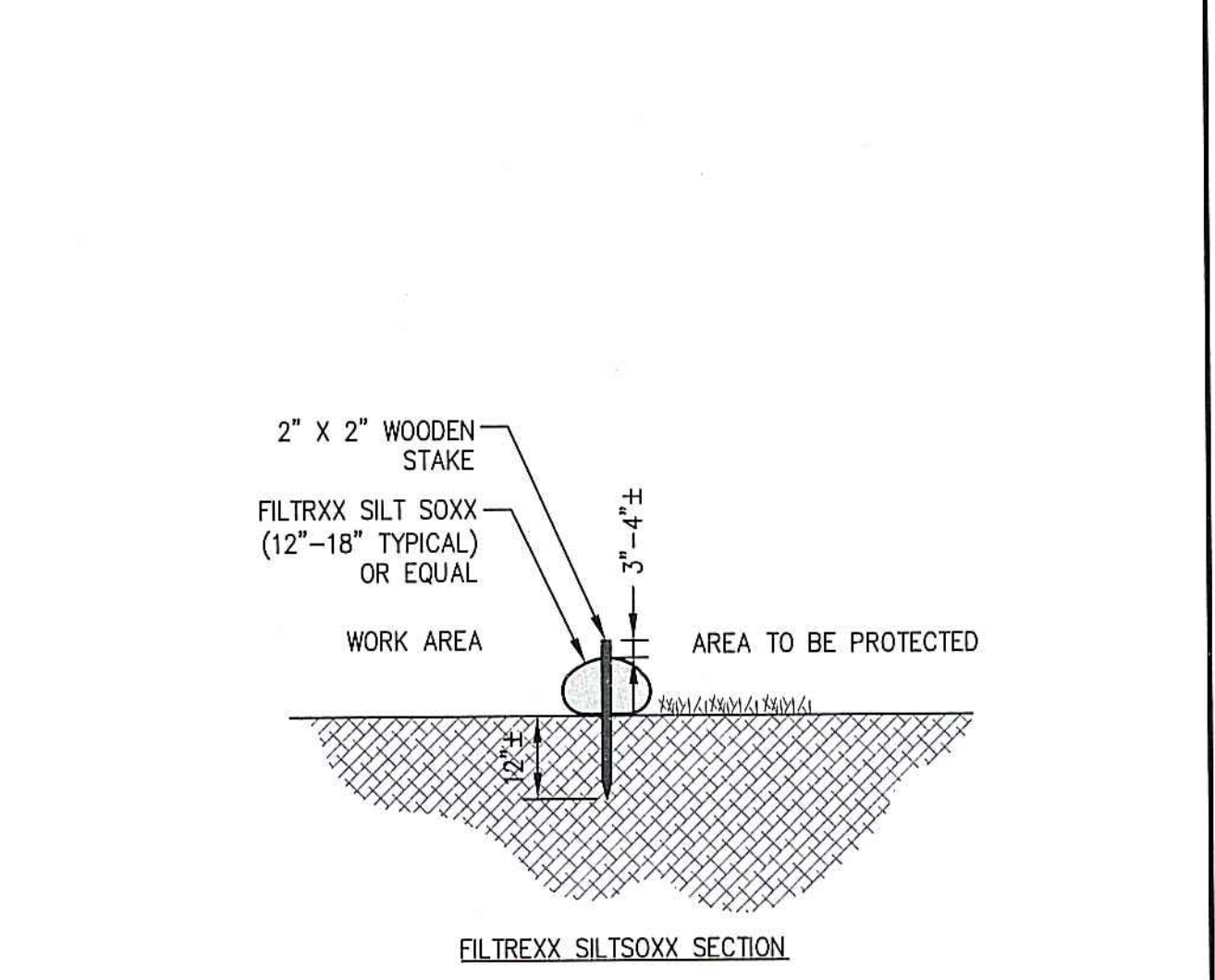


INTERNATIONAL ACCESSIBILITY PARKING SPACE SYMBOL
(NOT TO SCALE)

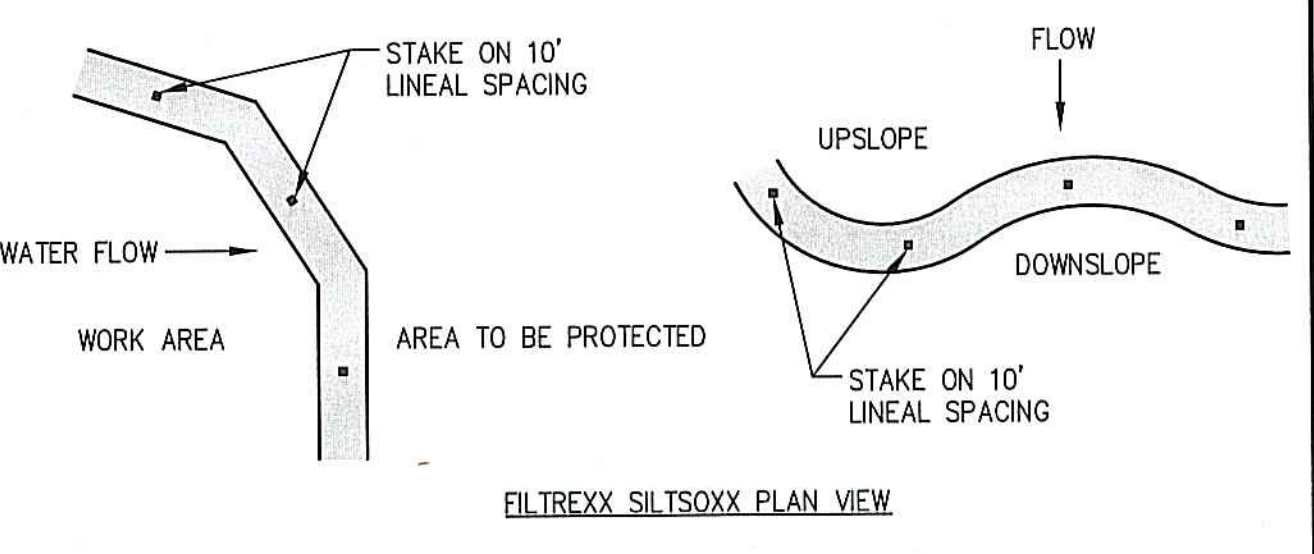
NOTE:
1. THE STROKE WIDTH OF THE PAINTED SYMBOL AND THE WHITE BORDER MUST BE A MINIMUM THICKNESS OF 3", WITH A MAXIMUM THICKNESS OF 4".
2. BLUE BACKGROUND AND WHITE BORDER ARE OPTIONAL.



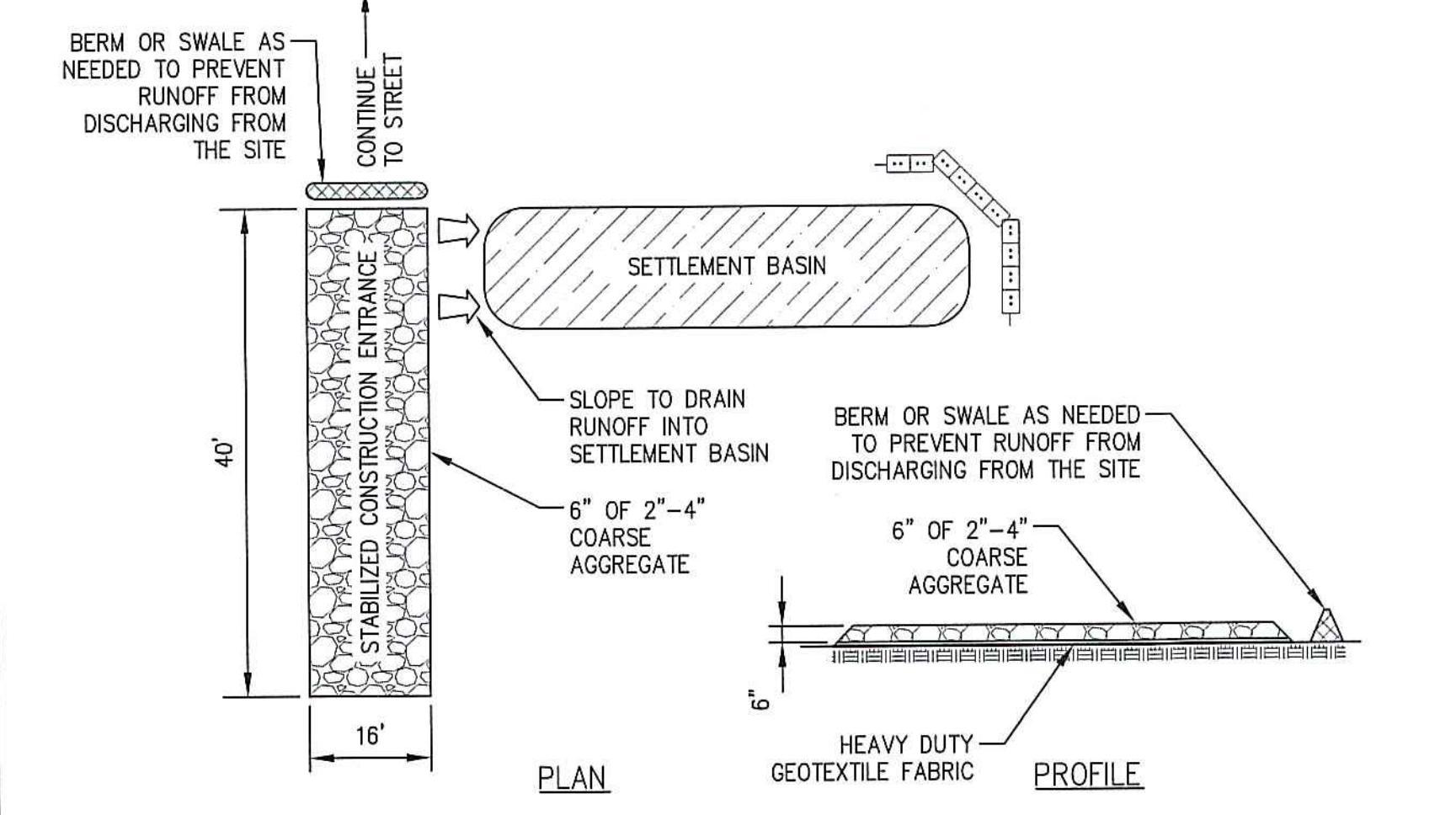
DRIVEWAY APRON
(NOT TO SCALE)



FILTRXX SILT SOCK SECTION



FILTRXX SILT SOCK PLAN VIEW

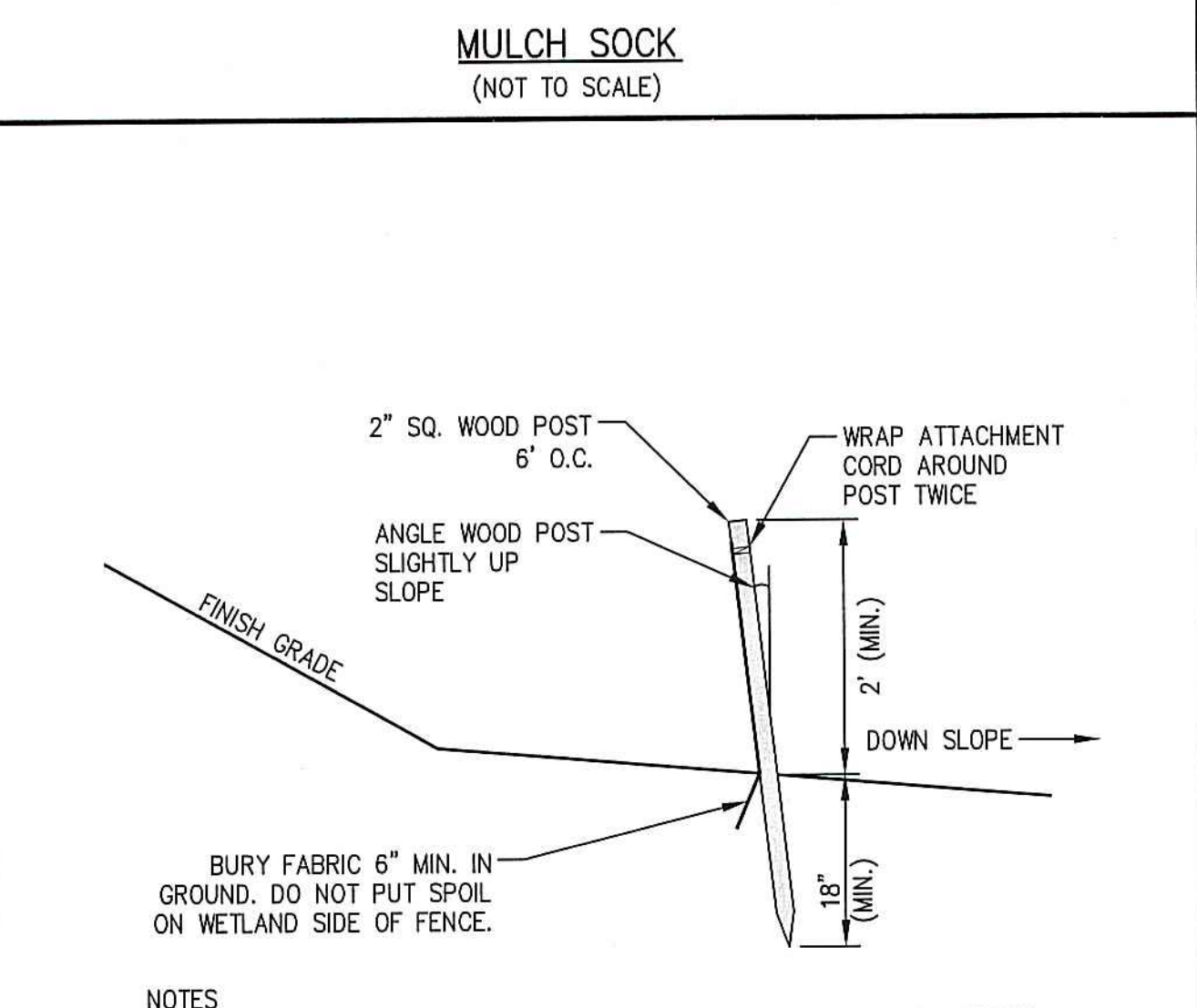


PLAN

PROFILE

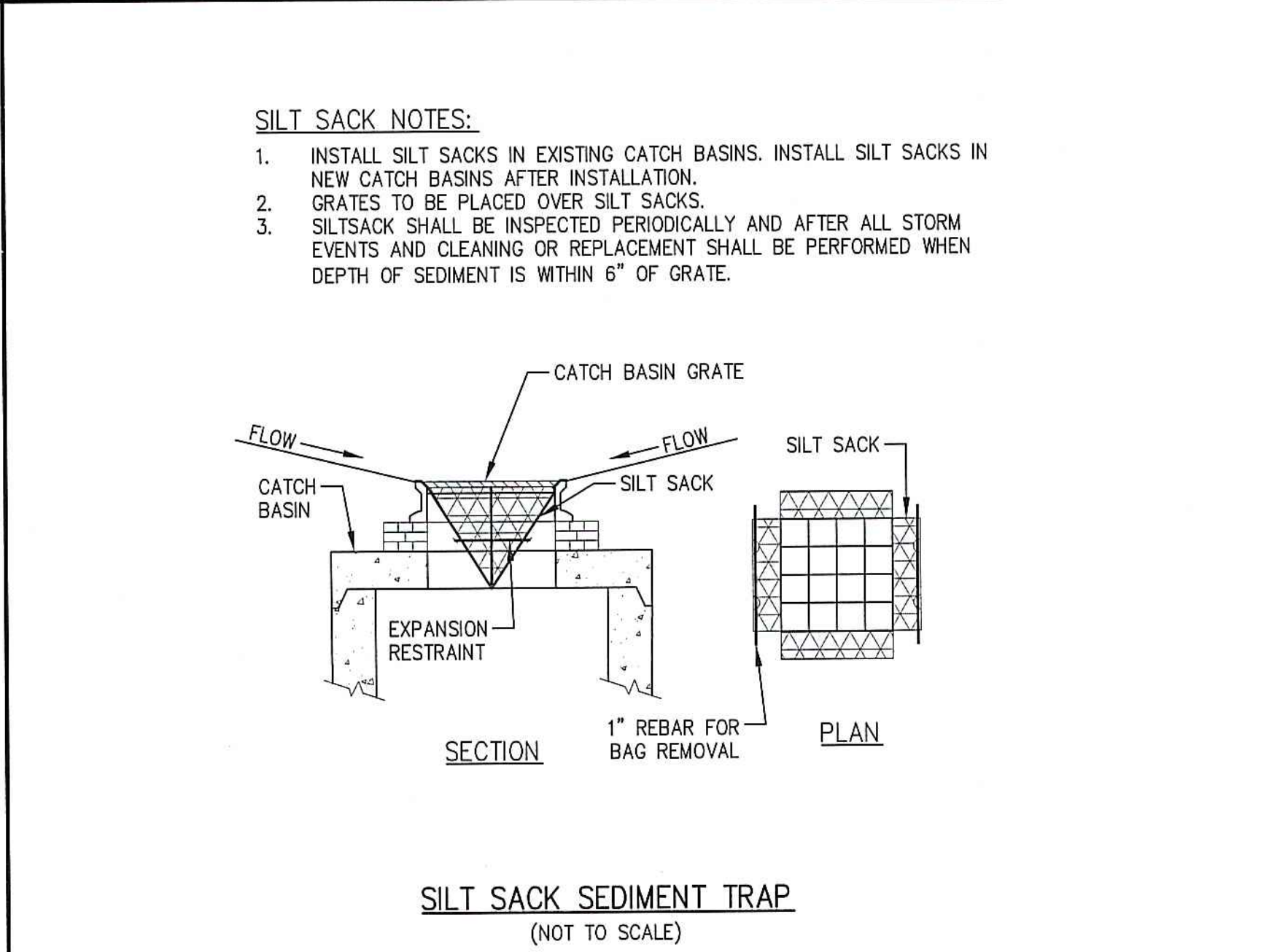
- SITE CONSTRUCTION EXIT SPECIFICATIONS FOR BOSTON WAY:
- STONE FOR STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 2"-4" STONE.
 - THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 40 FEET.
 - THE WIDTH OF THE ENTRANCE SHALL BE NO LESS THAN THE WIDTH OF THE INGRESS OR EGRESS DRIVE, OR 16 FEET, WHICHEVER IS GREATER.
 - GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
 - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH MINIMUM 1 TO 5 SLOPES THAT CAN BE CROSSED BY VEHICLES CAN BE SUBSTITUTED.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, SEDIMENT SPILLED, WASHED OR TRACKED ONTO THE RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)



SILT FENCE
(NOT TO SCALE)

NOTES
SILT FENCE TO BE INSTALLED AROUND LIMIT OF WORK TO PREVENT OFFSITE MIGRATION OF SEDIMENT DURING CONSTRUCTION.



SILT SACK SEDIMENT TRAP
(NOT TO SCALE)

- SILT SACK NOTES:
- INSTALL SILT SACKS IN EXISTING CATCH BASINS. INSTALL SILT SACKS IN NEW CATCH BASINS AFTER INSTALLATION.
 - GRATES TO BE PLACED OVER SILT SACKS.
 - SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED WHEN DEPTH OF SEDIMENT IS WITHIN 6" OF GRATE.

CLIENT:
MINCO DEVELOPMENT CORPORATION
231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:
ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANTS:
The Morin-Cameron GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
25 KENZO AVENUE, MASSACHUSETTS 01830
P: 978-373-0310, W: WWW.MORINCAMERON.COM

PROJECT INFORMATION:
NEWBURYPORT CROSSING AT PARKER ST
166-168 Newburyport Turnpike,
Newburyport, MA 01950

ISSUANCE:
CONCEPT DESIGN

STAMP:

REVISIONS:

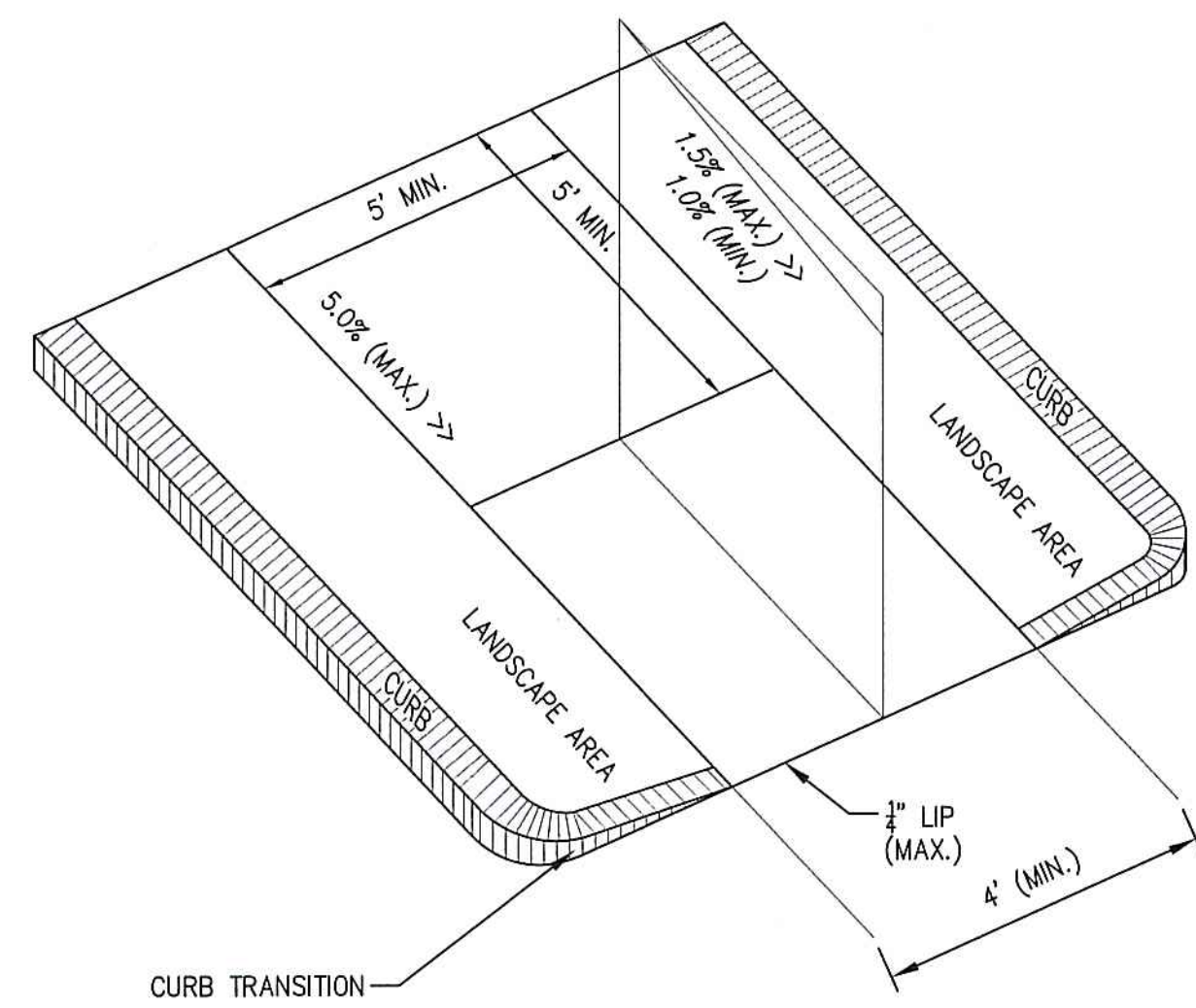
No.	Date	Description

DRAWING TITLE:
CONSTRUCTION DETAILS II

Project No.	3539
Drawn By	EWB
Date	10/27/2021
Scale	AS NOTED

DRAWING NUMBER:
C4.2

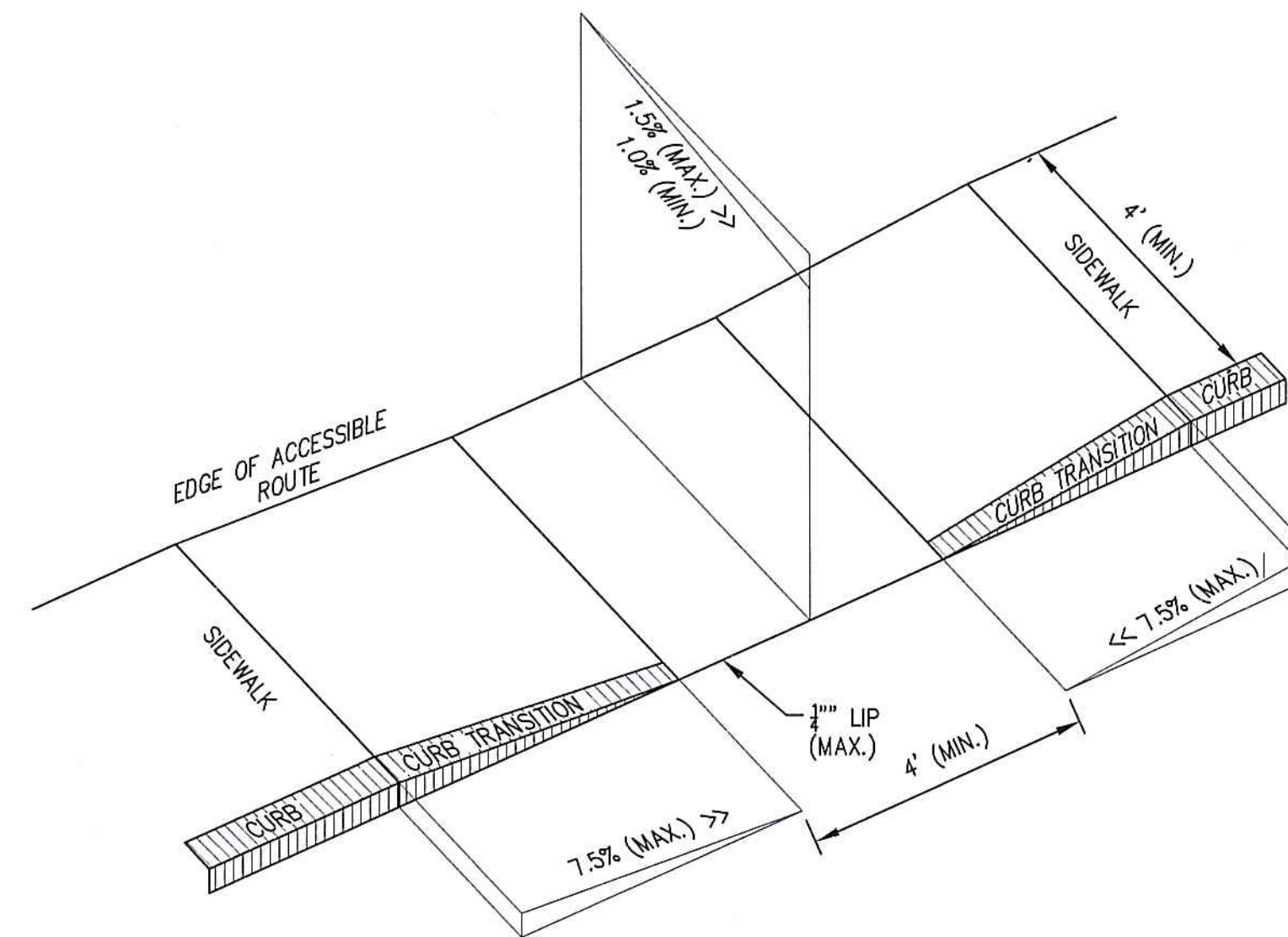
**PERMIT PLAN
(NOT AUTHORIZED
FOR CONSTRUCTION)**



NOTES:

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.

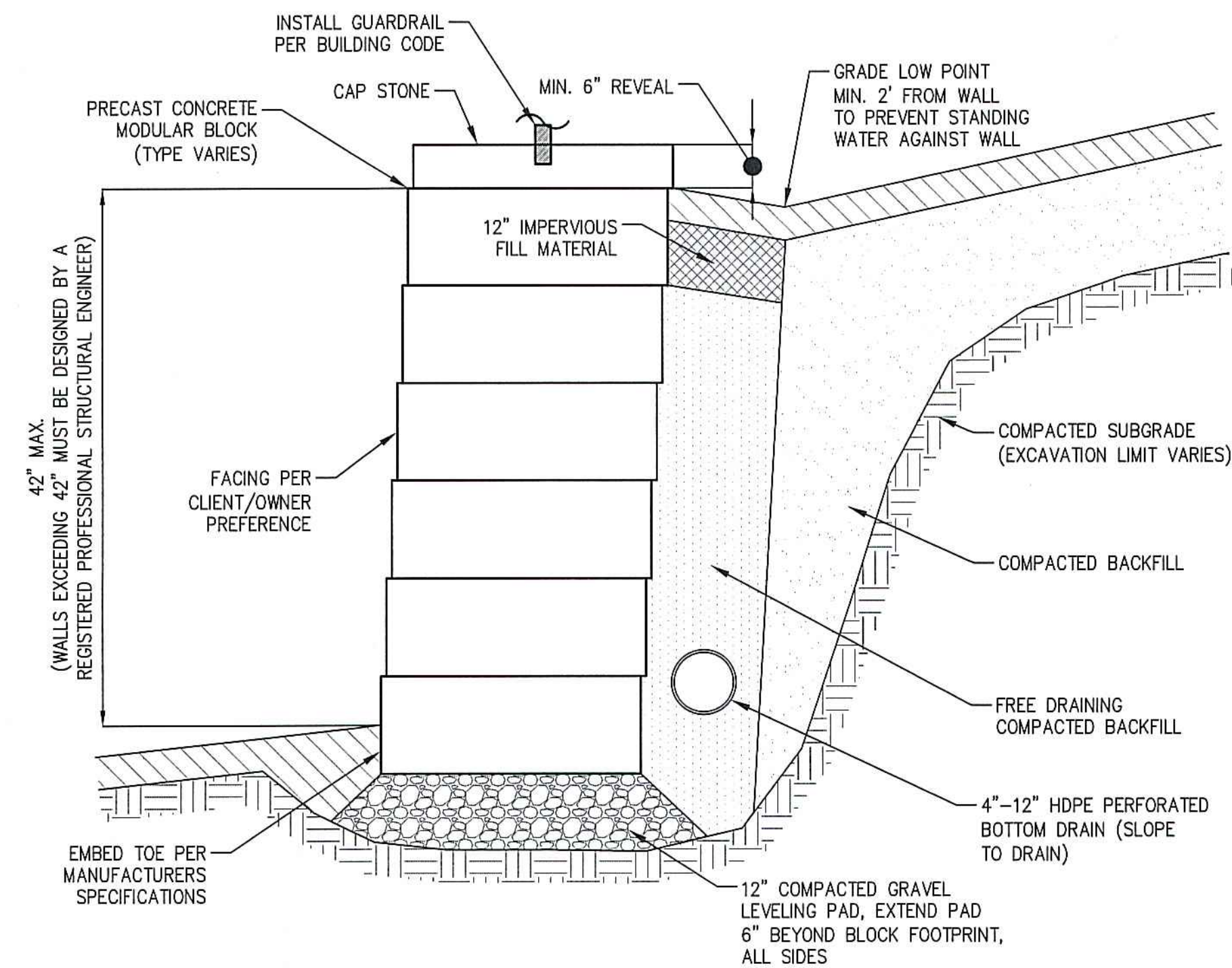
ACCESSIBLE CURB RAMP (TYPE 'A')
(NOT TO SCALE)



NOTES:

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
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4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
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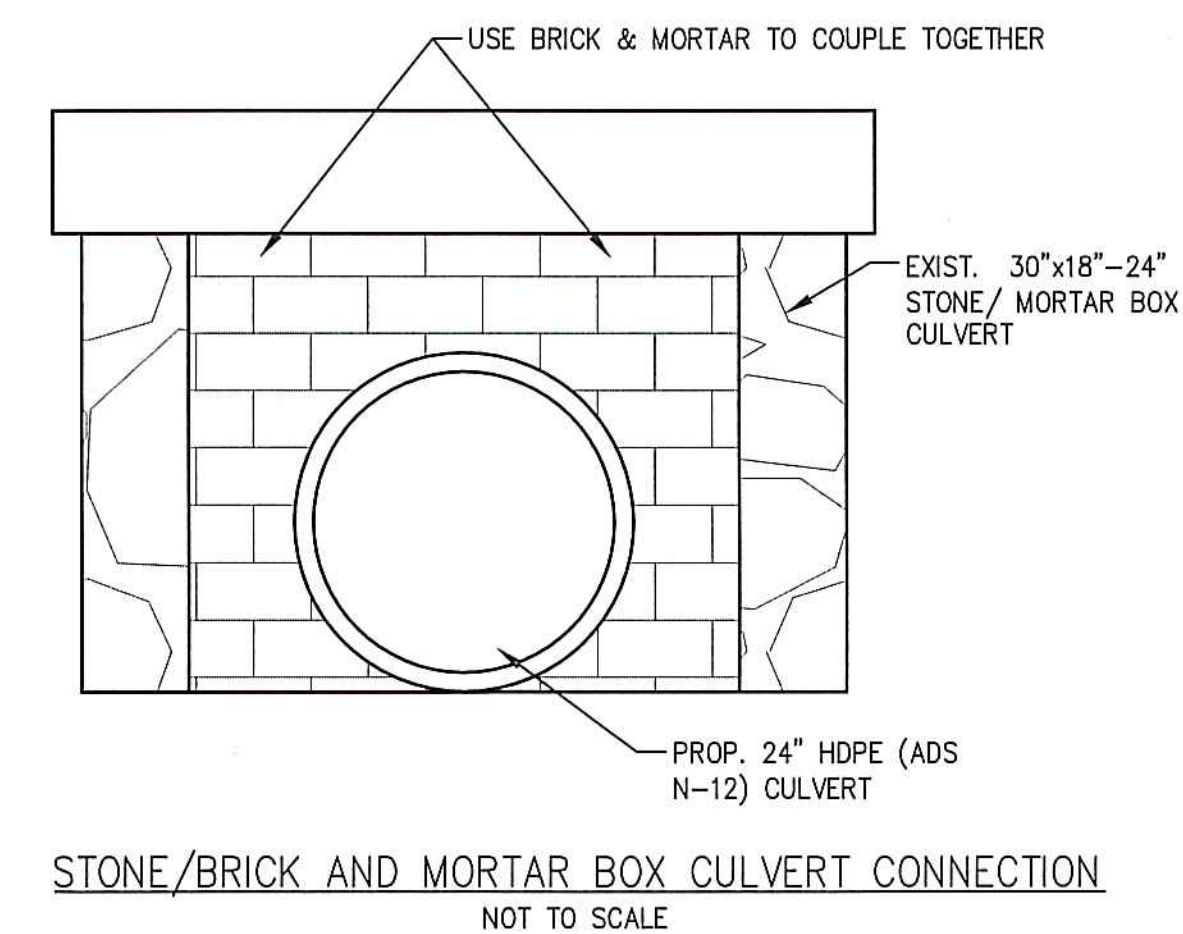
ACCESSIBLE CURB RAMP (TYPE 'B')
(NOT TO SCALE)



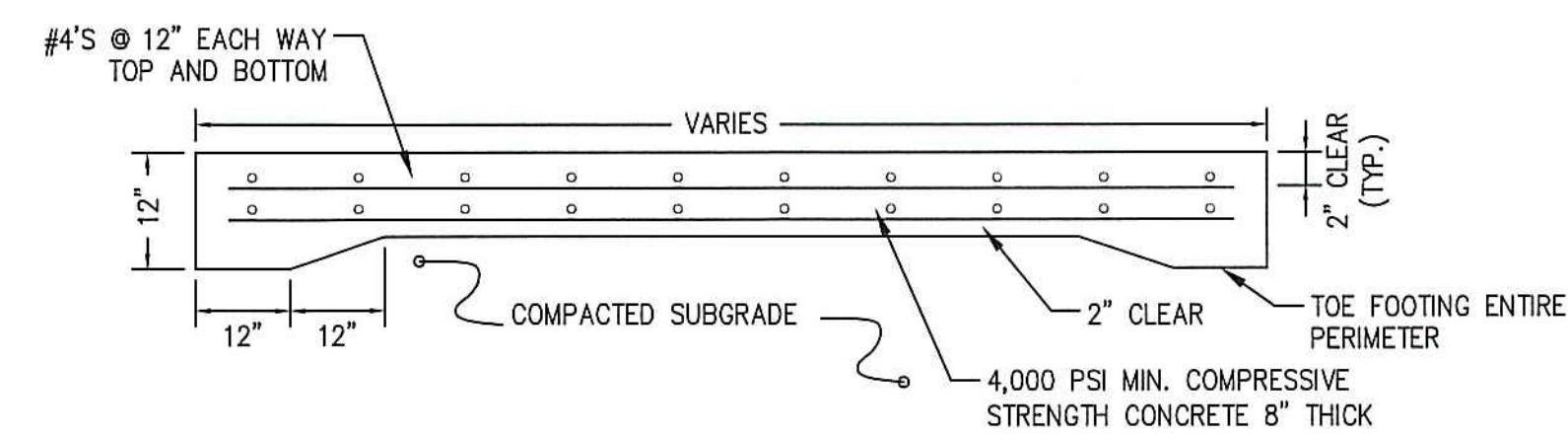
NOTES:

1. THIS MODULAR BLOCK RETAINING WALL DETAIL FOR DEMONSTRATIONAL PURPOSES ONLY. REFER TO MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES.
2. PRECAST CONCRETE MODULAR BLOCK UNIT DIMENSIONS, COLOR AND FACING CAN VARY PER CLIENT/OWNER PREFERENCE.
3. BOTTOM DRAIN SHALL DAYLIGHT AND/OR WEEP HOLES SHALL BE PROVIDED AT THE TOE OF FINISHED GRADE. THE INSTALLER SHALL TAKE CARE TO STABILIZE THE BOTTOM DRAIN DISCHARGE POINT TO PREVENT EROSION.
4. BOTTOM DRAIN SIZE SHALL BE DETERMINED IN THE FIELD BASED ON ANTICIPATED GROUNDWATER/SURFACE WATER CONDITIONS TO ENSURE ADEQUATE CAPACITY.

TYPICAL MODULAR BLOCK RETAINING WALL
(NOT TO SCALE)



STONE/BRICK AND MORTAR BOX CULVERT CONNECTION
(NOT TO SCALE)



CONCRETE DUMPSTER PAD
(NOT TO SCALE)

PERMIT PLAN
(NOT AUTHORIZED
FOR CONSTRUCTION)

CLIENT:

MINCO
DEVELOPMENT
CORPORATION

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

ARROWSTREET
ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANTS:

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25 KENOSIA AVENUE, MASSACHUSETTS 01830
P. 978-373-0310, W. WWW.MORINCAMERON.COM

PROJECT INFORMATION:

NEWBURYPORT
CROSSING AT
PARKER ST

166-168 Newburyport Turnpike,
Newburyport, MA 01950

ISSUANCE:

CONCEPT
DESIGN

STAMP:



REVISIONS:

No.	Date	Description

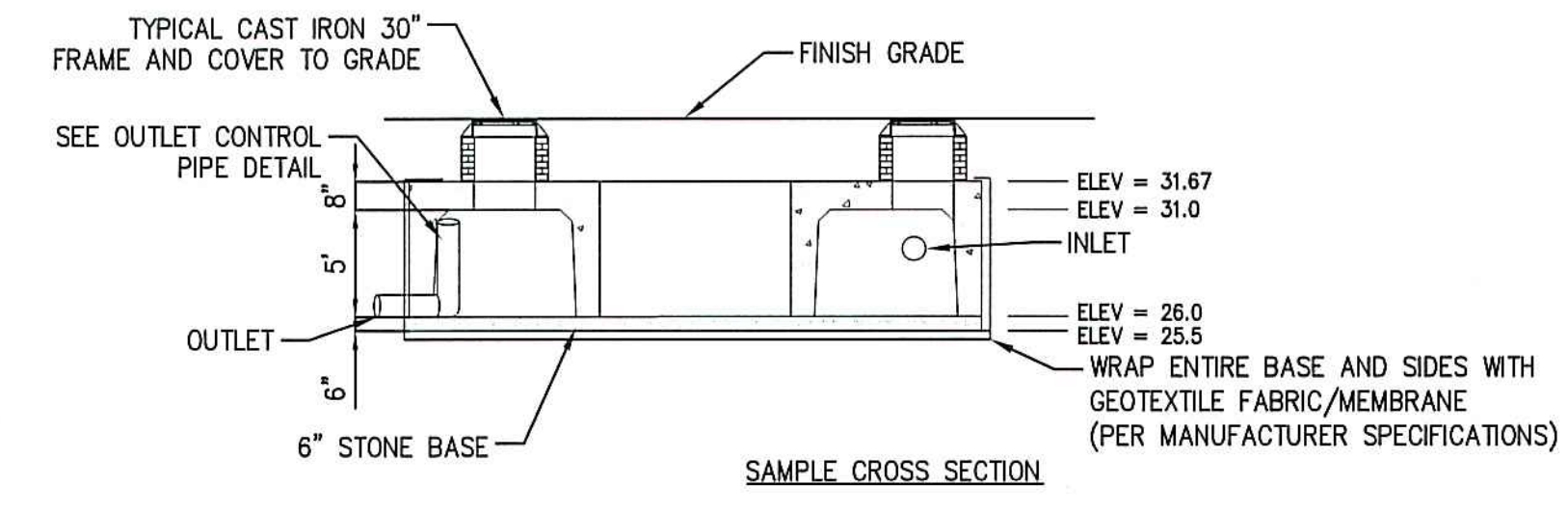
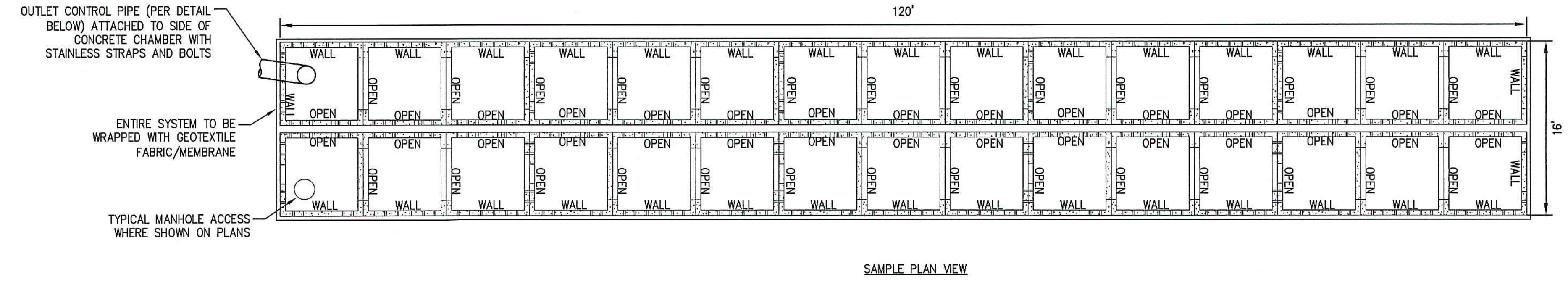
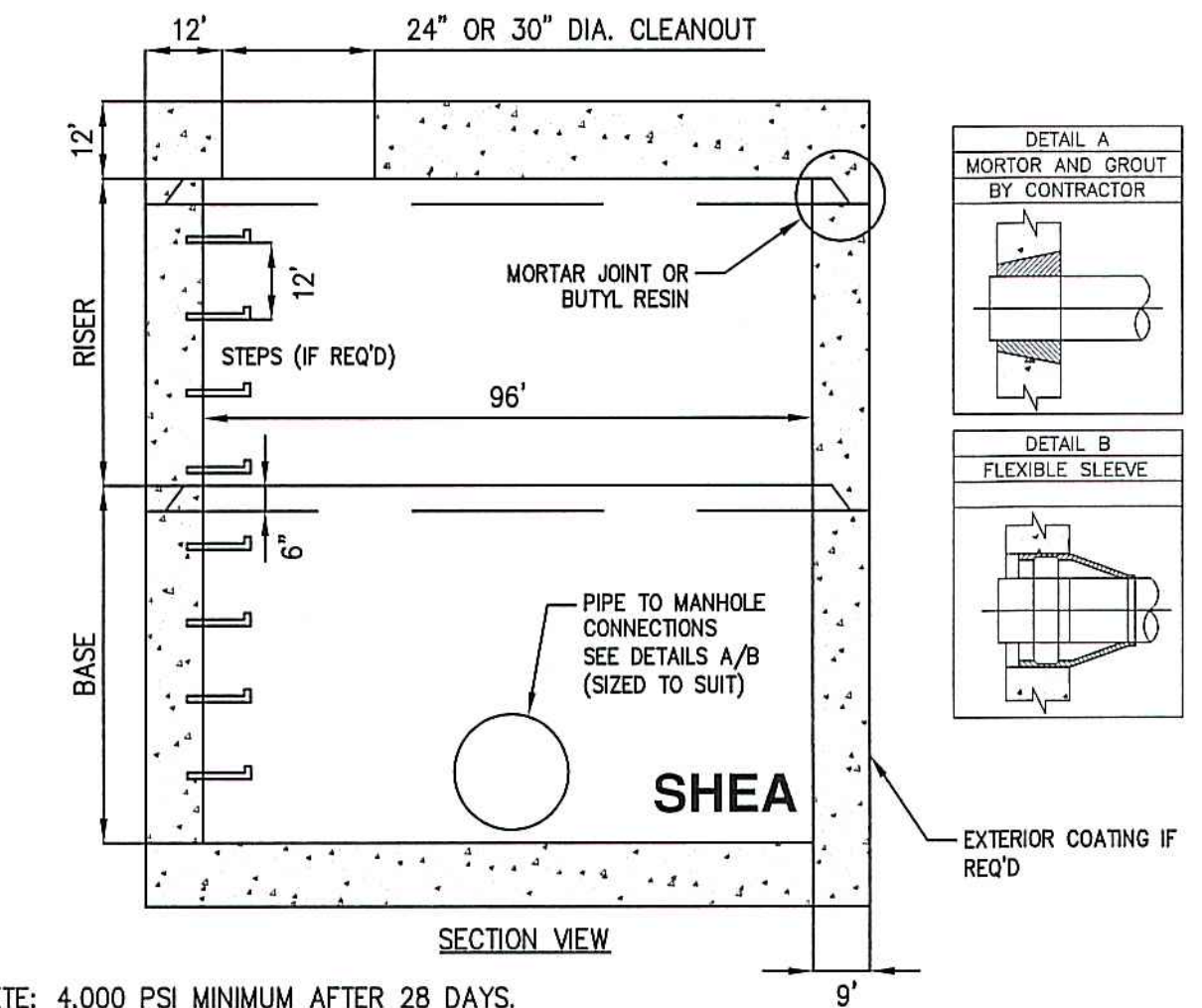
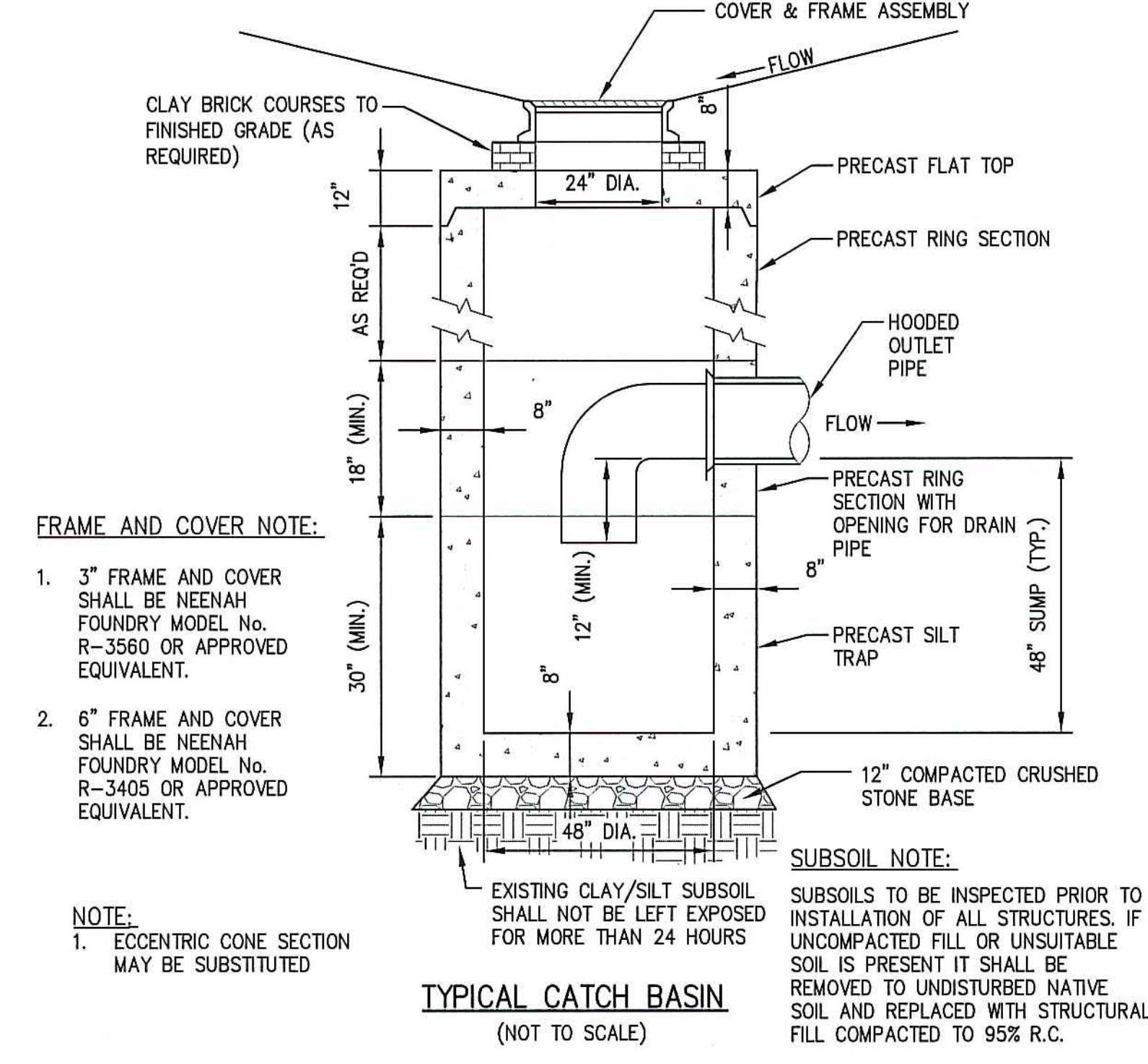
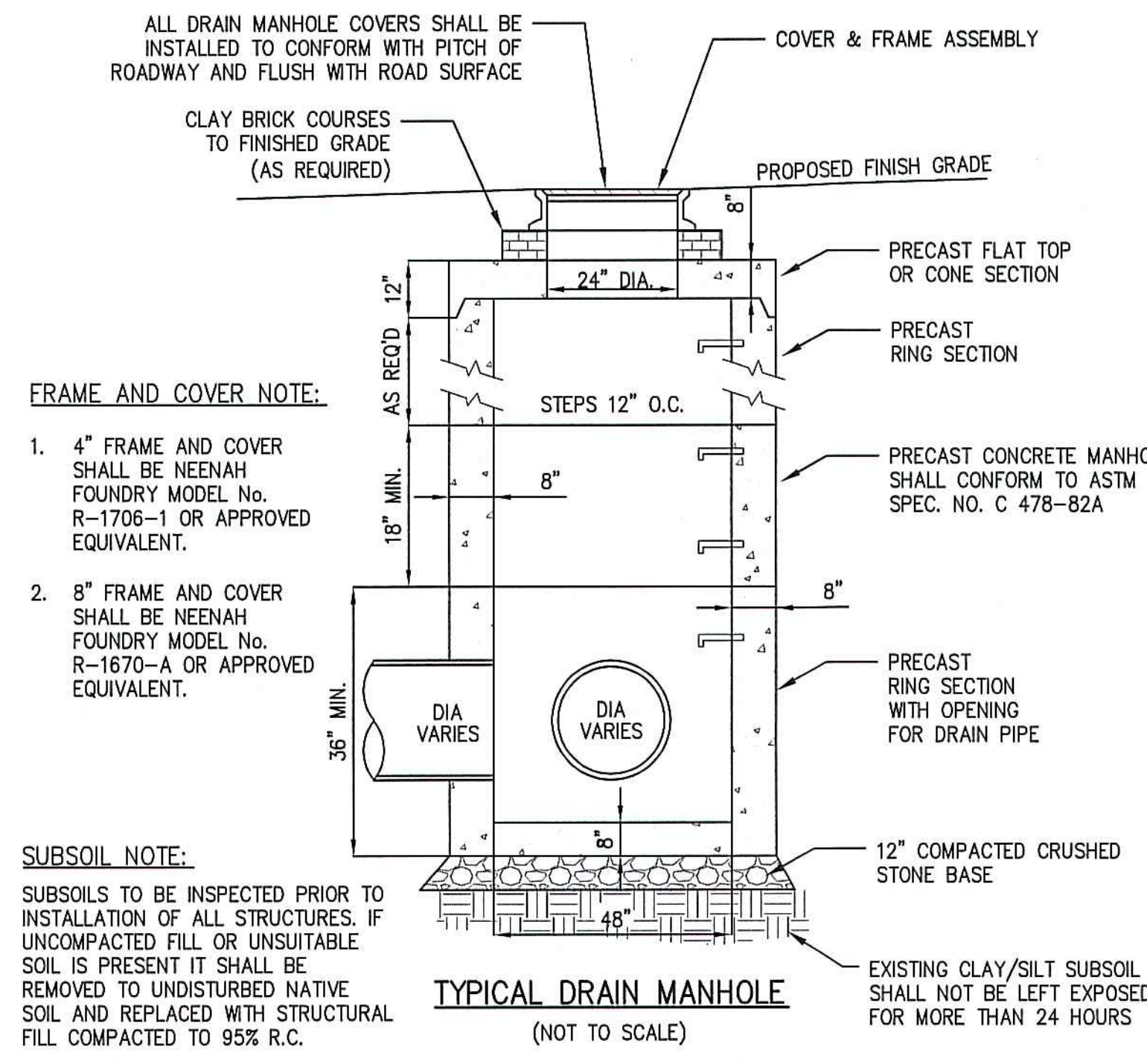
DRAWING TITLE:

CONSTRUCTION
DETAILS III

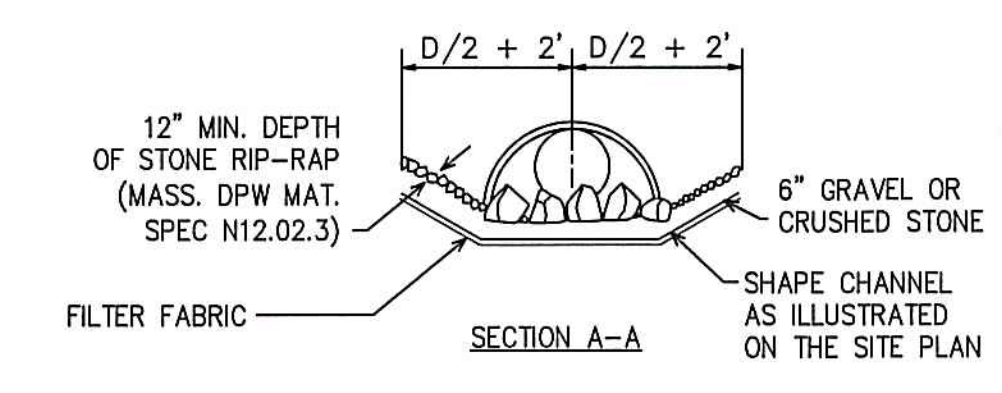
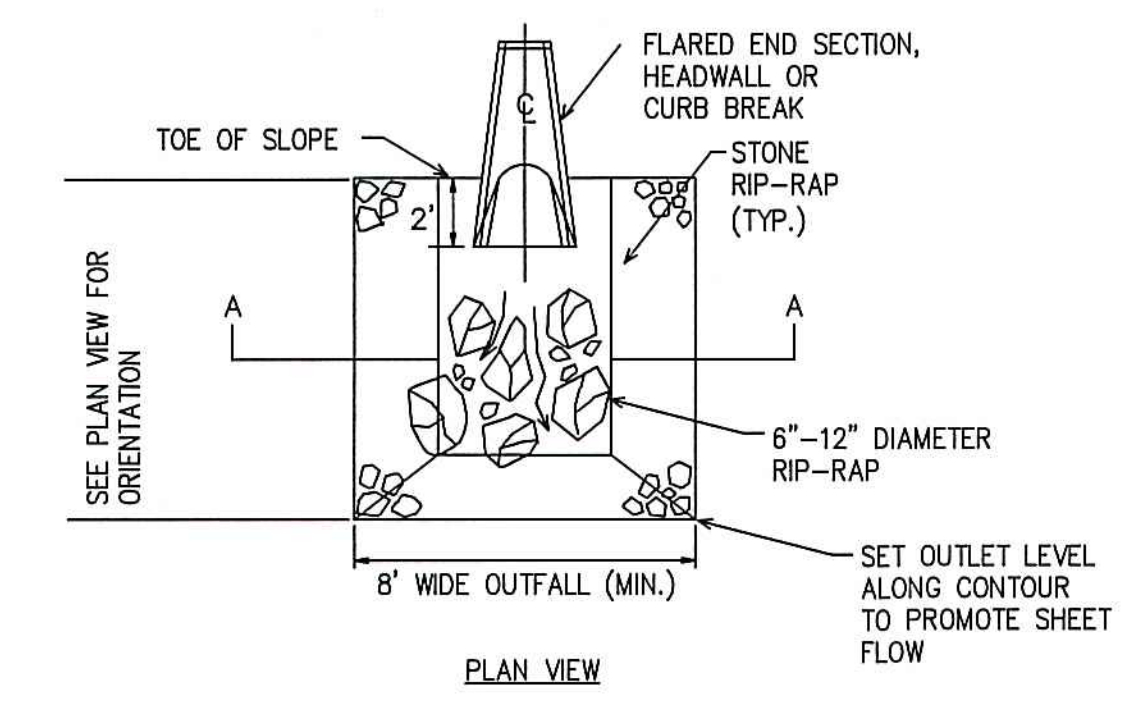
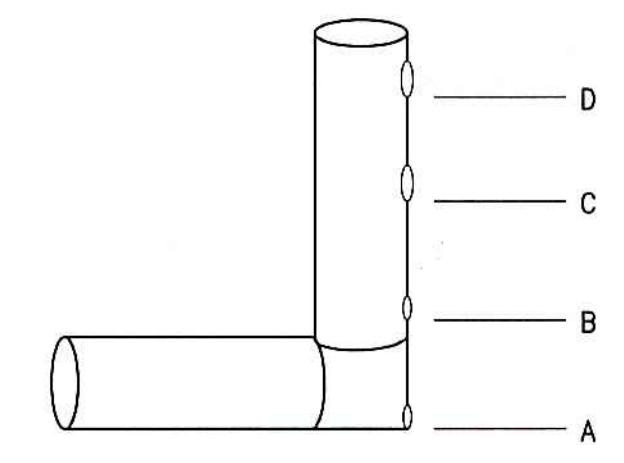
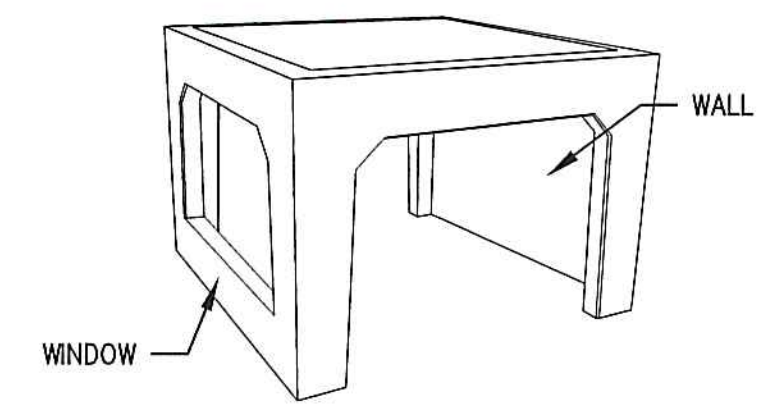
Project No.	3539
Drawn By	EWB
Date	10/27/2021
Scale	AS NOTED

DRAWING NUMBER:

C4.3



SUBSURFACE DETENTION SYSTEM (RETAIN-IT MODULES)
(NOT TO SCALE)



STONE ENERGY DISSIPATOR (INLET/OUTLET PROTECTION)
(NOT TO SCALE)

PERMIT PLAN
(NOT AUTHORIZED FOR CONSTRUCTION)

CLIENT:

MINCO DEVELOPMENT CORPORATION

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANTS:

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LAND SURVEYORS | LAND USE PLANNERS
25 KENZA AVENUE, MASSACHUSETTS 01830
P: 978-373-0310, W: WWW.MORINCAMERON.COM

PROJECT INFORMATION:

NEWBURYPORT CROSSING AT PARKER ST

166-168 Newburyport Turnpike,
Newburyport, MA 01950

ISSUANCE:

CONCEPT DESIGN

STAMP:



REVISIONS:

No.	Date	Description

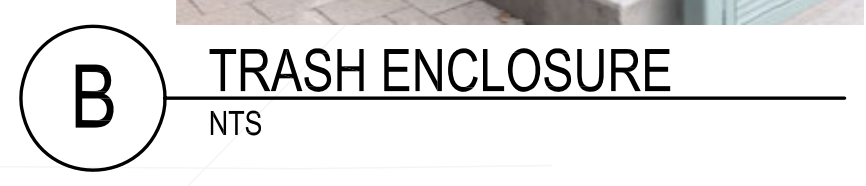
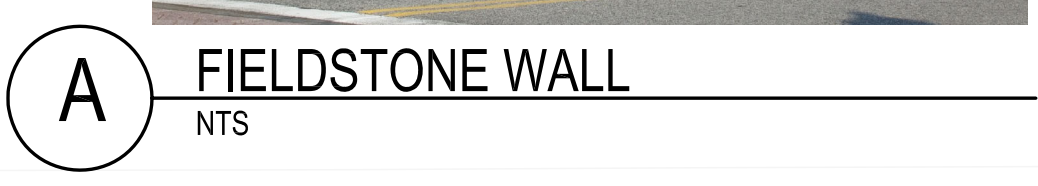
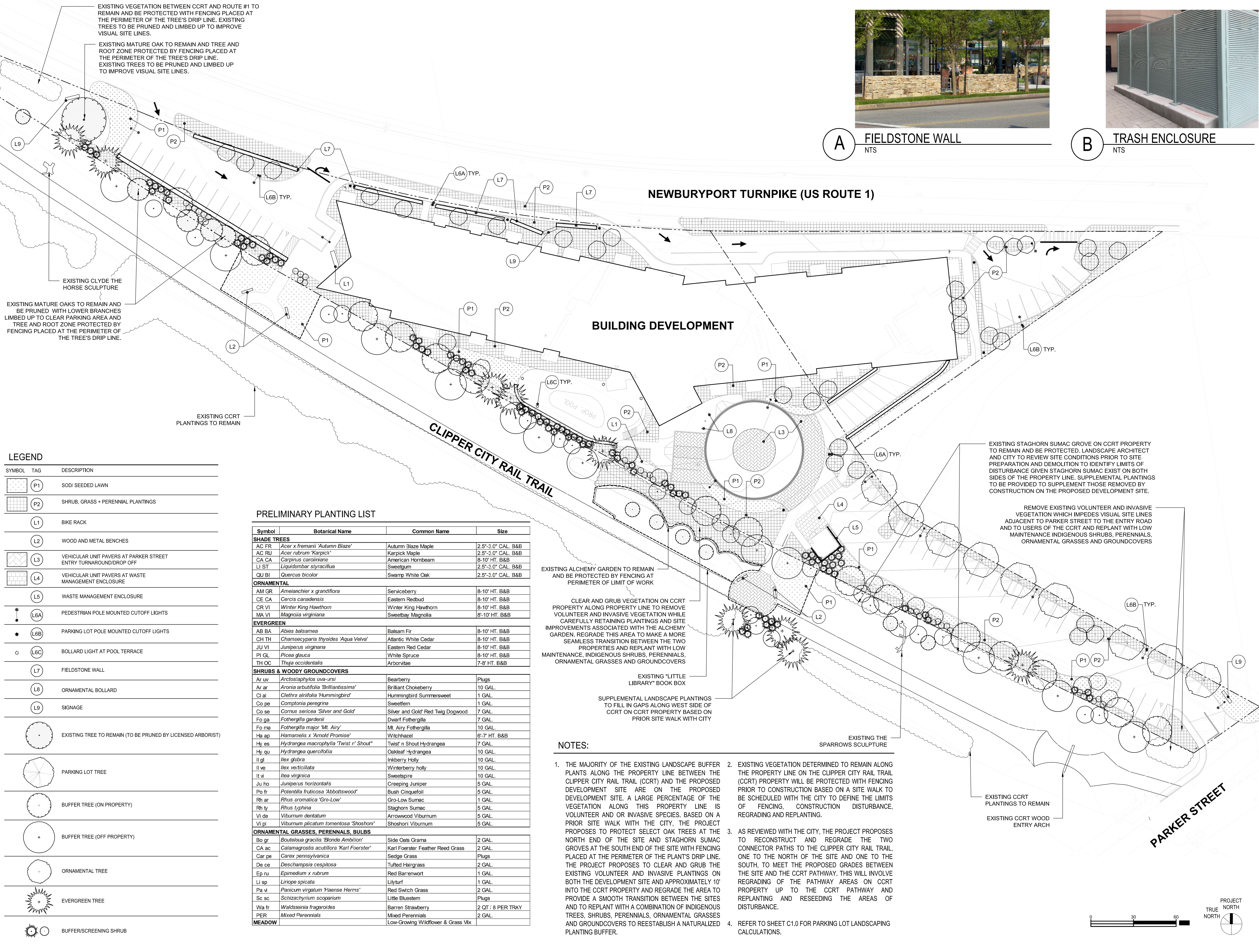
DRAWING TITLE:

CONSTRUCTION DETAILS IV

Project No.	3539
Drawn By	EWB
Date	10/27/2021
Scale	AS NOTED

DRAWING NUMBER:

C4.4



LEGEND

SYMBOL	TAG	DESCRIPTION
[Pattern]	P1	SOD/ SEEDED LAWN
[Pattern]	P2	SHRUB, GRASS + PERENNIAL PLANTINGS
[Symbol]	L1	BIKE RACK
[Symbol]	L2	WOOD AND METAL BENCHES
[Pattern]	L3	VEHICULAR UNIT PAVERS AT PARKER STREET ENTRY TURNAROUND/DROP OFF
[Pattern]	L4	VEHICULAR UNIT PAVERS AT WASTE MANAGEMENT ENCLOSURE
[Symbol]	L5	WASTE MANAGEMENT ENCLOSURE
[Symbol]	L6A	PEDESTRIAN POLE MOUNTED CUTOFF LIGHTS
[Symbol]	L6B	PARKING LOT POLE MOUNTED CUTOFF LIGHTS
[Symbol]	L6C	BOLLARD LIGHT AT POOL TERRACE
[Symbol]	L7	FIELDSTONE WALL
[Symbol]	L8	ORNAMENTAL BOLLARD
[Symbol]	L9	SIGNAGE
[Symbol]		EXISTING TREE TO REMAIN (TO BE PRUNED BY LICENSED ARBORIST)
[Symbol]		PARKING LOT TREE
[Symbol]		BUFFER TREE (ON PROPERTY)
[Symbol]		BUFFER TREE (OFF PROPERTY)
[Symbol]		ORNAMENTAL TREE
[Symbol]		EVERGREEN TREE
[Symbol]		BUFFER/SCREENING SHRUB

PRELIMINARY PLANTING LIST

Symbol	Botanical Name	Common Name	Size
SHADE TREES			
AC FR	<i>Acer x fremanii</i> 'Autumn Blaze'	Autumn Blaze Maple	2.5'-3.0" CAL. B&B
AC RJ	<i>Acer rubrum</i> 'Karpick'	Karpick Maple	2.5'-3.0" CAL. B&B
CA CA	<i>Carpinus caroliniana</i>	American Hornbeam	8-10' HT. B&B
LI ST	<i>Liquidambar styraciflua</i>	Sweetgum	2.5'-3.0" CAL. B&B
QU BI	<i>Quercus bicolor</i>	Swamp White Oak	2.5'-3.0" CAL. B&B
ORNAMENTAL			
AM GR	<i>Amelanchier x grandiflora</i>	Servicberry	8-10' HT. B&B
CE CA	<i>Cercis canadensis</i>	Eastern Redbud	8-10' HT. B&B
CR VI	<i>Winter King Hawthorn</i>	Winter King Hawthorn	8-10' HT. B&B
MA VI	<i>Magnolia virginiana</i>	Sweetbay Magnolia	8-10' HT. B&B
EVERGREEN			
AB BA	<i>Abies balsamea</i>	Balsam Fir	8-10' HT. B&B
CH TH	<i>Chamaecyparis thyoides</i> 'Aqua Velva'	Atlantic White Cedar	8-10' HT. B&B
JU VI	<i>Juniperus virginiana</i>	Eastern Red Cedar	8-10' HT. B&B
PI GL	<i>Picea glauca</i>	White Spruce	8-10' HT. B&B
TH OC	<i>Thuja occidentalis</i>	Arborvitae	7-8' HT. B&B
SHRUBS & WOODY GROUNDCOVERS			
Ar uv	<i>Arctostaphylos uva-ursi</i>	Bearberry	Plugs
Ar ar	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Chokeberry	10 GAL.
Cl al	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	1 GAL.
Co pe	<i>Comptonia peregrina</i>	Sweetfern	1 GAL.
Co se	<i>Cornus sericea</i> 'Silver and Gold'	Silver and Gold' Red Twig Dogwood	7 GAL.
Fo ga	<i>Fothergilla gardenii</i>	Dwarf Fothergilla	7 GAL.
Fo ma	<i>Fothergilla major</i> 'Mt. Airy'	Mt. Airy Fothergilla	10 GAL.
Ha ap	<i>Hamamelis x 'Arnold Promise'</i>	Witchhazel	6'-7' HT. B&B
Hy es	<i>Hydrangea macrophylla</i> 'Twist n' Shout'	Twist n Shout Hydrangea	7 GAL.
Hy qu	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	10 GAL.
Il gl	<i>Ilex glabra</i>	Inkberry Holly	10 GAL.
Il ve	<i>Ilex verticillata</i>	Winterberry holly	10 GAL.
It vi	<i>Itea virginica</i>	Sweetspire	10 GAL.
Ju ho	<i>Juniperus horizontalis</i>	Creeping Juniper	5 GAL.
Po fr	<i>Potentilla fruticosa</i> 'Abbottswood'	Bush Cinquefoil	5 GAL.
Rh ar	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	1 GAL.
Rh ty	<i>Rhus typhina</i>	Staghorn Sumac	5 GAL.
Vi de	<i>Viburnum dentatum</i>	Arrowwood Viburnum	5 GAL.
Vi pl	<i>Viburnum plicatum</i> tomentosum 'Shoshoni'	Shoshoni Viburnum	5 GAL.
ORNAMENTAL GRASSES, PERENNIALS, BULBS			
Bo gr	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Side Oats Grama	2 GAL.
CA ac	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	2 GAL.
Car pe	<i>Carex pennsylvanica</i>	Sedge Grass	Plugs
De ce	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	2 GAL.
Ep ru	<i>Epimedium x rubrum</i>	Red Barrenwort	1 GAL.
Li sp	<i>Liriope spicata</i>	Lilyturf	1 GAL.
Pa vi	<i>Panicum virgatum</i> 'Haense Herms'	Red Switch Grass	2 GAL.
Sc sc	<i>Schizachyrium scoparium</i>	Little Bluestem	Plugs
Wa fr	<i>Waldsternia fragaroides</i>	Barren Strawberry	2 QT ; 8 PER TRAY
PER	<i>Mixed Perennials</i>	Mixed Perennials	2 GAL.
MEADOW		Low-Growing Wildflower & Grass Mix	

EXISTING ALCHEMY GARDEN TO REMAIN AND BE PROTECTED BY FENCING AT PERIMETER OF LIMIT OF WORK

CLEAR AND GRUB VEGETATION ON CCRT PROPERTY ALONG PROPERTY LINE TO REMOVE VOLUNTEER AND INVASIVE VEGETATION WHILE CAREFULLY RETAINING PLANTINGS AND SITE IMPROVEMENTS ASSOCIATED WITH THE ALCHEMY GARDEN. REGRADE THIS AREA TO MAKE A MORE SEAMLESS TRANSITION BETWEEN THE TWO PROPERTIES AND REPLANT WITH LOW MAINTENANCE, INDIGENOUS SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS

EXISTING 'LITTLE LIBRARY' BOOK BOX

SUPPLEMENTAL LANDSCAPE PLANTINGS TO FILL IN GAPS ALONG WEST SIDE OF CCRT ON CCRT PROPERTY BASED ON PRIOR SITE WALK WITH CITY

NOTES:

- THE MAJORITY OF THE EXISTING LANDSCAPE BUFFER PLANTS ALONG THE PROPERTY LINE BETWEEN THE CLIPPER CITY RAIL TRAIL (CCRT) AND THE PROPOSED DEVELOPMENT SITE ARE ON THE PROPOSED DEVELOPMENT SITE. A LARGE PERCENTAGE OF THE VEGETATION ALONG THIS PROPERTY LINE IS VOLUNTEER AND OR INVASIVE SPECIES. BASED ON A PRIOR SITE WALK WITH THE CITY, THE PROJECT PROPOSES TO PROTECT SELECT OAK TREES AT THE NORTH END OF THE SITE AND STAGHORN SUMAC GROVES AT THE SOUTH END OF THE SITE WITH FENCING PLACED AT THE PERIMETER OF THE PLANT'S DRIP LINE. THE PROJECT PROPOSES TO CLEAR AND GRUB THE EXISTING VOLUNTEER AND INVASIVE PLANTINGS ON BOTH THE DEVELOPMENT SITE AND APPROXIMATELY 10' INTO THE CCRT PROPERTY AND REGRADE THE AREA TO PROVIDE A SMOOTH TRANSITION BETWEEN THE SITES AND TO REPLANT WITH A COMBINATION OF INDIGENOUS TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS TO REESTABLISH A NATURALIZED PLANTING BUFFER.
- EXISTING VEGETATION DETERMINED TO REMAIN ALONG THE PROPERTY LINE ON THE CLIPPER CITY RAIL TRAIL (CCRT) PROPERTY WILL BE PROTECTED WITH FENCING PRIOR TO CONSTRUCTION BASED ON A SITE WALK TO BE SCHEDULED WITH THE CITY TO DEFINE THE LIMITS OF FENCING, CONSTRUCTION DISTURBANCE, REGRADING AND REPLANTING.
- AS REVIEWED WITH THE CITY, THE PROJECT PROPOSES TO RECONSTRUCT AND REGRADE THE TWO CONNECTOR PATHS TO THE CLIPPER CITY RAIL TRAIL, ONE TO THE NORTH OF THE SITE AND ONE TO THE SOUTH, TO MEET THE PROPOSED GRADES BETWEEN THE SITE AND THE CCRT PATHWAY. THIS WILL INVOLVE REGRADING OF THE PATHWAY AREAS ON CCRT PROPERTY UP TO THE CCRT PATHWAY AND REPLANTING AND RESEEDING THE AREAS OF DISTURBANCE.
- REFER TO SHEET C1.0 FOR PARKING LOT LANDSCAPING CALCULATIONS.

EXISTING STAGHORN SUMAC GROVE ON CCRT PROPERTY TO REMAIN AND BE PROTECTED. LANDSCAPE ARCHITECT AND CITY TO REVIEW SITE CONDITIONS PRIOR TO SITE PREPARATION AND DEMOLITION TO IDENTIFY LIMITS OF DISTURBANCE GIVEN STAGHORN SUMAC EXIST ON BOTH SIDES OF THE PROPERTY LINE. SUPPLEMENTAL PLANTINGS TO BE PROVIDED TO SUPPLEMENT THOSE REMOVED BY CONSTRUCTION ON THE PROPOSED DEVELOPMENT SITE.

REMOVE EXISTING VOLUNTEER AND INVASIVE VEGETATION WHICH IMPEDES VISUAL SITE LINES ADJACENT TO PARKER STREET TO THE ENTRY ROAD AND TO USERS OF THE CCRT AND REPLANT WITH LOW MAINTENANCE INDIGENOUS SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS

CLIENT:
MINCO DEVELOPMENT CORPORATION
 231 SUTTON STREET, SUITE 1B
 NORTH ANDOVER, MA 01845

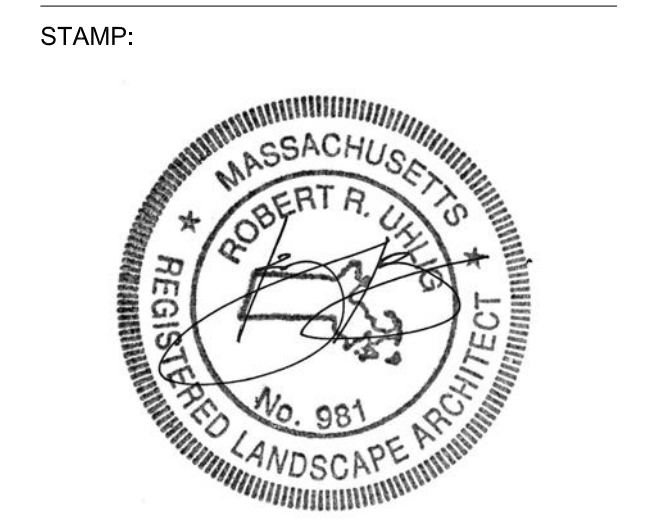
ARCHITECT:
ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
 SUITE 700N
 BOSTON MA 02109
 617.623.5555
 arrowstreet.com

CONSULTANTS:
HALVORSON Tighe&Bond STUDIO

PROJECT INFORMATION:
NEWBURYPORT CROSSING AT PARKER ST
 166-168 Newburyport Turnpike,
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ISSUANCE:
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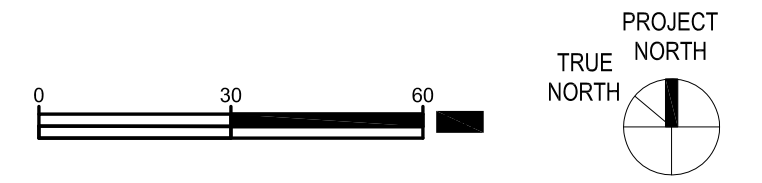
REVISIONS:

No.	Date	Description

DRAWING TITLE:
LANDSCAPE PLAN

Project No.
 Drawn By **JM**
 Date **10/27/2021**
 Scale **1"=30'-0"**

DRAWING NUMBER:
L1.01





PLANTING LEGEND

 DECIDUOUS TREE	 LAWN
 CONIFEROUS TREE	 ORNAMENTAL GRASS, PERENNIALS, AND GROUNDCOVER
 ORNAMENTAL TREE	

KEY

- A** THE ALCHEMY GARDEN
- B** CLYDE THE HORSE SCULPTURE
- C** THE SPARROWS SCULPTURE
- D** RAIL TRAIL GATEWAY
- E** CONNECTION TO ROUTE 1
- F** CONNECTION TO COMMERCIAL / RETAIL
- G** SIGNAGE
- H** RIVERWALK BREWING COMPANY BEER GARDEN

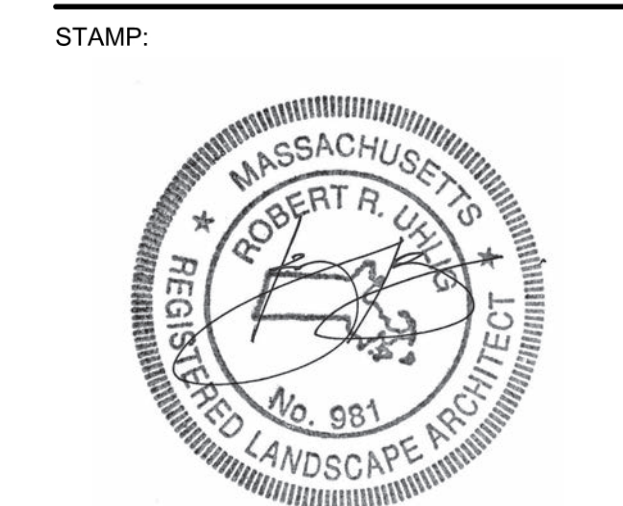
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 NORTH ANDOVER, MA 01845

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 10 POST OFFICE SQUARE
 SUITE 700N
 BOSTON MA 02109
 617.623.5555
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CONSULTANTS:
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PROJECT INFORMATION:
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ISSUANCE:
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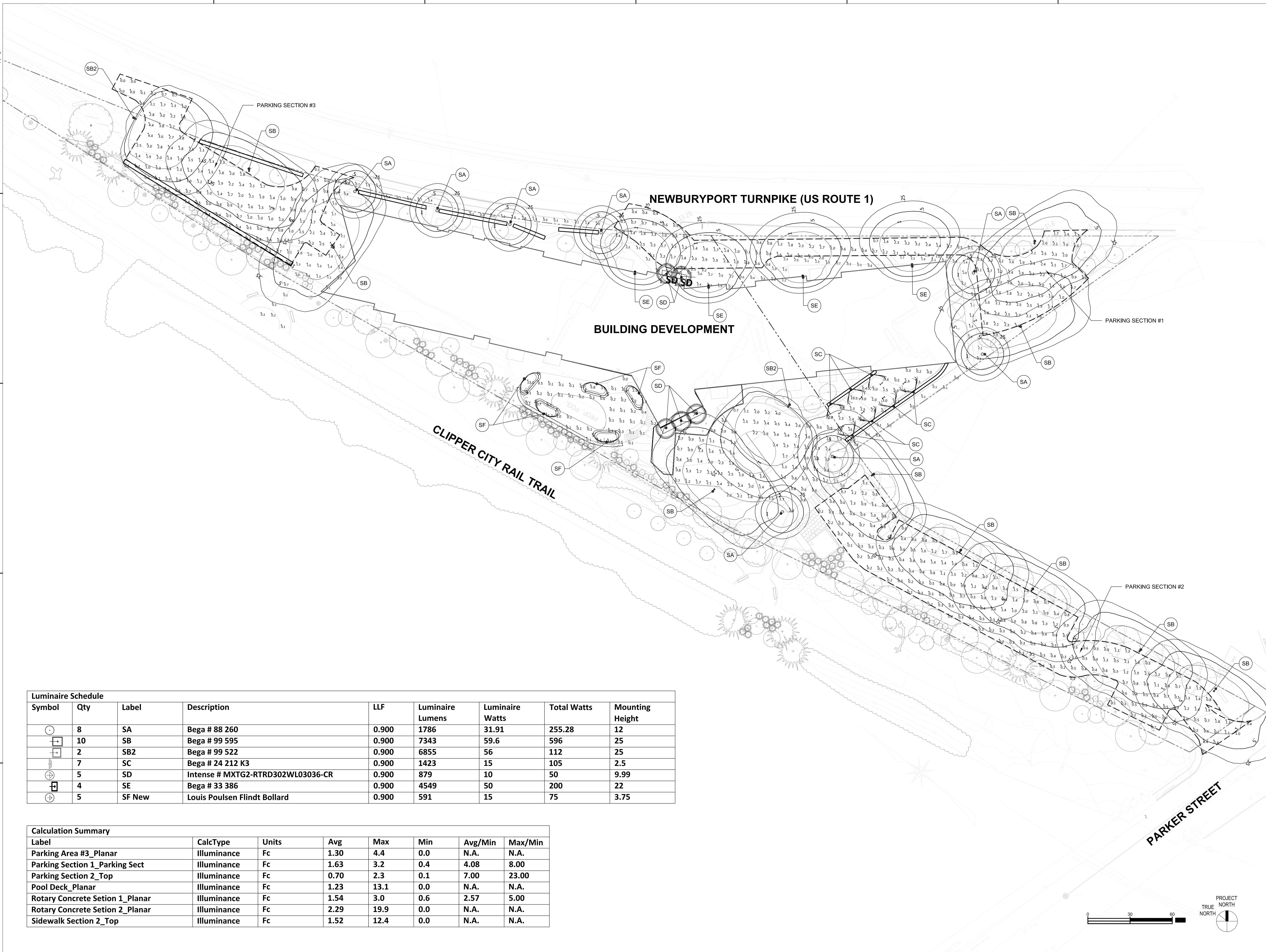
REVISIONS:

No.	Date	Description

DRAWING TITLE:
ILLUSTRATIVE PLAN

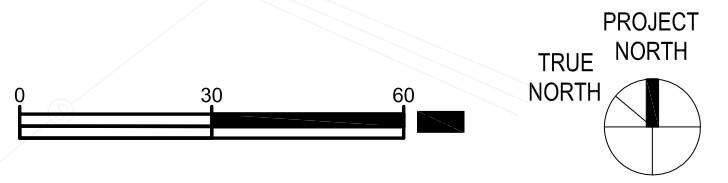
Project No.	21039.00
Drawn By	---
Date	
Scale	10/27/2021

DRAWING NUMBER:
L1.02



Luminaire Schedule								
Symbol	Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
○	8	SA	Bega # 88 260	0.900	1786	31.91	255.28	12
⊕	10	SB	Bega # 99 595	0.900	7343	59.6	596	25
⊕	2	SB2	Bega # 99 522	0.900	6855	56	112	25
⊕	7	SC	Bega # 24 212 K3	0.900	1423	15	105	2.5
⊕	5	SD	Intense # MXTG2-RTRD302WL03036-CR	0.900	879	10	50	9.99
⊕	4	SE	Bega # 33 386	0.900	4549	50	200	22
⊕	5	SF New	Louis Poulsen Flindt Bollard	0.900	591	15	75	3.75

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Parking Area #3_Planar	Illuminance	Fc	1.30	4.4	0.0	N.A.	N.A.	
Parking Section 1_Parking Sect	Illuminance	Fc	1.63	3.2	0.4	4.08	8.00	
Parking Section 2_Top	Illuminance	Fc	0.70	2.3	0.1	7.00	23.00	
Pool Deck_Planar	Illuminance	Fc	1.23	13.1	0.0	N.A.	N.A.	
Rotary Concrete Setion 1_Planar	Illuminance	Fc	1.54	3.0	0.6	2.57	5.00	
Rotary Concrete Setion 2_Planar	Illuminance	Fc	2.29	19.9	0.0	N.A.	N.A.	
Sidewalk Section 2_Top	Illuminance	Fc	1.52	12.4	0.0	N.A.	N.A.	



CLIENT:
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 NORTH ANDOVER, MA 01845

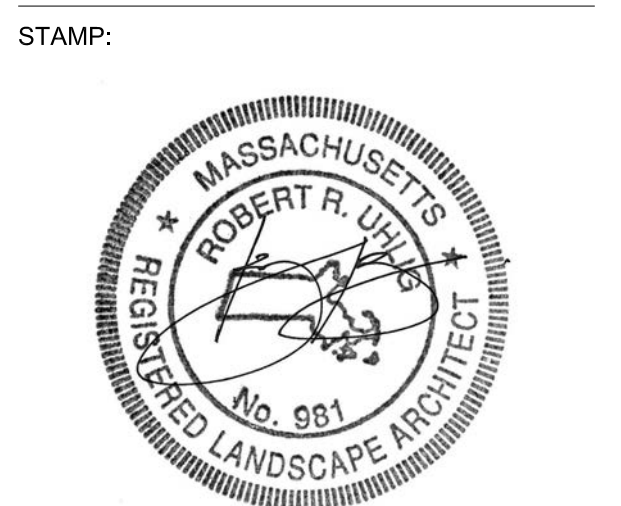
ARCHITECT:
ARROWSTREET ARCHITECTURE & DESIGN

10 POST OFFICE SQUARE
 SUITE 700N
 BOSTON MA 02109
 617.623.5555
 arrowstreet.com

CONSULTANTS:
HALVORSON
 Tighe&Bond STUDIO

PROJECT INFORMATION:
NEWBURYPORT CROSSING AT PARKER ST
 166-168 Newburyport Turnpike,
 Newburyport, MA 01950

ISSUANCE:
CONCEPT DESIGN



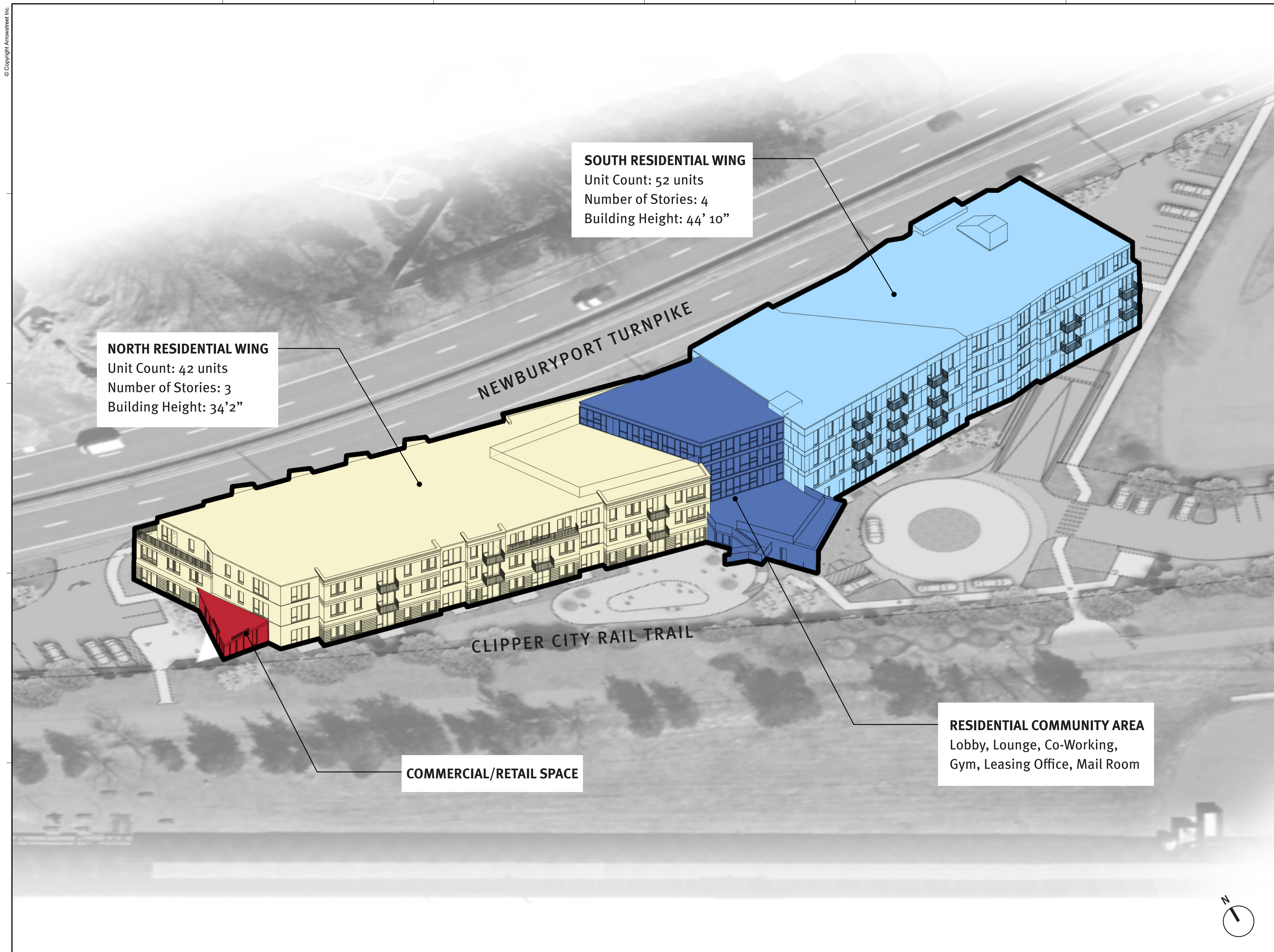
REVISIONS:

No.	Date	Description

DRAWING TITLE:
SITE LIGHTING PLAN

Project No.	
Drawn By	JM
Date	10/27/2021
Scale	1"=30'-0"

DRAWING NUMBER:
11.01



SOUTH RESIDENTIAL WING
Unit Count: 52 units
Number of Stories: 4
Building Height: 44' 10"

NORTH RESIDENTIAL WING
Unit Count: 42 units
Number of Stories: 3
Building Height: 34' 2"

COMMERCIAL/RETAIL SPACE

RESIDENTIAL COMMUNITY AREA
Lobby, Lounge, Co-Working,
Gym, Leasing Office, Mail Room

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CONSULTANTS:

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ISSUANCE:
CONCEPT DESIGN

STAMP:

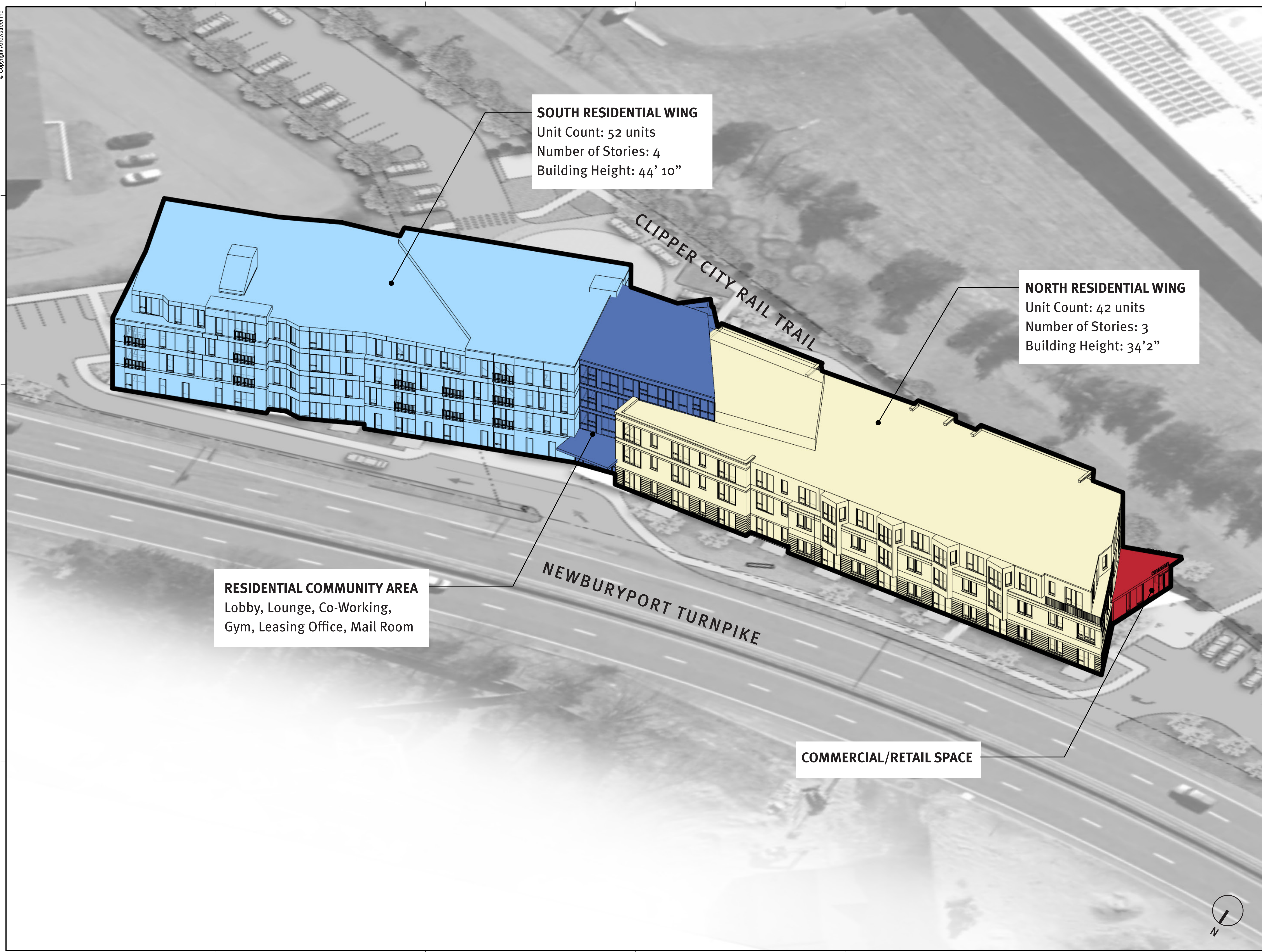
REVISIONS:

No.	Date	Description

DRAWING TITLE:
BUILDING ORGANIZATION DIAGRAM

Project No. 21039.00
Drawn By HS
Date 10/27/2021
Scale

DRAWING NUMBER:
A1.20



SOUTH RESIDENTIAL WING
Unit Count: 52 units
Number of Stories: 4
Building Height: 44' 10"

NORTH RESIDENTIAL WING
Unit Count: 42 units
Number of Stories: 3
Building Height: 34' 2"

RESIDENTIAL COMMUNITY AREA
Lobby, Lounge, Co-Working,
Gym, Leasing Office, Mail Room

COMMERCIAL/RETAIL SPACE

CLIENT:
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ARCHITECT:
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ISSUANCE:
CONCEPT DESIGN

STAMP:

REVISIONS:

No.	Date	Description

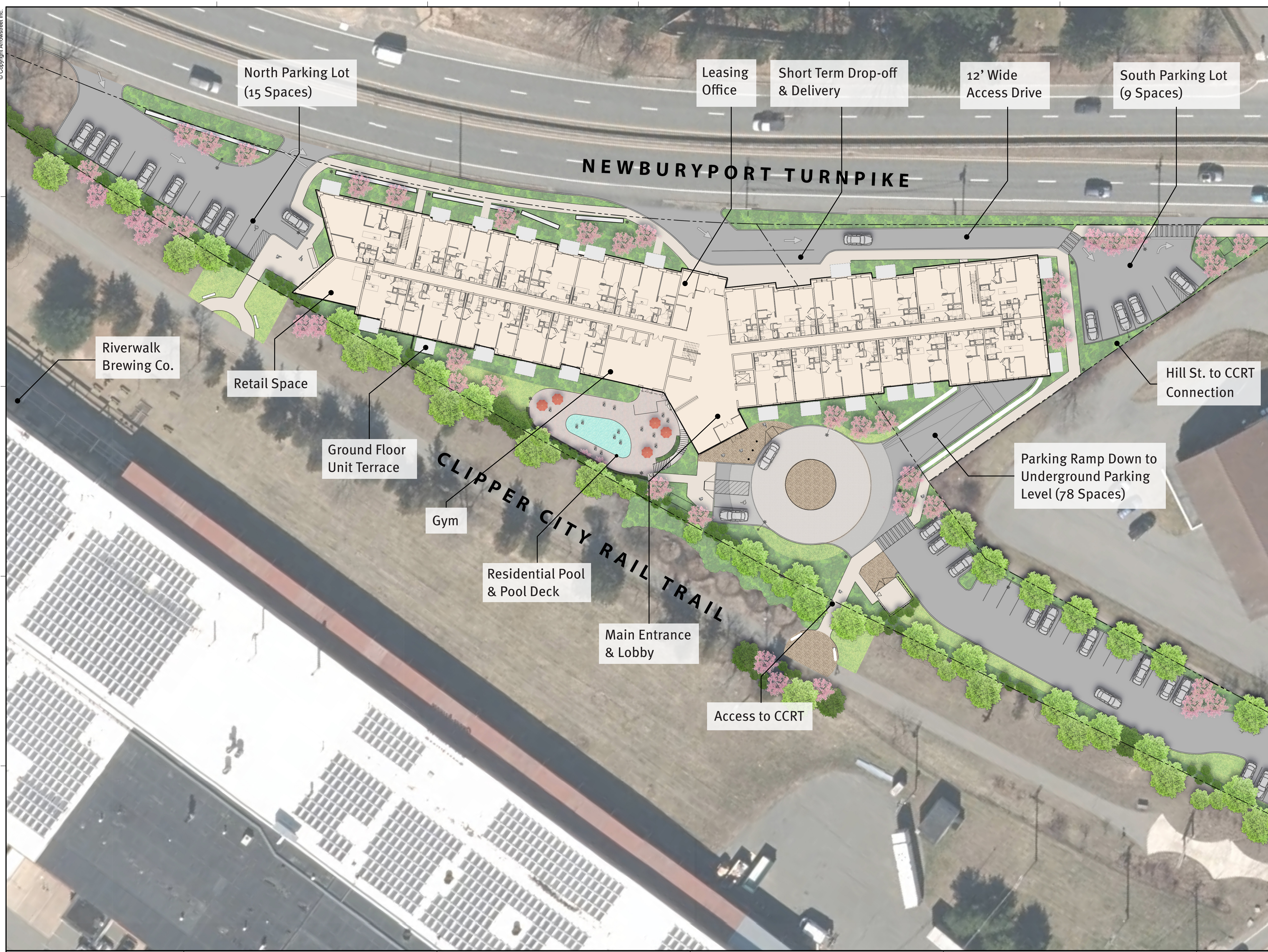
DRAWING TITLE:
BUILDING ORGANIZATION DIAGRAM

Project No. 21039.00
Drawn By HS
Date 10/27/2021
Scale

DRAWING NUMBER:
A1.21



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ISSUANCE:
CONCEPT DESIGN

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:
CONCEPT FIRST FLOOR PLAN / SITE PLAN

Project No. 21039.00
 Drawn By
 Date 10/27/2021
 Scale

DRAWING NUMBER:
A1.22

10/27/2021 10:33:13 AM

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ISSUANCE:

CONCEPT DESIGN

STAMP:

REVISIONS:

No.	Date	Description

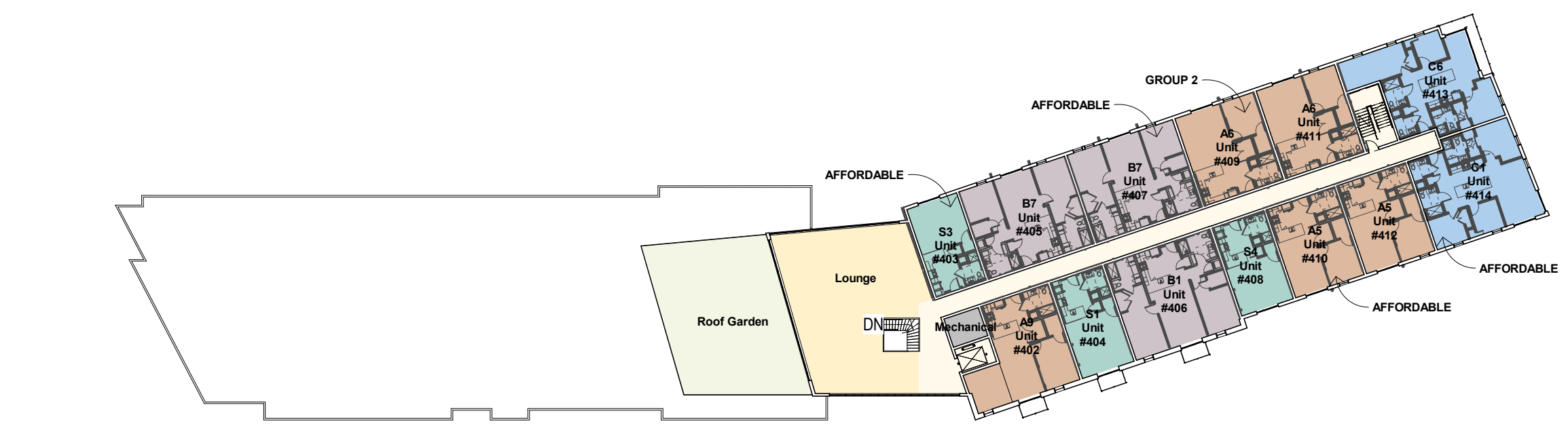
DRAWING TITLE:

CONCEPT FLOOR PLANS

Project No. 21039.00
Drawn By HS
Date 10/27/2021
Scale 1" = 40'-0"

DRAWING NUMBER:

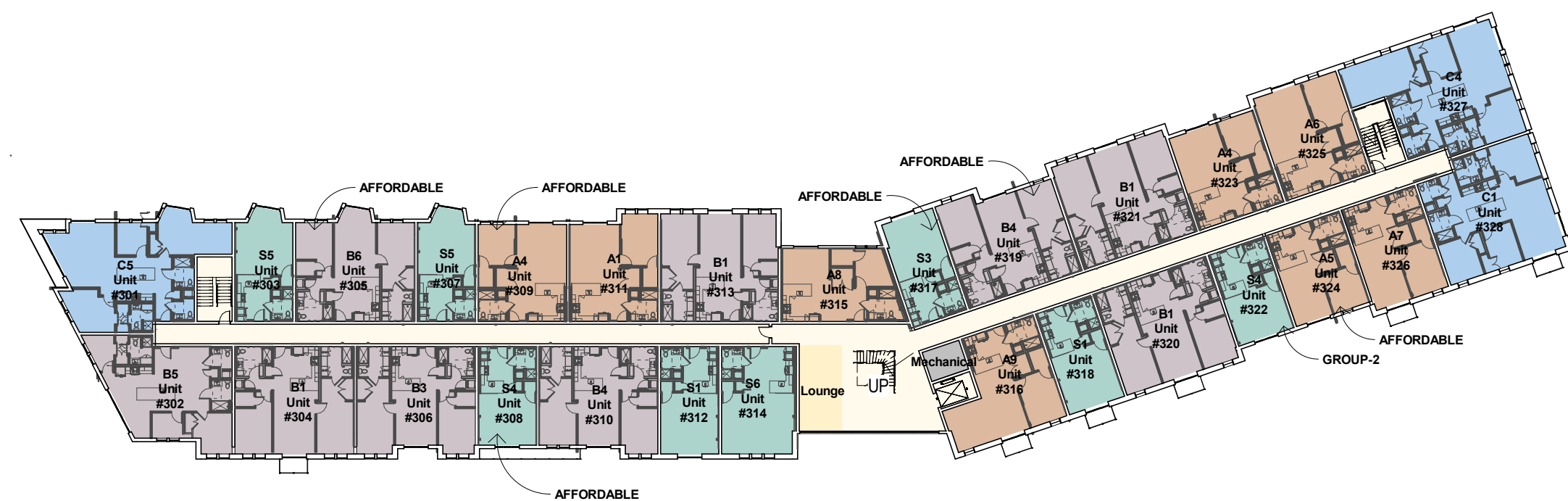
A2.00



5 FOURTH FLOOR PLAN (EL. 33'-4")
1" = 40'-0"



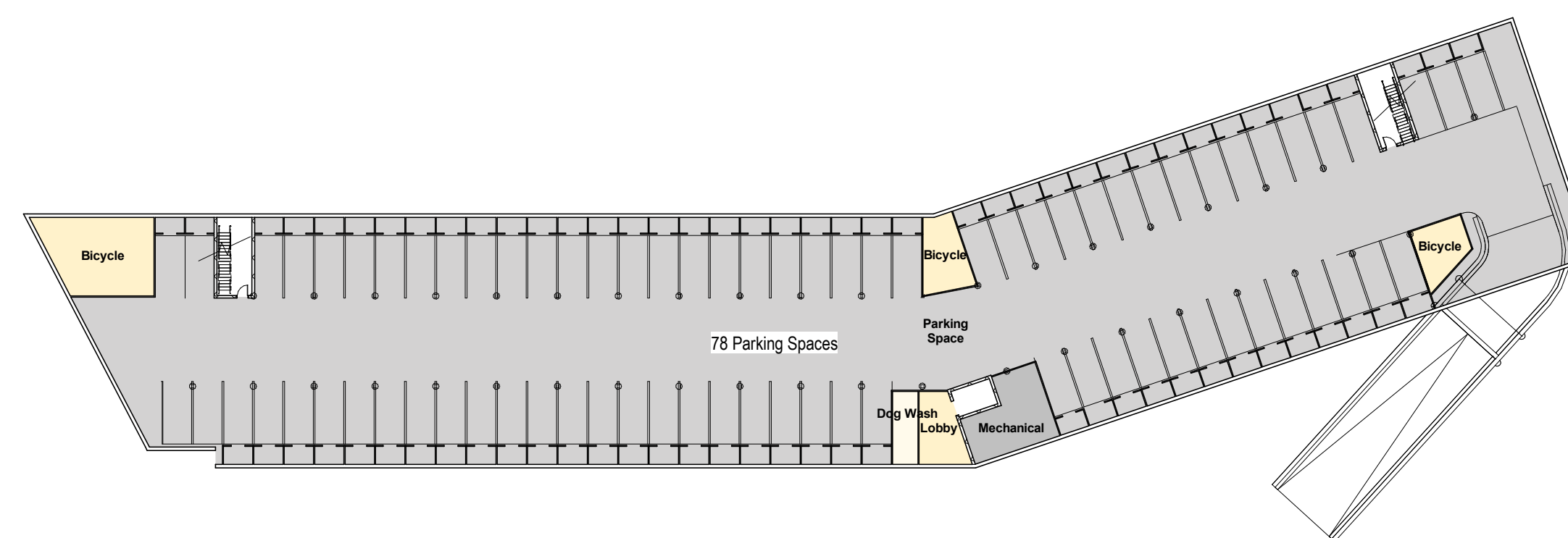
3 SECOND FLOOR PLAN (EL. 12'-0")
1" = 40'-0"



4 THIRD FLOOR PLAN (EL. 22'-8")
1" = 40'-0"



2 FIRST FLOOR PLAN (EL. 0'-0")
1" = 40'-0"



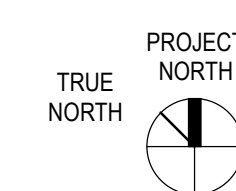
1 UNDERGROUND PARKING FLOOR PLAN (EL. -11'-0")
1" = 40'-0"

UNIT COUNT SUMMARY		
UNIT TYPE	COUNT	AFFORD. (25%)
STUDIO	25	7
1 BEDROOM	29	8
2 BEDROOM	29	7
3 BEDROOM	11	2
TOTAL	94	24 OUT OF 94

GROSS FLOOR AREA SUMMARY (INNER BUILDING ENVELOPE)	
FLOOR	AREA IN SF
FIRST FLOOR	30,450
SECOND FLOOR	27,915
THIRD FLOOR	27,610
FOURTH FLOOR	13,910
TOTAL BUILDING AREA	99,885

GROSS COMMERCIAL AREA SUMMARY	
FLOOR	AREA IN SF
FIRST FLOOR	780

TOTAL L-W UNITS AREA	4,540 SF
TOTAL BUILDING AREA	99,885 SF
% OF L-W UNITS (COMM.)	5% OF TOTAL



**MINCO
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**ARROWSTREET
ARCHITECTURE & DESIGN**

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**NEWBURYPORT
CROSSING AT
PARKER ST**

166-168 Newburyport Turnpike,
Newburyport, MA 01950

**CONCEPT
DESIGN**

No.	Date	Description

**CONCEPT
FLOOR PLANS -
UNDERGROUND
PARKING**

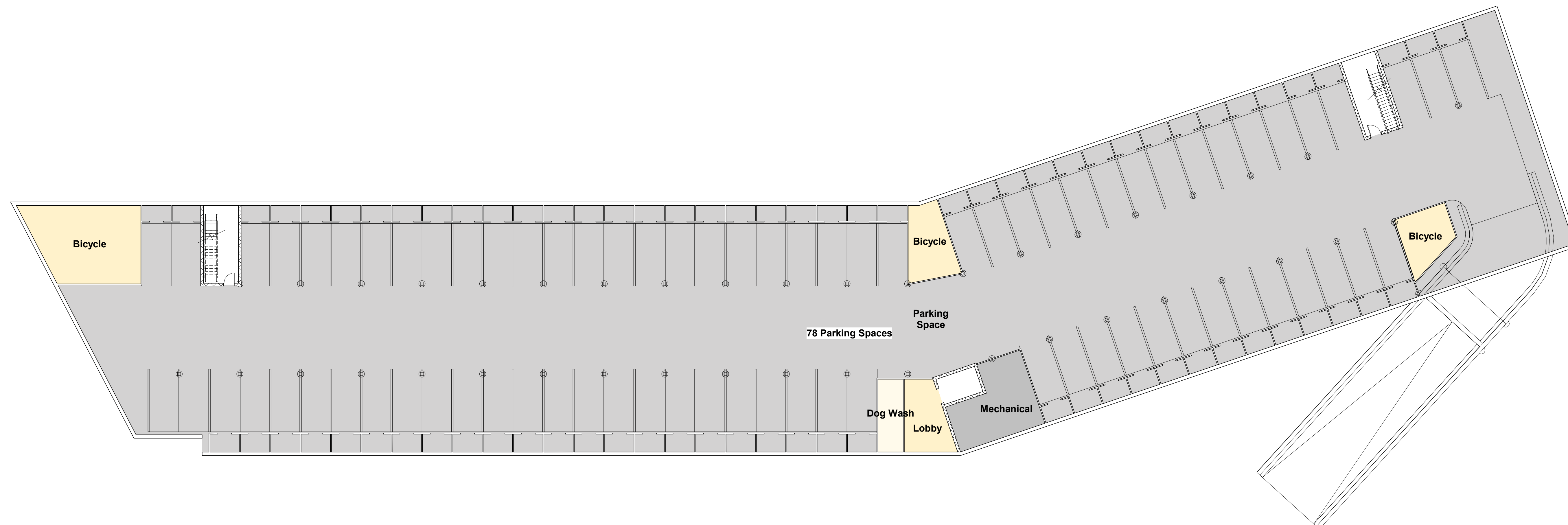
Project No. 21039.00

Drawn By HS

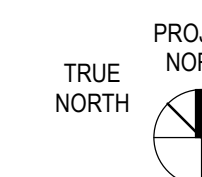
Date 10/27/2021

Scale 1/16" = 1'-0"

A2.10

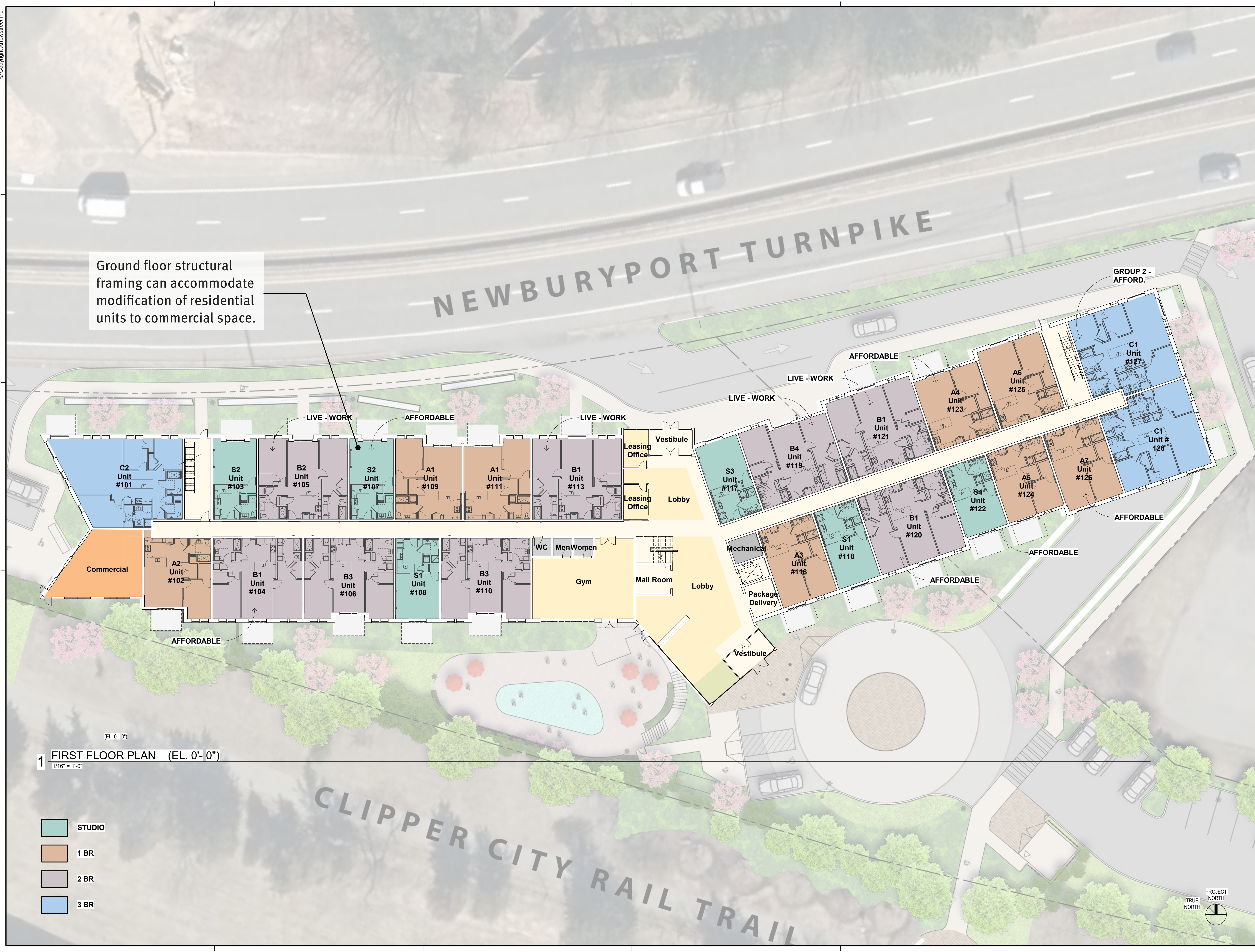


1 UNDERGROUND PARKING FLOOR PLAN (EL. -11'- 0")
1/16" = 1'-0"



REVISIONS:

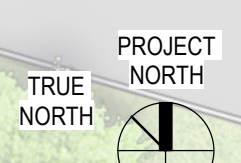
No.	Date	Description



Ground floor structural framing can accommodate modification of residential units to commercial space.

1 FIRST FLOOR PLAN (EL. 0'-0")
 1/16" = 1'-0"

- STUDIO
- 1 BR
- 2 BR
- 3 BR



10/27/2021 10:33:21 AM

No.	Date	Description



1 SECOND FLOOR PLAN (EL. 12'-0")
1/16" = 1'-0"

- STUDIO
- 1 BR
- 2 BR
- 3 BR

10/27/2021 12:57:52 PM

REVISIONS:

No.	Date	Description



1 THIRD FLOOR PLAN (EL. 22'-8")
 1/16" = 1'-0"

- STUDIO
- 1 BR
- 2 BR
- 3 BR

10/27/2021 10:33:25 AM

REVISIONS:

No.	Date	Description

DRAWING TITLE:
CONCEPT FLOOR PLANS - FOURTH FLOOR

Project No.	21039.00
Drawn By	HS
Date	10/27/2021
Scale	1/16" = 1'-0"

DRAWING NUMBER:

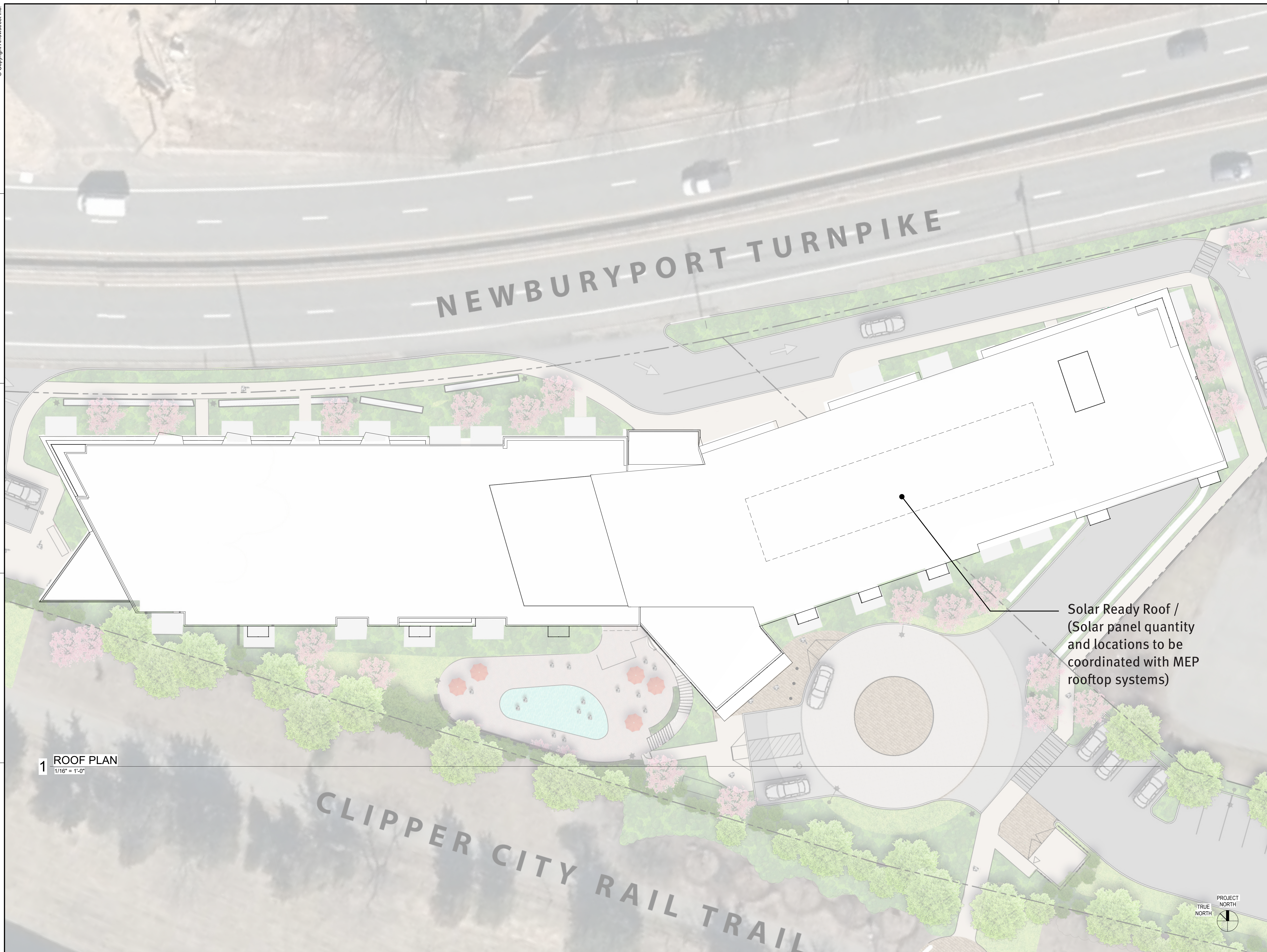
A2.14



1 FOURTH FLOOR PLAN (EL. 33'-4")
1/16" = 1'-0"

- STUDIO
- 1 BR
- 2 BR
- 3 BR

10/27/2021 12:57:17 PM



1 ROOF PLAN
1/16" = 1'-0"

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ARCHITECT:
ARROWSTREET
ARCHITECTURE & DESIGN

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arrowstreet.com

CONSULTANTS:

PROJECT INFORMATION:
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166-168 Newburyport Turnpike,
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DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:
**CONCEPT FLOOR
PLANS - ROOF**

Project No.	21039.00
Drawn By	HS
Date	10/27/2021
Scale	1/16" = 1'-0"

DRAWING NUMBER:

A2.15



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No.	Date	Description

DRAWING TITLE:

**BUILDING
MASSING -
PRECEDENTS &
INSPIRATION**

Project No. 21039.00

Drawn By

Date 10/27/2021

Scale

DRAWING NUMBER:

A2.30

Soldier Coursing



Coursing Articulation



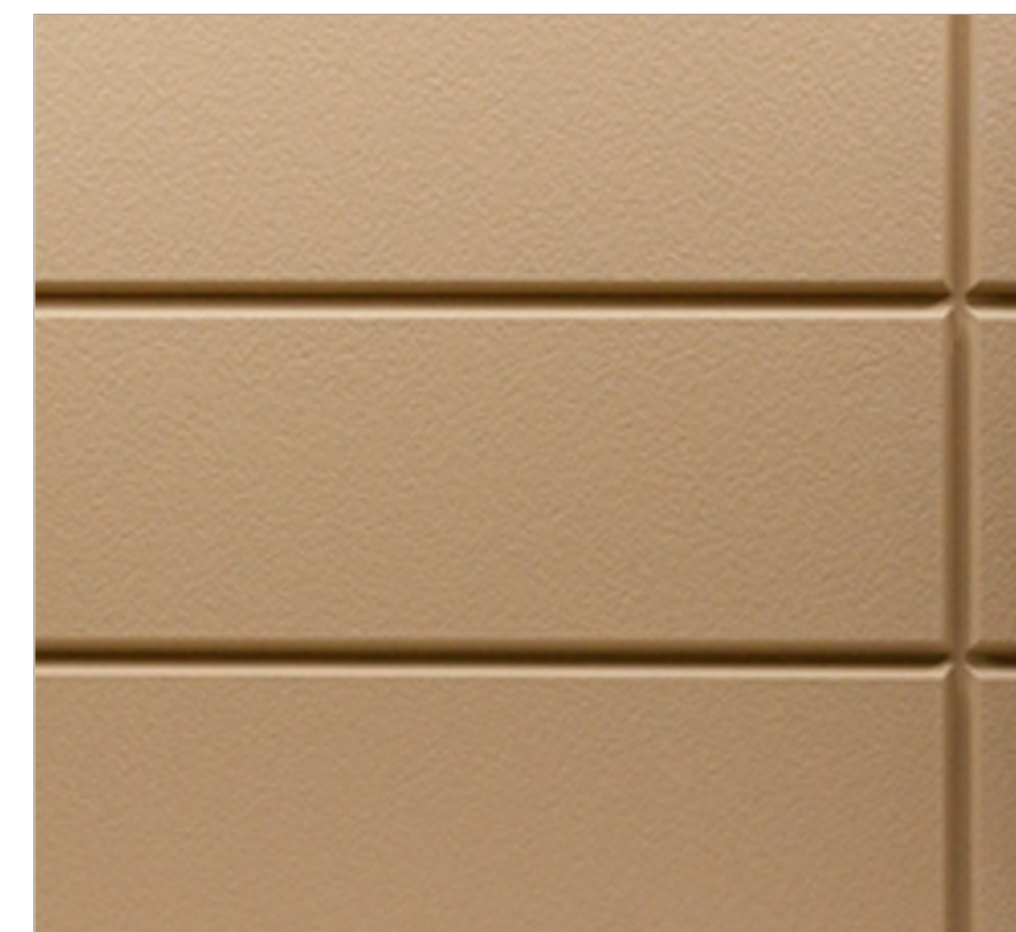
Wood & Wood-Look Materials



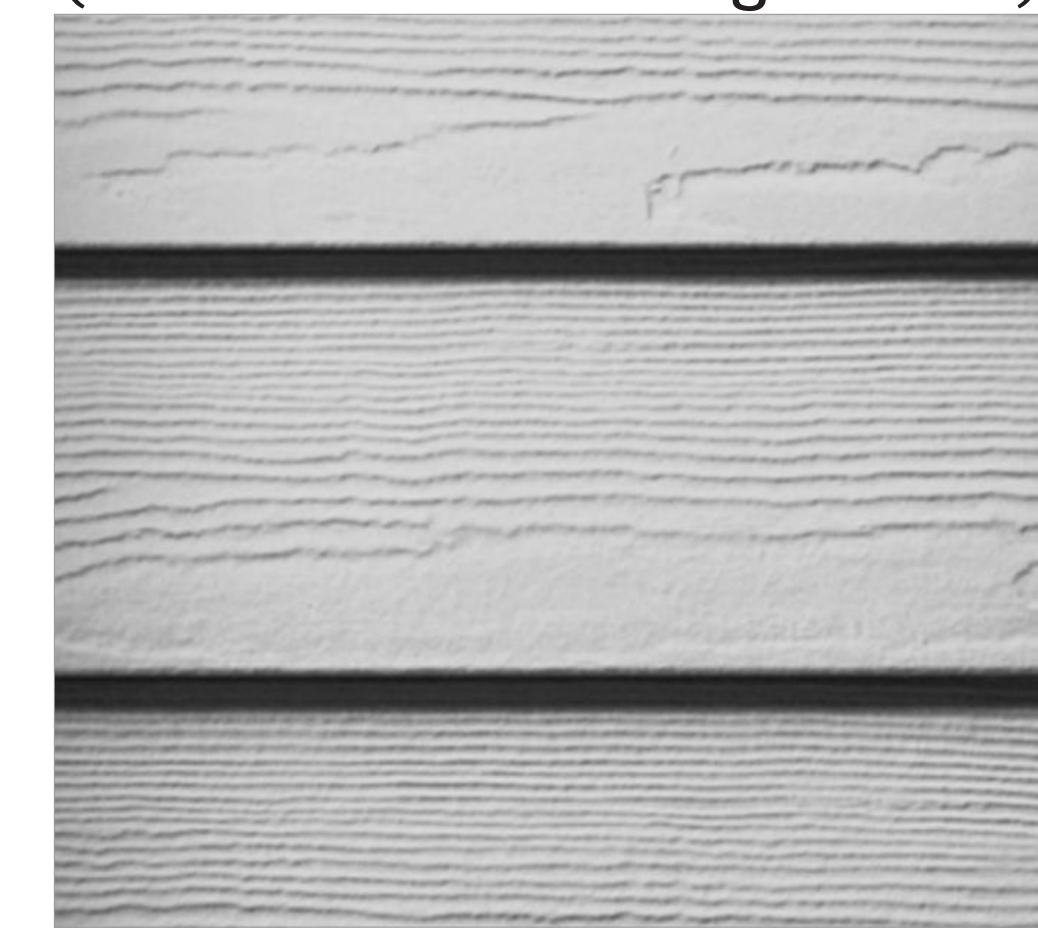
Brick & Thin-Brick Materials



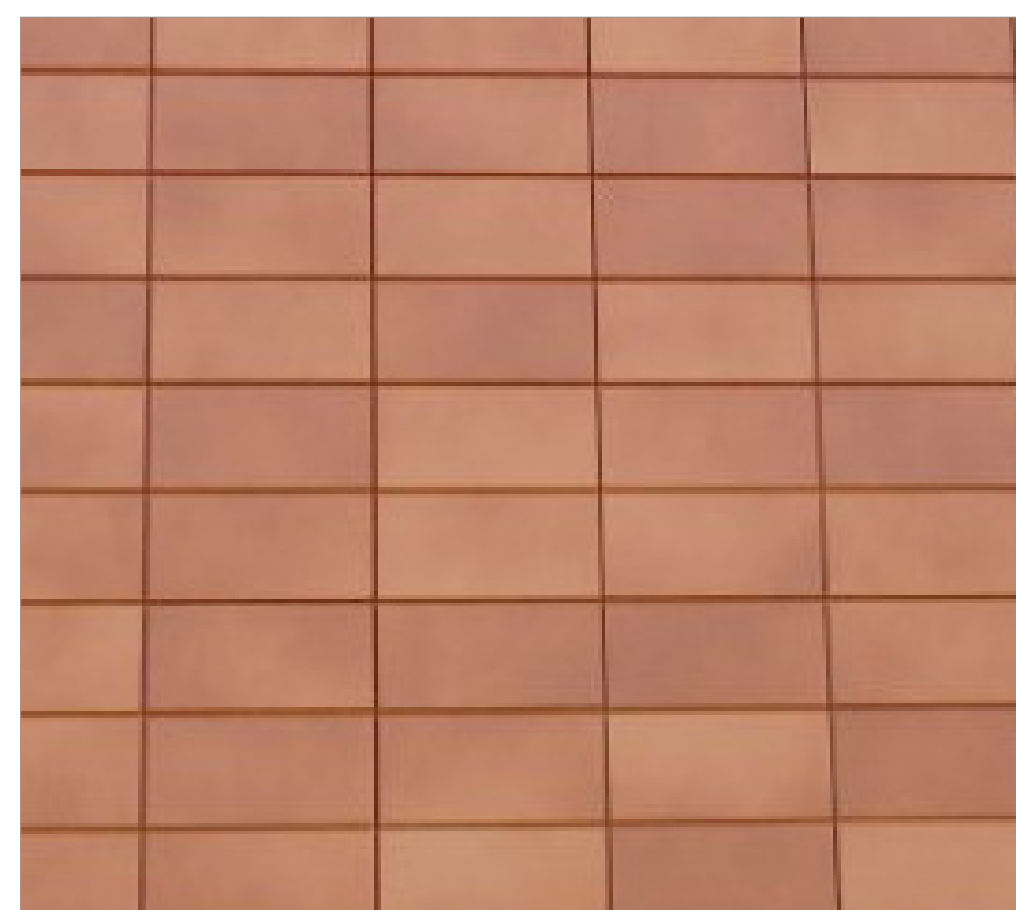
Nichiha
(Fiber Cement Panels)



Hardie Plank
(Fiber Cement Siding Panels)



Terracotta



Oko Panel (Glass Fiber
Reinforced Cement Panels)



Cement Panel



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DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**BUILDING
MATERIALS -
IMAGES**

Project No. 21039.00

Drawn By

Date 10/27/2021

Scale

DRAWING NUMBER:

A2.31



Brick & Thin-Brick Samples



Nichiha - Fiber Cement Panel Samples, 5/8" - 3/4" Thickness



Thermally Samples - Steam & Heat Treated Wood, Standard Thicknesses



Trespa Facade Panel Samples - High Pressure Wood Based Laminate, 1/4" Thicknesses

CLIENT:

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ARCHITECT:

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ARCHITECTURE & DESIGN**

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PARKER ST**

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DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**BUILDING
MATERIALS -
IMAGES**

Project No. 21039.00

Drawn By

Date 10/27/2021

Scale

DRAWING NUMBER:

A2.32

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DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**AXONOMETRIC
VIEW - ROUTE 1**

Project No. 21039.00

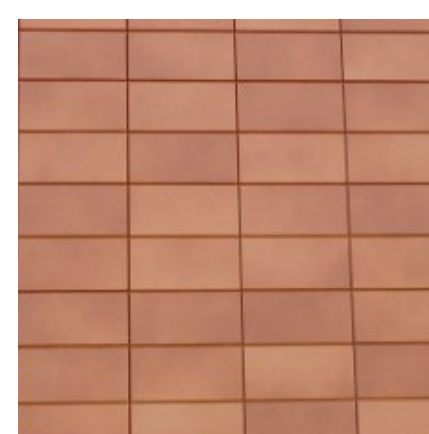
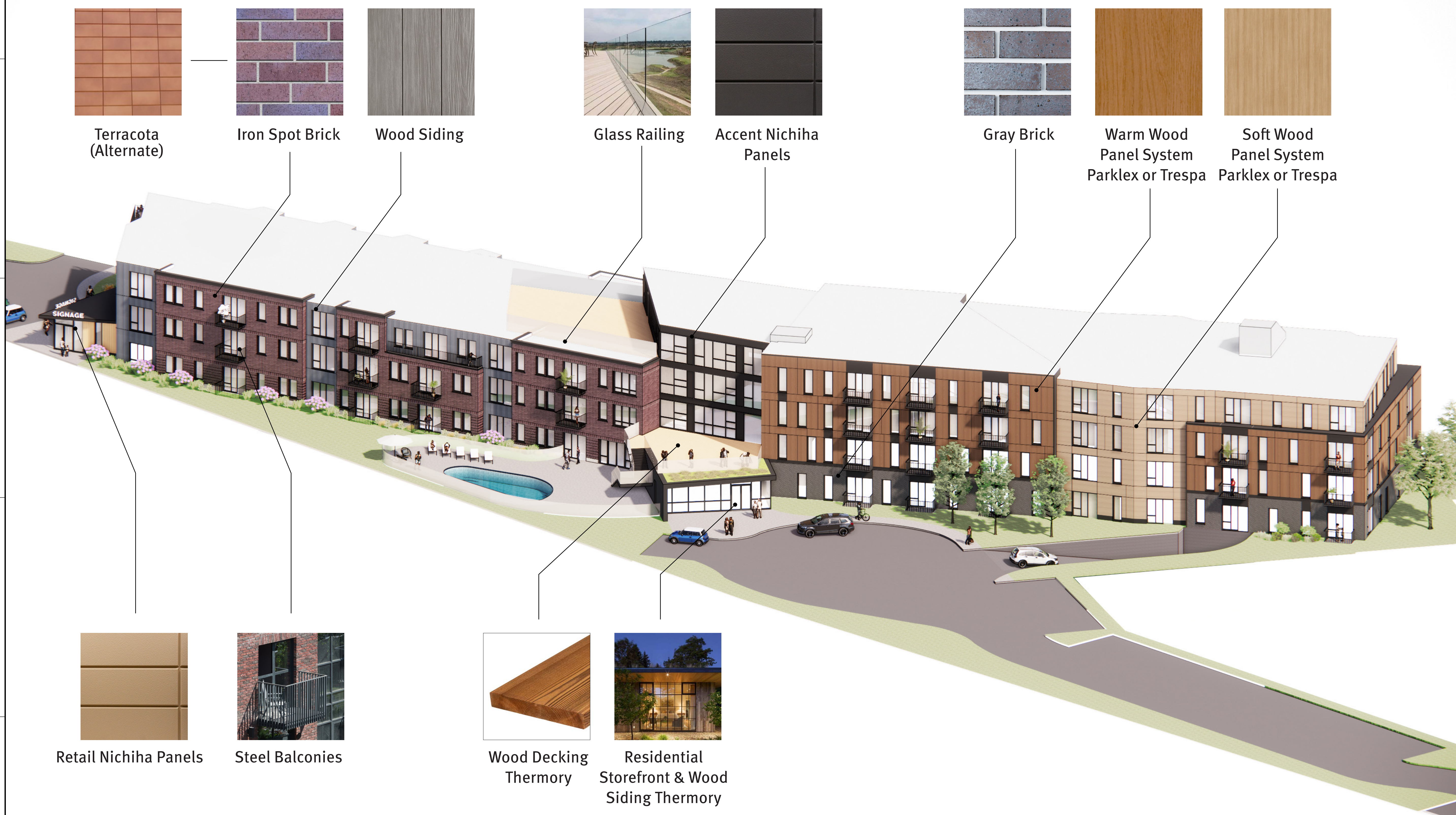
Drawn By HS

Date 10/27/2021

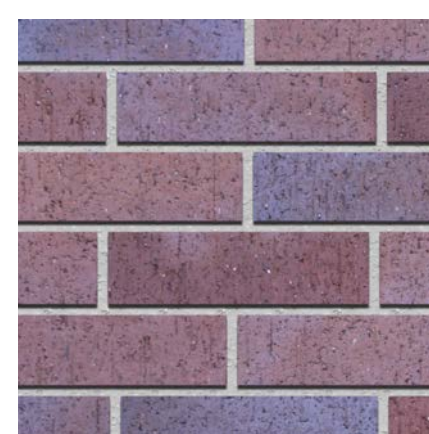
Scale

DRAWING NUMBER:

A2.33



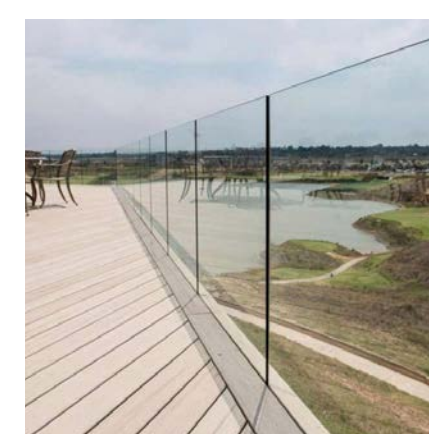
Terracota
(Alternate)



Iron Spot Brick



Wood Siding



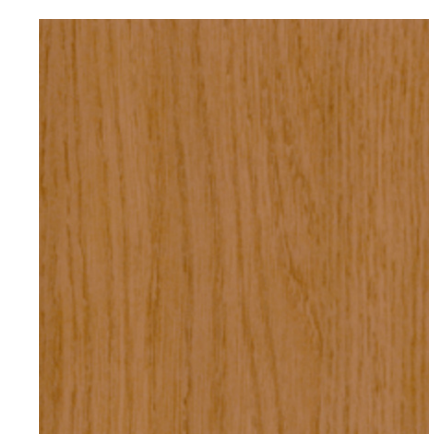
Glass Railing



Accent Nichiha
Panels



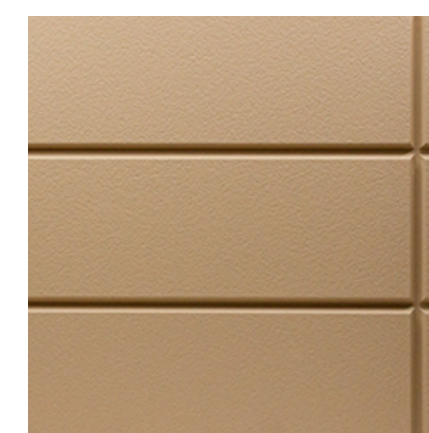
Gray Brick



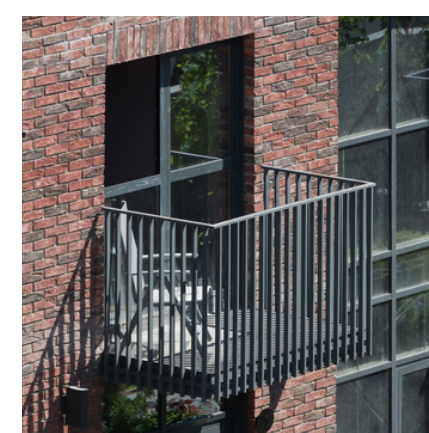
Warm Wood
Panel System
Parklex or Trespa



Soft Wood
Panel System
Parklex or Trespa



Retail Nichiha Panels



Steel Balconies



Wood Decking
Thermory



Residential
Storefront & Wood
Siding Thermory

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**CONCEPT
DESIGN**

No.	Date	Description

**AXONOMETRIC
VIEW - CLIPPER
CITY RAIL TRAIL**

Project No. 21039.00

Drawn By HS

Date 10/27/2021

Scale

A2.34



Soft Wood
Panel System
Parklex or Trespa



Warm Wood
Panel System
Parklex or Trespa



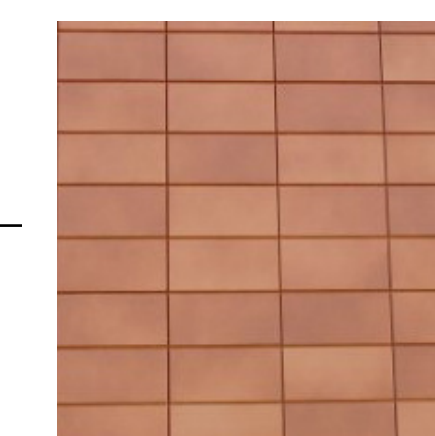
Gray Brick



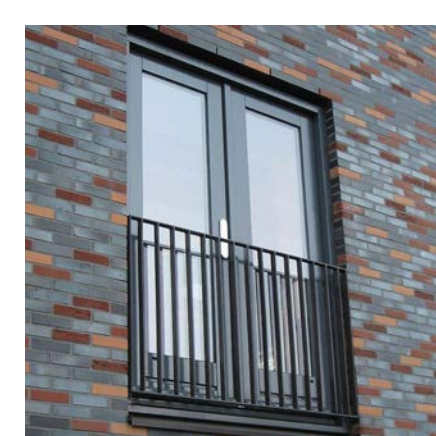
Wood Siding



Iron Spot Brick



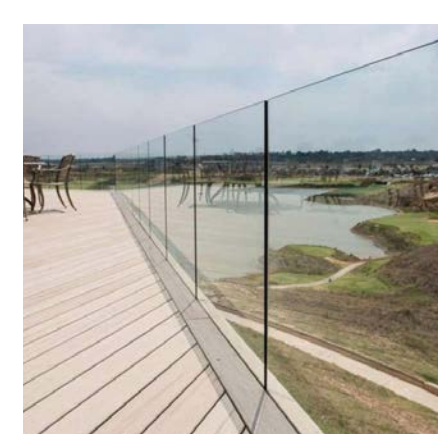
Terracota
(Alternate)



Juliet Balconies



Accent Nichiha
Panels



Glass Railing



Retail Nichiha
Panels

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ARCHITECT:
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ISSUANCE:

**CONCEPT
DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**BUILDING
ELEVATIONS -
WEST & EAST**

Project No. 21039.00
Drawn By HS
Date 10/27/2021
Scale 1/16" = 1'0"

DRAWING NUMBER:

A3.00



**WEST ELEVATION
(Clipper City Rail Trail)**

Retail Space

Ground Floor Unit Outdoor Deck

Pool & Pool Deck

Fourth Floor Amenity Deck

Second Floor Amenity Deck

Main Entry Lobby

Parking Entry Ramp

Balconies

ROOF 44'-10"

LEVEL 4 33'-4"

LEVEL 3 22'-8"

LEVEL 2 12'-0"

LEVEL 0 0"

11'-6"

10'-8"

10'-8"

12'-0"



**EAST ELEVATION
(Route 1)**

Juliet Balconies

Short Term Deliveries

Leasing Office

Fourth Floor Amenity Deck

Ground Floor Unit Outdoor Deck

ROOF 44'-10"

LEVEL 4 33'-4"

LEVEL 3 22'-8"

LEVEL 2 12'-0"

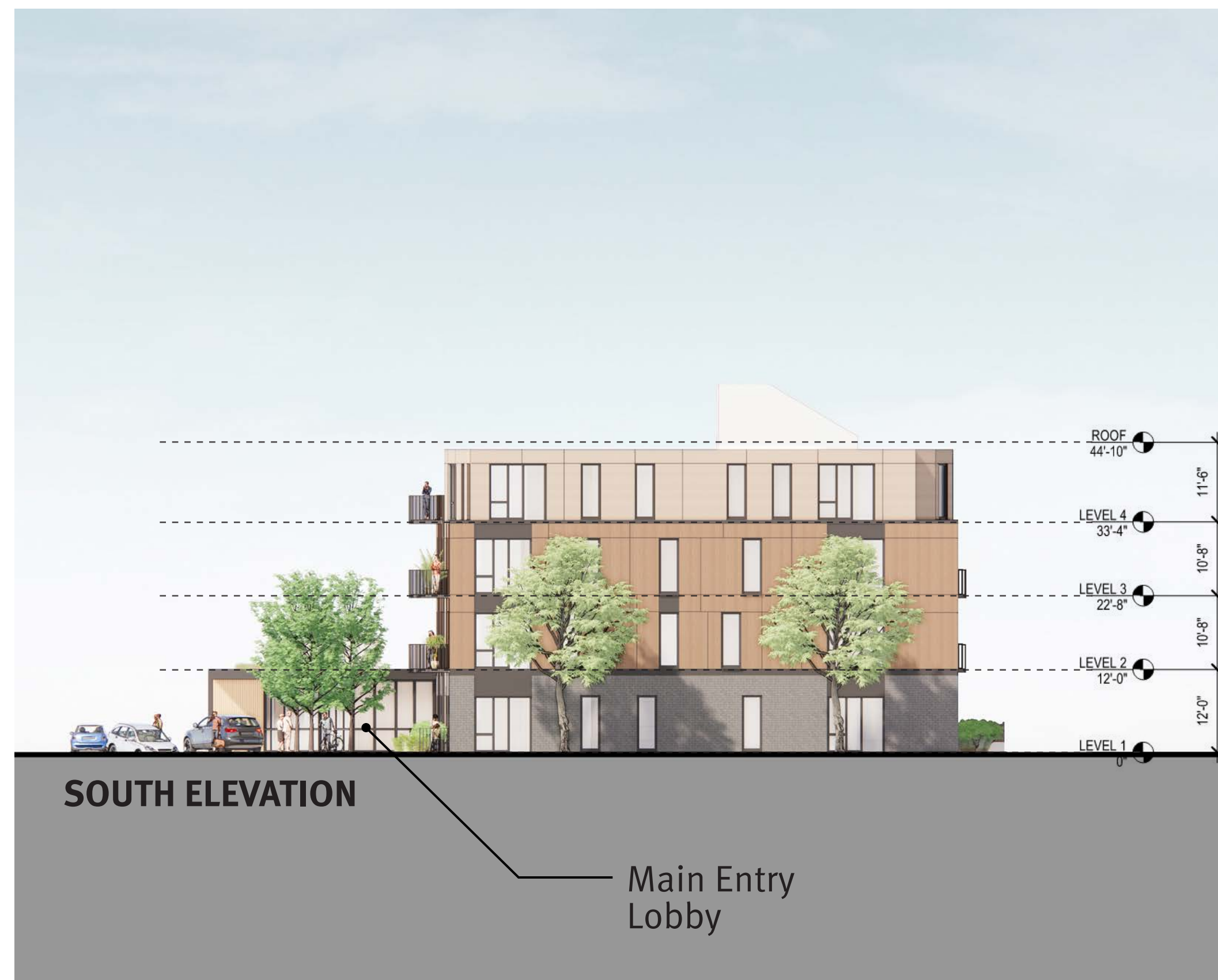
LEVEL 0 0"

11'-6"

10'-8"

10'-8"

12'-0"



CLIENT:

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ARCHITECT:

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DESIGN**

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DRAWING TITLE:

**BUILDING
ELEVATIONS -
NORTH & SOUTH**

Project No.	21039.00
Drawn By	HS
Date	10/27/2021
Scale	1/16" = 1'0"

DRAWING NUMBER:

A3.01

**MINCO
DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

**ARROWSTREET
ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

**NEWBURYPORT
CROSSING AT
PARKER ST**

166-168 Newburyport Turnpike,
Newburyport, MA 01950

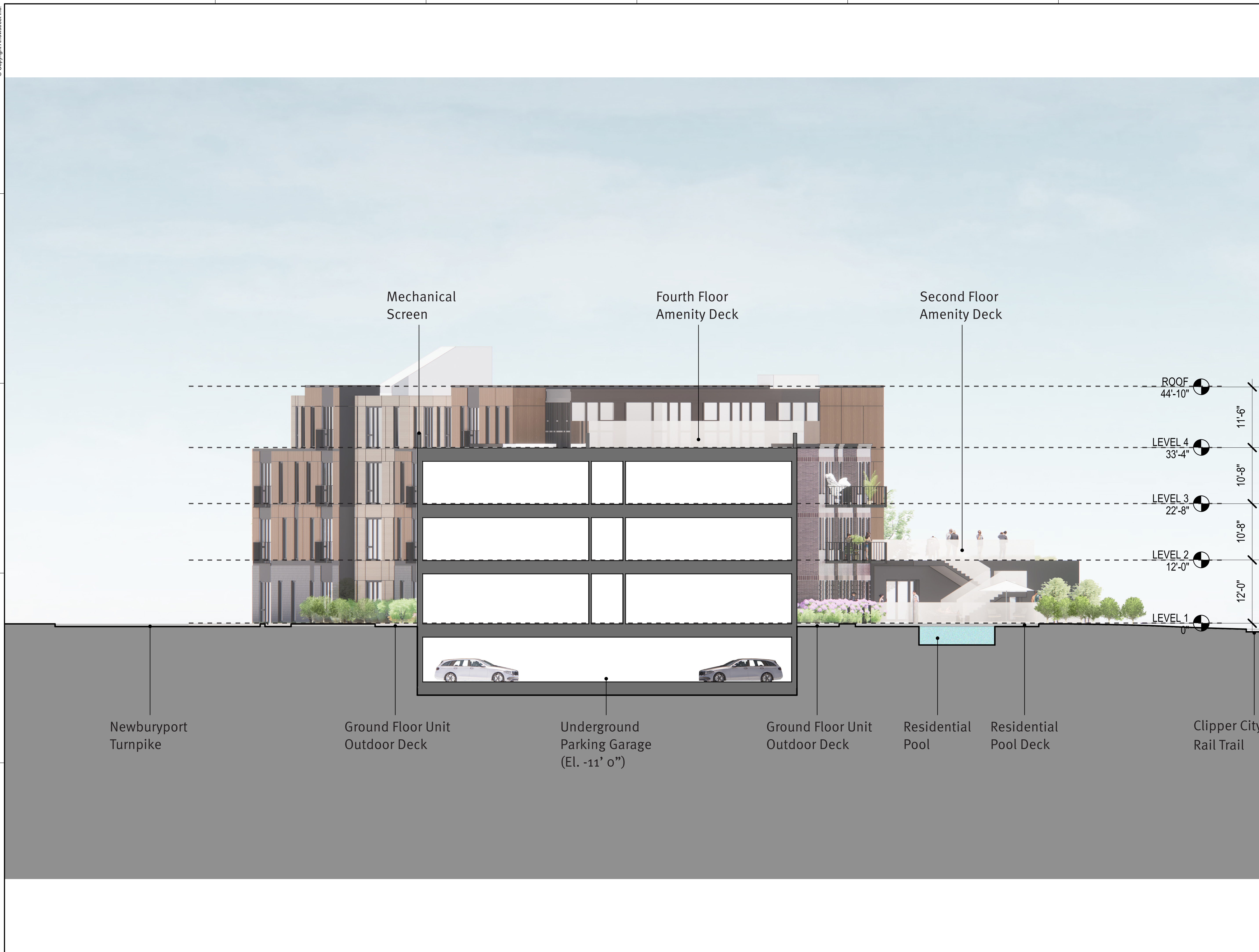
**CONCEPT
DESIGN**

No.	Date	Description

**BUILDING
SECTION**

Project No.	21039.00
Drawn By	HS
Date	10/27/2021
Scale	1/8" = 1'0"

A4.00





CLIENT:

**MINCO
DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

**ARROWSTREET
ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
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arrowstreet.com

CONSULTANTS:

PROJECT INFORMATION:

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Newburyport, MA 01950

ISSUANCE:

**CONCEPT
DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**PERSPECTIVE
VIEW**

Project No. 21039.00

Drawn By CR/HS

Date 10/27/2021

Scale

DRAWING NUMBER:

A5.00



CLIENT:

**MINCO
DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

**ARROWSTREET
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10 POST OFFICE SQUARE
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617.623.5555
arrowstreet.com

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ISSUANCE:

**CONCEPT
DESIGN**

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REVISIONS:

No.	Date	Description

DRAWING TITLE:

**PERSPECTIVE
VIEW**

Project No. 21039.00

Drawn By CR/HS

Date 10/27/2021

Scale

DRAWING NUMBER:

A5.01



CLIENT:

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ARCHITECT:

**ARROWSTREET
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BOSTON MA 02109
617.623.5555
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PROJECT INFORMATION:

**NEWBURYPORT
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ISSUANCE:

**CONCEPT
DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**PERSPECTIVE
VIEW**

Project No.	21039.00
Drawn By	CR/HS
Date	10/27/2021
Scale	

DRAWING NUMBER:

A5.02



CLIENT:

**MINCO
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CORPORATION**

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NORTH ANDOVER, MA 01845

ARCHITECT:

**ARROWSTREET
ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANTS:

PROJECT INFORMATION:

**NEWBURYPORT
CROSSING AT
PARKER ST**

166-168 Newburyport Turnpike,
Newburyport, MA 01950

ISSUANCE:

**CONCEPT
DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**PERSPECTIVE
VIEW**

Project No.	21039.00
Drawn By	CR/HS
Date	10/27/2021
Scale	

DRAWING NUMBER:

A5.03



CLIENT:

**MINCO
DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

**ARROWSTREET
ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANTS:

PROJECT INFORMATION:

**NEWBURYPORT
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PARKER ST**

166-168 Newburyport Turnpike,
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ISSUANCE:

**CONCEPT
DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**PERSPECTIVE
VIEW**

Project No. 21039.00
Drawn By CR/HS
Date 10/27/2021
Scale

DRAWING NUMBER:

A5.04



CLIENT:

**MINCO
DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

**ARROWSTREET
ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

CONSULTANTS:

PROJECT INFORMATION:

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PARKER ST**

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ISSUANCE:

**CONCEPT
DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**PERSPECTIVE
VIEW**

Project No. 21039.00

Drawn By CR/HS

Date 10/27/2021

Scale

DRAWING NUMBER:

A5.05



CLIENT:

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DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

**ARROWSTREET
ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
SUITE 700N
BOSTON MA 02109
617.623.5555
arrowstreet.com

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PROJECT INFORMATION:

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PARKER ST**

166-168 Newburyport Turnpike,
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ISSUANCE:

**CONCEPT
DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**PERSPECTIVE
VIEW**

Project No.	21039.00
Drawn By	CR/HS
Date	10/27/2021
Scale	

DRAWING NUMBER:

A5.06



CLIENT:

**MINCO
DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

**ARROWSTREET
ARCHITECTURE & DESIGN**

10 POST OFFICE SQUARE
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PROJECT INFORMATION:

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ISSUANCE:

**CONCEPT
DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**PERSPECTIVE
VIEW**

Project No.	21039.00
Drawn By	CR/HS
Date	10/27/2021
Scale	

DRAWING NUMBER:

A5.07



CLIENT:

**MINCO
DEVELOPMENT
CORPORATION**

231 SUTTON STREET, SUITE 1B
NORTH ANDOVER, MA 01845

ARCHITECT:

**ARROWSTREET
ARCHITECTURE & DESIGN**

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ISSUANCE:

**CONCEPT
DESIGN**

STAMP:

REVISIONS:

No.	Date	Description

DRAWING TITLE:

**PERSPECTIVE
VIEW**

Project No.	21039.00
Drawn By	CR/HS
Date	10/27/2021
Scale	

DRAWING NUMBER:

A5.08