

CITY OF NEWBURYPORT



PLANNING BOARD

60 PLEASANT STREET • P.O. BOX 550 • NEWBURYPORT, MA 01950 • (978) 465-4400

SMART GROWTH DISTRICT PLAN APPROVAL

DECISION DATE: 5/18/2016

APPLICATION DATE: 12/23/2015 (deemed complete with waivers on 1/6/2016)

FILE NO: 2016-SGD-01

APPLICANT: One Boston Way, LLC

MAILING ADDRESS: 231 Sutton Street, Suite 1B, Andover, MA 01845

PROPERTY ADDRESS: 1 Boston Way, Newburyport, MA 01950

MAP/PARCEL(S): Primary: 78-1-J / Secondary: 78-1-E

PROPERTY OWNER: Massachusetts Bay Transit Authority (MBTA)
Ten Park Plaza, Boston, MA 02116

BOOK/PAGE: 12045-541

ZONING DISTRICT: Smart Growth District (SGD)

BRIEF DESCRIPTION: Allow 84 multi-family rental units including first floor live/work units and affordable housing units, on-site parking, site improvements & related infrastructure (hereinafter, the "Project")

NOTICE: Notices were published on January 19, 2016 and January 26, 2016 in the Newburyport Daily News.

PUBLIC HEARING: A public hearing was held on the above application on 2/3/2016 at Newburyport City Hall and continued to 3/2/16, 3/16/16, 4/6/16, 4/20/16 and 5/18/16.

DECISION: After the close of the public hearing, upon a motion made by member Bonnie Sontag and seconded by Don Walters, the Planning Board voted to approve the Smart Growth Plan pursuant to the Newburyport Zoning Ordinance (NZO), Smart Growth District (SGD) Section XXIX-H(3)(d).

The motion having received a majority vote of all the members of the Planning Board, acting as Plan Approval Authority (PAA), in accordance with Section XXIX-H of the Newburyport Zoning Ordinance, the application for Smart Growth Plan Approval was therefore **approved**.

RECORD OF VOTE: The following members of the Planning Board voted as follows with respect to the petition for Smart Growth Plan Approval subject to the agreed-upon terms and conditions stated below:

Jim McCarthy	<i>(Absent / Abstain)</i>	Bonnie Sontag	YES	Don Walters	YES
Susan Grolnic	YES	Doug Locy	<i>(Absent/ Abstain)</i>	James Brugger	YES
Andrew Shapiro	YES	Leah McGavern	<i>(Absent/ Abstain)</i>		

PROCEDURAL HISTORY, PLANS & RELATED DOCUMENTS

1. Application for Smart Growth Plan Approval pursuant to Section XXIX of the City of Newburyport’s Zoning Ordinance was made by the above-referenced applicant (with authorization from the property owner) and filed with the Planning Board on 12/23/2015. The Board deemed the application complete on 1/6/2016.
2. A public hearing on the Smart Growth Plan was held on 2/3/2016.
3. This application is approved subject to the following plans, drawings, and documents:
 - (a) A 26-sheet Site Plan set entitled “1 Boston Way, Submittal to Planning Board Under SGD Section XXIX, Newburyport Smart Growth District”, submitted by 1 Boston Way, LLC, 231 Sutton Street, North Andover, MA 01845. Sheets included in this plan set are according to the follow list of sheet number, title, original date, and most recent revised date:

Sheet No.	Sheet Title	Original Date	Revised Date
A1.0	Cover Sheet	12/16/15	N/A
A1.1	Site Plan and Parking Garage	12/16/15	3/31/16
A1.2	Site Plan at Entrance Level	12/16/15	3/31/16
A1.3	Floor Plans with Unit Mix & Affordable Unit Locations	12/16/15	3/31/16
A1.4	Typical Ground Level/Live Work Unit Floor Plan	12/16/15	3/31/16
A1.5	Typical Residential Floor Plan	12/16/15	3/31/16
A1.6	Typical Unit Type Layouts	12/16/15	3/31/16
A1.7	Roof Plan	12/16/15	3/31/16
A2.1	Section	12/16/15	3/31/16
A3.1	North and East Elevations	12/16/15	3/31/16
A3.2	South and West Elevations	12/16/15	3/31/16
A3.3	Balcony and Signage Details	3/31/16	N/A
A3.4	Mean Grade Calculation	3/31/16	N/A
C-1	Zoning Analysis Plan	12/16/15	3/31/16
C-2	Overall Existing Conditions Plan	12/16/15	3/31/16

C-3	Existing Conditions Plan	12/16/15	3/02/16
C-4	Site Layout Plan	12/16/15	3/31/16
C-5	Grading & Drainage Plan	12/16/15	3/31/16
C-6	Utility Plan	12/16/15	3/31/16
D-1	Details I	12/16/15	3/31/16
D-2	Details II	12/16/15	3/31/16
D-3	Details III	12/16/15	3/31/16
D-4	Details IV	12/16/15	3/31/16
L1.0	Site Design + Lighting Plan	4/6/16	N/A
L1.1	Lighting Photometric	4/6/16	N/A
L2.0	Planting Plan	4/6/16	N/A
L3.0	Landscape Materials and Site Furnishing Precedent Images	4/6/16	N/A
--	One Boston Way – Newburyport †	--	--

† Color rendering depicting pedestrian crossings, signal adjustments and other site amenities at Parker Street near the Project driveway, adjacent Rail Trail and MBTA Commuter Rail Station.

(b) A “Drainage Report” for the Smart Growth Development at 1 Boston Way, Newburyport, MA, prepared by The Morin Cameron Group, Inc., originally dated March 2nd, 2016 and further revised to March 31st, 2016. Included in this report are the following:

- a. Drainage design plans
- b. Drainage design calculations
- c. Stormwater Best Management Practices Long-Term Pollution Prevention Plan
(post-construction system maintenance)
- d. Stormwater Pollution Prevention Plan
(during construction)
- e. MassDEP Stormwater Management Checklist
- f. Supplemental Stormwater Management Documentation

The above plans and submission materials were reviewed by the Planning Board, and a peer review of engineering and Stormwater design was conducted by Christiansen & Sergi, Inc., on behalf of the Planning Board. Additional comments were received from various City Departments on the draft plans which were subsequently revised to address outstanding issues satisfactorily. A full copy of this documentation is on file with the Newburyport Office of Planning & Development, 60 Pleasant Street, Newburyport, MA 01950.

(c) A draft Marketing and Outreach Plan, Lottery Plan, Lottery Application, and Affordable Housing Deed Restriction for the proposed affordable housing units within the Project.

- (d) 3D Color Renderings of the proposed Project (*building, site and landscaping*) on file with the Newburyport Planning Board and Office of Planning & Development and incorporated herewith as Exhibit B.

Throughout its deliberations the Planning Board has been mindful of the statements of the Applicant and its representatives, other boards and Departments of the City and the comments of the general public, all as made at the public hearing or submitted in writing.

FINDINGS

Consistency with Purposes of Smart Growth District

Pursuant to SGD Section XXIX-H(3)(a) the Planning Board hereby determines that the application and proposed Project is consistent with the purpose and intent of Section XXIX as more fully set forth in Section XXIX-A:

Transit-Oriented Development

The Project is located on a parcel directly adjacent to both the MBTA Commuter Rail line and the City of Newburyport multi-use Clipper City Rail Trail. The single, multi-family structure is within steps of the commuter rail that can take residents through the North Shore and into Boston. The parking, site layout and landscaping are configured in such a way as to encourage pedestrian activity, promote connectivity and allow for transportation choice.

Sustainable Mixed-Use Development

The 84-unit residential structure will feature four (4) live/work units on the first floor that are designed to allow for commercial activity and, if the economy allows, transition from living space to pure commercial space. The ceiling height on the first floor will allow for future commercial development with construction techniques that will enable an efficient transition from residential space to commercial. Additionally, there will be approximately 2,500 square feet of first floor common Commercial/Office space, comprised of both a shared office work space and additional amenities for the residents.

Housing Diversity

This Project will increase housing diversity in several ways: (1) by providing the City with 84 rental units at a time when housing trends indicate a loss of rentals in the City; (2) by providing an assortment of bedroom types to meet a variety of family types; and (3) by providing 21 deed-restricted affordable units for individuals and families that make 80% or less of the Area Median Income.

Revitalize Area Surrounding MBTA Commuter Rail Station

This Project's architecture and building articulation, signage, landscaping, lighting and pedestrian-oriented spaces have been designed to create a livable and vibrant new center in Newburyport. The Project, once complete, will greatly enhance the character of this underutilized area. The Project also includes several improvements to the nearby public amenities including a reconfiguration of the rail trail crossing signal to increase safety of the trail users, new sidewalks and a multi-use path around the Project site and extending easterly toward Route 1, and the repaving of a portion of Boston Way.

High Quality Development Standards

The Project is consistent with the SGD Design Standards, Section XXIX-I, and thusly respects the patterns of New England construction that have and continue to define historical Newburyport while embracing modern architectural trends. The building itself, while standing five stories tall, creates a pedestrian-friendly environment by including awnings, signage and window features that are pedestrian-scale. The mass and bulk of the proposed building is appropriate for this site, adjacent to the MBTA Commuter Rail Station in accordance with the Newburyport SGD Ordinance.

Compliance with Development & Performance Standards of Smart Growth District

In addition, the Planning Board has determined that the project complies with the development and performance standards set forth in SGD Sections XXIX-F, XXIX-G, XXIX-I. The Project meets the dimensional and parking regulations, and design standards contained within the SGD Ordinance.

The applicant has complied with Section XXIX-F(1) entitled "Residential Density Requirements" by including in the Project a portion of Newburyport Assessors Lot 78-1-E (4 Boston Way) consisting of 3,828 square feet of land as shown on the plan within the applicable calculation for density. As such this portion of the lot may not be used for the purposes of calculating density or buildout allowances on future development projects within the SGD.

Mitigation of Any Potential Impacts of the Project

Further, the Board has determined that any potential impacts of the Project on adjacent and nearby properties have been adequately mitigated.

Affordable Housing Distribution

The Board has determined that the Project plans comply with Section XXIX-G(4) of the SGD Ordinance with respect to the size and distribution of affordable housing units.

Relevance of Private Covenants

The Board has been made aware of certain private development restrictions on record for the subject property which, if enforced against the subject property, might have further restricted height, use and other aspects of the proposed Project more narrowly than those permitted within the SGD. After careful review of the documentation provided by the Applicant and others, and in consultation with legal counsel, the Planning Board has determined that these covenants are likely not enforceable on the subject property and in either case that they are beyond the jurisdiction of this Board to enforce or consider for the purposes of Smart Growth Plan Approval pursuant to M.G.L. Chapter 40R, 760 CMR 59.00 and the Newburyport SGD Ordinance. It is the opinion of this Board that the Applicant has fully complied with the requirements of Newburyport's SGD Ordinance.

Authority from the Owner

The Applicant has submitted documentation evidencing permission of the property owner to submit this Project for Smart Growth Plan Approval pursuant to the Newburyport SGD Ordinance.

Review of Project Plans by City Boards & Departments

In accordance with the Newburyport SGD Ordinance, Section XXIX-H(2)(b), the Planning Board (acting as Plan Approval Authority) provided copies of the Project application materials to various City boards and Departments for their subsequent review and comment. Any comments or

concerns received from other boards or departments have been considered and/or addressed by the applicant to the satisfaction of this Board.

WAIVERS

Pursuant to the Newburyport SGD Ordinance, Sections XXIX-H(3)(c) and XXIX-H(d)(iii), the Board hereby grants waivers of the Newburyport Smart Growth District (SGD) Dimensional and Parking Requirements (XXIX-F) and Design Standards (XXIX-I) in as much as the above referenced and approved final plans may require, having found “consistency of such variations with the overall purpose and objectives of the SGD” and that “such waivers will allow the Project to achieve the density, affordability, mix of uses, and/or physical character preferred” under the Newburyport SGD Ordinance.

DECISION

In view of the foregoing Findings, the Planning Board hereby grants Smart Growth Plan Approval in accordance with the terms and conditions stated below.

GENERAL CONDITIONS

1. **Recording of Decision:** The applicant shall file this Smart Growth Plan Approval decision with the Southern Essex County Registry of Deeds (or Land Court if registered land) and a copy of the decision stamped with the recording information (Book/Page or Land Court document number) shall be included with the initial application for a Building Permit for this Project. The final site/construction plans issued to contractors constructing the Project shall also make reference to the decision date and conditions of approval contained herein in order to ensure compliance therewith.
2. **All Construction to Match Approved Plans:** Prior to the granting of a Building Permit, the applicant shall submit the written certification of a registered Architect or Civil Engineer to the Building Commissioner that the Project will be constructed in accordance with the approved plans and conditions and that plans submitted with the application for a Building Permit are in compliance with this approval and the above referenced plans. It shall be the responsibility of the applicant to ensure that all construction of the project is in full compliance with the above referenced and approved drawings.
3. **Consistency with Approved Plans:** Any proposed material change to the use, size, configuration, footprint or height of the existing or proposed buildings shall require an amendment of this permit, this approval having been based on a review of the buildings and site design as presented to the Board on the above referenced drawings.
4. **Minor Modificaitons to Project Plans:** Pursuant to Section XXIX-H(4)(a), the Applicant may request minor modifications to the above referenced and approved Plan Set and this decision without a Public Hearing. This written request must include a list of all proposed modifications as well as plan(s) illustrating the proposed modifications. Upon review of the proposed modifications, the Planning Board may at its descretion determine them to be ‘major’ and schedule a public hearing in accordance with Section XXIX-H(4)(b).

5. Digital Copy of Approved Plans: Prior to any construction, the applicant shall provide the Newburyport Director of Planning & Development with one (1) copy of the entire approved plan set in both CAD and .pdf formats as well as a 3D model of the approved Project in “SketchUp” or similar format approved by the Director of Planning & Development.
6. As-Built Plans: One hard copy and one digital (Adobe .pdf) copy of as-built plans stamped by a professional engineer shall be submitted to the Office of Planning and Development at the completion of the project. Said plans shall contain a certification, made by a registered architect or civil engineer, that final site and building construction is consistent with approved plans and conditions set forth by the Planning Board as part of this Smart Growth Plan Approval. The applicant shall, prior to the start of construction, deposit \$5,000 into the Planning Board’s 53G peer review account for the purposes of hiring a third party engineering firm to verify the accuracy of construction/installation and the final as-built plan. Any unused funds shall be returned to the applicant at the time of initial occupancy.
7. Installation of Utilities: No Building Permit shall be issued unless connections to all public utilities have been reviewed and approved by the respective City departments, and no Certificate of Occupancy shall be granted unless the proposed utilities are installed in accordance with the above referenced and approved plans. All utility work shall be done in compliance with regulations and instructions issued by the Newburyport Department of Public Services (DPS), including (but not limited to) the installation of curbing, pavement, sidewalks, pavement markings, and other infrastructure.
8. Water Service Connections: The design and construction of all water utilities must meet Federal, State and local standards and the latest version of Newburyport Water Works Construction Guidelines and Construction Policies. Contractors are prohibited from operating or connecting to any part of the existing water system without written authorization and field oversight by the Newburyport Department of Public Services (DPS) Water Division. Prior to construction the applicant shall provide to DPS and the City’s Water Division, for their review and approval, product cut sheets for pipes, valves, fire hydrants, tapping sleeves and related specifications as well as any applicable construction drawings.
9. Sewer Service Connections: The design and construction of all sewer utilities must meet Federal, State and Local standards and the latest version of Newburyport Sewer Department Construction Guidelines and Construction Policies. Contractors are prohibited from operating or connecting to any part of the existing sewer system without written authorization and field oversight by the Newburyport DPS Sewer Division.
10. Completion of Landscaping: Pursuant to Section XXIX-I(g)(ix) all landscaping shall be installed prior to the issuance of an Occupancy Permit for the Project, unless this timeline is waived or modified by the Planning Board on the basis of reasonable seasonal constraints.
11. Erosion & Pollution Controls During Construction: During construction the applicant shall comply with all provisions contained within the above referenced and approved Stormwater Pollution Prevention Plan.
12. Maintenance of Stormwater Management System: After construction the applicant shall be responsible for compliance with the above referenced and approved Stormwater Best Management Practices Long-Term Pollution Prevention Plan (post-construction system maintenance)

13. Pre-Construction Meeting: The Applicant shall schedule a Pre-Construction meeting with the Project team, the Building Commissioner, the Planning Director and other representatives from the City as appropriate to review all construction drawings and conditions. At this meeting, the Applicant shall provide a (1) construction schedule and (2) contact sheet for the project manager and any other project team members to whom the City may reach out to should an issue arise.
14. Term of Approval: This Smart Growth Plan Approval is valid for two (2) years from the date from filing with the City Clerk, shall run with the land and may be further extended upon written request of the applicant based upon reasonable justification for delay in initiating the Project. Such timeline shall be stayed during the period of any appeal of this Project's Plan Approval.

SPECIAL CONDITIONS

1. Exterior Facade Detailing & Materials Selection: The Board has approved the applicant's proposed exterior architectural treatment and detailing (as shown on the above referenced and approved drawings) and hereby incorporates Exhibit A within this decision as representative examples of the materials selection. Exhibit A consists of photographs taken at the public hearing wherein the applicant provided physical samples of the proposed exterior treatment, detailing and materials such as brick, masonry, and EIFS paneling.
2. Approval of Additional Tenant and Directional Signage: Details for the directional signs within the site and signs for the live/work spaces, if any, shall be provided to the Office of Planning & Development for review and sign off by the Director of Planning. Subsequent changes in directional signage and/or live/work signage (e.g. change of use/tenant) shall also be submitted to the Office of Planning & Development for review and sign off by the Director of Planning for conformance with the SGD Ordinance and consistency with adjacent signage.
3. Landscaping & Site Improvements Proposed on MBTA Property: The Applicant proposes to install landscaping and pedestrian amenities on the adjacent property (right-of-way) owned by the Massachusetts Bay Transit Authority (MBTA), as depicted on the above referenced and approved drawings. Prior to any site disturbance for the Project the applicant shall request written approval from the MBTA for the installation of these improvements and provide such approval to the Newburyport Director of Planning & Development. Such request and approval shall include permission and obligation for the applicant to regularly maintain the proposed landscaping and site improvements after installation. The Director of Planning & Development has agreed to assist with obtaining final MBTA approval for these site improvements. If, however, the MBTA fails to approve the installation of proposed improvements the applicant may return to the Planning Board for the purposes of requesting a modification to this Plan Approval wherein the proposed site improvements may be modified to meet MBTA requirements or removed from the Project plans, upon confirmation from the Director of Planning & Development that all reasonable attempts have first been made to secure MBTA approval.

The Applicant and the City, through the Office of Planning & Development, shall work together to request final MBTA approval of all proposed site improvements, including but

not limited to, the relocation of the existing brown shed, permanent removal of the existing plastic shed, trimming of vegetation and upgrading the node where the rail trail intersects with the Project walkway and MBTA walkway.

Prior to issuance of the initial Occupancy Permit the applicant shall request MBTA approval to trim underbrush and tree branches in the MBTA ROW (as depicted on the above referenced and approved drawings) and shall reseed the area in the rail trail right-of-way between the end of the train tracks and Parker Street. After initial installation the applicant shall be responsible for yearly maintenance and upkeep of the improvements, conditioned upon MBTA approval.

4. Pedestrian & Bike Path Improvements Adjacent to Project Site: Pursuant to Section XXIX-I(8)(a) of the SGD Ordinance the applicant is hereby required to install sidewalks along Boston Way on the Project site as well as a ten (10) foot wide multi-use path along Parker Street (as shown on the above referenced and approved plans), said multi-use path extending easterly 250' from the Project site toward the intersection of Parker Street and Hill Street. Construction of the multi-use path shall be consistent with specifications used by the City of Newburyport during design and construction of the adjacent Clipper City Rail Trail. The City has agreed to further extend this multi-use path easterly (beyond 250') to the intersection of Parker Street and Route One pursuant to a MassWorks Grant award from the Commonwealth of Massachusetts. The applicant has further agreed to make various improvements in the public way to the pedestrian and bike crossing of Parker Street between the MBTA Commuter Rail Station and Clipper City Rail Trail (bike path) for the benefit of new residents within the Project. All of these improvements by the applicant shall be completed prior to the issuance of any Occupancy Permit within the Project.
5. Upgrade to Pedestrian Crossing Signals: Pursuant to the above referenced and approved plans the applicant shall install new rectangular rapid flashing signals on the existing crosswalk signals at the Parker Street to the Clipper City Rail Trail. Said signals shall be configured to flash and notify vehicles and pedestrians (in all directions) that the pedestrian crossing signal has been activated. The applicant shall also install a new manual push-button signal activation for each of the existing crosswalk signals.
6. Care & Maintenance of Proposed Site Improvements: The applicant shall be responsible for routine care and maintenance of all on-site improvements proposed within the Project plans, including sidewalks and landscaping, including those in the private rights of way.
7. Development Restriction on Remaining MBTA Land: The applicant has agreed to place a Development Restriction (DR) on the three remaining parcels it will acquire from the MBTA located on the westerly side of Boston Way and depicted as Newburyport Assessors Lots 78-1-E (4 Boston Way), 78-1-F (6 Boston Way), and 78-1-G (8 Boston Way). The final version of said DR shall be substantively similar to the sample form submitted to the Planning Board and Director of Planning & Development on March 30, 2016 and shall restrict construction of any buildings on said Lots, with the exception of:
 - (a) the maintenance, operation or upgrade of existing stormwater management systems;
 - (b) installation of new stormwater management systems (subject to Planning Board approval);
 - (c) floodplain management;

- (d) parking or pedestrian access only along the edge of Boston Way; and
- (e) the creation of open space and passive recreation (pedestrian trails and related site amenities) which shall be permitted for residents of the Project or the general public, consistent with the purposes of the DR.

Prior to the issuance of an Occupancy Permit for the Project the applicant shall provide proof of recording of this DR to the Director of Planning & Development. The applicant shall be responsible for regular maintenance and upkeep of these properties, including the removal of any trash or debris thereon. Prior to issuance of an initial Certificate of Occupancy, the Applicant shall clear any trash and debris from the adjacent properties 4, 6 and 8 Boston Way.

- 8. Open Configuration of Live-Work Units: Pursuant to Section XXIX-I(7)(b)(x) the applicant shall construct all four (4) first floor Live-Work units according to the "Future Open Configuration" (detail 2) depicted on Plan Sheet A1.4 entitled "Typical Ground Level/Live Work Unit Floor Plan, including the installation of supporting columns during initial construction and prior to the issuance of an Occupancy Permit within the Project.
- 9. Operable Windows: All windows in residential units shall be fully operable unless otherwise approved by the Director of Planning & Development on a case-by-case basis and in compliance with the Massachusetts Building Code.
- 10. DHCD Approval of Affordable Housing Units & Eligibility for Subsidized Housing Inventory: The applicant has provided to the Board a draft Affordable Housing Deed Restriction, Marketing and Outreach Plan, Lottery Plan, and Lottery Application for the proposed affordable housing units within the Project.

Prior to issuance of a Building Permit, and before marketing of any unit within this Project, the applicant shall provide to the City's Director of Planning & Development the final, DHCD-approved Affordable Housing Deed Restriction and Affirmative Fair Housing Marketing Plan for all units within the Project designated as affordable. Said Restriction and Plan shall comply with the Newburyport SGD Ordinance Section XXIX-G and the most recent Affirmative Fair Housing Marketing and Resident Selection Plan Guidelines issued by the Department of Housing & Community Development (DHCD).

The Affordable Housing Restriction must be approved by DHCD's 40R program staff prior to execution and recording in order to verify that these documents are compliant with the associated 40R requirements under 760 CMR 56.00. Such Plan must describe the resident selection process for the affordable units and must set forth a plan for affirmative marketing that provides maximum opportunity to low or moderate income households, including minority households.

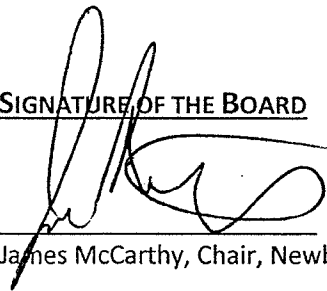
The applicant's Project consists of 100% rental housing units, 25% of which will be affordable, in accordance with the Newburyport SGD Ordinance, thereby qualifying such units for inclusion on the City's Subsidized Housing Inventory (SHI). The applicant shall assist the City's Office of Planning & Development by completing any documentation required by DHCD for the inclusion of all rental units within this Project on the City's SHI.

- 11. Rental Rates to be Published: The Applicant shall publish rental rates for all affordable units within the Project. This information may be published on printed material and/or online. A

copy of the initial affordable rental rates shall be provided to the Director of Planning & Development at the time of initial occupancy.

12. Paving of Boston Way: The applicant shall pave the full width of Boston Way from Parker Street to a point ten (10) feet past the southern property line of the Project.
13. Recognition of Adjacent Business & Industrial Uses: Prior to obtaining a Certificate of Occupancy, and in order to ensure the compatibility of a mix of uses within and adjacent to this Project, the Applicant shall include in residential lease agreements within the project language that clearly discloses the adjacency of lawful preexisting business and industry park uses and proximity to the MBTA Commuter Rail Station.
14. Completion of Sewer Lift Station Upgrades Prior to Certificates of Occupancy: The City of Newburyport Department of Public Services (DPS) has determined that there is adequate water and sewer capacity for the proposed Project at the City's respective water and sewer treatment plants. DPS is currently finalizing plans for upgrades to the Graf Road Sewer Lift (pump) Station (the "Lift Station") which will provide additional sewer pumping capacity to this area of the City. DPS Anticipates completion of Lift Station upgrades prior to the applicant's request for Certificates of Occupancy within the Project. In order to allow sufficient time for the completion of the Lift Station, Certificates of Occupancy within the Project shall not issue until the earlier of: (i) eighteen (18) months from the date of this decision; or (ii) earlier verification from DPS that the Lift Station upgrades are substantially complete.

SIGNATURE OF THE BOARD



James McCarthy, Chair, Newburyport Planning Board

Date: 5/18/2016

DATE OF FILING OF DECISION

Filed with the Newburyport City Clerk on May 19, 2016.

NOTICE OF APPELLATE RIGHTS

In accordance with M.G.L. Chapter 40R Section 11, an appeal of any decision made by the Planning Board, acting as Plan Approval Authority (PAA) under the Newburyport SGD Ordinance may be made by any aggrieved party to any court authorized to hear appeals under M.G.L. Chapter 40A Section 17. Such appeal may be brought within twenty (20) days after the decision has been filed in the office of the City Clerk. Notice of the appeal, with a copy of the complaint shall be given to the City Clerk so as to be received within such 20 days. Such appeals shall be governed by the applicable provisions of M.G.L. Chapter 40R.

CITY CLERK CERTIFICATION OF APPEAL PERIOD EXPIRATION

I, _____, City Clerk of the City of Newburyport, hereby certify pursuant to M.G.L. Chapter 40A Section 17, that the Smart Growth Plan Approval decision for the property known as 1 Boston Way was filed in the Office of the City Clerk on May 19, 2016.

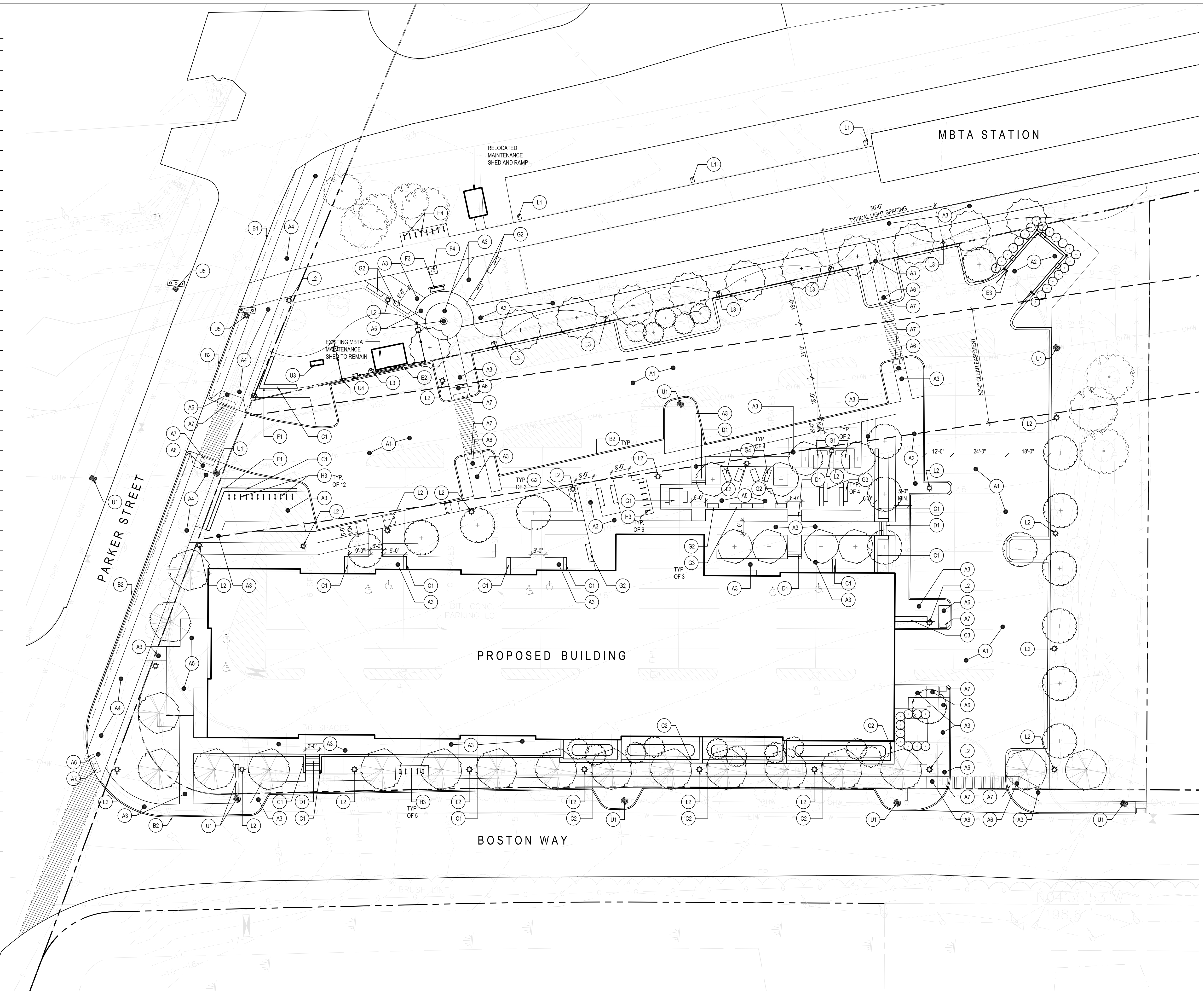
Pursuant to M.G.L. Chapter 40A Section 11, this decision was also filed in the Office of Planning and Development on May 19, 2016 and twenty (20) days have elapsed after the decision was filed and NO APPEAL has been filed. Appeals shall be made pursuant to M.G.L. Chapter 40A Section 17 and made within twenty (20) days after the date of filing of this decision in the Office of the City Clerk.

Newburyport City Clerk

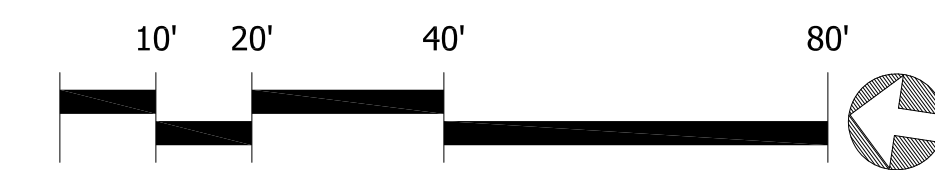
Date

MATERIALS LEGEND

SYMBOL	TAG	DESCRIPTION	DETAIL
LANDSCAPE ELEMENTS			
(A1)		BITUMINOUS CONCRETE PAVING - VEHICULAR SEE CIVIL DRAWINGS	
(A2)		POURED IN PLACE CONCRETE PAVING - VEHICULAR	
(A3)		POURED IN PLACE CONCRETE PAVING - PEDESTRIAN	
(A4)		BITUMINOUS CONCRETE SHARED USE PATH WITH 3'-0" CLEAR LAWN STRIP TO EITHER SIDE	
(A5)		SPECIAL PAVING	
(A6)		ACCESSIBLE CURB RAMP	
(A7)		TACTILE WARNING STRIP	
(B1)		EXISTING CURB TO REMAIN	
(B2)		GRANITE CURB - SEE CIVIL DRAWINGS	
(C1)		STONE WALL - SEE PRECEDENT IMAGES FOR CHARACTER	1 L3.0
(C2)		STORM WATER RETENTION AREA -SEE PRECEDENT IMAGES FOR CHARACTER	6 L3.0 9 L3.0
(C3)		CONCRETE WALL - SEE CIVIL DRAWINGS	
(D1)		PRECAST CONCRETE STAIRS 12" WIDE TREADS SET ON CIP CONCRETE FOUNDATION	
(E1)		AMENITY FENCING AND GATE	
(E2)		MBTA EQUIPMENT SCREEN FENCE	7 L3.0
(E3)		TRASH AND RECYCLING ENCLOSURE	8 L3.0
(E4)		EXISTING GUARDRAIL TO REMAIN	
(F1)		STONE WALL WITH CAP - SEE PRECEDENT IMAGES FOR CHARACTER	2 L3.0
(F2)		DISTANCE TO "CITY" SIGN - GRANITE POST	
(F3)		RELOCATED MBTA SIGNAGE	
(G1)		EQUIPARC EP-2990 PICNIC TABLE WITH (2) EP-1991 BACKLESS PARK BENCH	4 L3.0
(G2)		EQUIPARC BACKED EP-1991 PARK BENCH	3 L3.0
(G3)		LANDSCAPE FORMS BANCAL BENCH 50% BACKLESS - 50% BACKED	
(G4)		EQUIPARC EP-1975 LOUNGE CHAIR	5 L3.0
(H1)		VEHICULAR BOLLARD	
(H2)		TRASH AND RECYCLING RECEPTACLES (QUANTITY 20)	
(H3)		BICYCLE RACK	
(H4)		RELOCATED BICYCLE RACK	
(H5)		DRAIN GRATE INLET - SEE CIVIL DRAWINGS	
LIGHTING			
(L1)		EXISTING LIGHT POLE	
(L2)		PROPOSED LIGHT POLE - PEDESTRIAN	
(L3)		PROPOSED LIGHT POLE - VEHICULAR	
UTILITY			
(U1)		EXISTING N-STAR UTILITY POLE	
(U2)		EXISTING CITY OF NEWBURYPORT UTILITY POLE	
(U3)		EXISTING MBTA ELECTRICAL BOX	
(U4)		EXISTING MBTA SIGNAGE POLE	
(U5)		PEDESTRIAN CROSSING SIGN WITH LIGHT	



PERMIT DRAWINGS - NOT FOR CONSTRUCTION



architect:



GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:



The Morin-Cameron Group, Inc.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect



HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

Project Name: sheet title:
1 BOSTON WAY Site Design +
Lighting Plan

1 Boston Way
Newburyport, MA

Issue date: 04-06-2016
revisions:

dr. *chk.*
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job number:
MCG-3205
L1.0

OUTDOOR LUMINAIRE SCHEDULE

Symbol	Qty	Label	Description	Arm	Lum. Lumens	LLF	Filename
⊙	22	B1	8260LED	0	1786	0.900	8260LED.ies
⊙	9	B3	9595LED Type III	0	6867	0.900	9595LED_TYPEIII.ies

CALCULATIONS SUMMARY

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.63	3.7	0.0	N.A.	N.A.

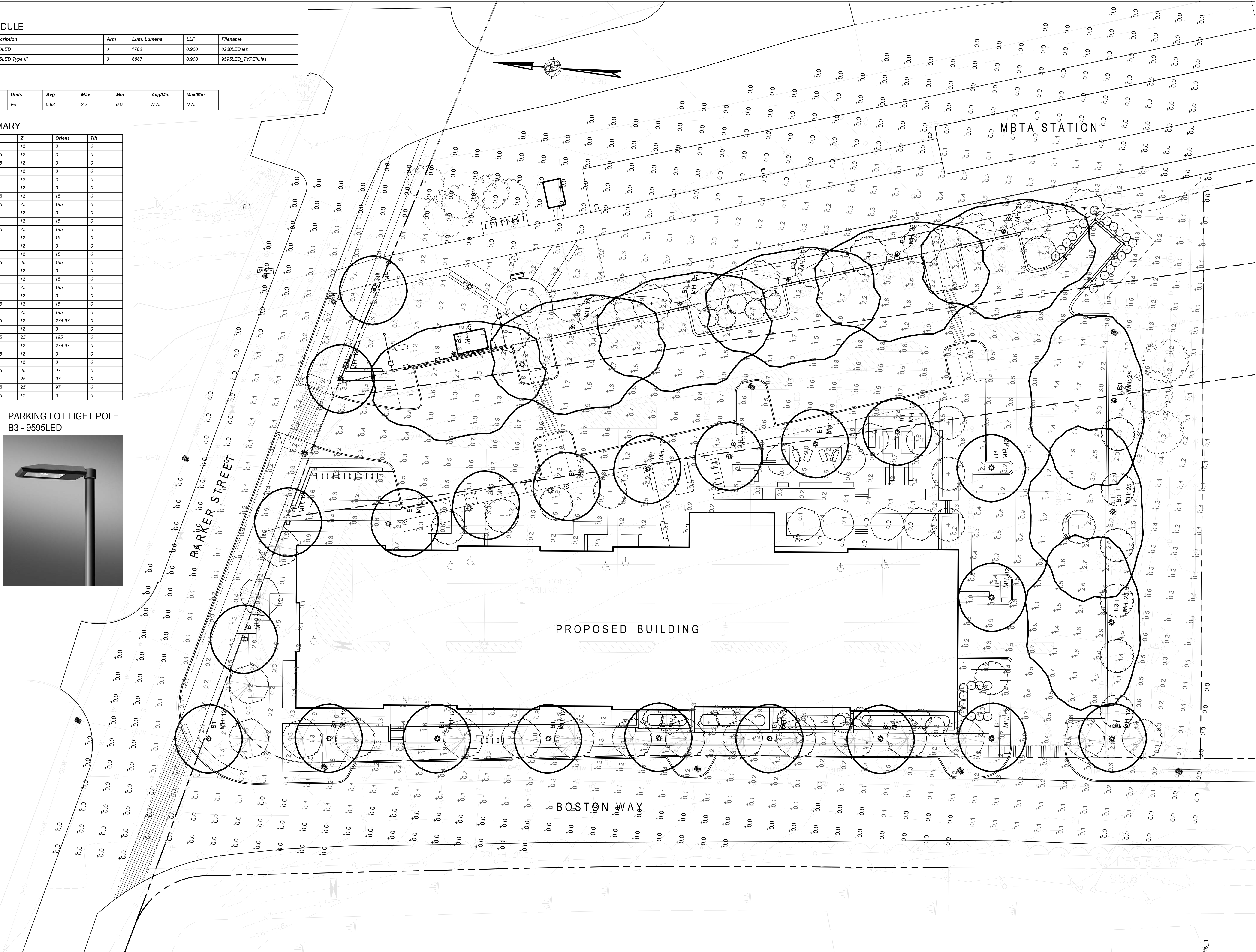
LUMINAIRE LOCATION SUMMARY

LumNo	Label	X	Y	Z	Orient	Tilt
1	B1	3674	2456	12	3	0
2	B1	3720.25	2444.25	12	3	0
3	B1	3774.75	2429.25	12	3	0
4	B1	3841.25	2411.5	12	3	0
5	B1	3679.25	2402	12	3	0
6	B1	3882.5	2400.5	12	3	0
7	B1	3779.25	2376.75	12	15	0
8	B3	3857.5	2361.75	25	195	0
9	B1	3663.5	2353.5	12	3	0
10	B1	3790.5	2341	12	15	0
11	B3	3874.25	2309.25	25	195	0
12	B1	3802.25	2305.5	12	15	0
13	B1	3688	2303.5	12	3	0
14	B1	3813.25	2270	12	15	0
15	B3	3889	2262.25	25	195	0
16	B1	3693.25	2254	12	3	0
17	B1	3822.5	2234	12	15	0
18	B3	3904.5	2214.5	25	195	0
19	B1	3697.25	2204	12	3	0
20	B1	3831.75	2195.75	12	15	0
21	B3	3920.5	2166.5	25	195	0
22	B1	3840.5	2159.25	12	274.97	0
23	B1	3707.5	2154	12	3	0
24	B3	3935	2119.75	25	195	0
25	B1	3828	2115.5	12	274.97	0
26	B1	3770	2109.75	12	3	0
27	B1	3707	2104	12	3	0
28	B3	3863.5	2062.75	25	97	0
29	B3	3813	2058.5	25	97	0
30	B3	3764	2055.25	25	97	0
31	B1	3711.75	2049.75	12	3	0

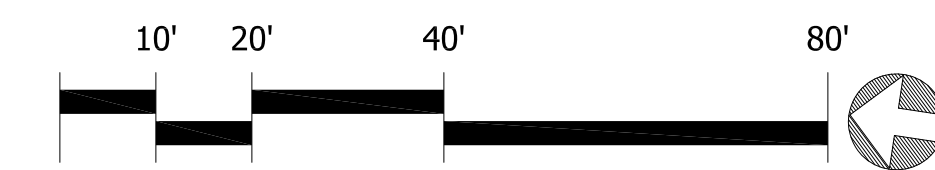
PEDESTRIAN LIGHT POLE
B1 - 8260LED



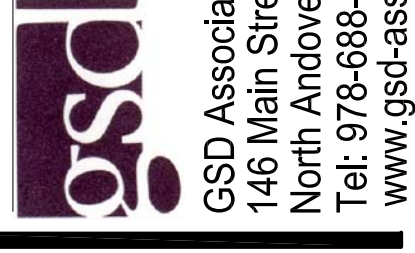
PARKING LOT LIGHT POLE
B3 - 9595LED



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architect:



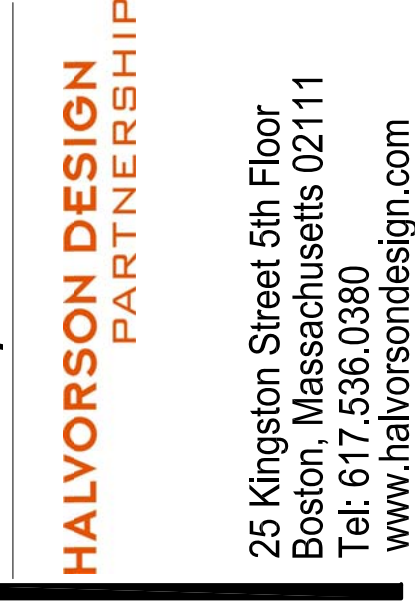
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:



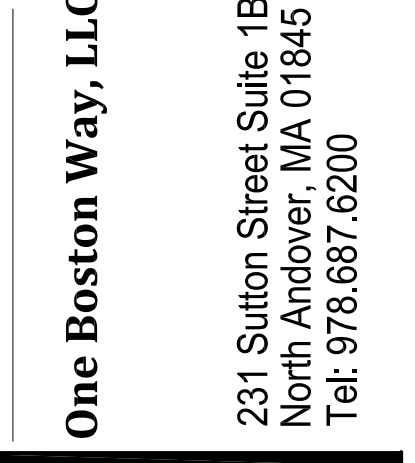
The Morin-Cameron Group, Inc.
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect



Halvorson Design Partnership
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner



One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

Project Name: sheet title:

1 BOSTON WAY
Lighting Photometric
1 Boston Way
Newburyport, MA

Issue date: 04-06-2016
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dr. chk.
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MCG-3205
L1.1

PLANTING LEGEND

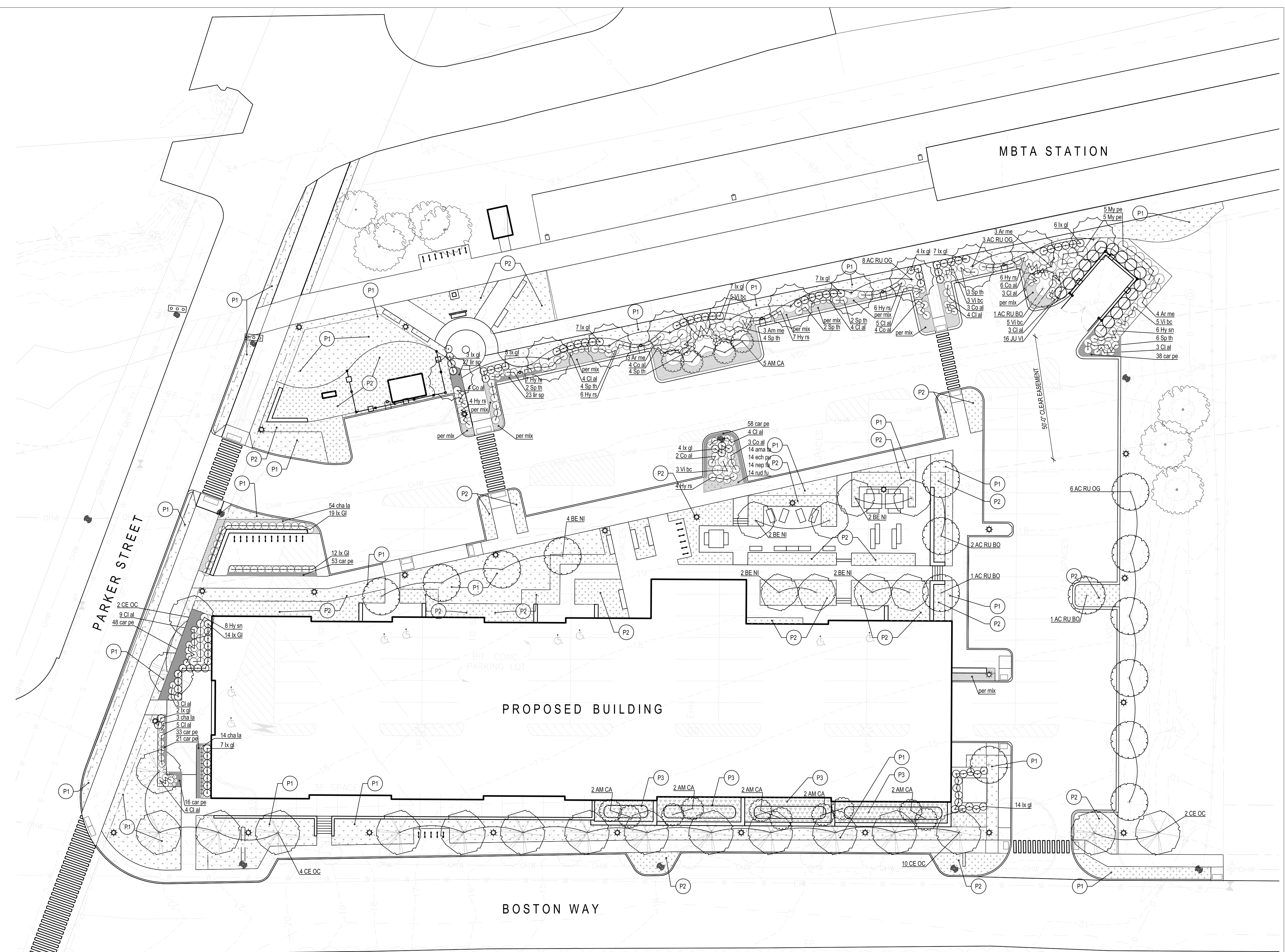
SYMBOL	TAG	DESCRIPTION
PLANTING		
(P1)		SOD/ SEEDED LAWN
(P2)		SHRUB, GRASS + PERENNIAL PLANTINGS
(P3)		STORMWATER RETENTION/ WETLAND PLANTINGS
(Tree with star)		EXISTING TREE TO REMAIN (TO BE PRUNED BY LICENSED ARBORIST)
(Tree with circle)		STREET TREE - 20 TOTAL
(Tree with square)		PARKING LOT TREE - 15 TOTAL
(Tree with diamond)		MBTA PATH TREE - 12 TOTAL
(Tree with triangle)		FLOWERING TREE - 8 TOTAL
(Large bush)		LARGE DECIDUOUS SHRUB - 15 TOTAL
(Hedge)		EVERGREEN HEDGE PLANTING

PRELIMINARY PLANTING LIST

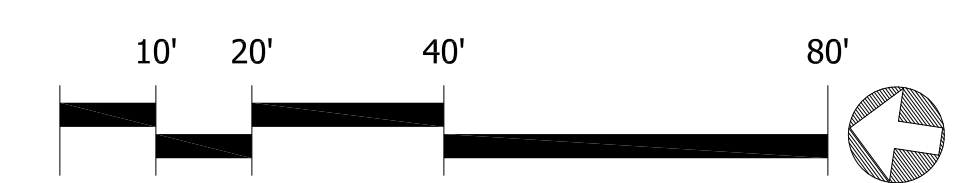
Qty	Symbol	Botanical Name	Common Name	Size	Spacing
17	AC RU OG	Acer rubrum 'October Glory'	October Glory Red Maple	3.5"-4" cal	
5	AC RU BO	Acer rubrum 'Bowhall'	Bowhall Red Maple	3.5"-4" cal	
15	AM CA	Amelanchier can. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3.5"-4" cal	
12	BE NI	Betula nigra 'Cully'	Heritage River Birch	3.5"-4" cal	
20	CE OC	Celtis occidentalis	Hackberry	3.5"-4" cal	
16	JU VI	Juniperus virginiana 'Emerald Sentinel'	Emerald Sentinel Eastern Red Cedar	8" HT	

Qty	Symbol	Botanical Name	Common Name	Size	Spacing
Accent Plantings - Shrubs					
	Ar me	Aronia melanocarpa	Black Chokeberry	48" O.C.	
	Bu gr	Buxus x Green Velvet	Green Velvet Boxwood	30" O.C.	
	Cl al	Clethra alnifolia 'Sisden Candles'	Sisden Candles Summersweet	30" O.C.	
	Co al	Cornus alba 'Ivory Halo'	Ivory Halo Red-Twig Dogwood	36" O.C.	
	Hy an	Hydrangea anomala petiolaris	Climbing Hydrangea	18" O.C.	
	Hy rs	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Hydrangea	36" O.C.	
	Hy sn	Hydrangea quercifolia 'Snowflake'	Snowflake Oakleaf Hydrangea	36" O.C.	
	Ix gl	Ilex glabra 'Shamrock'	Shamrock Inkberry	36" O.C.	
	My pe	Myrica pensylvanica	Northern Bayberry	48" O.C.	
	Ru bk	Rosa 'Blazing Knives Out'	Blazing Knives Pink	24" O.C.	
	Sp th	Spirea thunbergii 'Ogori'	Mellow Yellow Spirea	36" O.C.	
	Vi bc	Viburnum trilobum 'Bailey Compact'	American Cranberrybush Viburnum	36" O.C.	
	Vi ju	Viburnum judicii	Judd Viburnum	36" O.C.	
Accent Plantings - Grass					
	car pe	Carex pensylvanica	Sedge Grass	12" O.C.	
	cha la	Chasmodon latifolium	Northern Sea Oats	12" O.C.	
	Des ca	Deschampsia cespitosa	Tufted Hair Grass	12" O.C.	
	mol ca	Molinia caerulea sp. 'Caerulea Moorflame'	Moorflame Moor Grass	12" O.C.	
	pan sh	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	12" O.C.	
	pen al	Pennisetum abscissum 'Hameln'	Dwarf Fountain Grass	12" O.C.	
Accent Plantings - Perennials					
	ach m	Achillea millefolium 'Terra Cotta'	Terra Cotta Yarrow	18" O.C.	
	ach mo	Achillea millefolium	Lady's Mantle	18" O.C.	
	ama hu	Amsonia hubrichtii	Arkansas Blue Star	18" O.C.	
	ama la	Amsonia tabernaemontana	Eastern Blue Star	18" O.C.	
	ast ch	Aster chinensis 'Finlay'	Finlay Plume Flower	18" O.C.	
	ast na	Aster (Symph.) novae-angliae	New England Aster	18" O.C.	
	ech pu	Echinacea purpurea	Purple Cone Flower	18" O.C.	
	ech ru	Echinacea purpurea 'Rubinster'	Ruby Star Coneflower	18" O.C.	
	eup ma	Eupatorium maculatum	Joe-Pye Weed	18" O.C.	
	hem go	Hemerocallis 'Going Bananas'	Going Bananas Daylily	18" O.C.	
	ir ve	Iris versicolor 'Whodunnit'	Blue Flag Iris	18" O.C.	
	nep la	Nepeta x faasseni 'Blue Wonder'	Blue Wonder Catmint	18" O.C.	
	os ci	Osmunda cinnamomea	Cinnamon Fern	18" O.C.	
	pol fa	Polygonatum falcatum variegatum	Caricaged Solomon's Seal	18" O.C.	
	rud fu	Rutbeckia fulgida 'Goldsturm'	Black Eyed Susan	18" O.C.	

Qty	Symbol	Botanical Name	Common Name	Size	Spacing
Stormwater/ Wetland Plantings - Shrubs					
	Ar ar	Aronia arbutifolia	Red Chokeberry	48" O.C.	
	Cl al	Clethra alnifolia 'Sisden Candles'	Sisden Candles Summersweet	30" O.C.	
	Co pe	Comptonia peregrina	Sweetfern	24" O.C.	
	Co al	Cornus alba 'Ivory Halo'	Ivory Halo Red-Twig Dogwood	36" O.C.	
	Ha vi	Hamelis virginiana	Witchhazel	6" O.C.	
	Hy qu	Hydrangea quercifolia 'Snowflake'	Snowflake Oakleaf Hydrangea	36" O.C.	
	Ix ve	Ilex verticillata	Winterberry	36" O.C.	
	My pe	Myrica pensylvanica	Northern Bayberry	48" O.C.	
	Rh vi	Rhododendron viscosum	Swamp Azalea	36" O.C.	
	Vi ju	Viburnum judicii	Judd Viburnum	36" O.C.	
Stormwater/ Wetland Planting - Grass					
	car pe	Carex pensylvanica	Sedge Grass	12" O.C.	
	cha la	Chasmodon latifolium	Northern Sea Oats	18" O.C.	
	Des ca	Deschampsia cespitosa	Tufted Hair Grass	12" O.C.	
	pan sh	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	12" O.C.	
Stormwater/ Wetland Plantings - Perennials					
	ast na	Aster (Symph.) novae-angliae	New England Aster	18" O.C.	
	ech pu	Echinacea purpurea	Purple Cone Flower	18" O.C.	
	ech ru	Echinacea purpurea 'Rubinster'	Ruby Star Coneflower	18" O.C.	
	eup ma	Eupatorium maculatum	Joe-Pye Weed	18" O.C.	
	hel an	Helianthus angustifolius	Swamp Sunflower	18" O.C.	
	ir ve	Iris versicolor 'Whodunnit'	Blue Flag Iris	18" O.C.	
	lo ca	Lobelia cardinalis	Cardinal Flower	18" O.C.	
	os ci	Osmunda cinnamomea	Cinnamon Fern	18" O.C.	
	rud fu	Rutbeckia fulgida 'Goldsturm'	Black Eyed Susan	18" O.C.	



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architect:
GSD
 GSD Associates, LLC
 146 Main Street
 North Andover, MA 01845
 Tel: 978-688-5422
 www.gsd-assoc.com

landscape architect
HALVORSON DESIGN PARTNERSHIP
 25 Kingston Street 5th Floor
 Boston, Massachusetts 02111
 Tel: 617-536-0380
 www.halvorsondesign.com

civil engineer:
The Morin-Cameron GROUP, INC.
 CIVIL ENGINEERS/ ENVIRONMENTAL CONSULTANTS
 LAND SURVEYORS/ LAND USE PLANNERS
 447 Boston Street
 Topsfield, MA 01983
 Tel: 978-887-8586
 www.morincameron.com

owner
One Boston Way, LLC
 231 Sutton Street Suite 1B
 North Andover, MA 01845
 Tel: 978.687.6200

Project Name: 1 BOSTON WAY
sheet title: Planting Plan

Issue date: 04-06-2016
revisions:

dr. chk.
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job number:
MCG-3205
L2.0



1 STONE WALL - CHARACTER
NTS



2 STONE WALL WITH CAP AND PROJECT SIGNAGE
NTS



3 EQUIPARC PARC BENCH WITH BACK
NTS



4 EQUIPARC PICNIC TABLE WITH BACKLESS BENCH
NTS



5 EQUIPARC CHAISE LOUNGE
NTS



6 STORM WATER RETENTION WALL - CHARACTER
NTS



7 MBTA EQUIPMENT SCREEN FENCE
NTS



8 TRASH AND RECYCLING ENCLOSURE
NTS



9 STORM WATER RETENTION PLANTING - CHARACTER
NTS

architect:



GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:



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landscape architect



Halvorson Design Partnership
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner



One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Landscape Materials and Site Furnishing Precedent Images

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 04-06-2016

revisions:

dr. chk.

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job number:

MCG-3205

L3.0

PERMIT DRAWINGS - NOT FOR CONSTRUCTION

DIMENSIONAL & DENSITY TABLE FOR 1 BOSTON WAY
SMART GROWTH DISTRICT: SUBDISTRICT "A"

SETBACK	REQUIRED	PROPOSED
MAX. DENSITY	40 UNITS PER ACRE	84 UNITS IN 2.10 ACRES (40 UNITS PER ACRE) (1)
LOT AREA	10,000 S.F.	87,705± S.F.
MINIMUM FRONTAGE	40 FEET	132.48' (PARKER) / 470.71' (BOSTON)
MIN. FRONT YARD SETBACK	NO REQUIREMENT	8' (PARKER) / 20' (BOSTON)
MAX. FRONT YARD SETBACK	10 FEET (1)	30' (PARKER) / 30' (BOSTON)
MIN. SIDE YARD SETBACK	NO REQUIREMENT	73'
MIN. REAR YARD SETBACK	10 FEET	NO REAR YARD
UNDEVELOPED AREA	20% (3)	0%
MAXIMUM BUILDING HEIGHT	5 STORIES & 60 FEET (4)	60'
MAX. BUILDING FOOTPRINT	22,000 SF (5)	22,000 SF
NON-RESIDENTIAL F.A.	33% (6)	2%

PARKING CALCULATION:

REQUIRED:	# OF UNITS	REQUIRED SPACES
RESIDENTIAL MULTI-FAMILY	36	36
1 PER STUDIO OR ONE-BEDROOM UNIT	40	52
1.3 PER TWO-BEDROOM UNIT	40	52
1.5 PER UNIT W/ THREE BEDROOMS OR MORE	8	12
ALL OTHER USES		
2 PER 1,000 SF GROSS FLOOR AREA	2,500 SF OFFICE	5
		105 SPACES

PROPOSED:
58 REGULAR SURFACE SPACES
3 SURFACE HANDICAP SPACES (INCLUDING 1 VAN SPACE)
3 GARAGE HANDICAP SPACES (INCLUDING 1 VAN SPACE)
8 REGULAR GARAGE SPACES
44 COMPACT GARAGE SPACES
12 PARALLEL PARKING SPACES IN BOSTON WAY
TOTAL: 128 PARKING SPACES

PARKING NOTES:
SURFACE SPACE: 9' x 18'
COMPACT GARAGE SPACE: 8' x 16'
GARAGE SPACE: 8' x 18'
VAN HANDICAP LOADING AREA: 8' x 18'
HANDICAP LOADING AREA: 5' x 18'

DIMENSIONAL & DENSITY TABLE NOTES:

- AN EASEMENT WILL BE CREATED ON A PORTION OF 4 BOSTON WAY TO RESERVE LAND FOR DENSITY.
- EXCEPT WHERE EXISTING UTILITY EASEMENTS MAKE THIS SETBACK INFEASIBLE, SEE WAIVER 2 BELOW.
- AT LEAST 20% OF THE DEVELOPABLE LAND SHALL BE LEFT UNDEVELOPED AS PUBLIC OR SEMI-PUBLIC COMMON SPACE OR VEGETATED LANDSCAPE AND SUCH AREAS SHALL NOT INCLUDE BUILDINGS, STRUCTURES, PARKING AREAS, OR INTERNAL LANDSCAPING IN PARKING LOTS BUT MAY INCLUDE WETLANDS, WETLAND BUFFER AREAS AND FLOOD PLAINS. THE PAA MAY ALLOW REDUCTIONS TO THE MINIMUM AREA BY USING LOW-IMPACT DEVELOPMENT TECHNIQUES OR BY IMPROVING MBTA/RAIL TRAIL.
- WITHIN 250 FEET OF THE MBTA RAIL RIGHT-OF-WAY, SOUTH OF PARKER STREET.
- WITHIN 250 FEET OF THE COMMUTER RAIL STATION AND CLIPPER CITY RAIL TRAIL.
- THE TOTAL GROSS FLOOR AREA DEVOTED TO NON-RESIDENTIAL USES WITHIN A MIXED USE DEVELOPMENT PROJECT SHALL NOT EXCEED 33% OF THE TOTAL GROSS FLOOR AREA FOR THE PROJECT.

REQUESTED WAIVERS:

- SECTION XXIX-F.2.a(v): MAXIMUM FRONT YARD SETBACK EQUALS 10 FEET. WAIVER TO ALLOW MAX 30 FEET.
- SECTION XXIX-F.3: PROVIDE NO UNDEVELOPED AREA. A WAIVER IS REQUESTED FROM THIS SECTION. SEE IMPROVEMENTS TO MBTA/RAIL TRAIL RIGHT-OF-WAY AND LOW-IMPACT STORMWATER FEATURES.
- SECTION XXIX-I.7.a(i): 60% OF FRONT FACADE AT FRONT LINE. IF NOT MET, CAN ALLOW UP TO MAXIMUM SETBACK FOR PEDESTRIAN USE. WAIVER TO ALLOW NO FRONT FACADE AT FRONT LINE DUE TO LOT GEOMETRY AND EASEMENT CONSTRAINTS.
- SECTION XXIX-I.7.a(v): BUILDING MINIMUM 10' OFF STREET LINE. WAIVER TO ALLOW 21' ALONG PARKER STREET AND 13' TO MBTA COMMUTER LINE.
- SECTION XXIX-I.7.b(i): WAIVER TO ALLOW CHANGES IN PLANE, COLOR AND MATERIALS TO BE LESS THAN 1 FOOT DEEP.
- SECTION XXIX-I.8.g(iii): VERTICAL GRANITE CURB OR CONCRETE CURB REQUIRED. WAIVER TO ALLOW CAPE COD BERM IN PORTIONS OF THE SITE.
- SECTION XXIX-I.8.e(iii): PARKING LOTS SHALL BE BEHIND BUILDINGS. WAIVER TO ALLOW PARKING IN FRONT YARD AS IT IS NOT POSSIBLE AT THIS LOCATION DUE TO STREETS ON TWO SIDES AND MBTA ON THIRD SIDE. THERE IS NO REAR YARD.

PARKING LOT LANDSCAPING CALCULATIONS:

- STREET TREES = PROVIDE 30 FEET IN CENTER ALONG STREET:
603.19 FEET FRONTAGE/30 FEET = 20 TREES REQUIRED / PROVIDED
- 1 SHADE TREE PER 5 SPACES: 73 SURFACE SPACES/5 = 15 TREES REQUIRED/PROVIDED
- 5% OF INTERIOR PARKING AREA SHALL BE LANDSCAPED:
TOTAL PARKING LOT AREA (SEE PLAN) = 30,680 SF
TOTAL LANDSCAPED AREA = 3,440 SF = 11.2%
- MINIMUM LANDSCAPED ISLAND WIDTH = 9 FEET; PROVIDED MINIMUM OF 9 FEET
- MAXIMUM PARKING SPACES WITHOUT LANDSCAPE ISLAND; 10 MAXIMUM REQUIRED, 10 MAXIMUM PROVIDED

BICYCLE PARKING CALCULATION:

REQUIRED:
3 SPACES PER 10 CAR SPACES
130/10 x 3 = 39 SPACES

PROVIDED:
40 SPACES

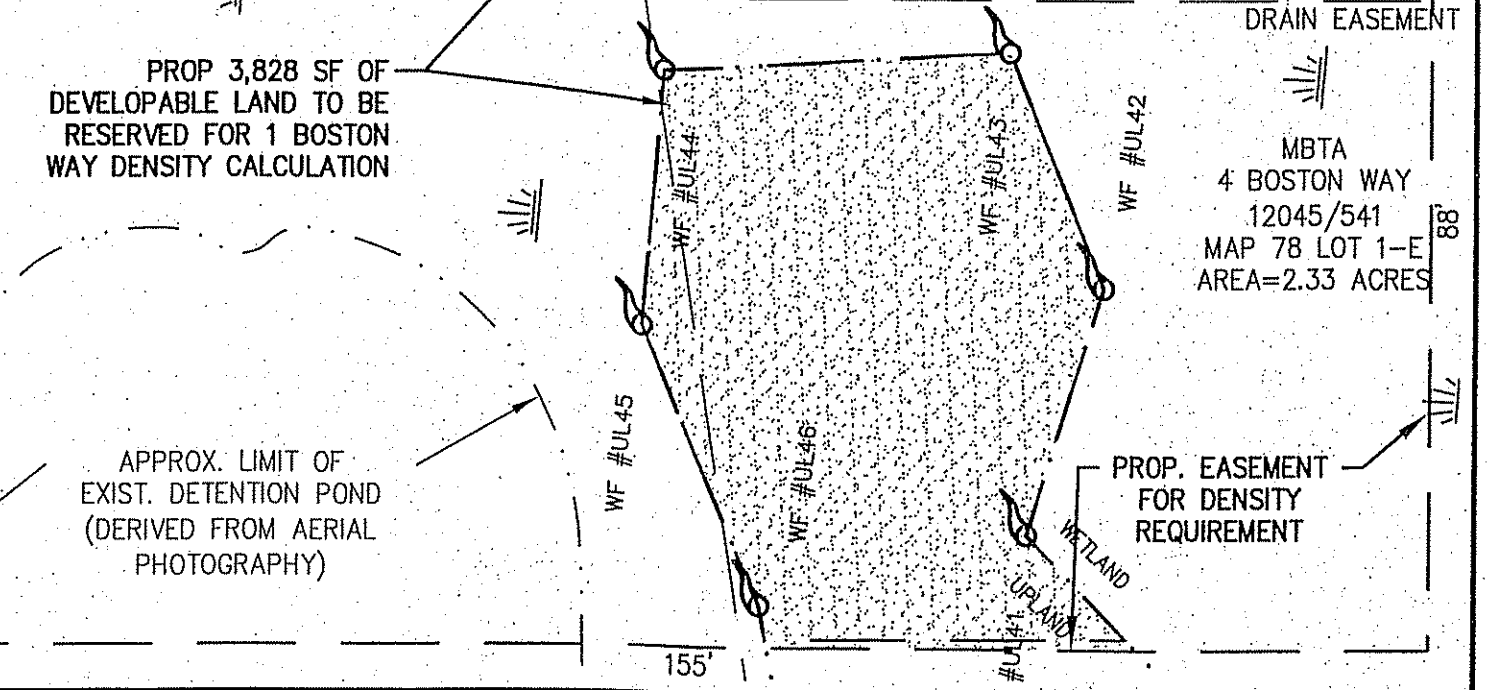
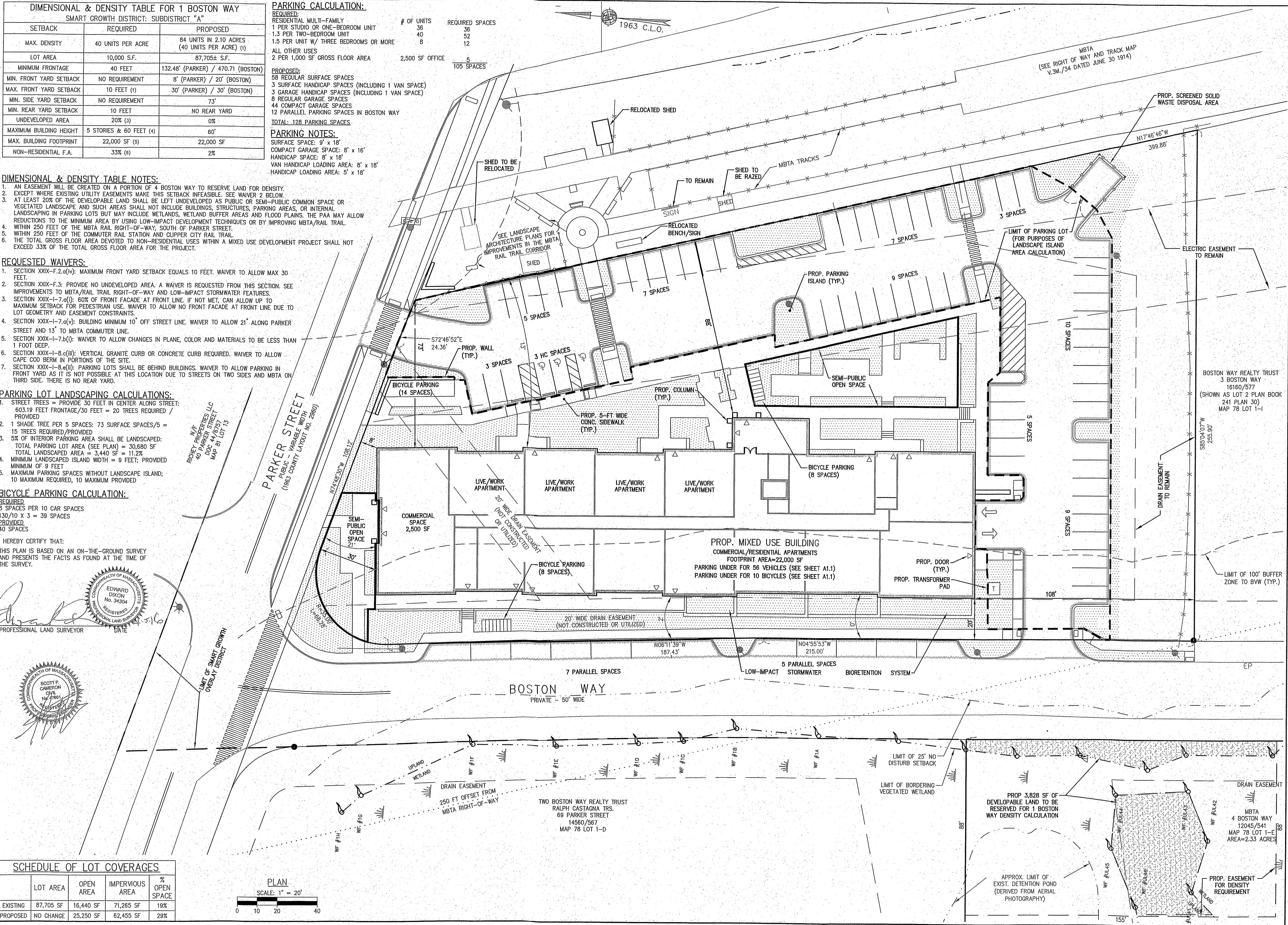
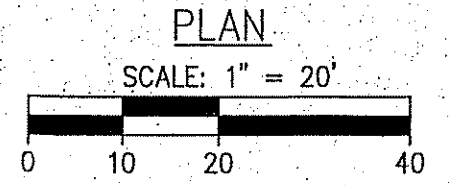
I HEREBY CERTIFY THAT:
THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.

EDWARD DIXON
No. 34304
REGISTERED PROFESSIONAL LAND SURVEYOR

SCOTT P. CAMERON
CIVIL ENGINEER
No. 17501
REGISTERED PROFESSIONAL ENGINEER

SCHEDULE OF LOT COVERAGES

	LOT AREA	OPEN AREA	IMPERVIOUS AREA	% OPEN SPACE
EXISTING	87,705 SF	16,440 SF	71,265 SF	19%
PROPOSED	NO CHANGE	25,250 SF	62,455 SF	29%



surveyor:
DGT SURVEY GROUP - NORTH SHORE, LLC
18 Center Street
Newburyport, MA 01950
Tel: 978-465-9992
www.dgsurvey.com

architect:
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:
The Morn-Cameron GROUP INC.
LAND SURVEYORS & LAND USE PLANNERS
447 Boston Street
Topfield, MA 01983
Tel: 978-887-8686
www.morncameron.com

landscape architect:
HALYORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner:
One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978-687-6200

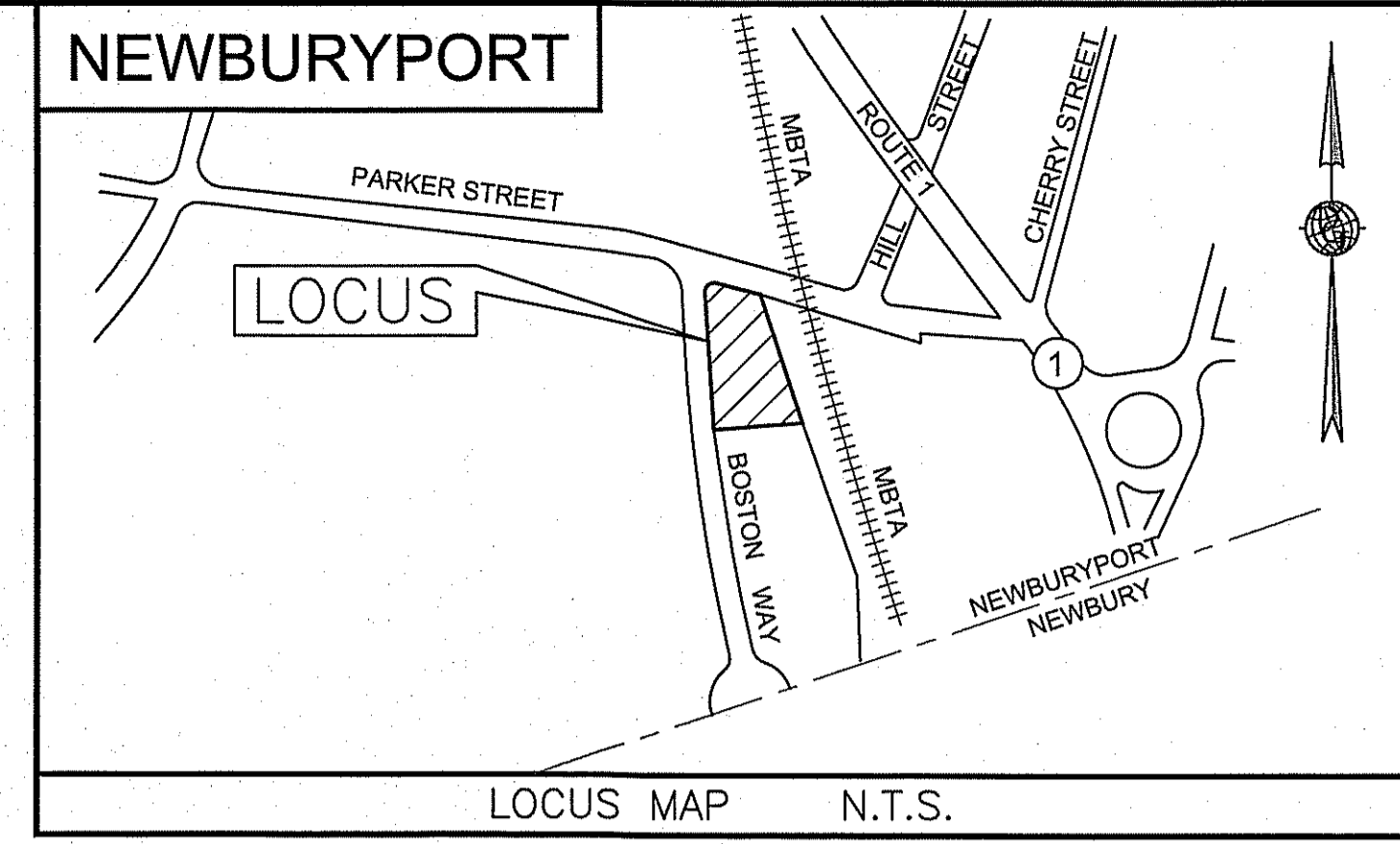
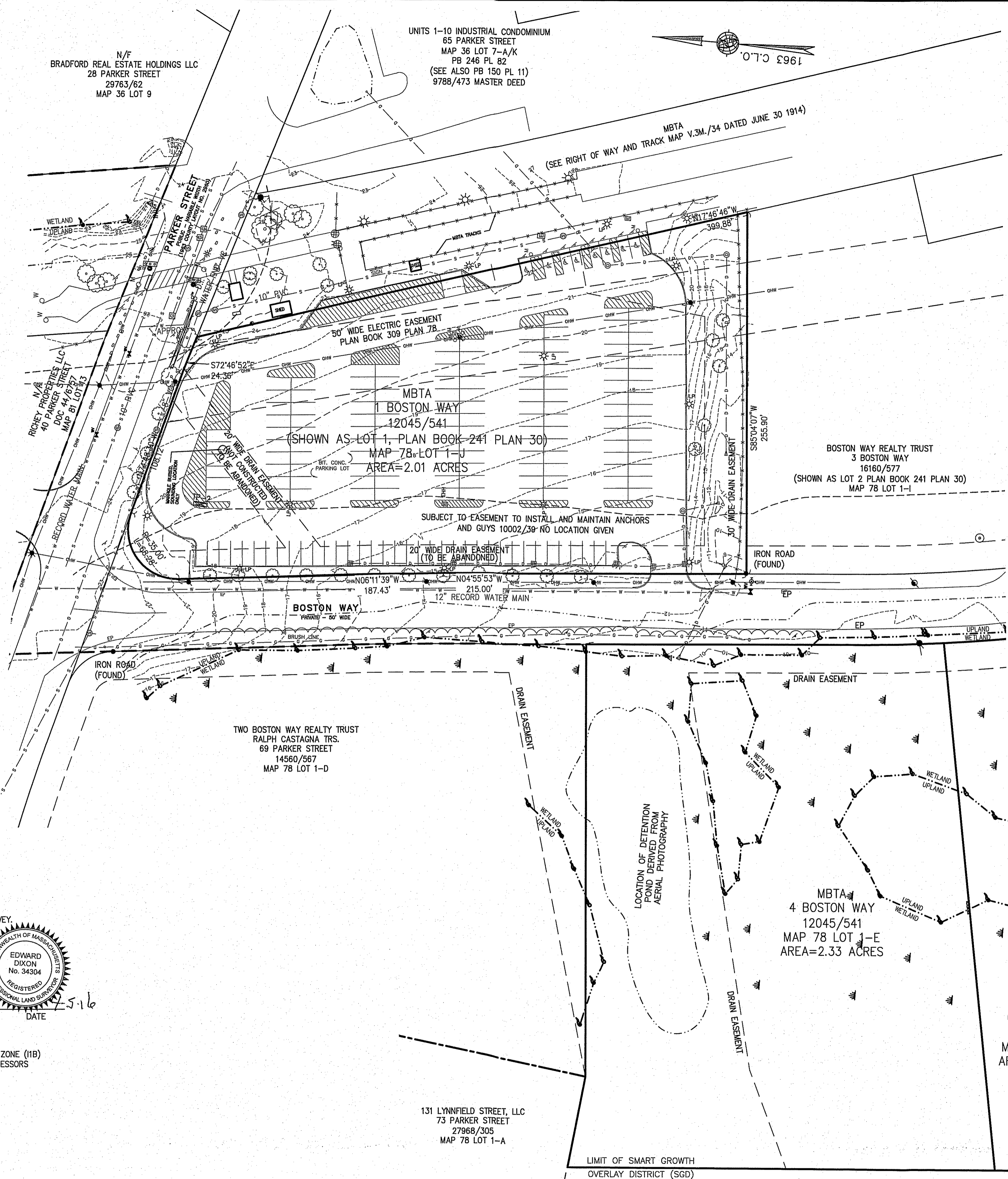
Project Name: 1 BOSTON WAY
sheet title: Zoning Analysis Plan

issue date: 12-16-2015
revisions:
01-27-16
03-02-16
03-31-16

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job number: MCG- 3205
C-1

- LEGEND:**
- GAS METER
 - ELECTRIC MANHOLE
 - CATCH BASIN
 - ⊙ SEWER MANHOLE
 - ⊙ DRAIN MANHOLE
 - ⊙ HYDRANT
 - ⊙ UTILITY POLE
 - ⊙ UTILITY POLE WITH LIGHT
 - * LIGHT POLE
 - STONE POST
 - SIGN
 - MAILBOX
 - +73.86 SPOT GRADE
 - W — WATER LINE
 - D — DRAIN LINE
 - S — SEWER LINE
 - E — ELECTRIC LINE
 - T — TELEPHONE LINE
 - GAS — GAS LINE
 - OHW — OVERHEAD WIRES
 - - - 1 FOOT CONTOUR
 - - - 5 FOOT CONTOUR
 - X X WOOD FENCE
 - WETLANDS LINE
 - - - WETLANDS BUFFER LINE



- REFERENCES:**
- ESSEX COUNTY REGISTRY OF DEEDS, SOUTH DISTRICT
DEED BOOK 12045 PAGE 541
DEED BOOK 14148 PAGE 279
DEED BOOK 15081 PAGE 486
DEED BOOK 15081 PAGE 499
 - CITY OF NEWBURYPORT ENGINEERING RECORDS
GIS AND ASSESSORS MAP

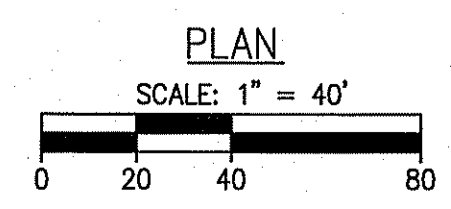
- EXISTING CONDITIONS PLAN NOTES:**
- FIELD SURVEY PERFORMED: OCTOBER OF 2013 THROUGH DECEMBER OF 2015.
 - THIS PLAN IS PREPARED FOR OUR CLIENT USE ONLY FOR THE SPECIFIC PURPOSE OF OBTAINING PERMITS FOR CONSTRUCTION, AND IS NOT TO BE USED FOR ANY OTHER USE BY OTHERS WITHOUT THE WRITTEN CONSENT OF DGT.
 - ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON LOCATIONS OF OBSERVABLE FIELD EVIDENCE. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, REPAVING OR OTHER CONSTRUCTION, ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS, CALL "DIG SAFE" AT 1-888-344-7233. THE DGT SURVEY GROUP ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED.
 - WETLAND RESOURCE AREAS SHOWN ON THIS PLAN WERE DELINEATED IN DECEMBER 2015 BY LEC ENVIRONMENTAL CONSULTANTS, INC. - 384 LOWELL STREET, SUITE 206, WAKEFIELD, MA.

I HEREBY CERTIFY THAT:
THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY
AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.

Edward Dixon
EDWARD DIXON
No. 34304
REGISTERED PROFESSIONAL LAND SURVEYOR
DATE: 7-5-16

ZONING:
THE SUBJECT PROPERTY IS LISTED AS BEING IN THE INDUSTRIAL ZONE (I1B)
ZONING DISTRICT ACCORDING TO THE CITY OF NEWBURYPORT ASSESSORS
DEPARTMENT.

LOCUS DATA:
OWNER: MBTA, 1 BOSTON WAY NEWBURYPORT, MA 01950
DEED BOOK 12045, PAGE 541. ASSESSORS MAP 78, LOT 1



PREPARED BY:
DGT SURVEY GROUP - NORTH SHORE
A DIVISION OF DIGITAL GEOGRAPHIC TECHNOLOGIES, INC.

18 CENTER STREET
SUITE 1
NEWBURYPORT, MA
01950

TEL: 978-465-9992
info@dgtsurvey.com
www.dgtsurvey.com

architect:
GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

landscape architect
The Morn-Cameron GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morncameron.com

owner
One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:
Overall Existing
Conditions Plan

Project Name:
1 BOSTON WAY
1 Boston Way
Newburyport, MA

issue date: 12-16-2015

revisions:
 01-27-16
 03-02-16
 03-31-16

dr. chk.

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job number:
MCG- 3205

C-2

EXISTING CONDITIONS PLAN NOTES:

1. FIELD SURVEY PERFORMED BY DGT SURVEY GROUP - NORTH SHORE: OCTOBER OF 2013-DECEMBER OF 2015.
2. THIS PLAN IS PREPARED FOR OUR CLIENT USE ONLY FOR THE SPECIFIC PURPOSE OF OBTAINING PERMITS FOR CONSTRUCTION, AND IS NOT TO BE USED FOR ANY OTHER USE BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE MORIN-CAMERON GROUP.
3. ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON LOCATIONS OF OBSERVABLE FIELD EVIDENCE. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, REPAIRING OR OTHER CONSTRUCTION, ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS. CALL "DIG SAFE" AT 1-888-344-7233. THE DGT SURVEY GROUP ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED.
4. WETLAND RESOURCE AREAS SHOWN ON THIS PLAN WERE DELINEATED IN DECEMBER 2015 BY LEC ENVIRONMENTAL CONSULTANTS, INC. - 384 LOWELL STREET, SUITE 206, WAKEFIELD, MA.

FLOOD NOTE:

1. THE SUBJECT PROPERTY IS LOCATED IN A ZONE X: AREA OF MINIMAL FLOOD HAZARD ABOVE THE 500-YEAR FLOOD LEVEL AS ILLUSTRATED ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 250096-01176, WHICH HAS AN EFFECTIVE DATE OF JULY 16, 2014.

REFERENCES:

1. ESSEX COUNTY REGISTRY OF DEEDS, SOUTH DISTRICT
 DEED BOOK 12045 PAGE 541
 DEED BOOK 14148 PAGE 279
 DEED BOOK 15081 PAGE 486
 DEED BOOK 15081 PAGE 499
 PLAN BOOK 309 PLAN 78
 PLAN BOOK 246 PLAN 82
 PLAN BOOK 241 PLAN 30
 PLAN BOOK 232 PLAN 2
 PLAN BOOK 150 PLAN 11
 PLAN 450 OF 1950
 PLAN 349 OF 1950
 1963 COUNTY LAYOUT NO. 2960
 BOSTON AND MAINE RAILROAD RIGHT OF WAY AND TRACK MAP V.3M/34
2. CITY OF NEWBURYPORT ENGINEERING RECORDS GIS AND ASSESSORS MAP

I HEREBY CERTIFY THAT:

THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.

[Signature]
 EDWARD DIXON
 No. 34304
 REGISTERED PROFESSIONAL LAND SURVEYOR
 DATE 12-15-16

ZONING:

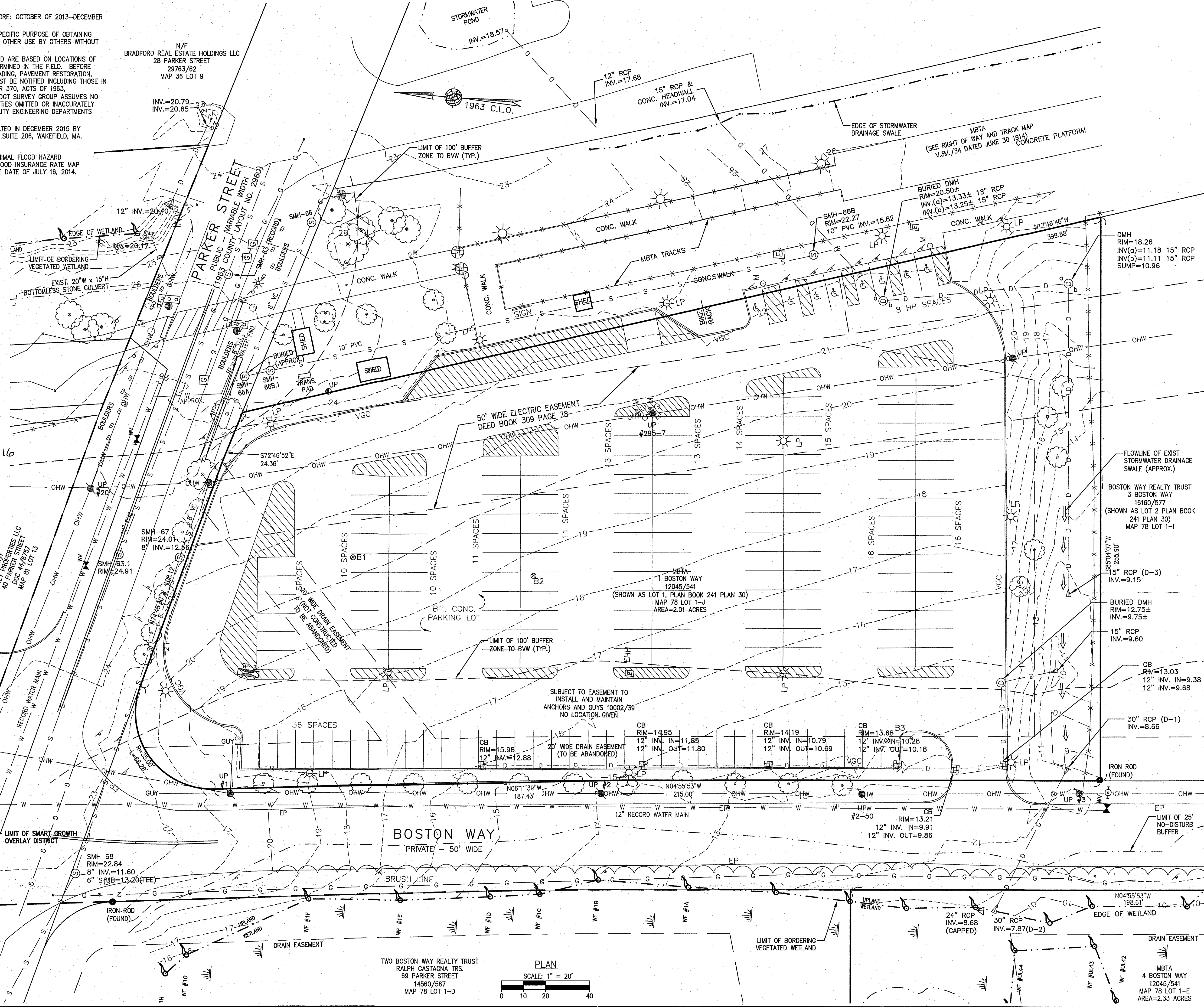
THE SUBJECT PROPERTY IS LISTED AS BEING IN THE INDUSTRIAL (I1B) ZONING DISTRICT AND THE SMART GROWTH OVERLAY DISTRICT, ACCORDING TO THE CITY OF NEWBURYPORT ASSESSORS DEPARTMENT.

LOCUS DATA:

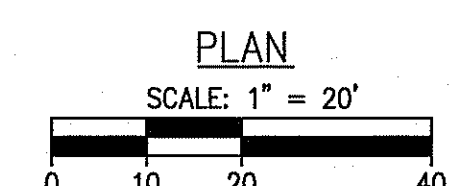
OWNER: MBTA, 1 BOSTON WAY NEWBURYPORT, MA 01950
 DEED BOOK 12045, PAGE 541, ASSESSORS MAP 78, LOT 1

LEGEND:

- GAS METER
- ELECTRIC MANHOLE
- CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ HYDRANT
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE W/ LIGHT
- * LIGHT POLE
- ⊙ SIGN
- ⊙ B1 BORING
- W WATER LINE
- D DRAIN LINE
- S SEWER LINE
- E ELECTRIC LINE
- G GAS LINE
- OHW OVERHEAD WIRES
- 1 FOOT CONTOUR
- 5 FOOT CONTOUR
- X WOOD FENCE
- WETLANDS LINE



TWO BOSTON WAY REALTY TRUST
 RALPH CASTAGNA TRS.
 69 PARKER STREET
 14560/5671
 MAP 78 LOT 1-D



surveyor:
 DGT SURVEY GROUP-NORTH SHORE, LLC
 18 Center Street
 Newburyport, MA 01950
 Tel: 978-465-9992
 www.dgtsurvey.com

architect:
 GSD Associates, LLC
 146 Main Street
 North Andover, MA 01845
 Tel: 978-686-5422
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civil engineer:
 The Morin-Cameron GROUP, INC.
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 447 Boston Street
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landscape architect
 HALYORSON DESIGN PARTNERSHIP
 25 Kingston Street 5th Floor
 Boston, Massachusetts 02111
 Tel: 617-536-0380
 www.halyorsondesign.com

owner
 One Boston Way, LLC
 231 Sutton Street Suite 1B
 North Andover, MA 01845
 Tel: 978-887-6200

sheet title:
 Existing Conditions Plan

Project Name:
 1 BOSTON WAY
 1 Boston Way
 Newburyport, MA

issue date: 12-16-2015
revisions:
 01-27-16
 03-02-16

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job number:
 MCG- 3205
C-3

ABBREVIATIONS:

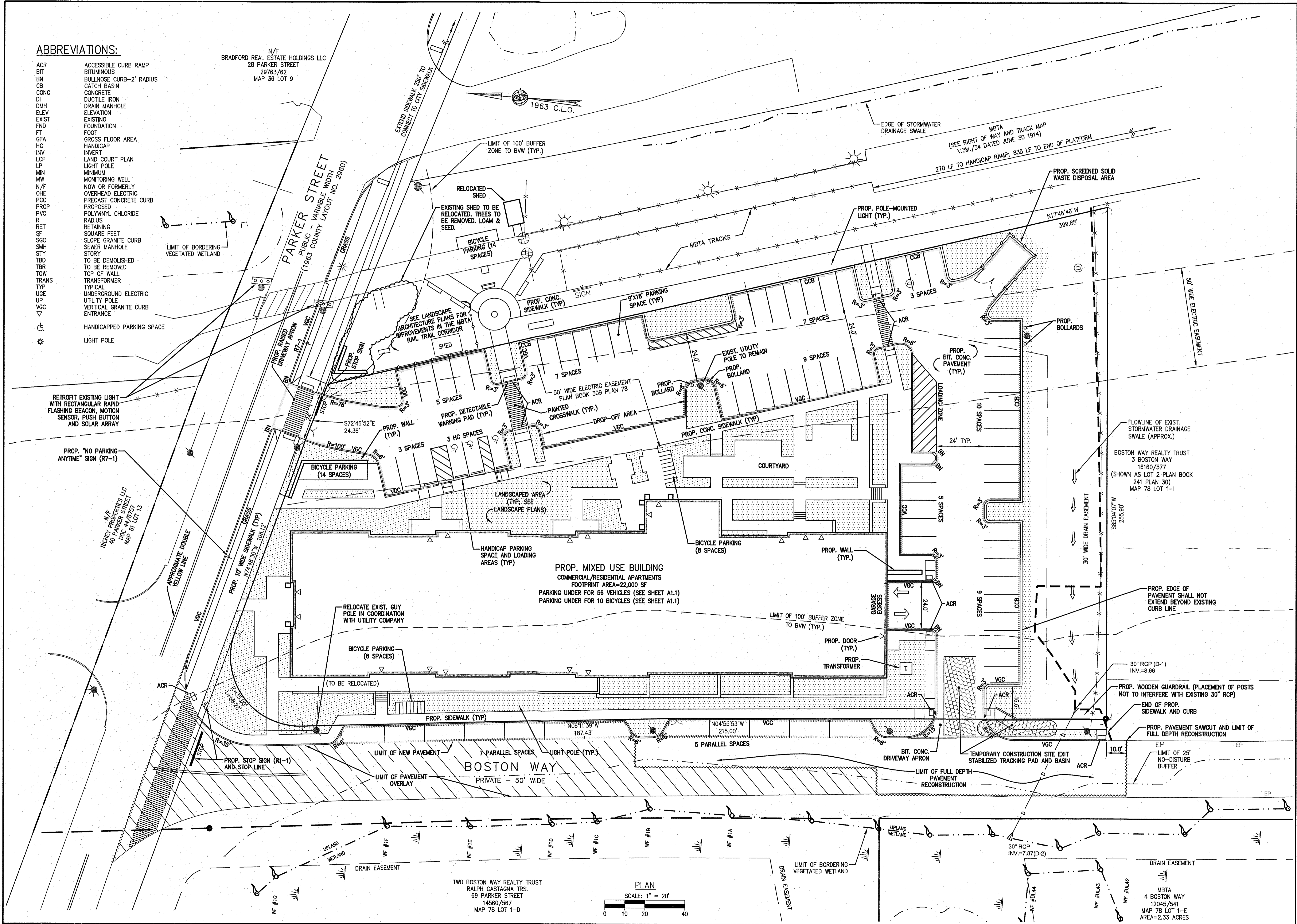
- ACR ACCESSIBLE CURB RAMP
- BIT BITUMINOUS
- BN BULLNOSE CURB-2' RADIUS
- CB CATCH BASIN
- CONC CONCRETE
- DI DUCTILE IRON
- DMH DRAIN MANHOLE
- ELEV ELEVATION
- EXIST EXISTING
- FND FOUNDATION
- FT FOOT
- GFA GROSS FLOOR AREA
- HC HANDICAP
- INV INVERT
- LCP LAND COURT PLAN
- LP LIGHT POLE
- MIN MINIMUM
- MW MONITORING WELL
- N/F NOW OR FORMERLY
- OHE OVERHEAD ELECTRIC
- PCC PRECAST CONCRETE CURB
- PROP PROPOSED
- PVC POLYVINYL CHLORIDE
- R RADIUS
- RET RETAINING
- SF SQUARE FEET
- SGC SLOPE GRANITE CURB
- SMH SEWER MANHOLE
- STY STORY
- TBD TO BE DEMOLISHED
- TBR TO BE REMOVED
- TOW TOP OF WALL
- TRF TRANSFORMER
- TYP TYPICAL
- UGE UNDERGROUND ELECTRIC
- UP UTILITY POLE
- VGC VERTICAL GRANITE CURB
- ENTRANCE
- HANDICAPPED PARKING SPACE
- LIGHT POLE

N/F
BRADFORD REAL ESTATE HOLDINGS LLC
28 PARKER STREET
29763/62
MAP 36 LOT 9

PARKER STREET
PUBLIC
1963 COUNTY LAYOUT NO. 2960
VARIABLE WIDTH

1963 C.L.O.

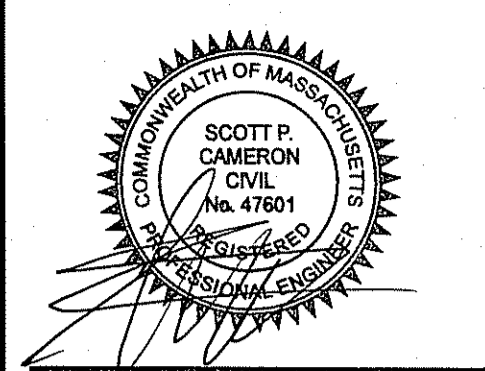
MBTA
(SEE RIGHT OF WAY AND TRACK MAP
V.3M./34 DATED JUNE 30 1914)
270 LF TO HANDICAP RAMP; 835 LF TO END OF PLATFORM



PLAN
SCALE: 1" = 20'

TWO BOSTON WAY REALTY TRUST
RALPH CASTAGNA TRS.
69 PARKER STREET
14560/567
MAP 78 LOT 1-D

MBTA
4 BOSTON WAY
12045/541
MAP 78 LOT 1-E
AREA=2.33 ACRES



architect:
GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.gsd-assoc.com

civil engineer:
The Morin-Cameron Group Inc.
CIVIL ENGINEERS ENVIRONMENTAL CONSULTANTS
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447 Boston Street
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owner
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Tel: 978.687.6200

sheet title:
Site Layout Plan

Project Name:
**1 BOSTON WAY
1 Boston Way
Newburyport, MA**

issue date: 12-16-2015
revisions:
01-27-16
03-02-16
03-31-16

dr. chk.
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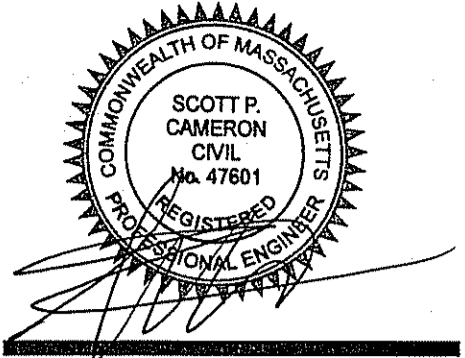
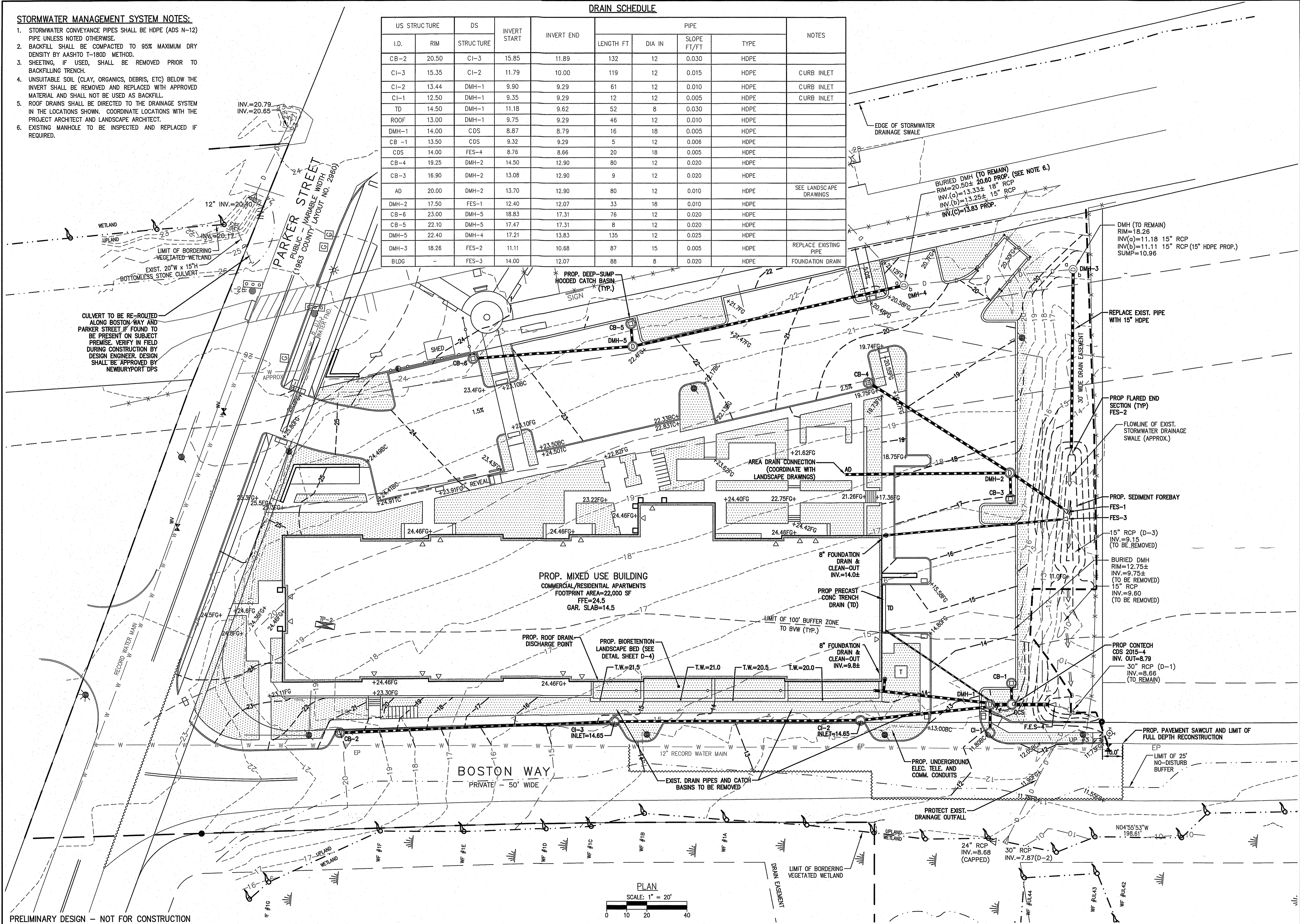
job number:
MCG-3205
C-4

STORMWATER MANAGEMENT SYSTEM NOTES:

1. STORMWATER CONVEYANCE PIPES SHALL BE HDPE (ADS N-12) PIPE UNLESS NOTED OTHERWISE.
2. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-180D METHOD.
3. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH.
4. UNSUITABLE SOIL (CLAY, ORGANICS, DEBRIS, ETC) BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
5. ROOF DRAINS SHALL BE DIRECTED TO THE DRAINAGE SYSTEM IN THE LOCATIONS SHOWN. COORDINATE LOCATIONS WITH THE PROJECT ARCHITECT AND LANDSCAPE ARCHITECT.
6. EXISTING MANHOLE TO BE INSPECTED AND REPLACED IF REQUIRED.

DRAIN SCHEDULE

US STRUCTURE	I.D.	RIM	DS STRUCTURE	INVERT START	INVERT END	PIPE			NOTES	
						LENGTH FT	DIA IN	SLOPE FT/FT		TYPE
CB-2	20.50	20.50	CI-3	15.85	11.89	132	12	0.030	HDPE	
CI-3	15.35	15.35	CI-2	11.79	10.00	119	12	0.015	HDPE	CURB INLET
CI-2	13.44	13.44	DMH-1	9.90	9.29	61	12	0.010	HDPE	CURB INLET
CI-1	12.50	12.50	DMH-1	9.35	9.29	12	12	0.005	HDPE	CURB INLET
TD	14.50	14.50	DMH-1	11.18	9.62	52	8	0.030	HDPE	
ROOF	13.00	13.00	DMH-1	9.75	9.29	46	12	0.010	HDPE	
DMH-1	14.00	14.00	CDS	8.87	8.79	16	18	0.005	HDPE	
CB-1	13.50	13.50	CDS	9.32	9.29	5	12	0.006	HDPE	
CDS	14.00	14.00	FES-4	8.76	8.66	20	18	0.005	HDPE	
CB-4	19.25	19.25	DMH-2	14.50	12.90	80	12	0.020	HDPE	
CB-3	16.90	16.90	DMH-2	13.08	12.90	9	12	0.020	HDPE	
AD	20.00	20.00	DMH-2	13.70	12.90	80	12	0.010	HDPE	SEE LANDSCAPE DRAWINGS
DMH-2	17.50	17.50	FES-1	12.40	12.07	33	18	0.010	HDPE	
CB-6	23.00	23.00	DMH-5	18.83	17.31	76	12	0.020	HDPE	
CB-5	22.10	22.10	DMH-5	17.47	17.31	8	12	0.020	HDPE	
DMH-5	22.40	22.40	DMH-4	17.21	13.83	135	12	0.025	HDPE	
DMH-3	18.26	18.26	FES-2	11.11	10.68	87	15	0.005	HDPE	REPLACE EXISTING PIPE
BLDG	-	-	FES-3	14.00	12.07	88	8	0.020	HDPE	FOUNDATION DRAIN



architect:
GSD Associates, LLC
 146 Main Street
 North Andover, MA 01845
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 www.gsd-assoc.com

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 Tel: 978-887-6200

Project Name: sheet title:
Grading & Drainage Plan

1 BOSTON WAY
1 Boston Way
Newburyport, MA

issue date: 12-16-2015
 revisions:
 01-27-16
 03-02-16
 03-31-16

dr. chk.
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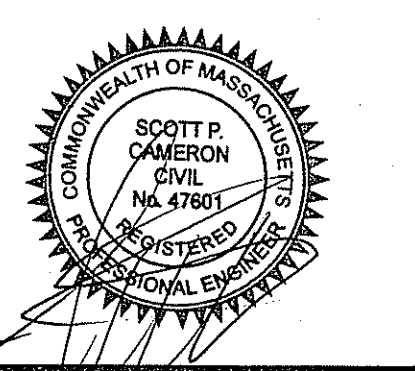
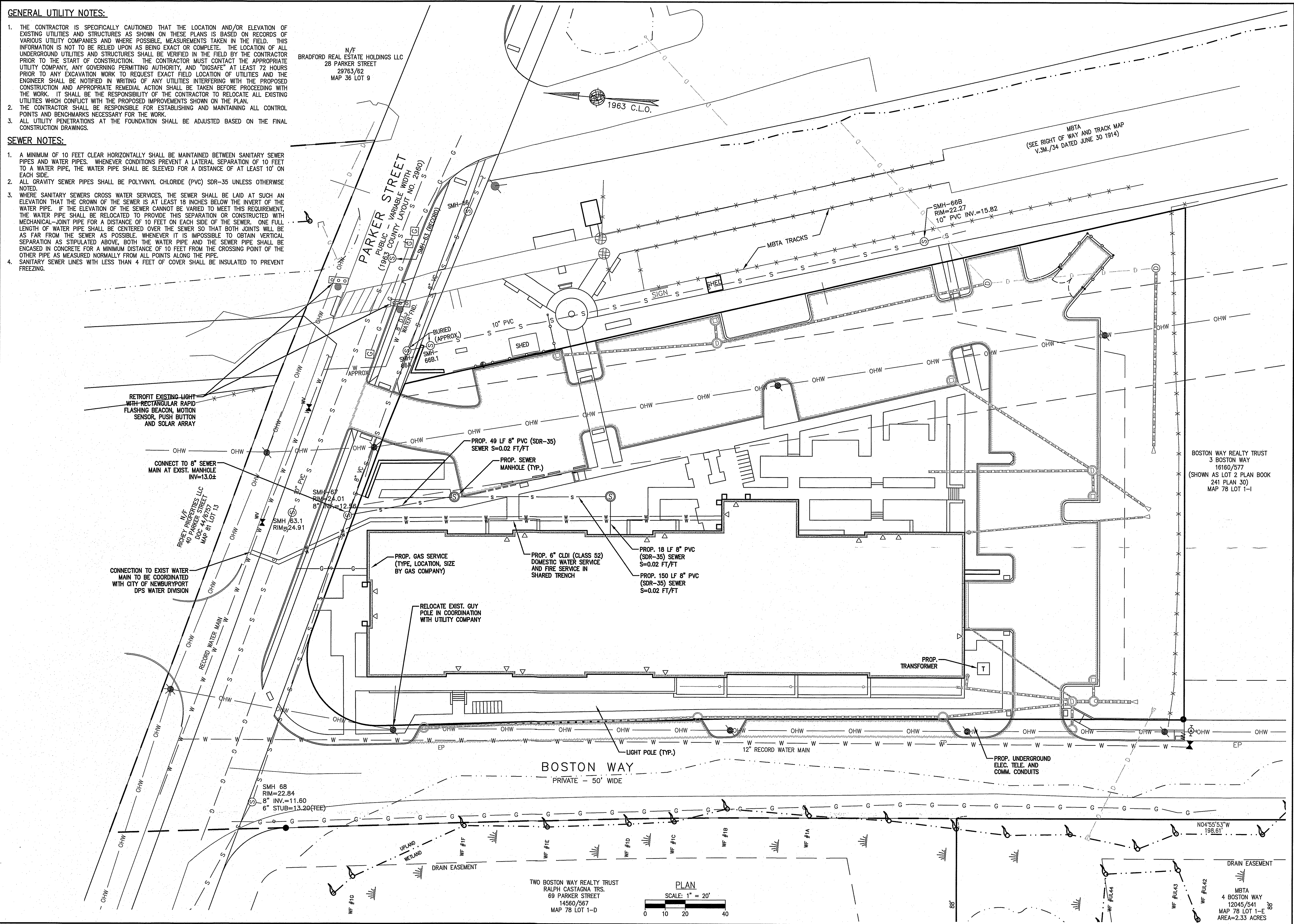
job number:
MCG- 3205
C-5

GENERAL UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. ALL UTILITY PENETRATIONS AT THE FOUNDATION SHALL BE ADJUSTED BASED ON THE FINAL CONSTRUCTION DRAWINGS.

SEWER NOTES:

1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER PIPES AND WATER PIPES. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER PIPE, THE WATER PIPE SHALL BE SLEEVED FOR A DISTANCE OF AT LEAST 10' ON EACH SIDE.
2. ALL GRAVITY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
3. WHERE SANITARY SEWERS CROSS WATER SERVICES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER PIPE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER PIPE AND THE SEWER PIPE SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
4. SANITARY SEWER LINES WITH LESS THAN 4 FEET OF COVER SHALL BE INSULATED TO PREVENT FREEZING.



architect:
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:
The Morin-Cameron Group, Inc.
CIVIL ENGINEERS / ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS / LAND USE PLANNERS
447 Boston Street
Topfield, MA 01963
Tel: 978-887-8596
www.morincameron.com

landscape architect
HALYORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617.536.0390
www.halyorsondesign.com

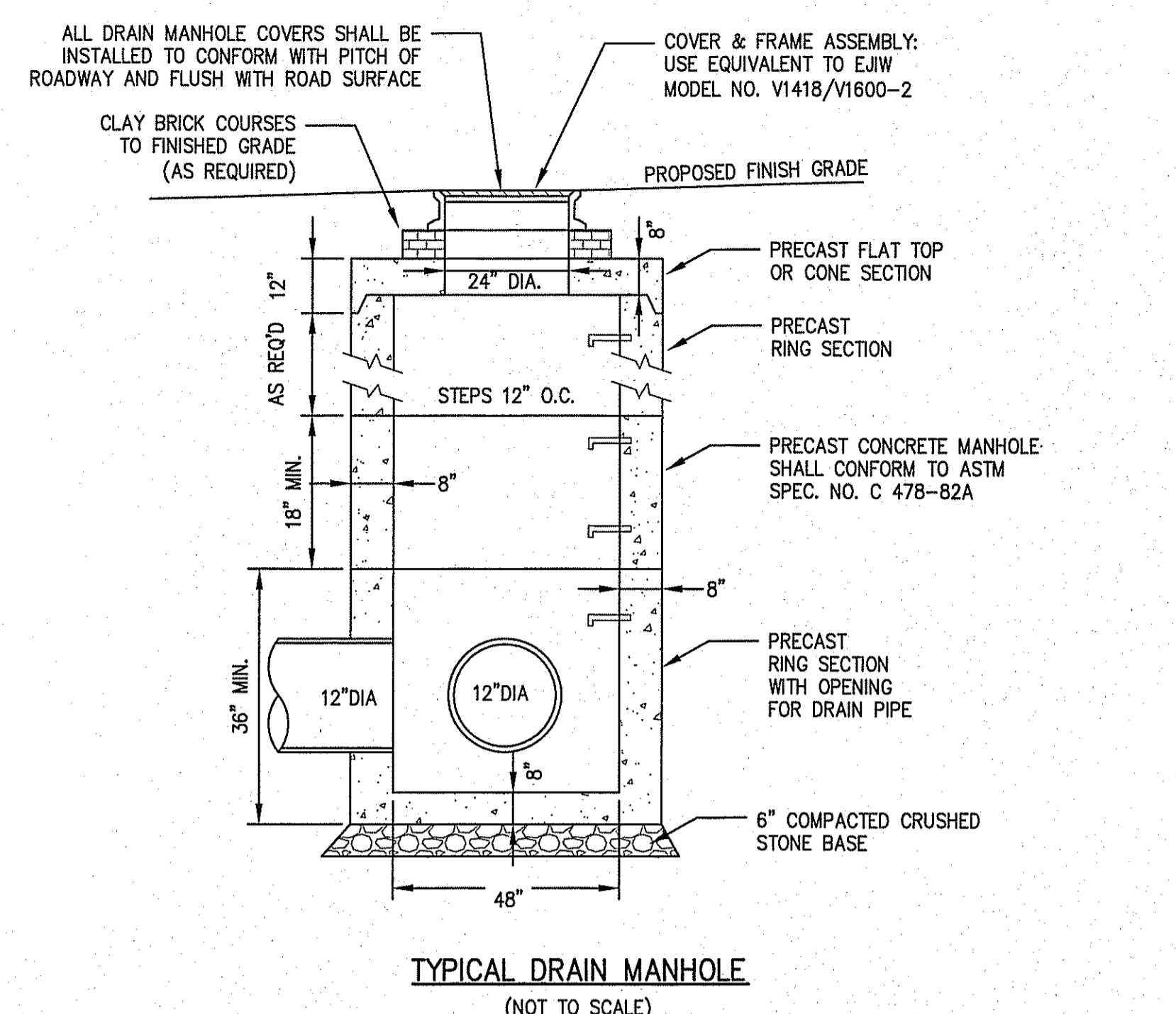
owner
One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:
Utility Plan

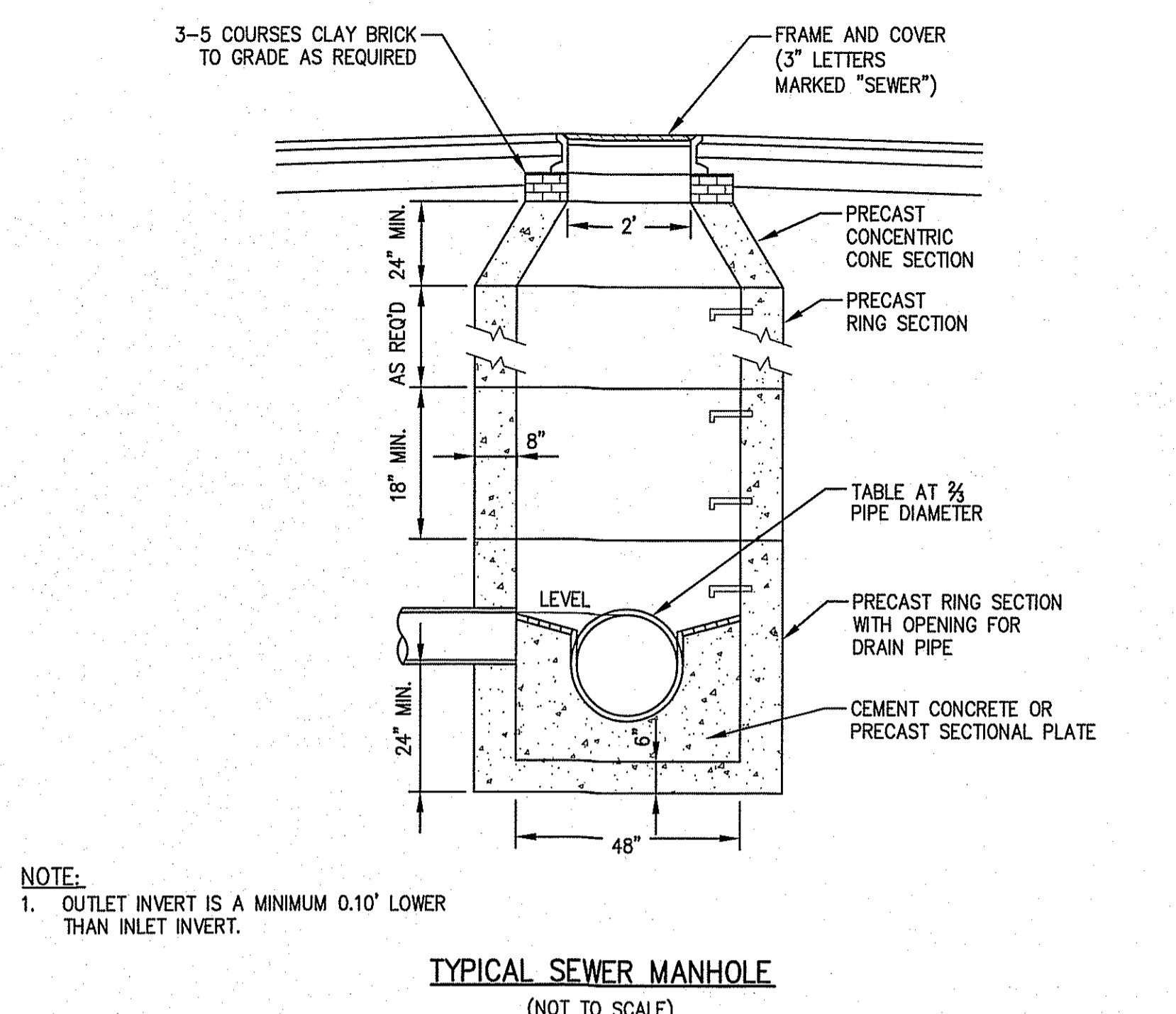
Project Name:
1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015
revisions:
01-27-16
03-02-16
03-31-16

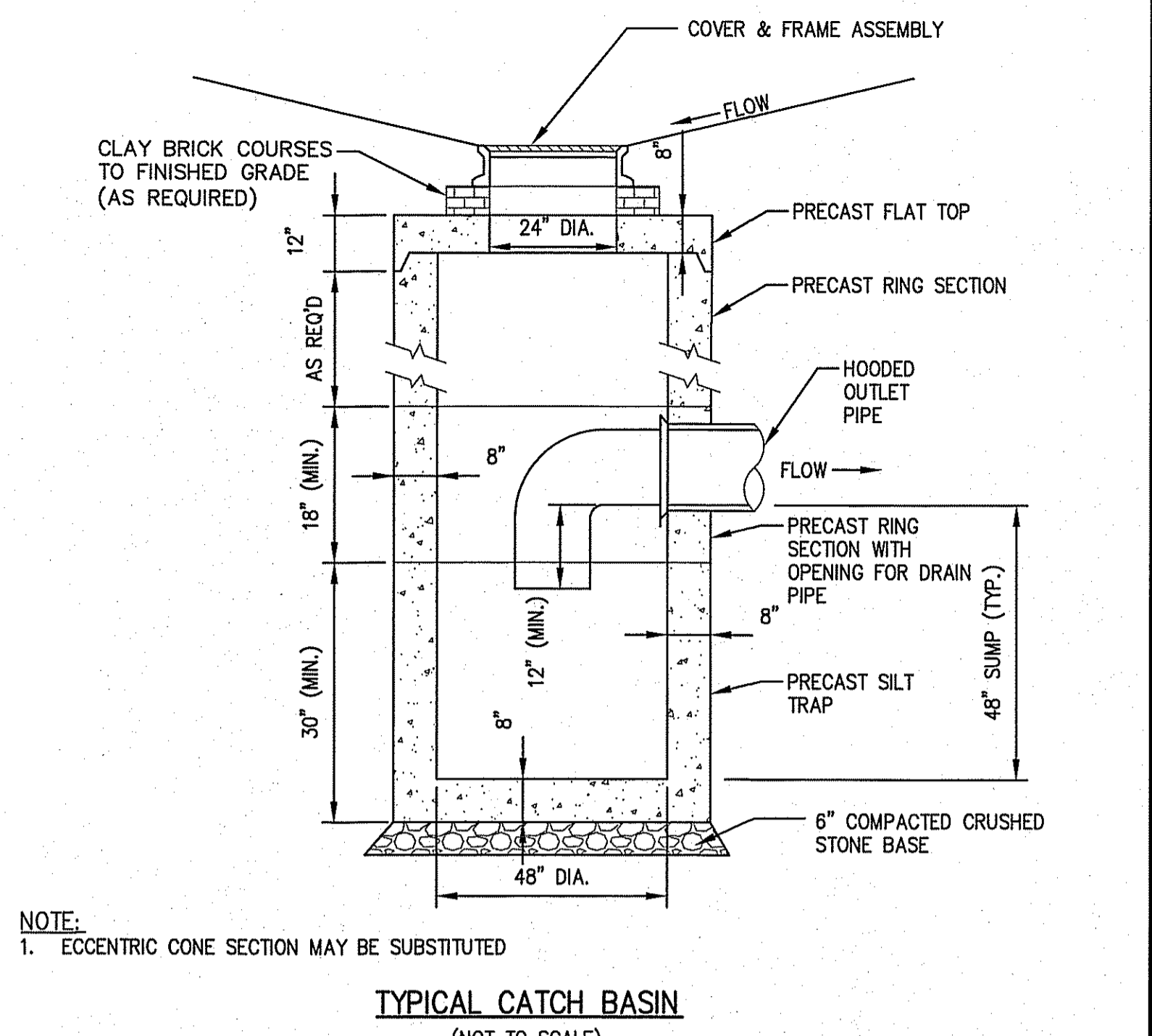
dr. _____ **chk.** _____
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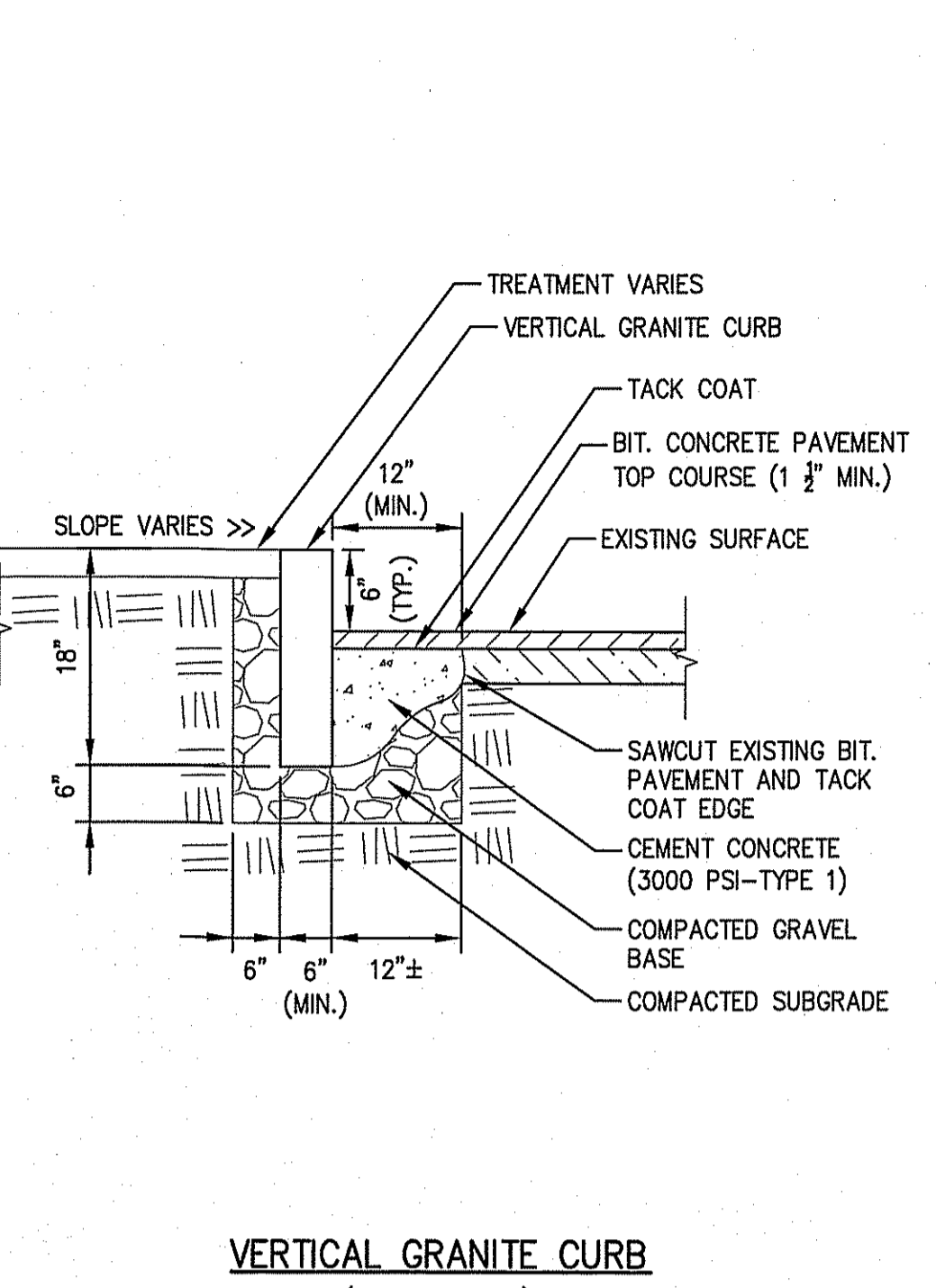
TYPICAL DRAIN MANHOLE
(NOT TO SCALE)



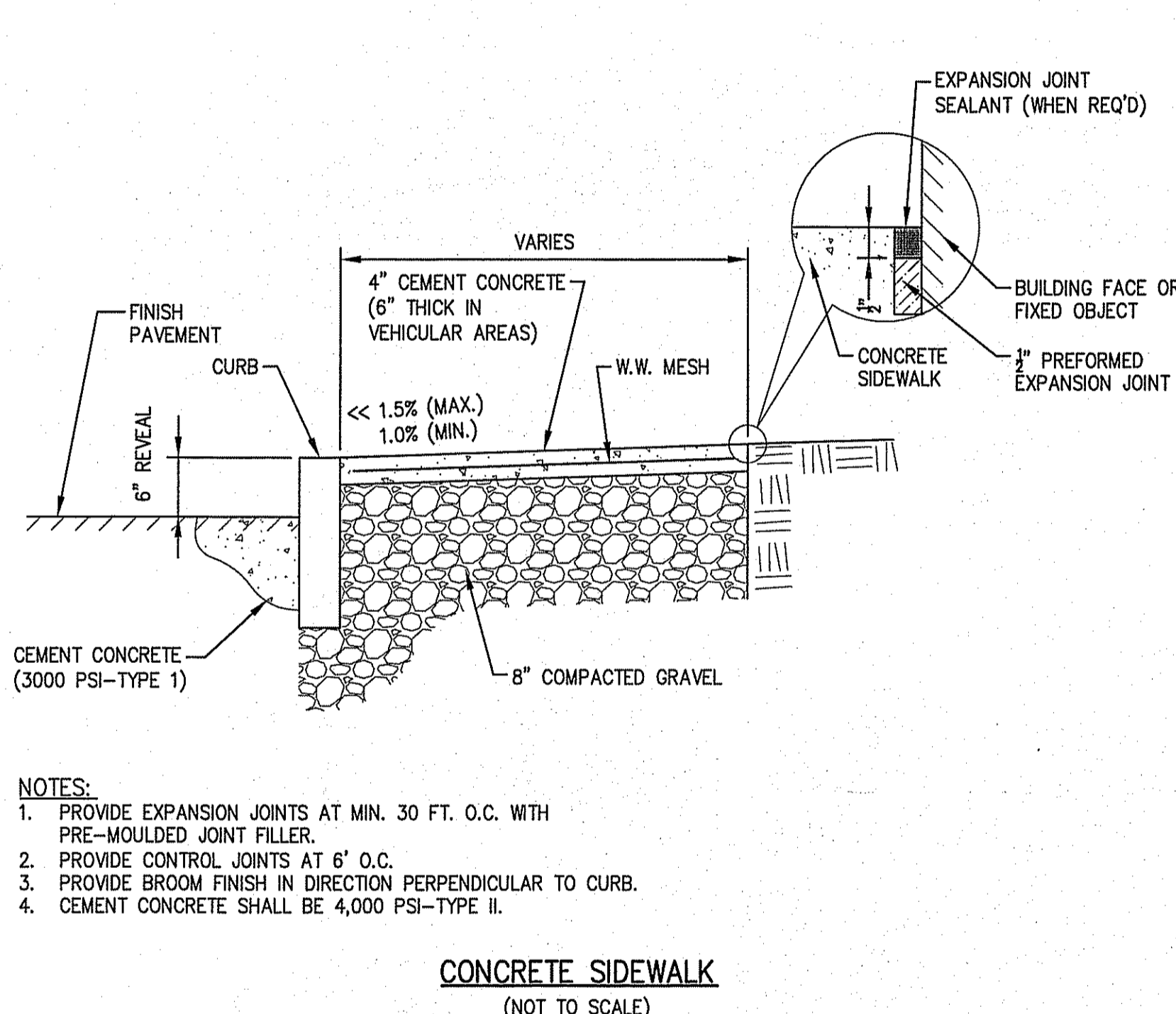
TYPICAL SEWER MANHOLE
(NOT TO SCALE)



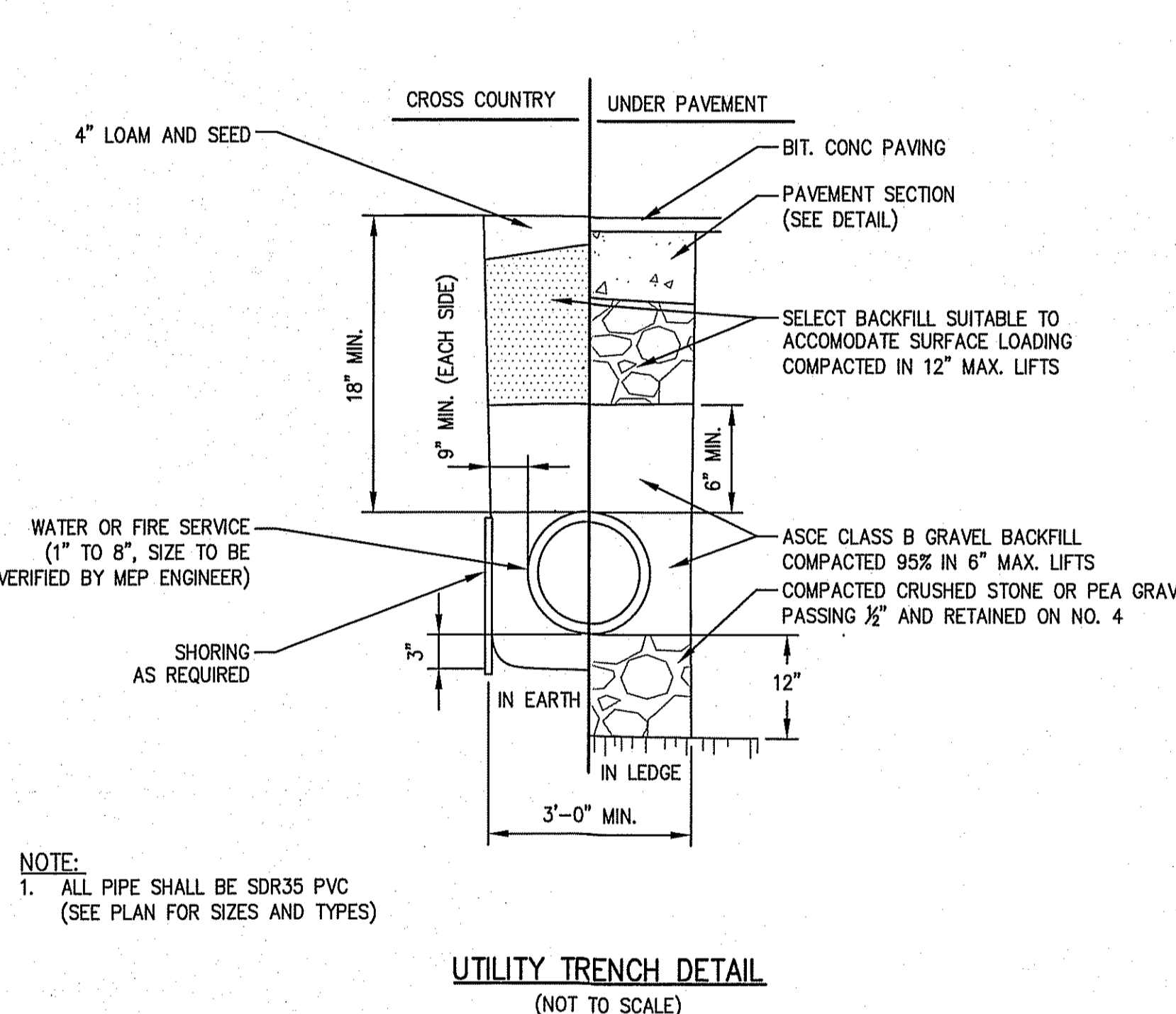
TYPICAL CATCH BASIN
(NOT TO SCALE)



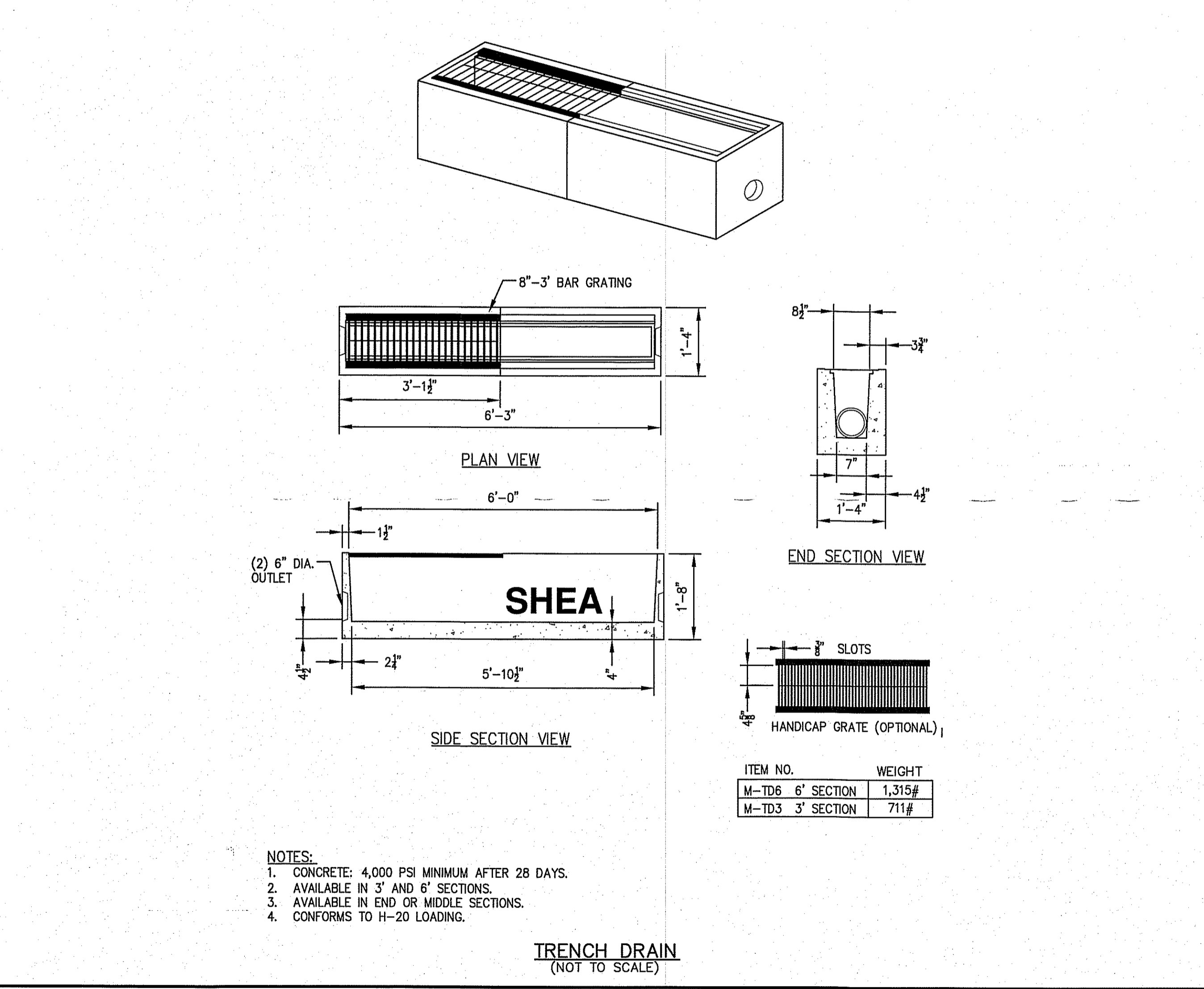
VERTICAL GRANITE CURB
(NOT TO SCALE)



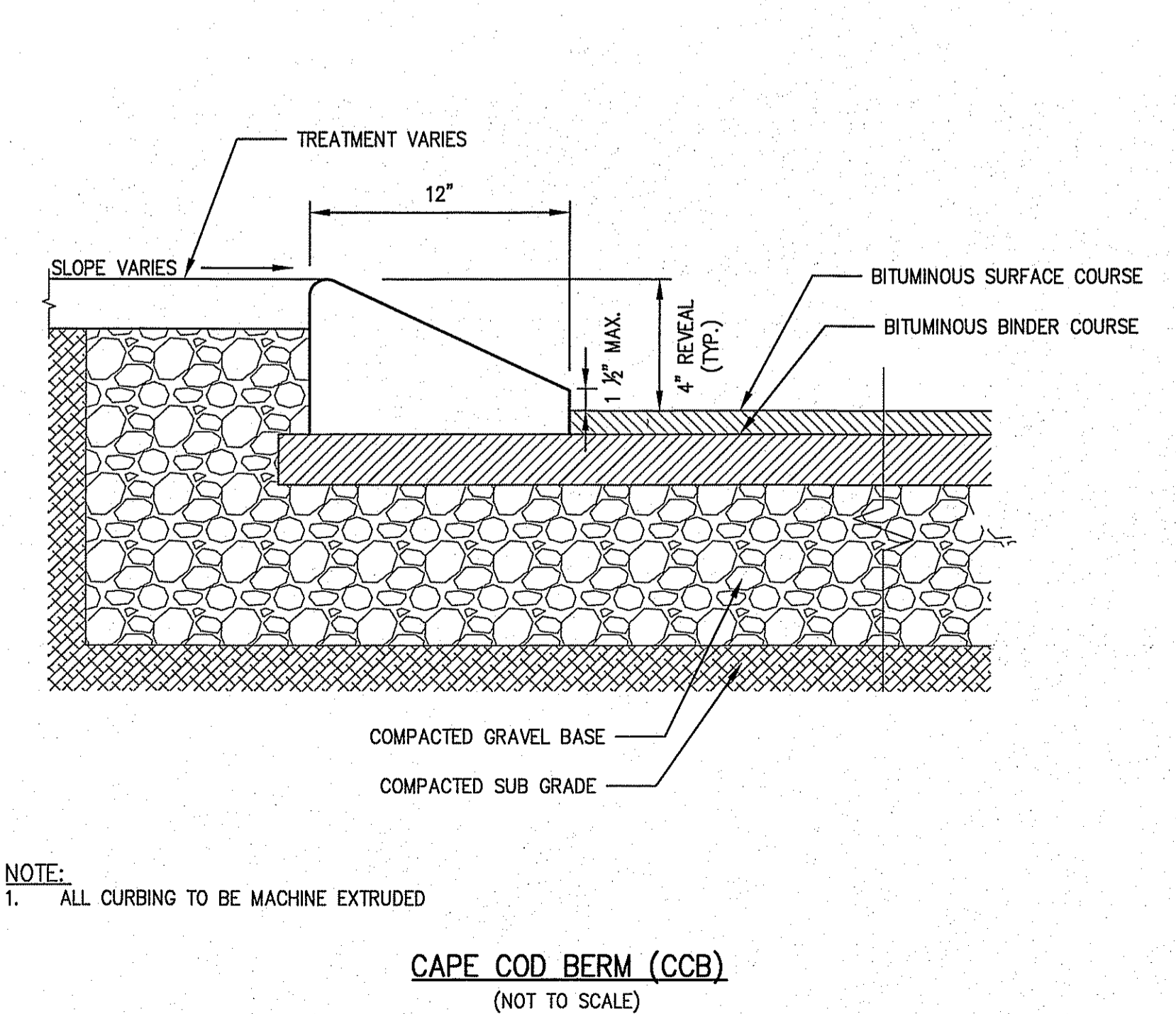
CONCRETE SIDEWALK
(NOT TO SCALE)



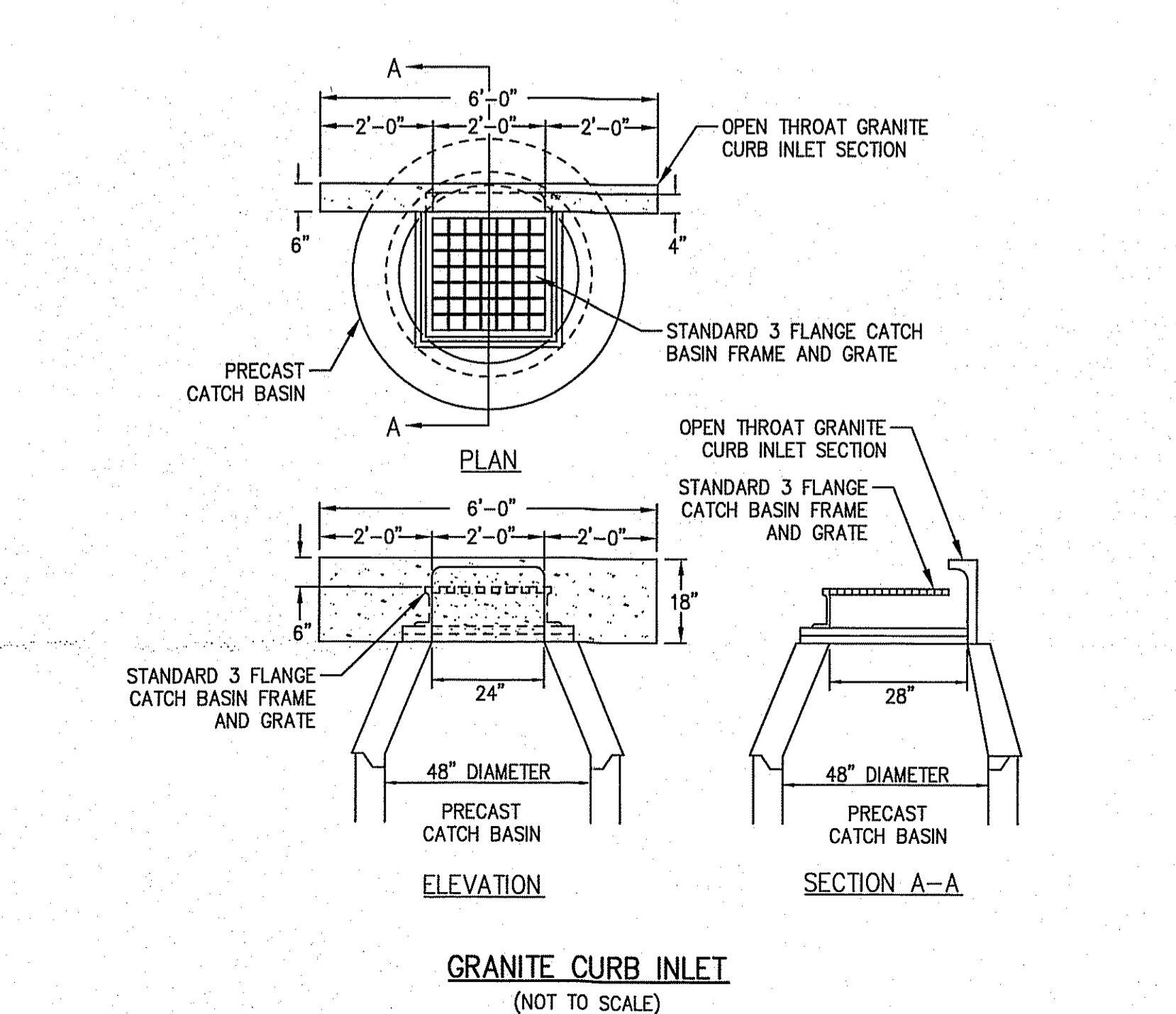
UTILITY TRENCH DETAIL
(NOT TO SCALE)



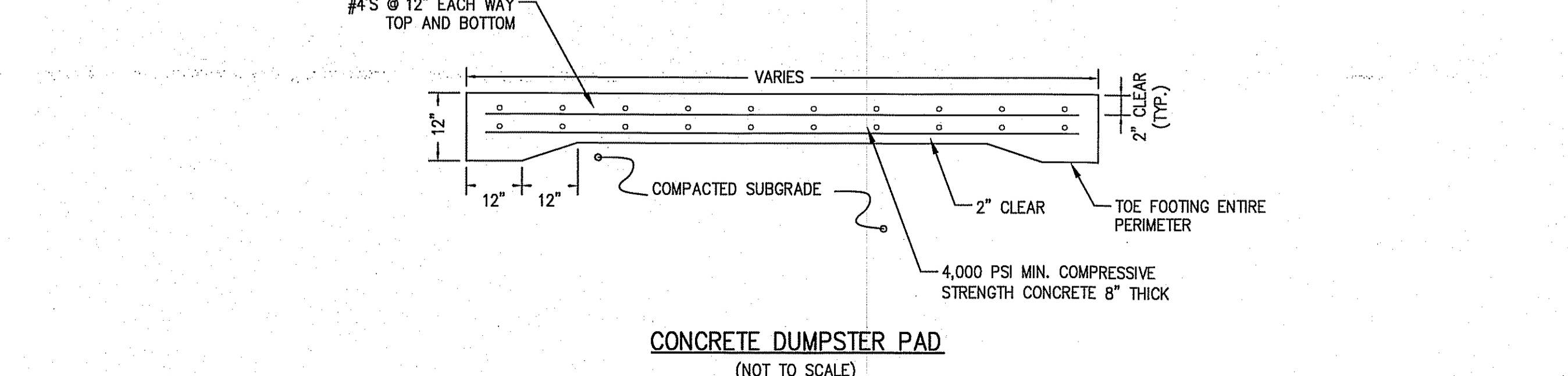
TRENCH DRAIN
(NOT TO SCALE)



CAPE COD BERM (CCB)
(NOT TO SCALE)



GRANITE CURB INLET
(NOT TO SCALE)



CONCRETE DUMPSTER PAD
(NOT TO SCALE)

SCOTT P. CAMERON
CIVIL ENGINEER
No. 47601
REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF MASSACHUSETTS

architect:
GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:
The Morin-Cameron GROUP INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
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447 Boston Street
Topsfield, MA 01983
Tel: 617-536-0380
www.morincameron.com

landscape architect
HALVORSON DESIGN PARTNERSHIP
25 Kingston Street, 5th Floor
Boston, Massachusetts 02111
Tel: 978.687.6200
www.halvorsondesign.com

owner
One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:
Details I

Project Name:
1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

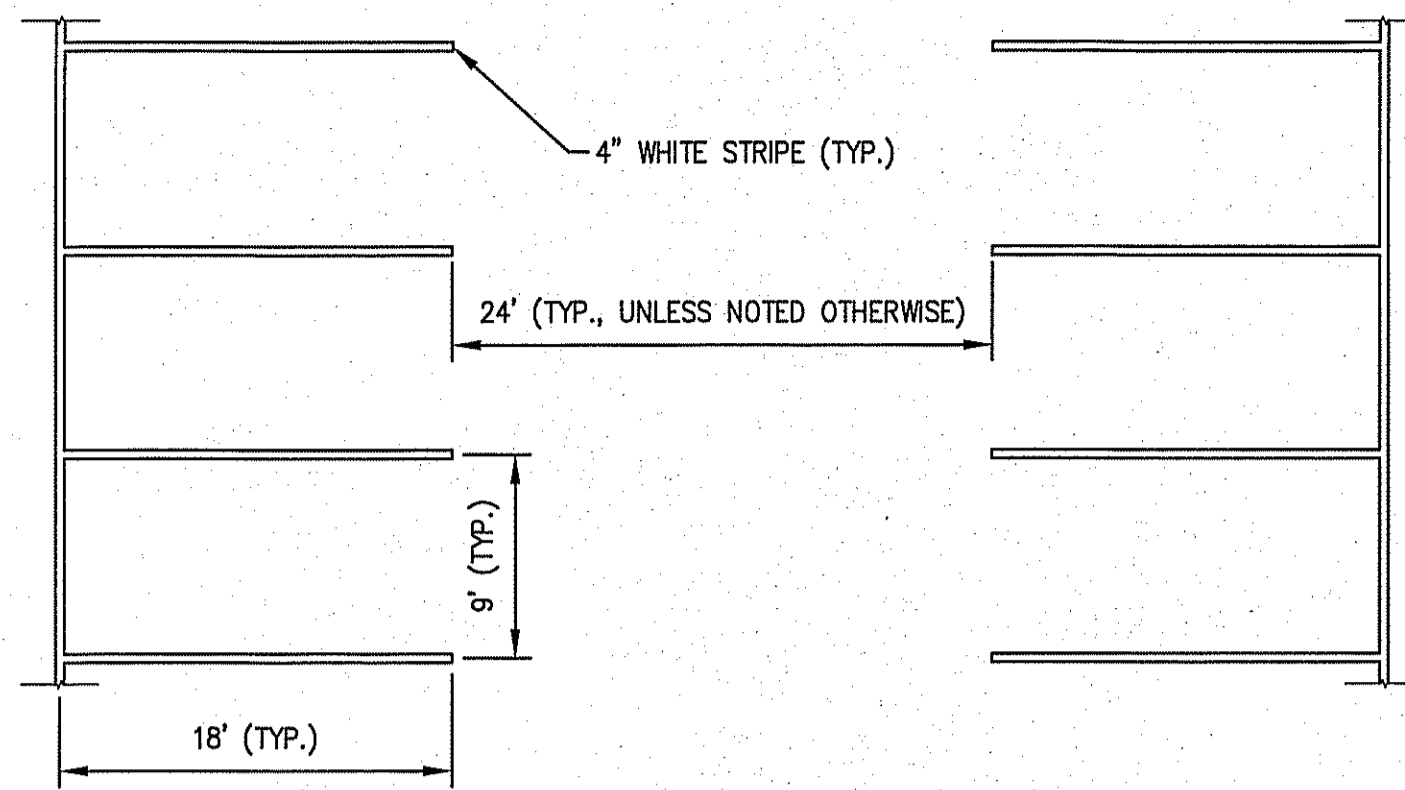
revisions:
03-02-16
03-31-16

dr. *chk.*

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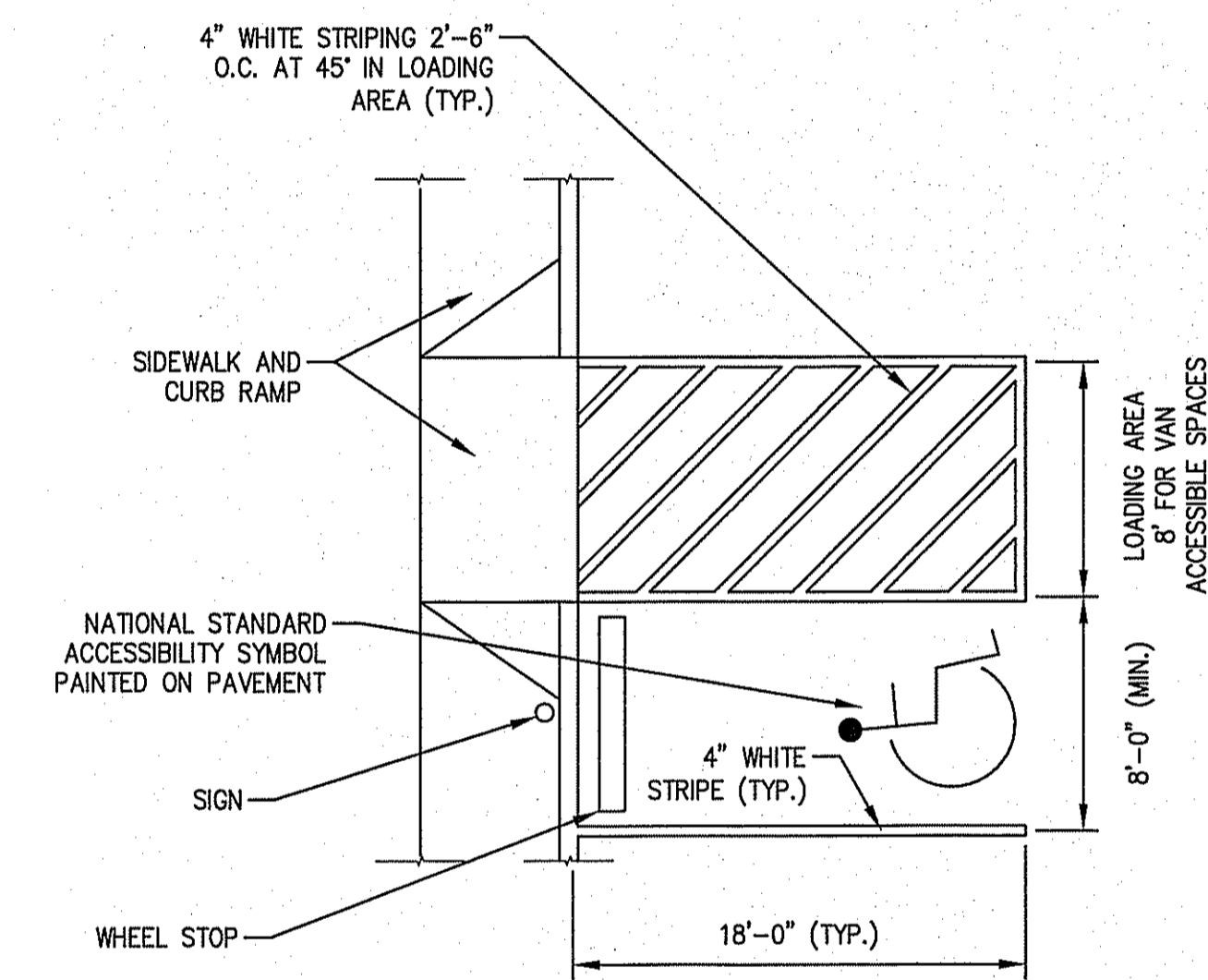
job number:
MCG-3205

D-1



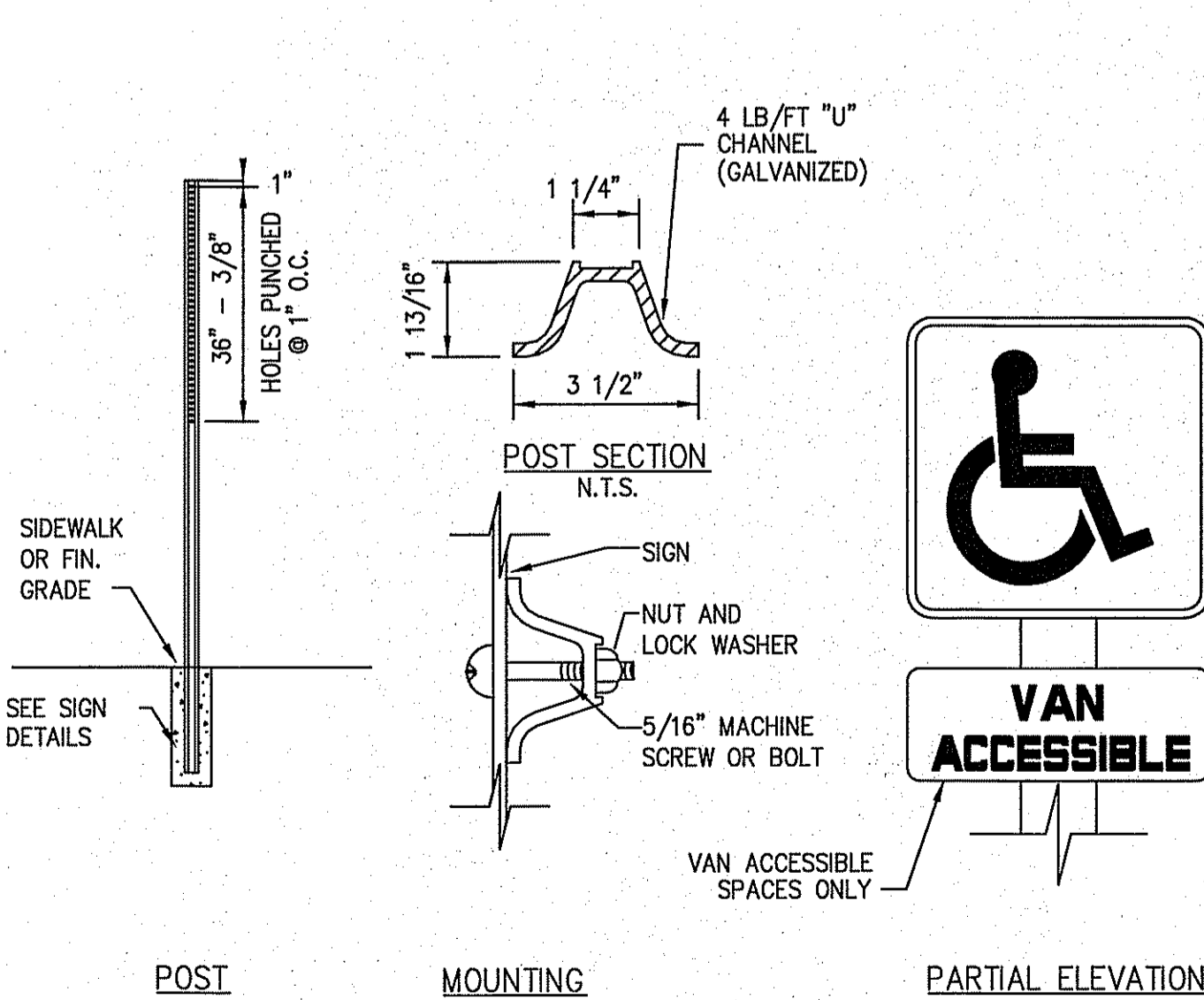
NOTE:
1. PARALLEL SPACES SHALL BE 8'x22'.

PARKING SPACE STRIPING
(NOT TO SCALE)

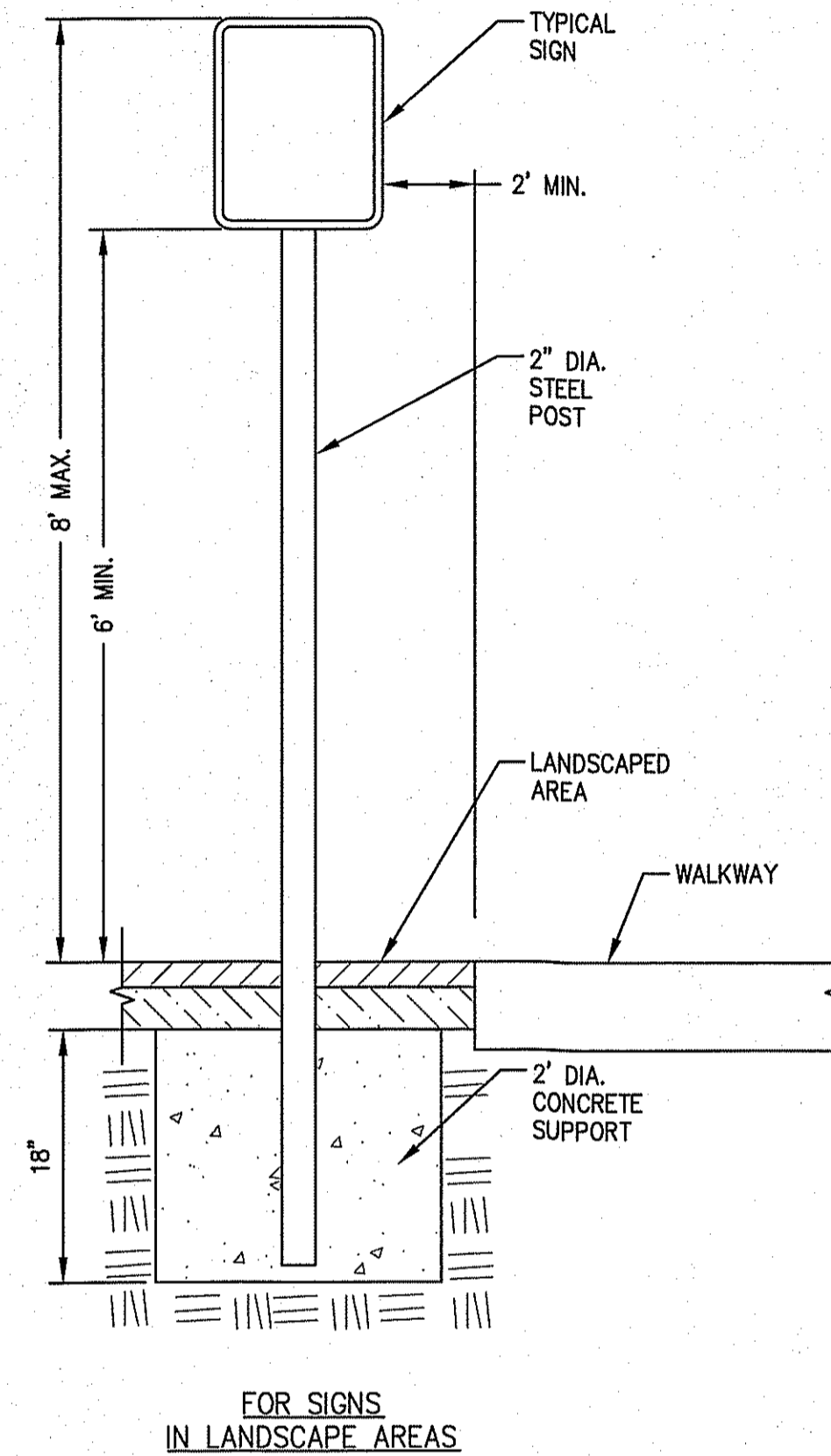


NOTE:
1. PAVEMENT MAX SLOPE 2% IN ALL DIRECTIONS.

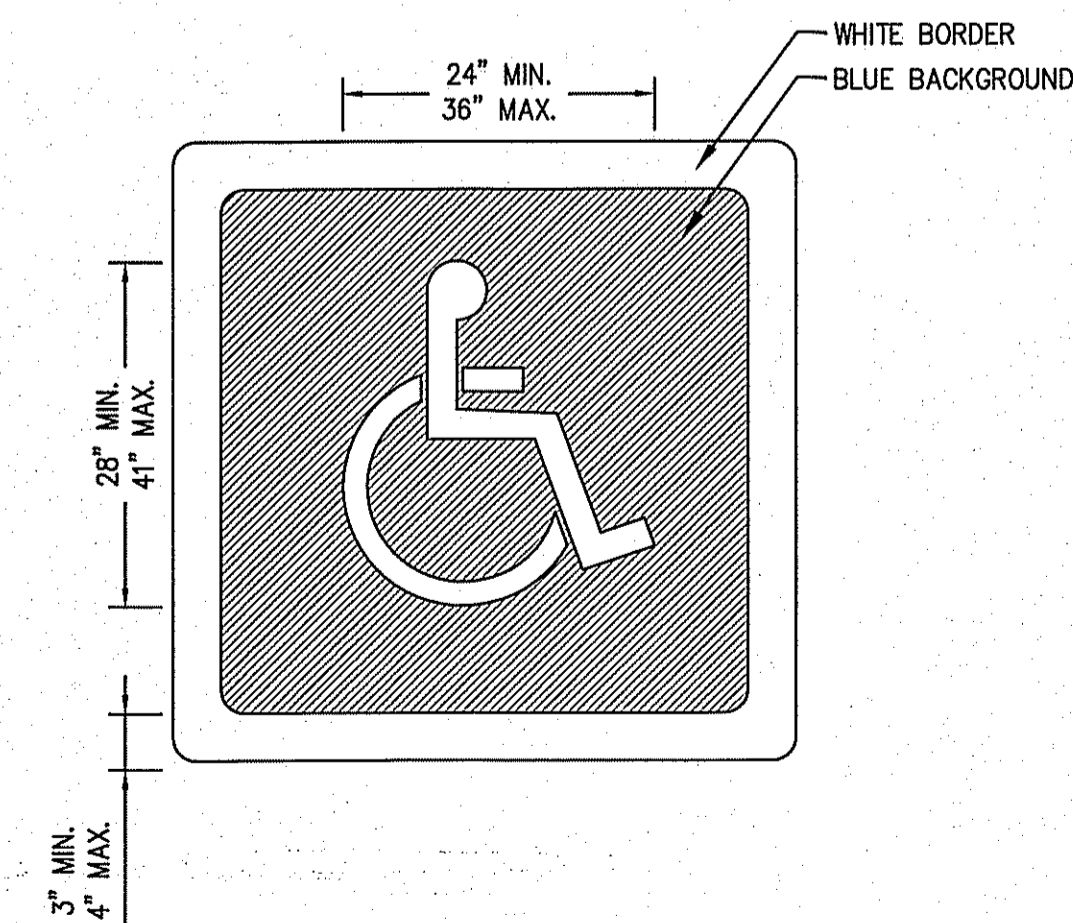
ACCESSIBLE PARKING SPACE
(NOT TO SCALE)



ACCESSIBLE PARKING SPACE SIGN
(NOT TO SCALE)

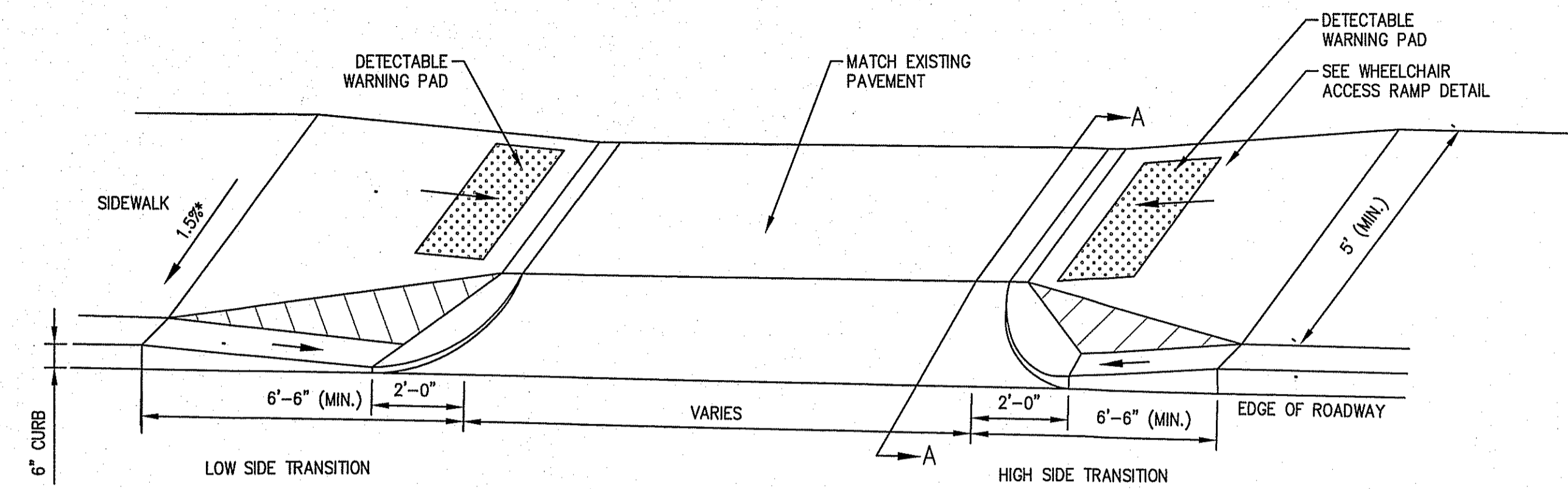


SIGN POST
(NOT TO SCALE)



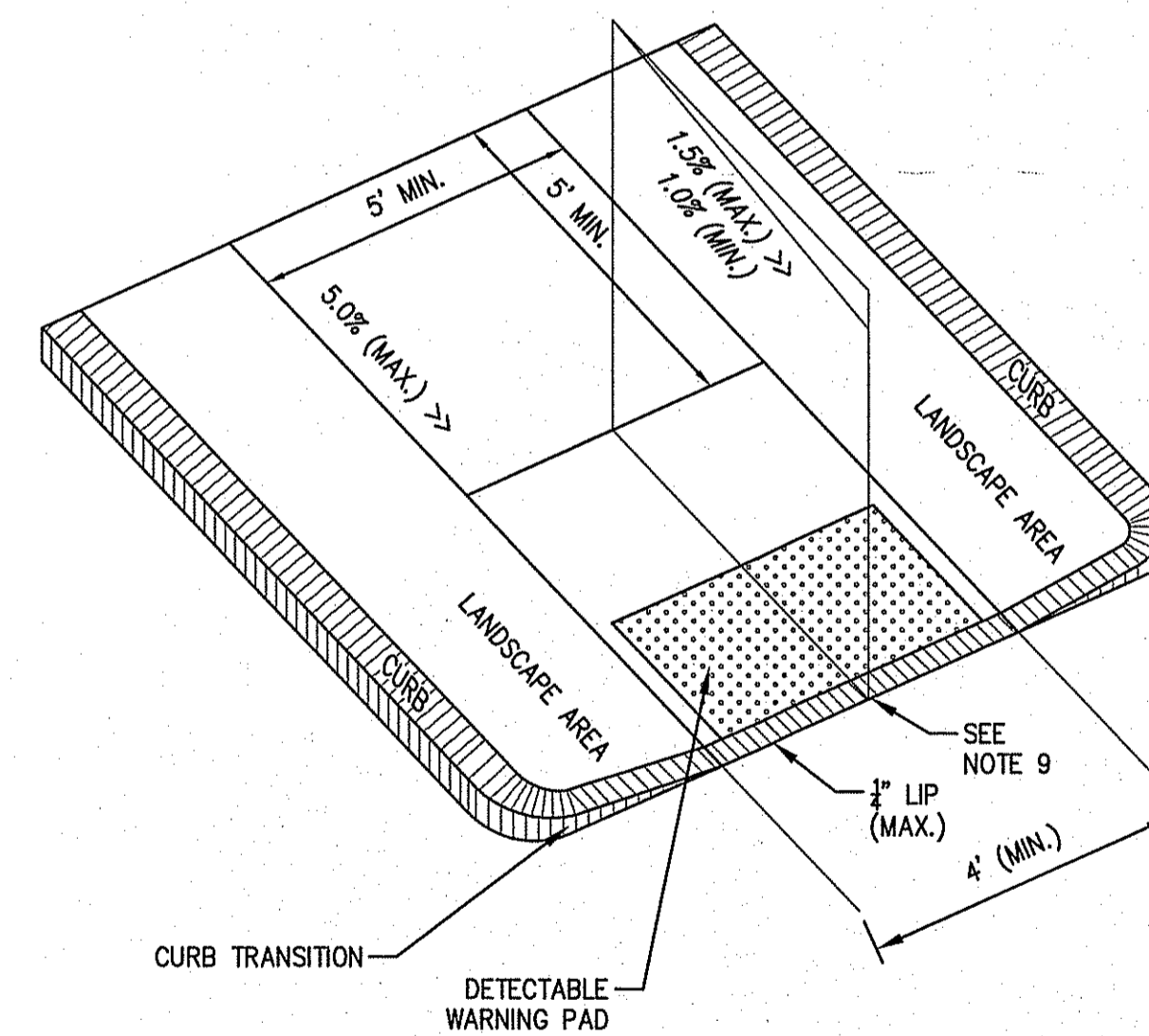
NOTE:
1. THE STROKE WIDTH OF THE PAINTED SYMBOL AND THE WHITE BORDER MUST BE A MINIMUM THICKNESS OF 3", WITH A MAXIMUM THICKNESS OF 4".
2. BLUE BACKGROUND AND WHITE BORDER ARE OPTIONAL.

INTERNATIONAL ACCESSIBILITY PARKING SPACE SYMBOL
(NOT TO SCALE)



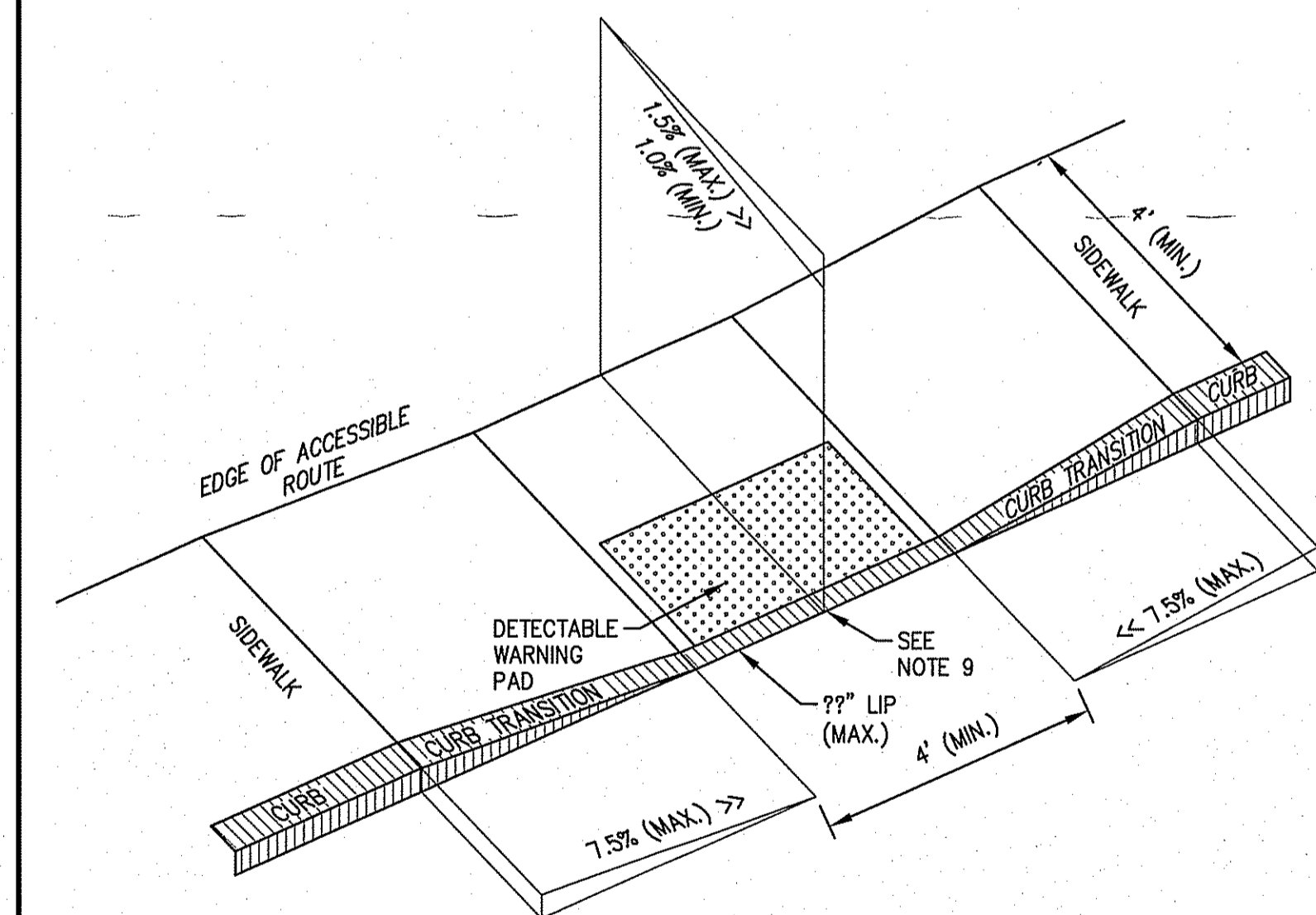
NOTE:
1. 0.5% TOLERANCE FOR CONSTRUCTION

DRIVEWAY APRON/ACCESSIBLE CURB RAMP (TYPE 'A')
(NOT TO SCALE)



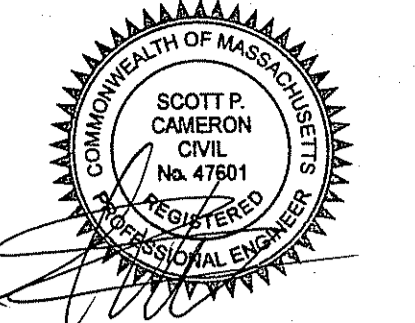
NOTES:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

ACCESSIBLE CURB RAMP (TYPE 'C')
(NOT TO SCALE)



NOTES:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

ACCESSIBLE CURB RAMP (TYPE 'B')
(NOT TO SCALE)



architect:
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:
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CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
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Tel: 978-887-8586
www.morincameron.com

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Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

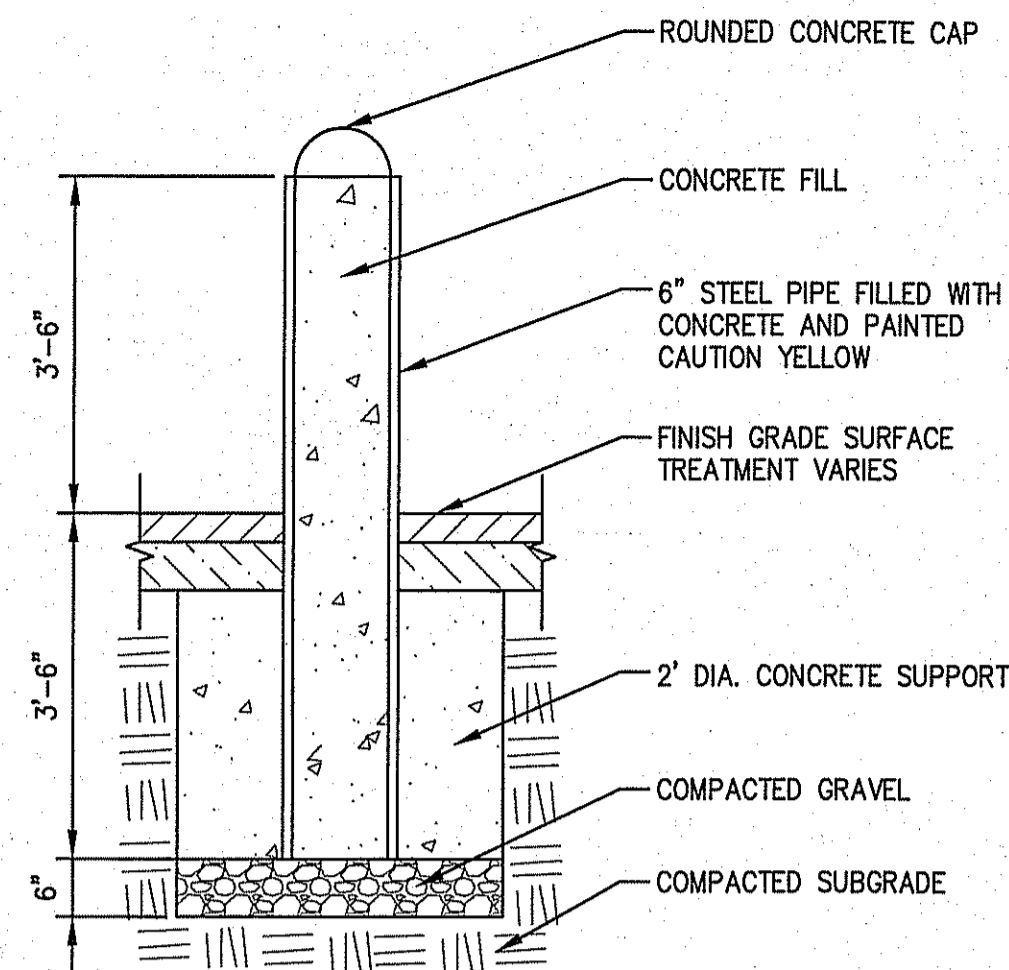
owner
One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

Project Name:
1 BOSTON WAY
1 Boston Way
Newburyport, MA

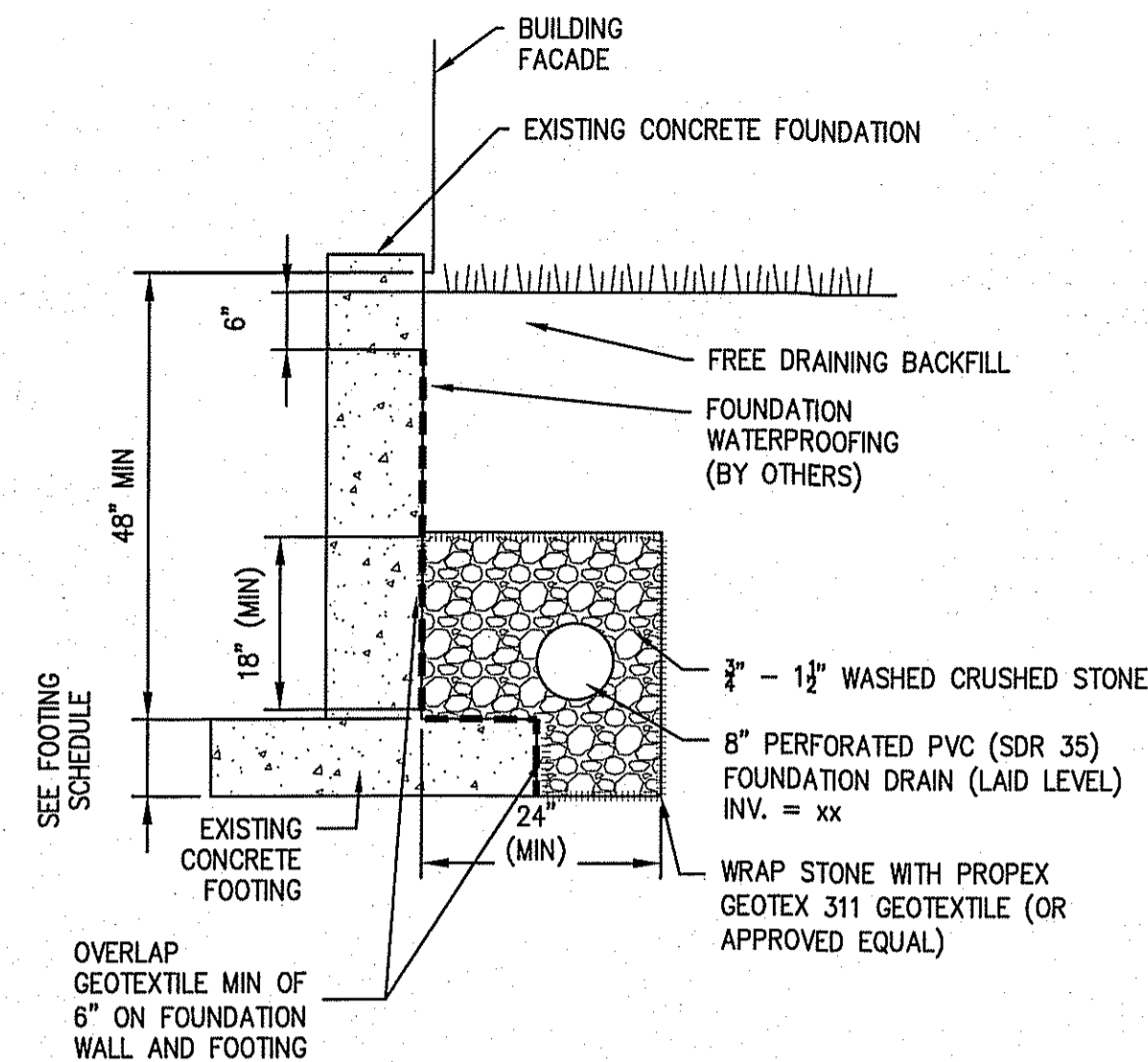
sheet title:
Details II

Issue date: 12-16-2015
revisions:
03-02-16
03-31-16
ch:
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MCG- 3205
D-2

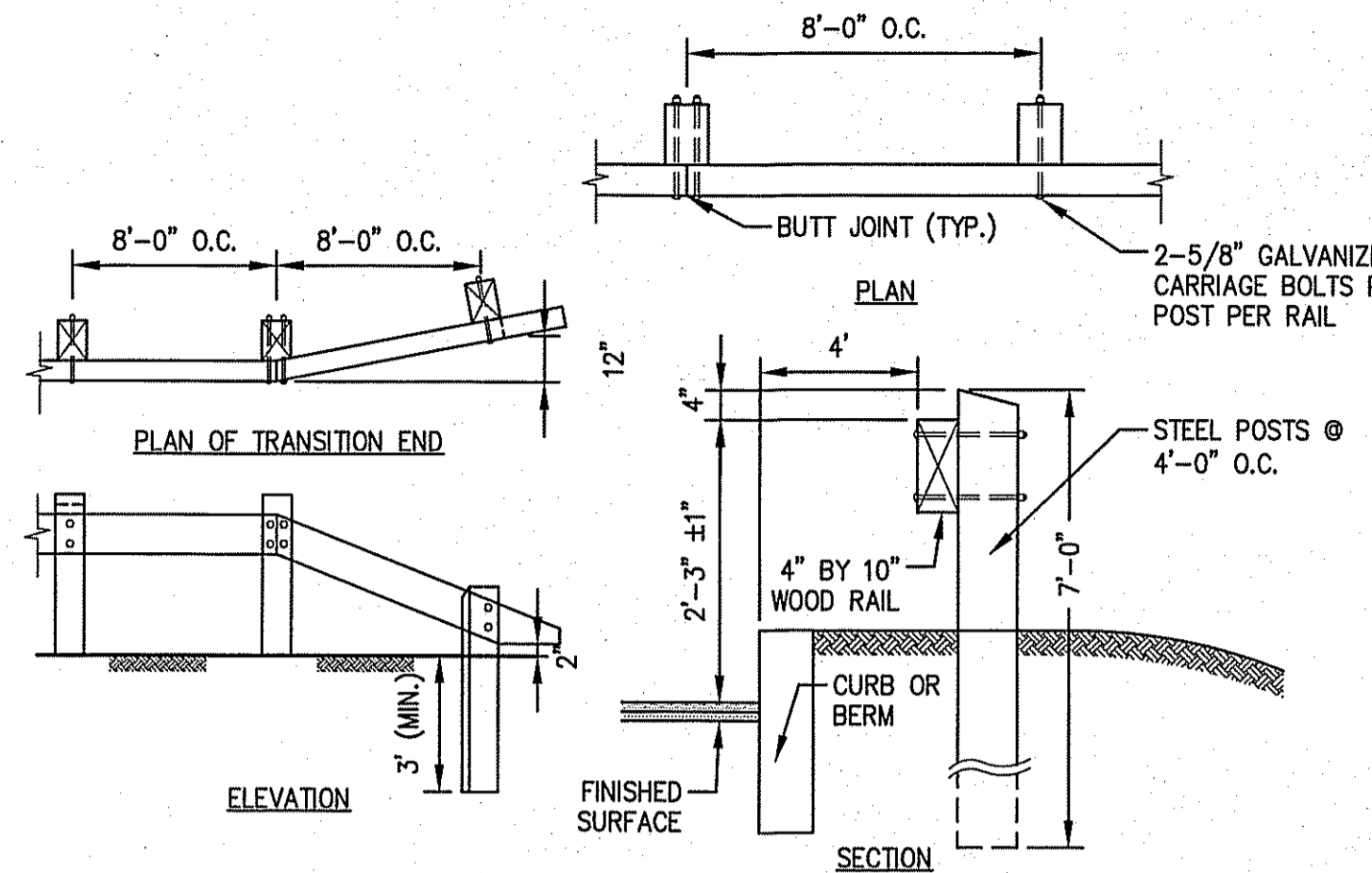


BOLLARD
(NOT TO SCALE)

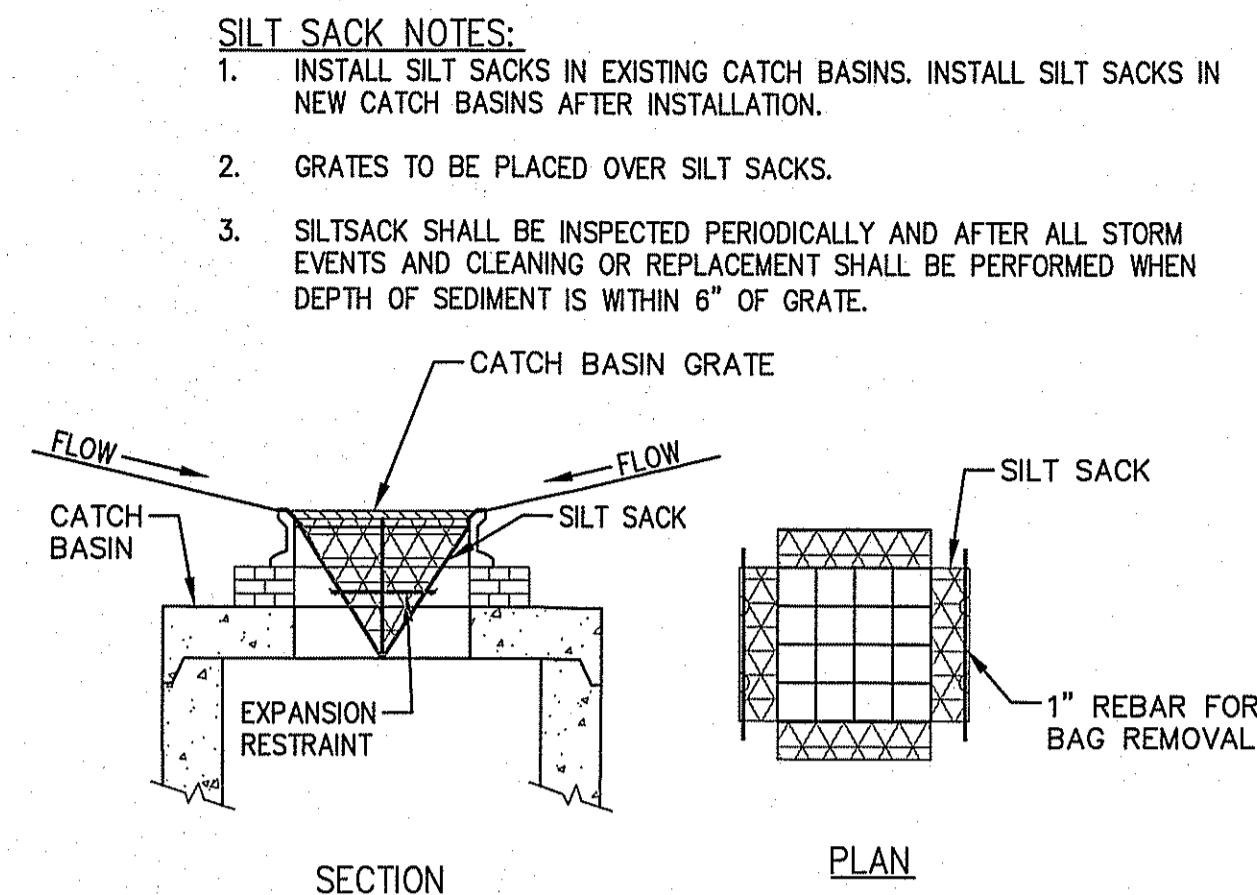


NOTE:
1. COORDINATE WITH ARCHITECTURAL DRAWINGS.

FOUNDATION DRAIN DETAIL
(NOT TO SCALE)

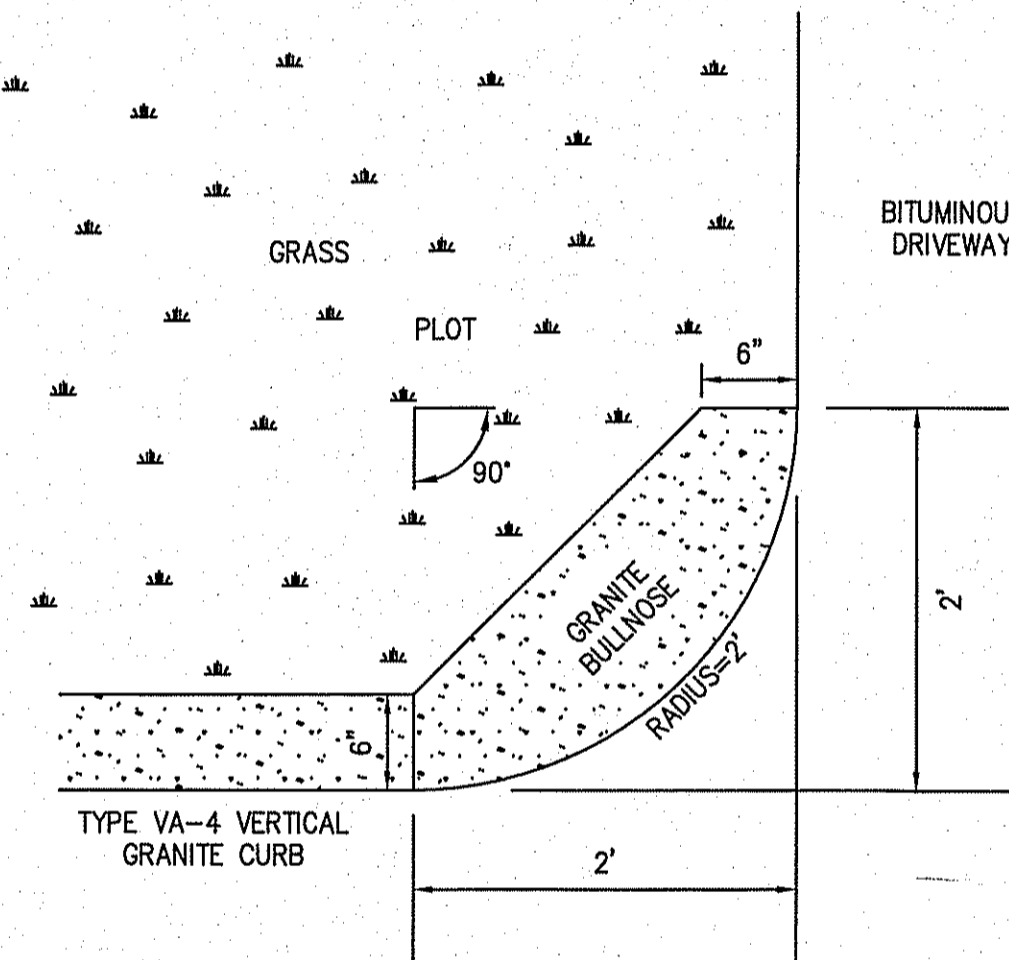


WOOD POST AND BEAM GUARDRAIL
(NOT TO SCALE)

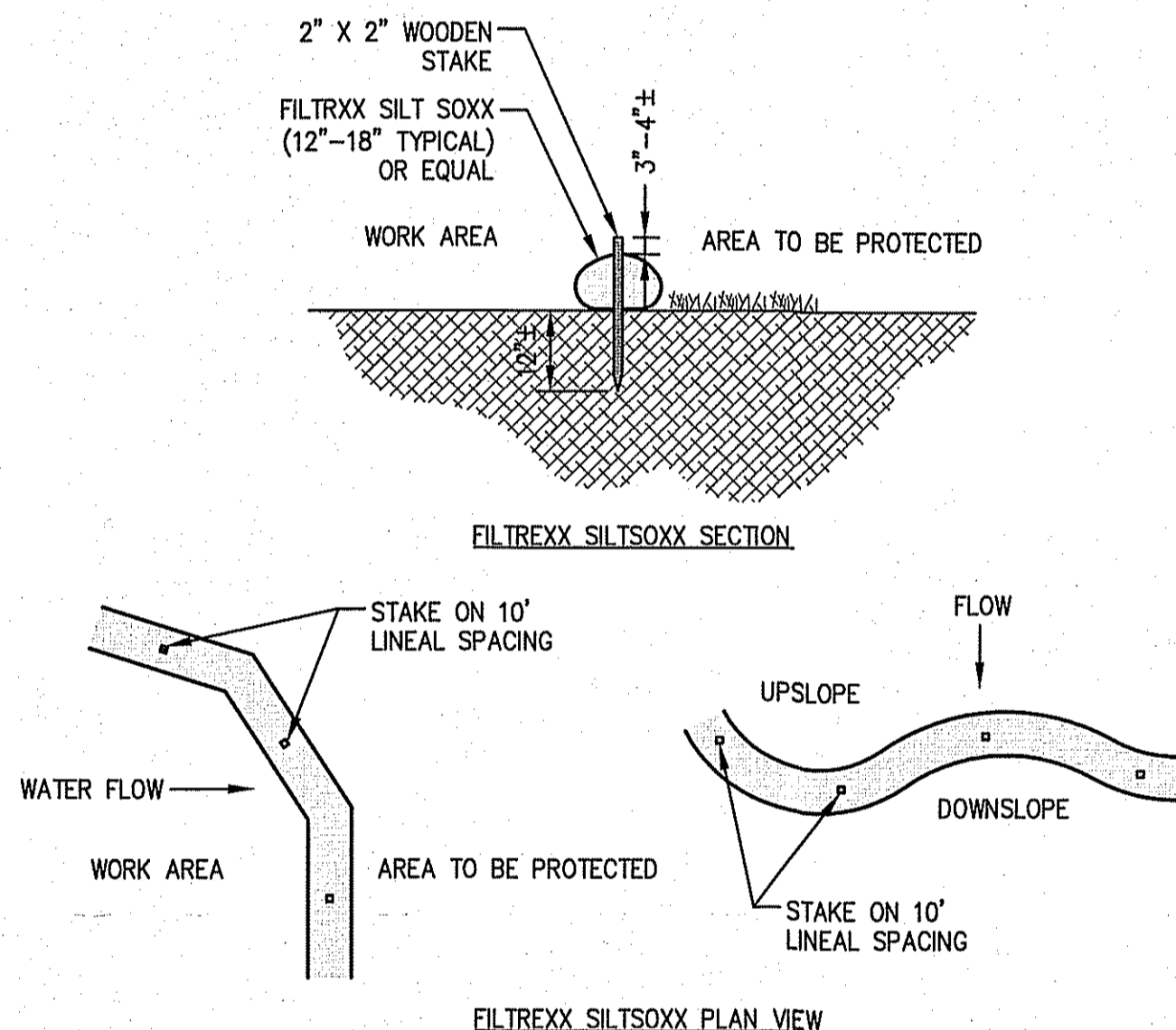


SILT SACK SEDIMENT TRAP
(NOT TO SCALE)

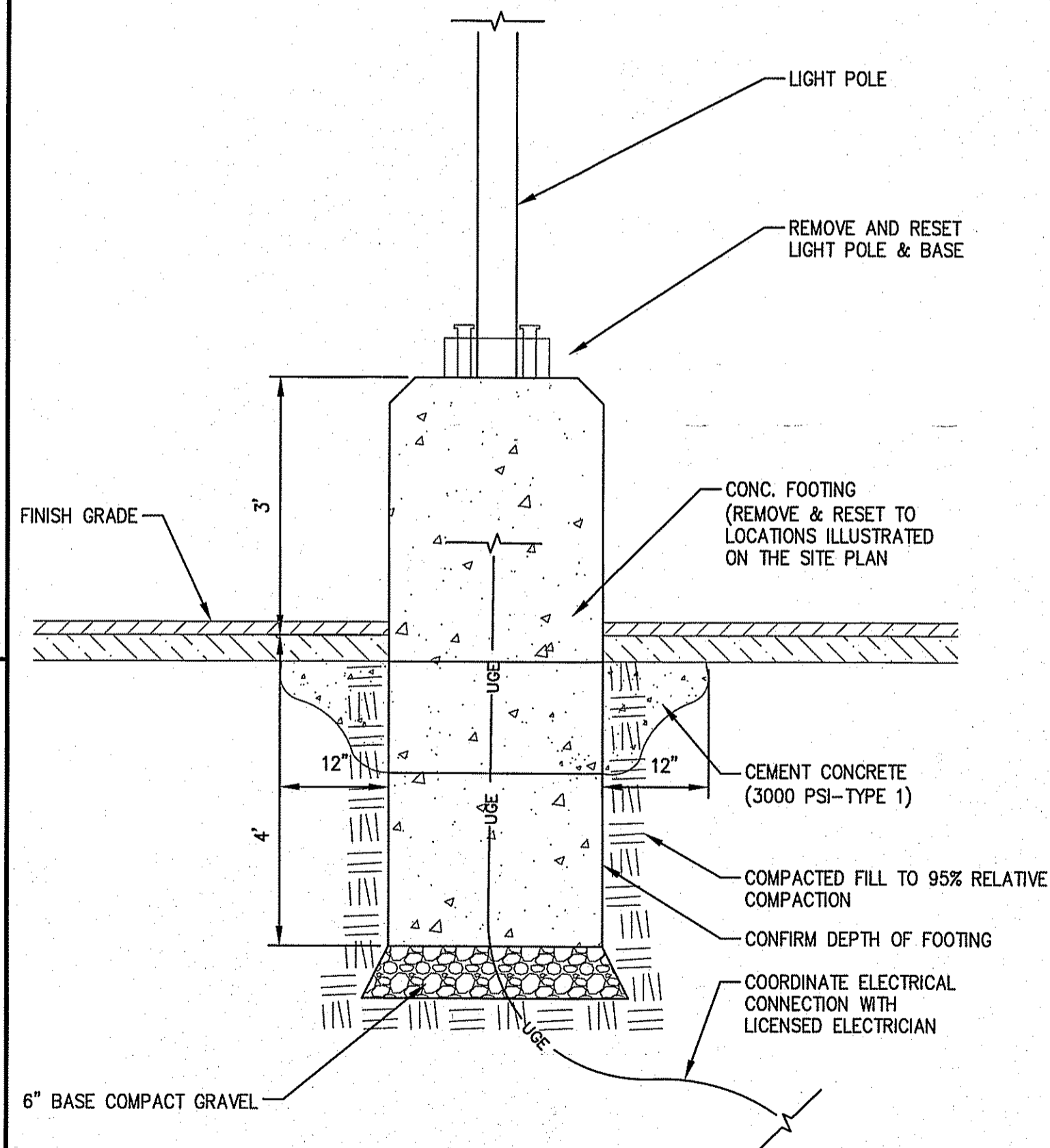
- SILT SACK NOTES:**
1. INSTALL SILT SACKS IN EXISTING CATCH BASINS. INSTALL SILT SACKS IN NEW CATCH BASINS AFTER INSTALLATION.
 2. GRATES TO BE PLACED OVER SILT SACKS.
 3. SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED WHEN DEPTH OF SEDIMENT IS WITHIN 6" OF GRATE.



GRANITE BULLNOSE DETAIL
(NOT TO SCALE)

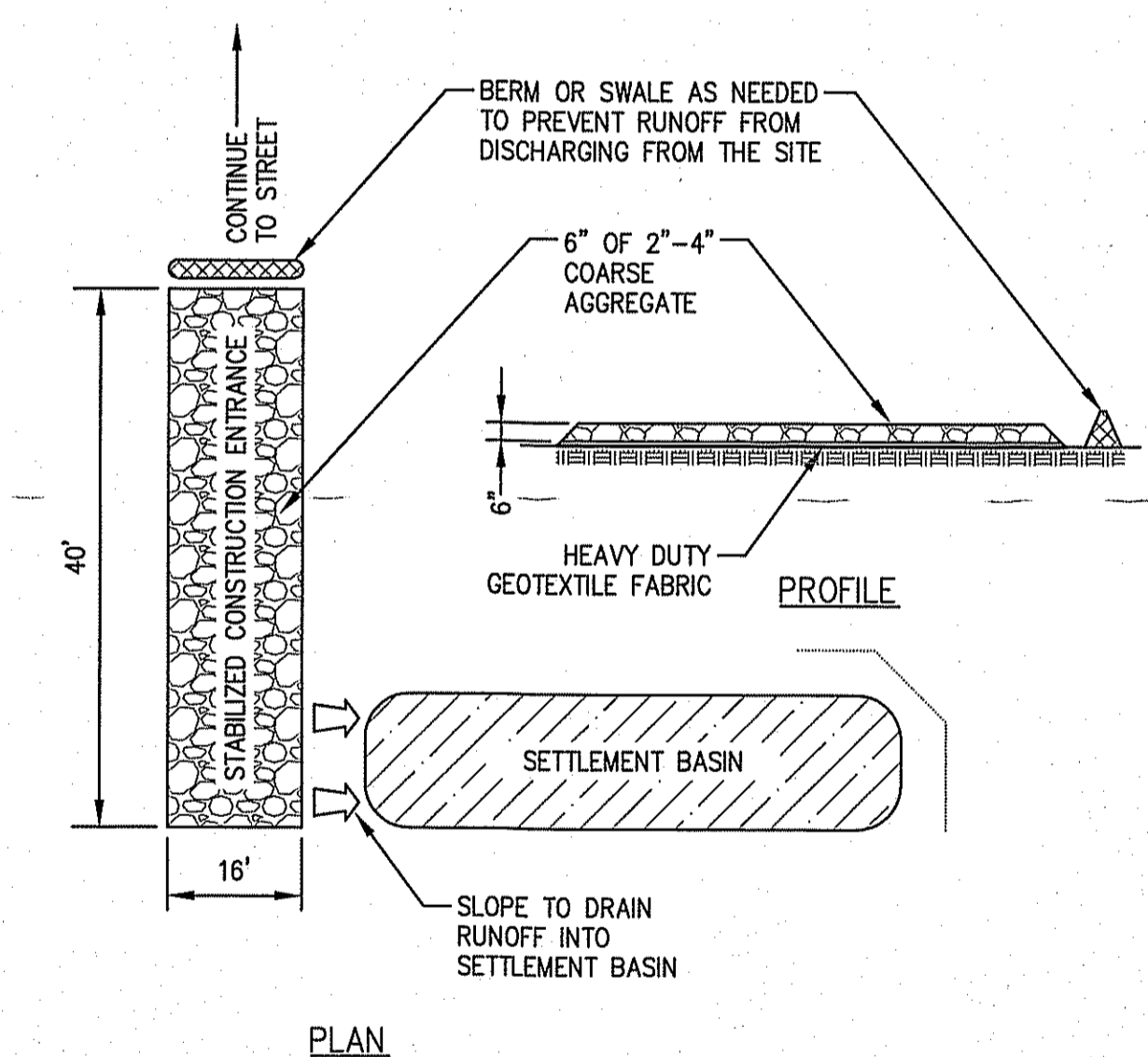


SILT SOCK
(NOT TO SCALE)



NOTE:
1. LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

LIGHT POLE DETAIL
(NOT TO SCALE)



SITE CONSTRUCTION EXIT SPECIFICATIONS FOR BOSTON WAY.

1. STONE FOR STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 2"-4" STONE, RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 40 FEET.
3. THE WIDTH OF THE ENTRANCE SHALL BE NO LESS THAN THE WIDTH OF THE INGRESS OR EGRESS DRIVE, OR 16 FEET, WHICHEVER IS GREATER.
4. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED FLOWING TO THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH MINIMUM 1 TO 5 SLOPES THAT CAN BE GROSSED BY VEHICLES CAN BE SUBSTITUTED.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. SEDIMENT SPILLED, WASHED OR TRACKED ONTO THE RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)

architect:
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsdassoc.com

civil engineer:
The Morn-Cameron Group, Inc.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
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447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.mornccameron.com

landscape architect
HALYORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617.536.0380
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owner
One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
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Project Name:
1 BOSTON WAY
1 Boston Way
Newburyport, MA

sheet title:
Details III

Issue date: 12-16-2015

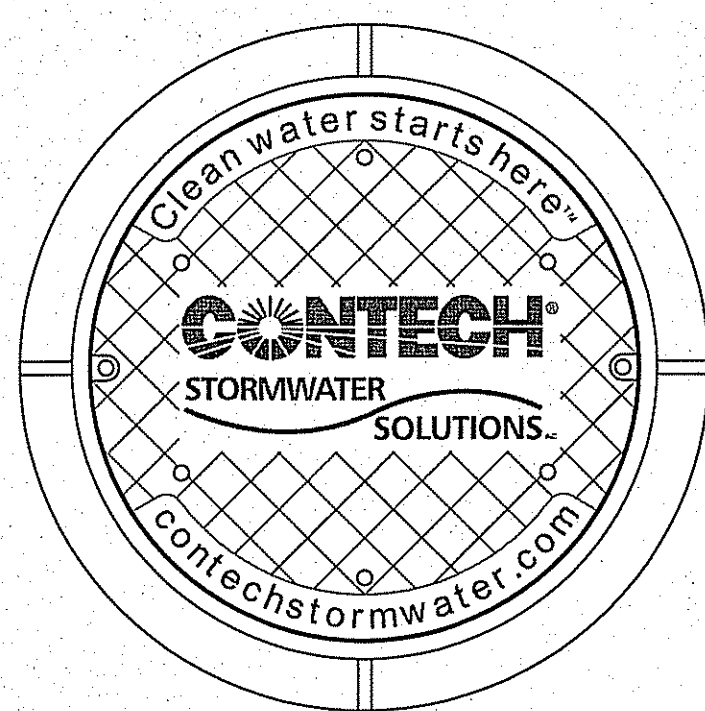
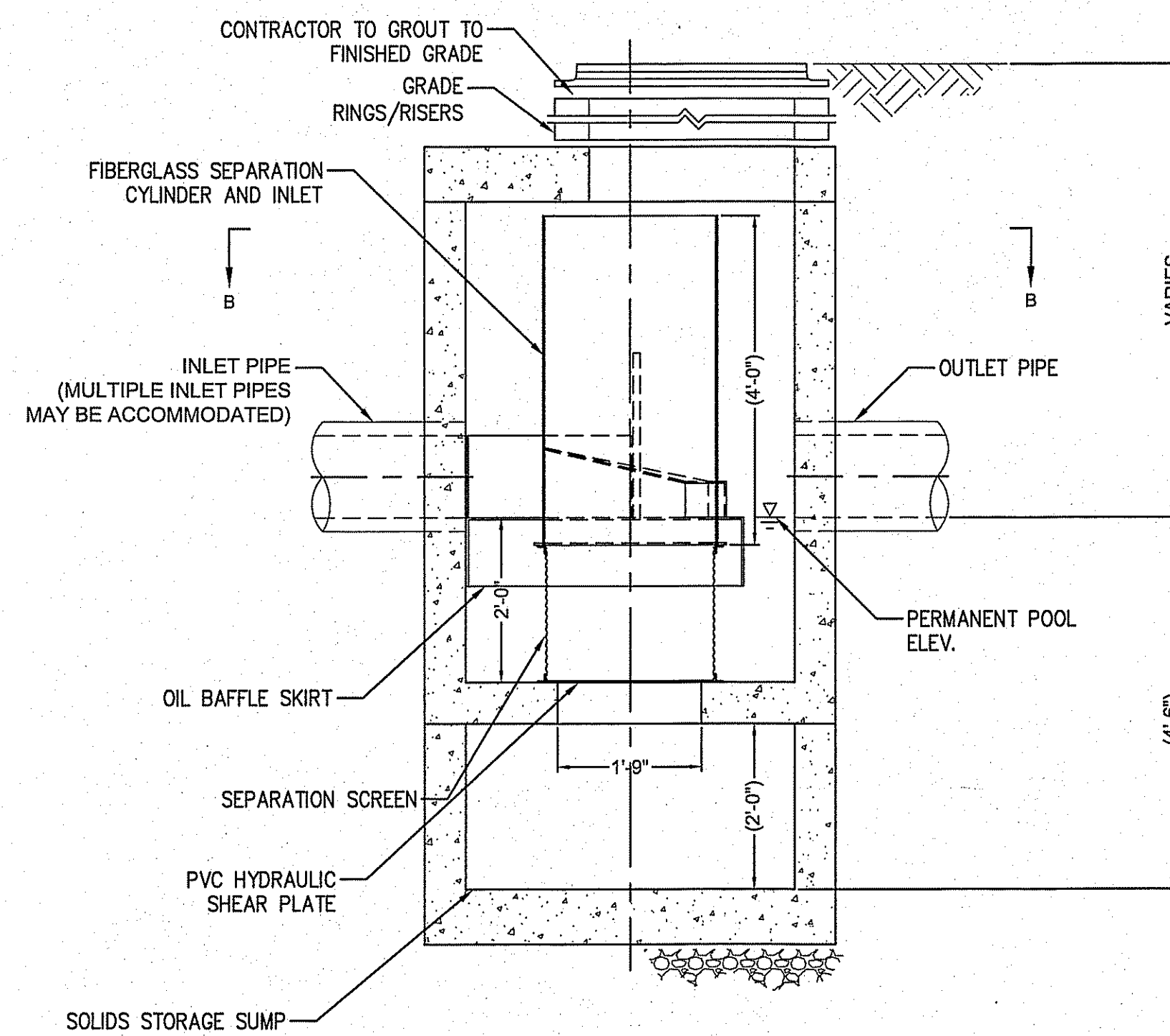
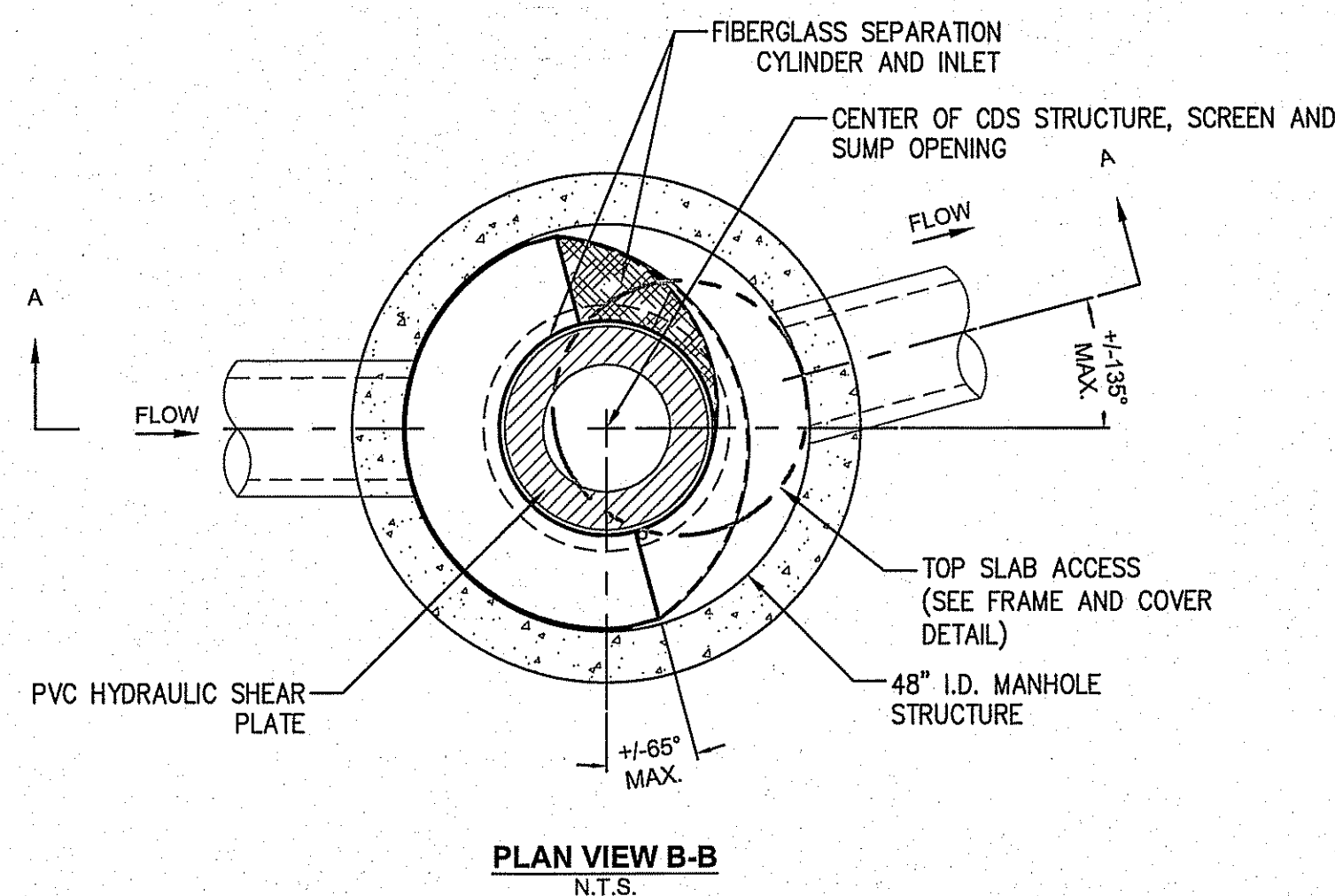
Revisions:
03-02-16
03-31-16

dr. **chk.**

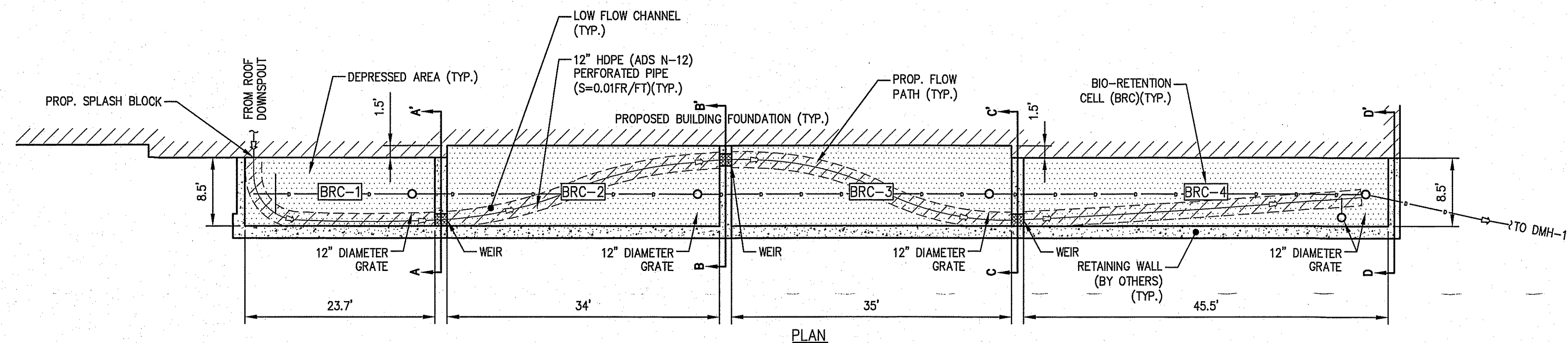
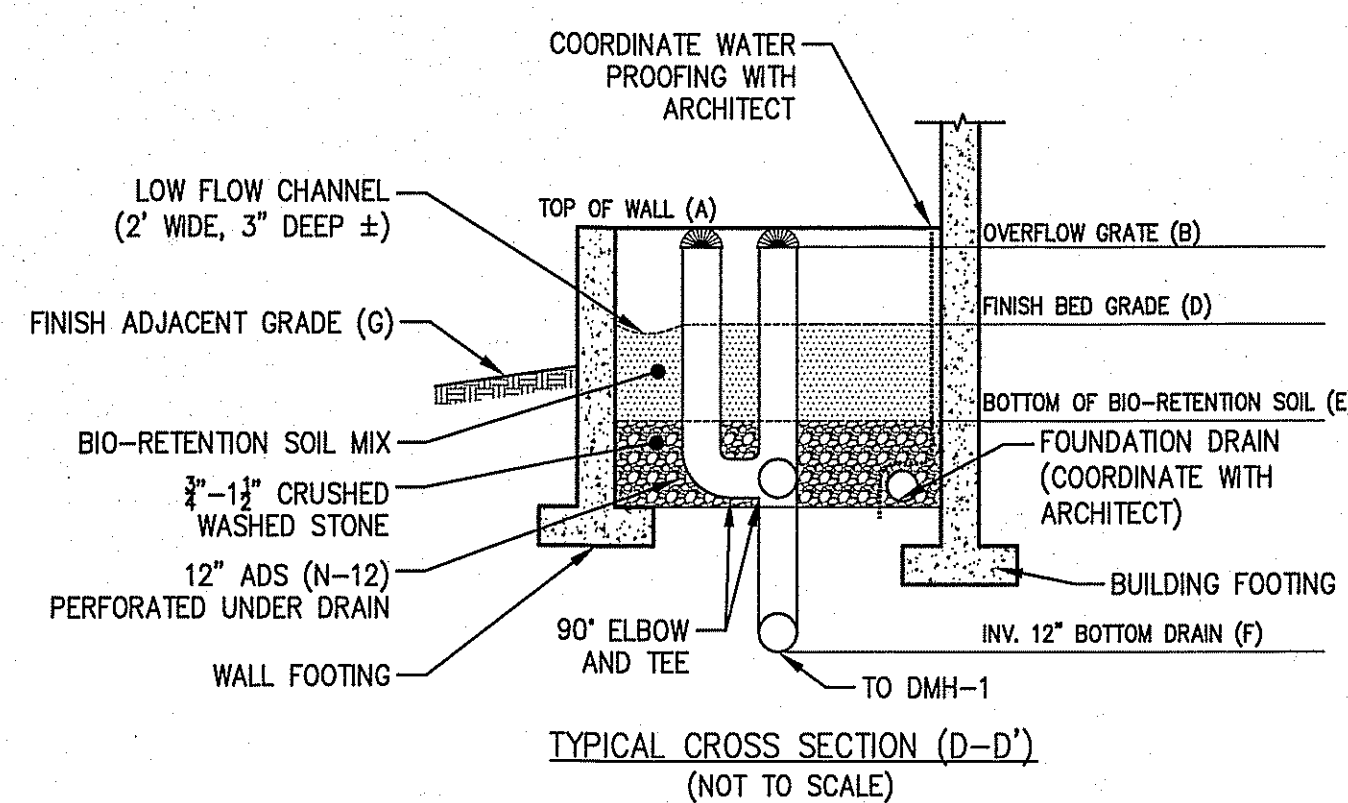
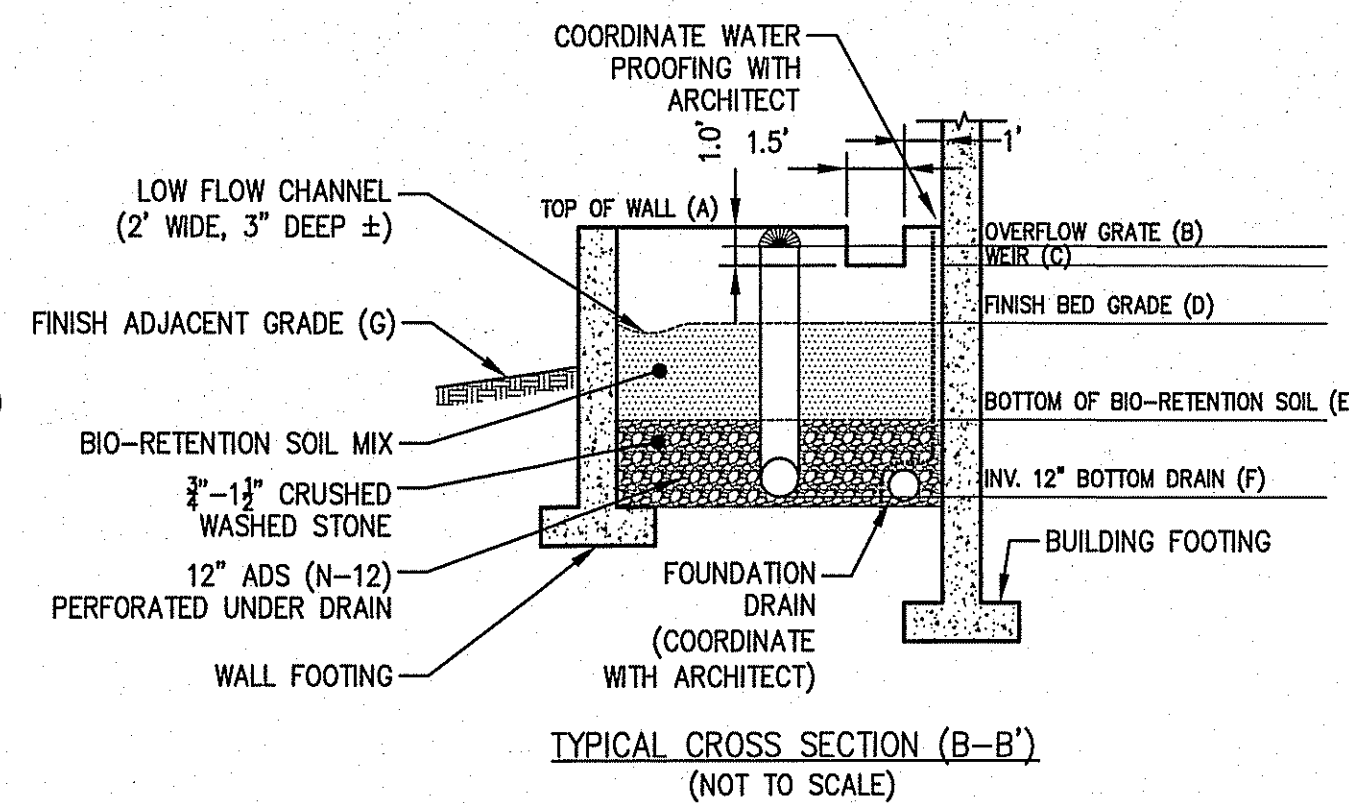
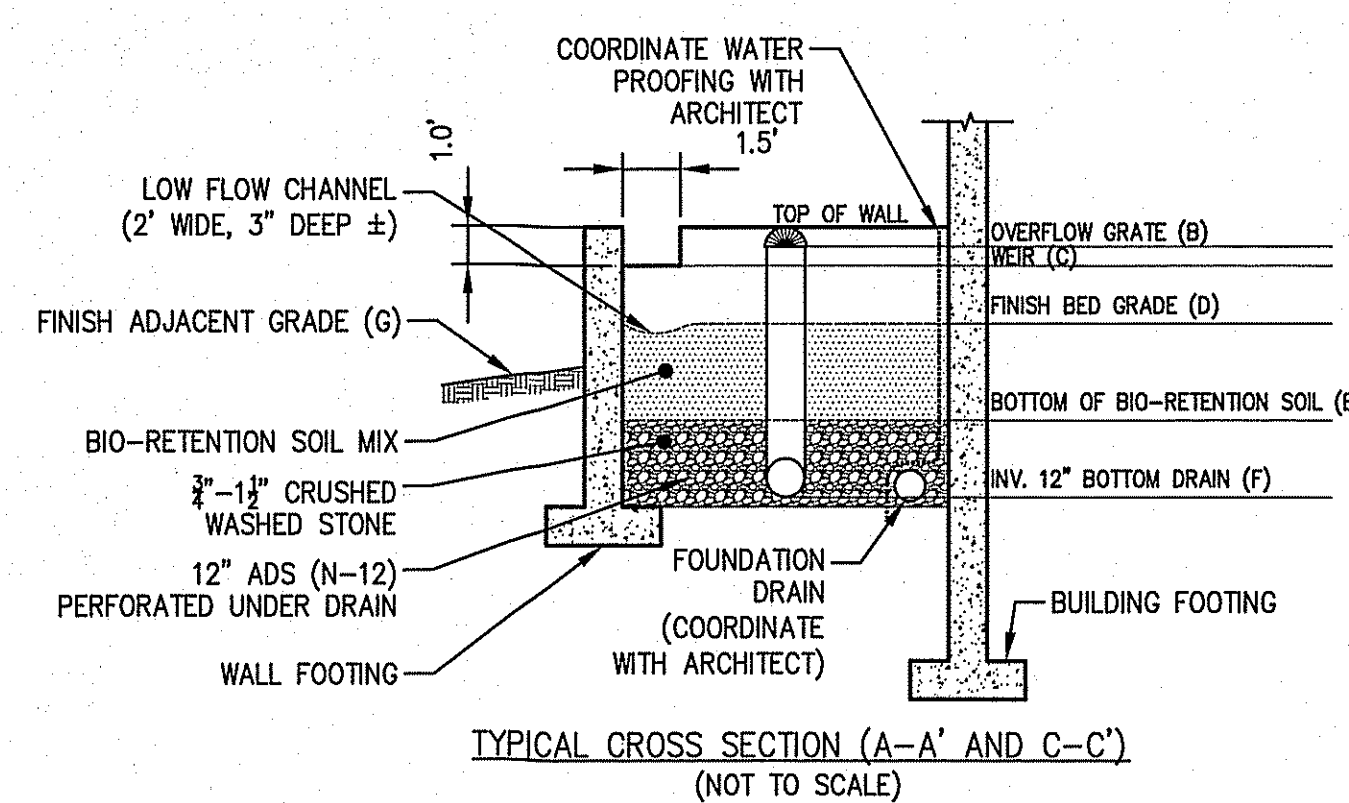
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job number:
MCG- 3205

D-3



CONTECH CDS UNIT 2015-4
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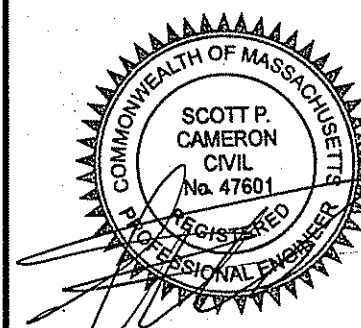


BIO-RETENTION CELL SCHEDULE				
	A	B	C	D
TOP OF WALL (A)	21.7'	21.2'	20.7'	20.2'
OVERFLOW GRATE (B)	21.0'	20.5'	20.0'	19.0'
WEIR (C)	20.5'	20.0'	19.5'	NONE
FINISH BED GRADE (D)	19.0'	18.5'	18.0'	17.5'
BOTTOM OF BIO-RETENTION SOIL (E)	16.5'	16.0'	15.5'	15.0'
INVERT (F)	14.46'	14.11'	13.75'	9.78'
FINISH ADJACENT GRADE (G)	15-15.5'	14-15'	14'	14'

STORM ELEVATIONS				
	A	B	C	D
2-YR EVENT	20.97'	20.46'	19.92'	19.15'
10-YR EVENT	21.10'	20.59'	20.09'	19.33'
100-YR EVENT	21.31'	20.80'	20.29'	19.76'

- NOTES:
- BUILDING FOUNDATION WATER PROOFING BY OTHERS.
 - FOUNDATION DRAIN SIZE, TYPE AND LOCATION BY OTHERS.
 - RETAINING WALL STRUCTURAL DESIGN BY OTHERS.
 - ALL PIPING SHALL BE ADS N-12. PERFORATED PIPE SHALL BE USED FOR THE UNDERDRAIN.
 - MINIMUM SLOPE OF UNDERDRAIN = 0.01 FT/FT.

BIO-RETENTION LANDSCAPE BED
(NOT TO SCALE)

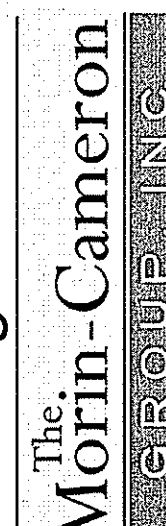


architect:



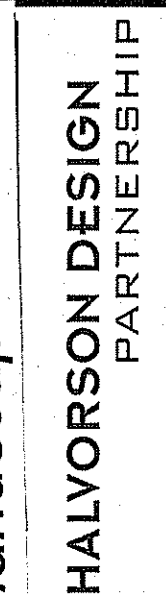
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landscape architect



HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Details IV

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

revisions:
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dr: chk

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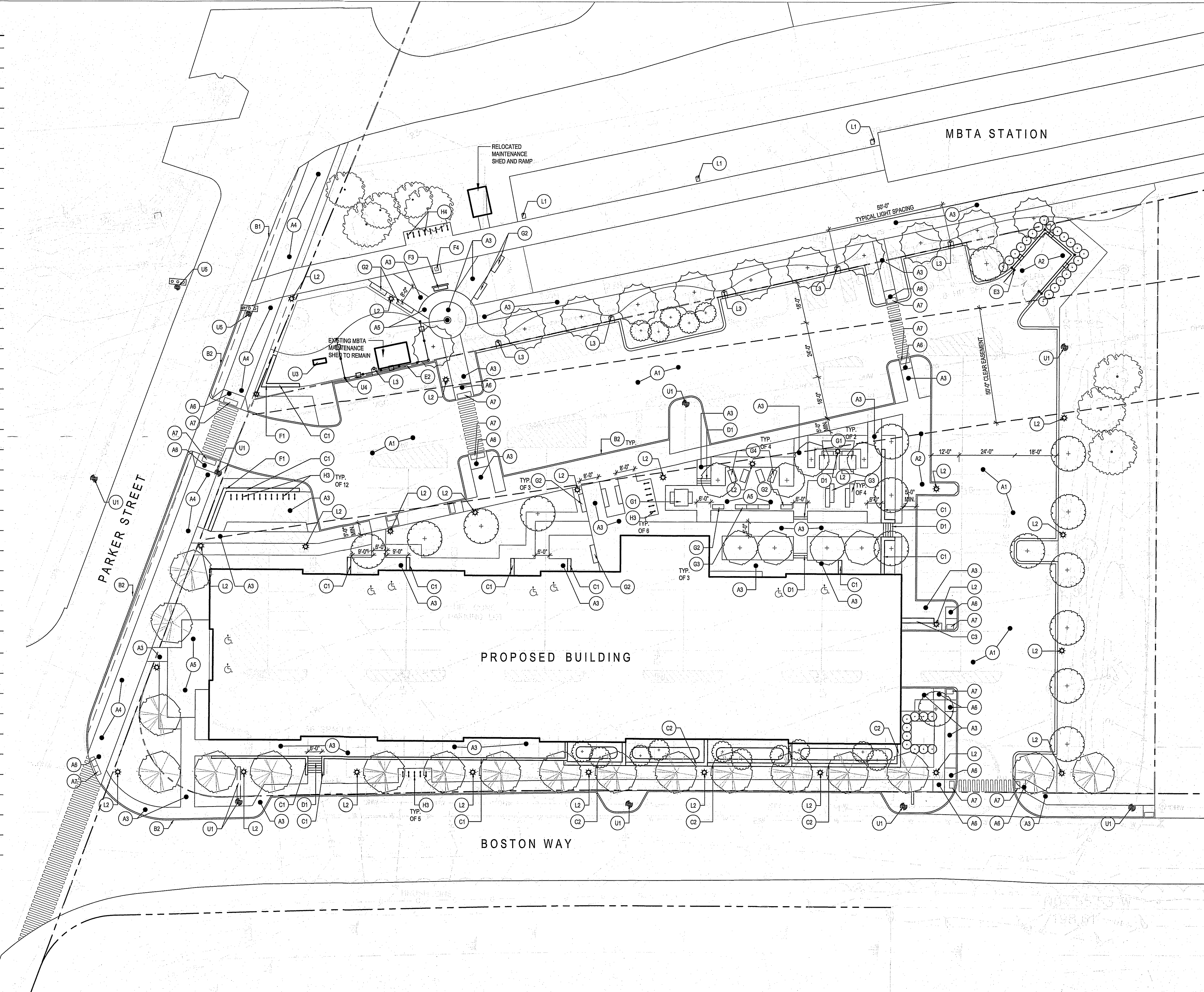
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MCG- 3205

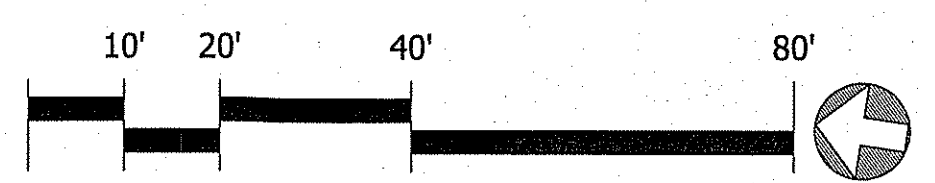
D-4

MATERIALS LEGEND

SYMBOL	TAG	DESCRIPTION	DETAIL
LANDSCAPE ELEMENTS			
(A1)		BITUMINOUS CONCRETE PAVING - VEHICULAR SEE CIVIL DRAWINGS	
(A2)		POURED IN PLACE CONCRETE PAVING - VEHICULAR	
(A3)		POURED IN PLACE CONCRETE PAVING - PEDESTRIAN	
(A4)		BITUMINOUS CONCRETE SHARED USE PATH WITH 3'-0" CLEAR LAWN STRIP TO EITHER SIDE	
(A5)		SPECIAL PAVING	
(A6)		ACCESSIBLE CURB RAMP	
(A7)		TACTILE WARNING STRIP	
(B1)		EXISTING CURB TO REMAIN	
(B2)		GRANITE CURB - SEE CIVIL DRAWINGS	
(C1)		STONE WALL - SEE PRECEDENT IMAGES FOR CHARACTER	(1) L3.0
(C2)		STORM WATER RETENTION AREA - SEE PRECEDENT IMAGES FOR CHARACTER	(8) L3.0 (9) L3.0
(C3)		CONCRETE WALL - SEE CIVIL DRAWINGS	
(D1)		PRECAST CONCRETE STAIRS 12" WIDE TREADS SET ON CIP CONCRETE FOUNDATION	
(E1)		AMENITY FENCING AND GATE	
(E2)		MBTA EQUIPMENT SCREEN FENCE	(7) L3.0
(E3)		TRASH AND RECYCLING ENCLOSURE	(8) L3.0
(E4)		EXISTING GUARDRAIL TO REMAIN	
(F1)		STONE WALL WITH CAP - SEE PRECEDENT IMAGES FOR CHARACTER	(2) L3.0
(F2)		DISTANCE TO "CITY" SIGN - GRANITE POST	
(F3)		RELOCATED MBTA SIGNAGE	
(G1)		EQUIPARC EP-2990 PICNIC TABLE WITH (2) EP-1991 BACKLESS PARK BENCH	(4) L3.0
(G2)		EQUIPARC BACKED EP-1991 PARK BENCH	(3) L3.0
(G3)		LANDSCAPE FORMS BANCAL BENCH 50% BACKLESS - 50% BACKED	
(G4)		EQUIPARC EP-1975 LOUNGE CHAIR	(5) L3.0
(H1)		VEHICULAR BOLLARD	
(H2)		TRASH AND RECYCLING RECEPTACLES (QUANTITY 20)	
(H3)		BICYCLE RACK	
(H4)		RELOCATED BICYCLE RACK	
(H5)		DRAIN GRATE INLET - SEE CIVIL DRAWINGS	
LIGHTING			
(L1)		EXISTING LIGHT POLE	
(L2)		PROPOSED LIGHT POLE - PEDESTRIAN	
(L3)		PROPOSED LIGHT POLE - VEHICULAR	
UTILITY			
(U1)		EXISTING N-STAR UTILITY POLE	
(U2)		EXISTING CITY OF NEWBURYPORT UTILITY POLE	
(U3)		EXISTING MBTA ELECTRICAL BOX	
(U4)		EXISTING MBTA SIGNAGE POLE	
(U5)		PEDESTRIAN CROSSING SIGN WITH LIGHT	



PERMIT DRAWINGS - NOT FOR CONSTRUCTION



architect:

GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.gsd-assoc.com

civil engineer:

The
Morin-Cameron
GROUP INC.
CONSULTANTS IN ARCHITECTURE, ENGINEERING,
LAND SURVEYING & LAND USE PLANNING
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect

HALVORSON DESIGN
PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Site Design +
Lighting Plan

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 04-06-2016
revisions:

dr. *chk.*
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job number:
MCG-3205
L1.0

PLANTING LEGEND

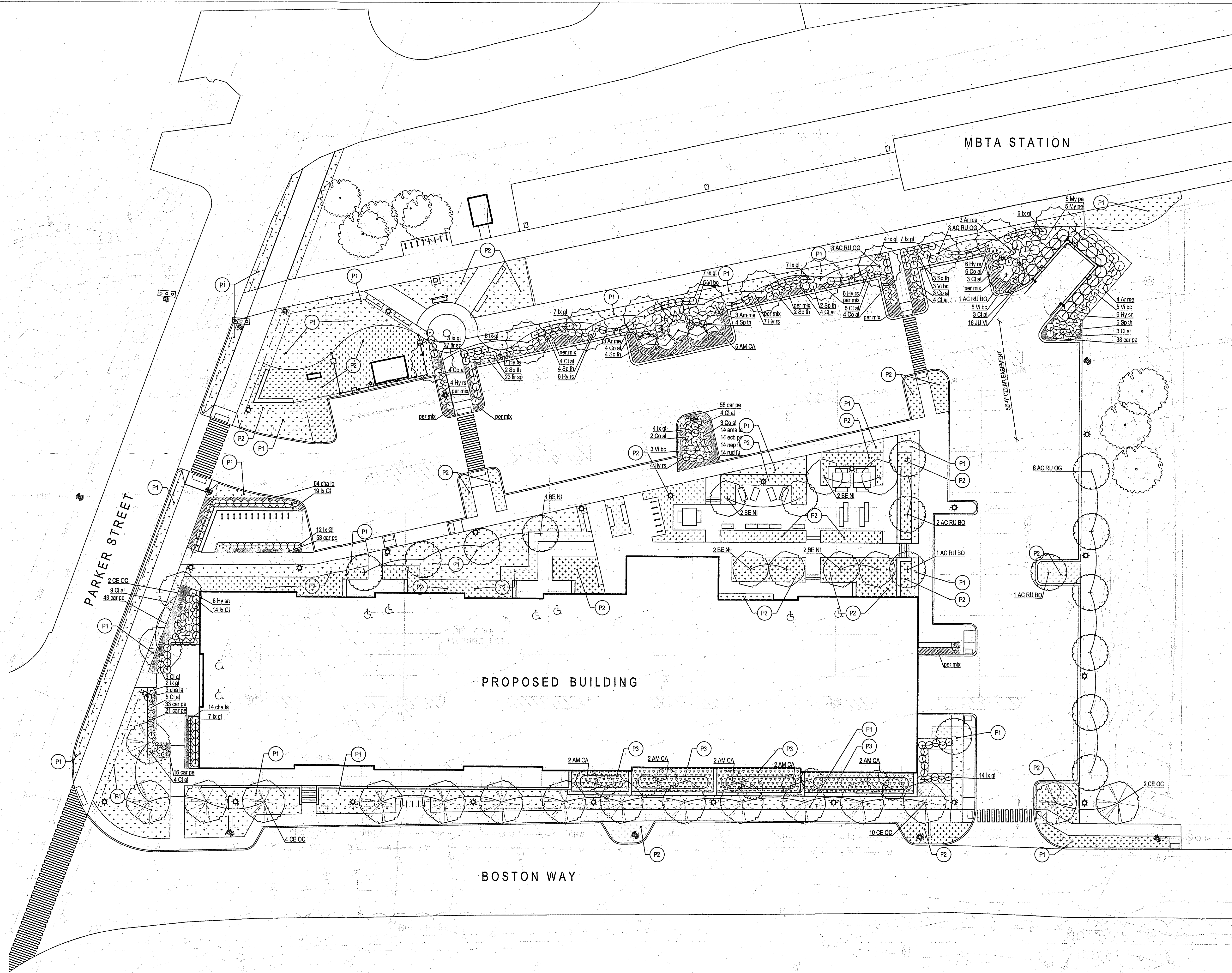
SYMBOL	TAG	DESCRIPTION
(P1)		SOD/ SEEDED LAWN
(P2)		SHRUB, GRASS + PERENNIAL PLANTINGS
(P3)		STORMWATER RETENTION/ WETLAND PLANTINGS
		EXISTING TREE TO REMAIN (TO BE PRUNED BY LICENSED ARBORIST)
		STREET TREE - 20 TOTAL
		PARKING LOT TREE - 15 TOTAL
		MBTA PATH TREE - 12 TOTAL
		FLOWERING TREE - 8 TOTAL
		LARGE DECIDUOUS SHRUB - 15 TOTAL
		EVERGREEN HEDGE PLANTING

PRELIMINARY PLANTING LIST

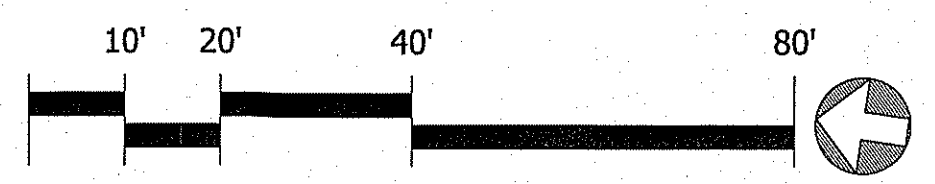
Qty	Symbol	Botanical Name	Common Name	Size	Spacing
17	AC RU OG	Acer rubrum 'October Glory'	October Glory Red Maple	3.5'-4" cal	
5	AC RU BO	Acer rubrum 'Bovater'	Bowhall Red Maple	3.5'-4" cal	
15	AM CA	Amelanchier can. 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3.5'-4" cal	
12	BE NI	Betula nigra 'Cully'	Heritage River Birch	3.5'-4" cal	
20	CE OC	Celtis occidentalis	Hackberry	3.5'-4" cal	
16	JU VI	Juniperus virginiana 'Emerald Sentinel'	Emerald Sentinel Eastern Red Cedar	8" ht	

Qty	Symbol	Botanical Name	Common Name	Size	Spacing
Accent Plantings - Shrubs					
	Ar me	Artemisia microcarpa	Black Chokeberry	48" O.C.	
	Bu gr	Buxus x Green Velvet	Green Velvet Boxwood	30" O.C.	
	Cl al	Clethra alnifolia 'Sixteen Candles'	Sixteen Candles Summersweet	30" O.C.	
	Co al	Cornus alba 'Ivory Halo'	Ivory Halo Red-Twig Dogwood	38" O.C.	
	Hy an	Hydrangea anomala petalalis	Climbing Hydrangea	18" O.C.	
	Hy rs	Hydrangea quercifolia 'Ruby Slippers'	Snowflake Oakleaf Hydrangea	38" O.C.	
	Hy sn	Hydrangea quercifolia 'Snowflake'	Snowflake Oakleaf Hydrangea	38" O.C.	
	Ix g	Ilex glabra 'Shamrock'	Shamrock Holly	38" O.C.	
	My pe	Myrica pensylvanica	Northern Bayberry	48" O.C.	
	Ro bk	Rosa 'Blushing Knock Out'	Blushing Knockout Pink	24" O.C.	
	Sp th	Spirea thunbergii 'Ogor'	Mellow Yellow Spirea	38" O.C.	
	Vi bo	Viburnum trilobum 'Sally Compact'	American Cranberrybush Viburnum	38" O.C.	
	Vi ju	Viburnum luteid	Judd Viburnum	38" O.C.	
Accent Plantings - Grass					
	car pe	Carex pennsylvanica	Sedge Grass	12" O.C.	
	cha la	Chloranthum latifolium	Northern Sea Cals	12" O.C.	
	des ca	Deschampsia caespitosa	Tufted Hair Grass	12" O.C.	
	mol ca	Molinia caerulea sp. 'Caerulea 'Moorflame'	Moorflame Moor Grass	12" O.C.	
	pan sh	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	12" O.C.	
	pan al	Panicum albopurpureum 'Hamerit'	Dwarf Fountain Grass	12" O.C.	
Accent Plantings - Perennials					
	ach ni	Achillea millefolium 'Terra Cotta'	Terra Cotta Yarrow	18" O.C.	
	ach mo	Achillea mollis	Lady's Mantle	18" O.C.	
	ama hu	Amorpha hubertii	Adrian's Blue Star	18" O.C.	
	ama ta	Amorpha tataricamontana	Eastern Blue Star	18" O.C.	
	ast ch	Aster chinensis 'Finale'	Finale Flume Flower	18" O.C.	
	ast na	Aster (Synch.) novae-angliae	New England Aster	18" O.C.	
	ech pu	Echinacea purpurea	Purple Cone Flower	18" O.C.	
	ech ru	Echinacea purpurea 'Rubinstern'	Ruby Star Coneflower	18" O.C.	
	cup ma	Eupatorium maculatum	Joe-Pye Weed	18" O.C.	
	hem go	Hemerocallis 'Gong Bananas'	Gong Bananas Daylily	18" O.C.	
	iri ve	Iris versicolor 'Whodunnit'	Blue Flag Iris	18" O.C.	
	nep la	Nepeta x hasseni 'Blue Wonder'	Blue Wonder Catmint	18" O.C.	
	osm ci	Osmunda cinnamomea	Cinnamon Fern	18" O.C.	
	pod fa	Polygonatum falcatum variegatum	Carleagled Solomon's Seal	18" O.C.	
	ruf fu	Rubus idaeus 'Goldsturm'	Black Eyed Susan	18" O.C.	

Qty	Symbol	Botanical Name	Common Name	Size	Spacing
Stormwater/Wetland Plantings - Shrubs					
	Ar an	Artemisia arbuscula	Red Chokeberry	48" O.C.	
	Cl al	Clethra alnifolia 'Sixteen Candles'	Sixteen Candles Summersweet	30" O.C.	
	Co pe	Comptonia peregrina	Sweetfern	24" O.C.	
	Co al	Cornus alba 'Ivory Halo'	Ivory Halo Red-Twig Dogwood	38" O.C.	
	Hy vi	Hamamelis virginiana	Witchhazel	6" O.C.	
	Hy qu	Hydrangea quercifolia 'Snowflake'	Snowflake Oakleaf Hydrangea	38" O.C.	
	Ix ve	Ilex verticillata	Winterberry	38" O.C.	
	My pe	Myrica pensylvanica	Northern Bayberry	48" O.C.	
	My vi	Myrica viticarpa	Swamp Azalea	38" O.C.	
	Vi ju	Viburnum luteid	Judd Viburnum	38" O.C.	
Stormwater/Wetland Planting - Grass					
	car pe	Carex pennsylvanica	Sedge Grass	12" O.C.	
	cha la	Chloranthum latifolium	Northern Sea Cals	12" O.C.	
	des ca	Deschampsia caespitosa	Tufted Hair Grass	12" O.C.	
	pan sh	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	12" O.C.	
Stormwater/Wetland Plantings - Perennials					
	ast na	Aster (Synch.) novae-angliae	New England Aster	18" O.C.	
	ech pu	Echinacea purpurea	Purple Cone Flower	18" O.C.	
	ech ru	Echinacea purpurea 'Rubinstern'	Ruby Star Coneflower	18" O.C.	
	cup ma	Eupatorium maculatum	Joe-Pye Weed	18" O.C.	
	hel an	Helenium angustifolium	Swamp Sunflower	18" O.C.	
	iri ve	Iris versicolor 'Whodunnit'	Blue Flag Iris	18" O.C.	
	lob ca	Lobelia cardinalis	Cardinal Flower	18" O.C.	
	os ci	Osmunda cinnamomea	Cinnamon Fern	18" O.C.	
	ruf fu	Rubus idaeus 'Goldsturm'	Black Eyed Susan	18" O.C.	



PERMIT DRAWINGS - NOT FOR CONSTRUCTION



architect:



GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:



The Morin-Cameron Group, Inc.
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landscape architect



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1 BOSTON WAY

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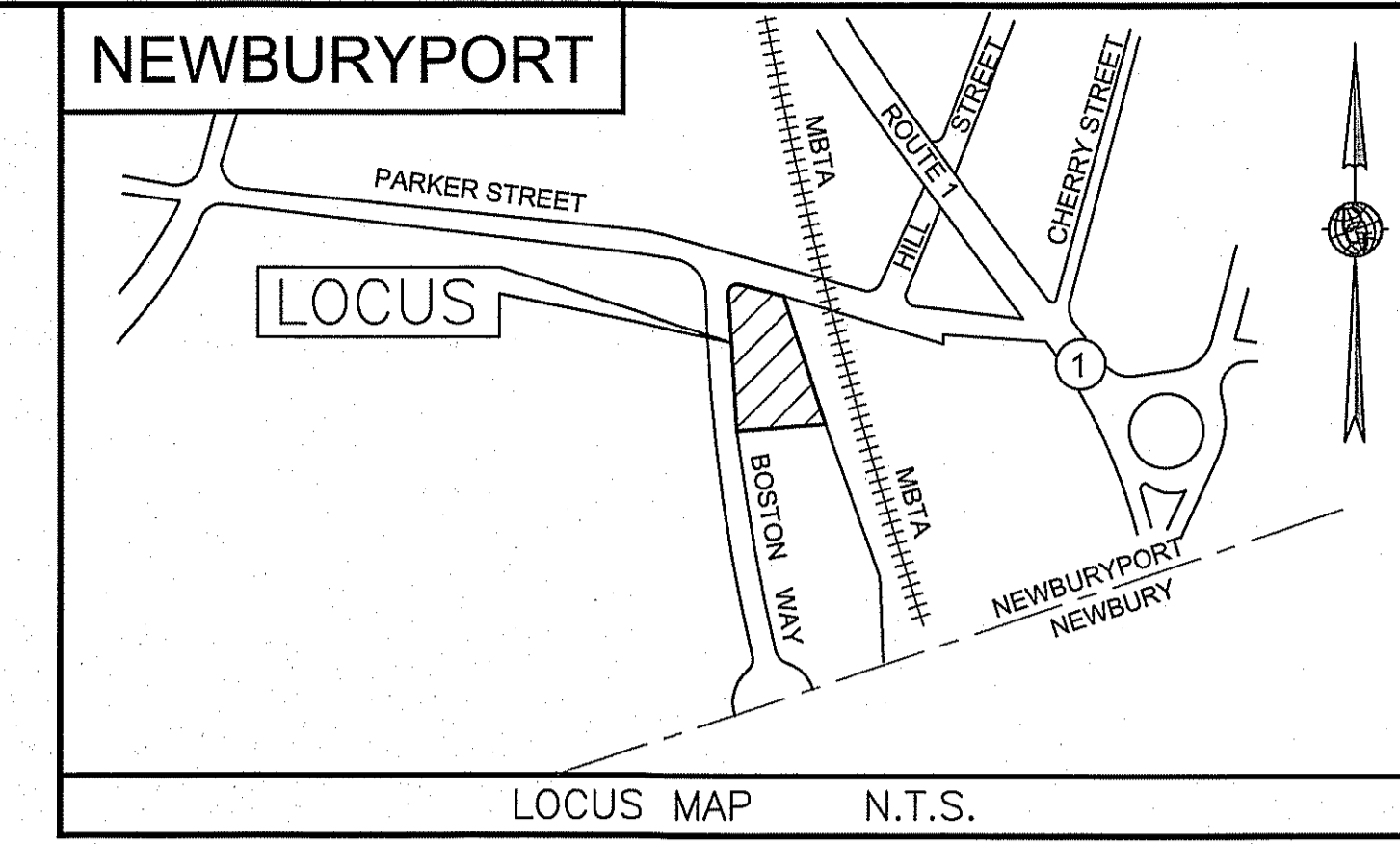
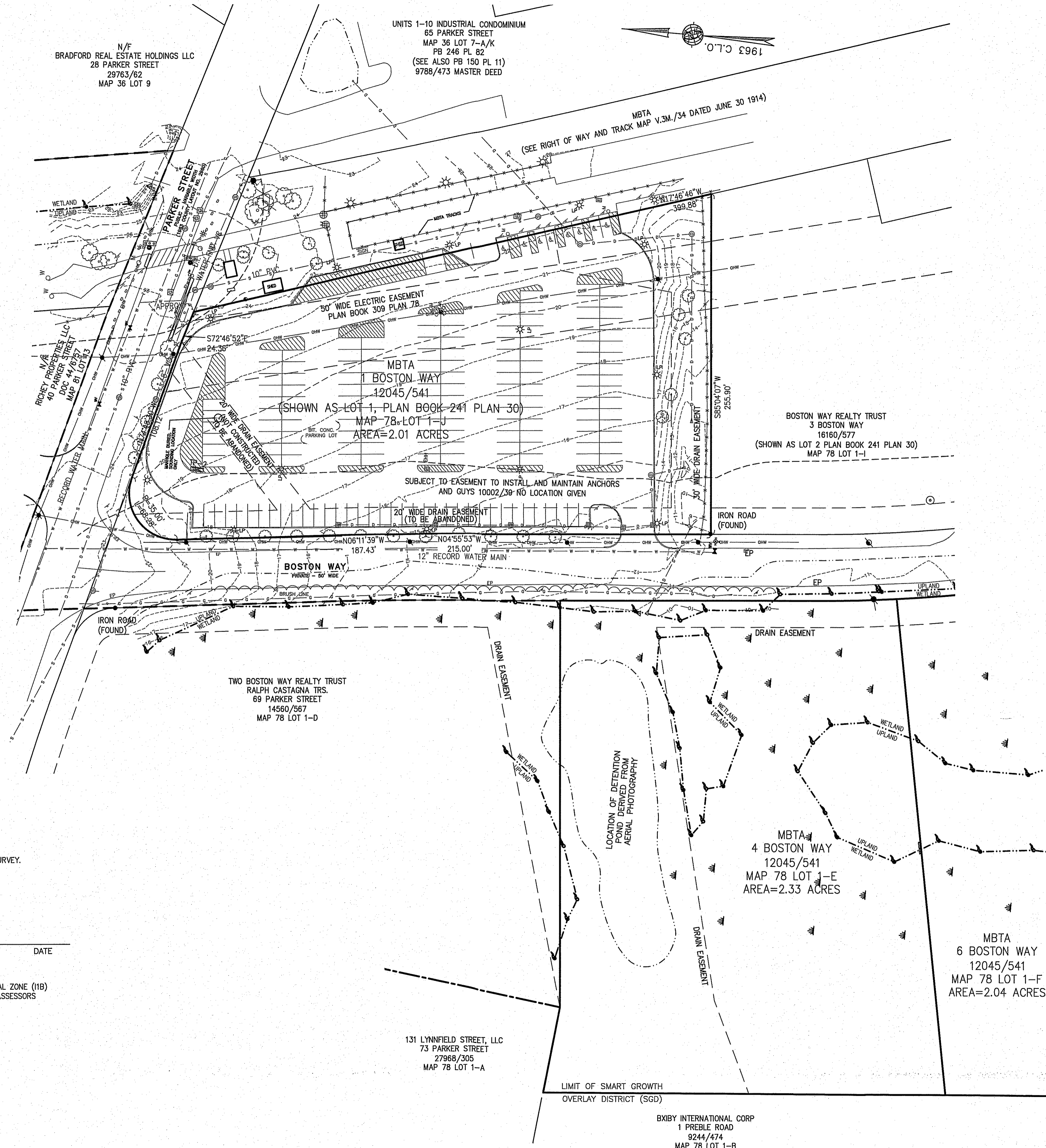
Issue date: 04-06-2016

revisions:

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Job number:
MCG-3205
L2.0

- LEGEND:**
- GAS METER
 - ELECTRIC MANHOLE
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 - ⊙ SEWER MANHOLE
 - ⊙ DRAIN MANHOLE
 - ⊙ HYDRANT
 - ⊙ UTILITY POLE
 - ⊙ UTILITY POLE WITH LIGHT
 - * LIGHT POLE
 - ⊙ STONE POST
 - SIGN
 - MAILBOX
 - +73.86 SPOT GRADE
 - W WATER LINE
 - D DRAIN LINE
 - S SEWER LINE
 - E ELECTRIC LINE
 - T TELEPHONE LINE
 - GAS GAS LINE
 - OHW OVERHEAD WIRES
 - - - 1 FOOT CONTOUR
 - - - 5 FOOT CONTOUR
 - X X WOOD FENCE
 - WETLANDS LINE
 - - - WETLANDS BUFFER LINE



- REFERENCES:**
1. ESSEX COUNTY REGISTRY OF DEEDS, SOUTH DISTRICT
 - DEED BOOK 12045 PAGE 541
 - DEED BOOK 14148 PAGE 279
 - DEED BOOK 15081 PAGE 486
 - DEED BOOK 15081 PAGE 499
 - PLAN BOOK 309 PLAN 78
 - PLAN BOOK 248 PLAN 82
 - PLAN BOOK 241 PLAN 30
 - PLAN BOOK 232 PLAN 2
 - PLAN BOOK 150 PLAN 11
 - PLAN 450 OF 1950
 - PLAN 349 OF 1950
 - 1963 COUNTY LAYOUT NO. 2960
 - BOSTON AND MAINE RAILROAD RIGHT OF WAY AND TRACK MAP V.3M./34
- 2. CITY OF NEWBURYPORT ENGINEERING RECORDS GIS AND ASSESSORS MAP**

- EXISTING CONDITIONS PLAN NOTES:**
1. FIELD SURVEY PERFORMED: OCTOBER OF 2013 THROUGH DECEMBER OF 2015.
 2. THIS PLAN IS PREPARED FOR OUR CLIENT USE ONLY FOR THE SPECIFIC PURPOSE OF OBTAINING PERMITS FOR CONSTRUCTION, AND IS NOT TO BE USED FOR ANY OTHER USE BY OTHERS WITHOUT THE WRITTEN CONSENT OF DGT.
 3. ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND ARE BASED ON LOCATIONS OF OBSERVABLE FIELD EVIDENCE. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, REPAVING OR OTHER CONSTRUCTION, ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS. CALL "DIG SAFE" AT 1-888-344-7233. THE DGT SURVEY GROUP ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED.
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AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.

PROFESSIONAL LAND SURVEYOR _____ DATE _____

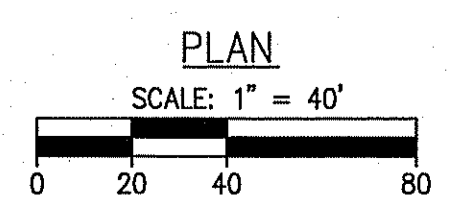
ZONING:
THE SUBJECT PROPERTY IS LISTED AS BEING IN THE INDUSTRIAL ZONE (I1B)
ZONING DISTRICT ACCORDING TO THE CITY OF NEWBURYPORT ASSESSORS
DEPARTMENT.

LOCUS DATA:
OWNER: MBTA, 1 BOSTON WAY NEWBURYPORT, MA 01950
DEED BOOK 12045, PAGE 541, ASSESSORS MAP 78, LOT 1

131 LYNNFIELD STREET, LLC
73 PARKER STREET
27968/305
MAP 78 LOT 1-A

LIMIT OF SMART GROWTH
OVERLAY DISTRICT (SGD)

EXIBY INTERNATIONAL CORP
1 PREBLE ROAD
9244/474
MAP 78 LOT 1-B



PREPARED BY:
DGT SURVEY GROUP - NORTH SHORE
A DIVISION OF DIGITAL GEOGRAPHIC TECHNOLOGIES, INC.

18 CENTER STREET
SUITE 1
NEWBURYPORT, MA
01950

TEL: 978-465-9992
info@dgtsurvey.com
www.dgtsurvey.com

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architect:

GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.gsd-assoc.com

civil engineer:

The Morin-Cameron GROUP, INC.
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Tel: 978.687.6200

sheet title:

Overall Existing
Conditions Plan

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

issue date: 12-16-2015

- revisions:
- 01-27-16
 - 03-02-16
 - 03-31-16

dr. _____ chk. _____

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job number:
MCG- 3205

C-2

EXISTING CONDITIONS PLAN NOTES:

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2. THIS PLAN IS PREPARED FOR OUR CLIENT USE ONLY FOR THE SPECIFIC PURPOSE OF OBTAINING PERMITS FOR CONSTRUCTION, AND IS NOT TO BE USED FOR ANY OTHER USE BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE MORIN-CAMERON GROUP.
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4. WETLAND RESOURCE AREAS SHOWN ON THIS PLAN WERE DELINEATED IN DECEMBER 2015 BY LEC ENVIRONMENTAL CONSULTANTS, INC. - 384 LOWELL STREET, SUITE 206, WAKEFIELD, MA.

FLOOD NOTE:

1. THE SUBJECT PROPERTY IS LOCATED IN A ZONE X: AREA OF MINIMAL FLOOD HAZARD ABOVE THE 500-YEAR FLOOD LEVEL AS ILLUSTRATED ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25009C-0117G, WHICH HAS AN EFFECTIVE DATE OF JULY 16, 2014.

REFERENCES:

1. ESSEX COUNTY REGISTRY OF DEEDS, SOUTH DISTRICT
 DEED BOOK 12045 PAGE 541
 DEED BOOK 14148 PAGE 279
 DEED BOOK 15081 PAGE 486
 DEED BOOK 15081 PAGE 499
 PLAN BOOK 309 PLAN 78
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 PLAN 450 OF 1950
 PLAN 349 OF 1950
 1963 COUNTY LAYOUT NO. 2960
 BOSTON AND MAINE RAILROAD RIGHT OF WAY AND TRACK MAP V.3M/34
2. CITY OF NEWBURYPORT ENGINEERING RECORDS
 GIS AND ASSESSORS MAP

I HEREBY CERTIFY THAT:

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PROFESSIONAL LAND SURVEYOR DATE

ZONING:

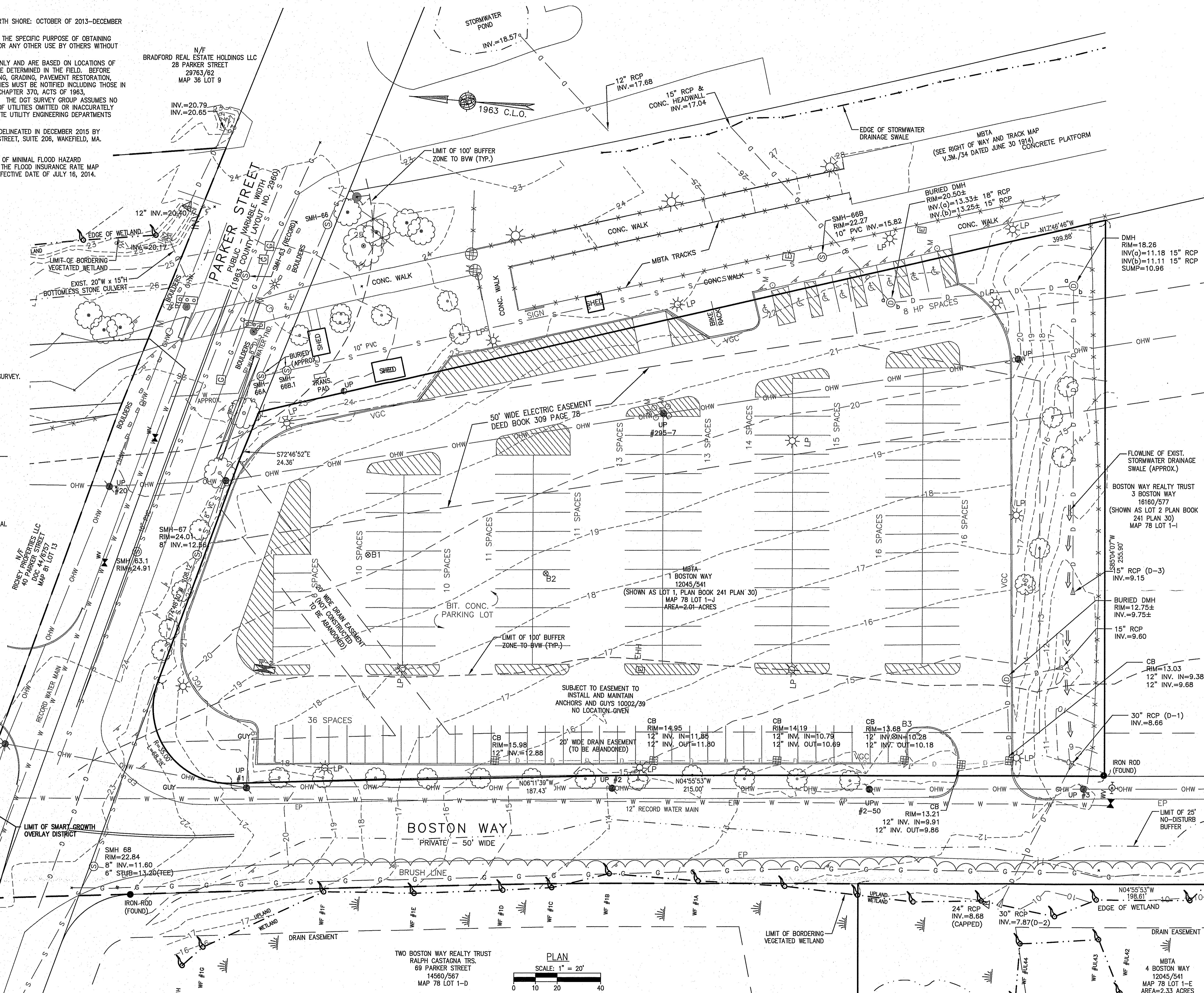
THE SUBJECT PROPERTY IS LISTED AS BEING IN THE INDUSTRIAL (I1B) ZONING DISTRICT AND THE SMART GROWTH OVERLAY DISTRICT, ACCORDING TO THE CITY OF NEWBURYPORT ASSESSORS DEPARTMENT.

LOCUS DATA:

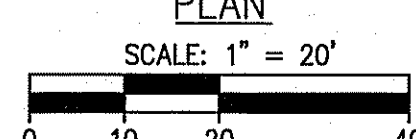
OWNER: MBTA, 1 BOSTON WAY NEWBURYPORT, MA 01950
 DEED BOOK 12045, PAGE 541. ASSESSORS MAP 78, LOT 1

LEGEND:

- GAS METER
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- CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ HYDRANT
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE W/ LIGHT
- * LIGHT POLE
- SIGN
- ⊙ B1 BORING
- WATER LINE
- DRAIN LINE
- SEWER LINE
- ELECTRIC LINE
- GAS LINE
- OHW OVERHEAD WIRES
- 1 FOOT CONTOUR
- 5 FOOT CONTOUR
- X WOOD FENCE
- WETLANDS LINE



TWO BOSTON WAY REALTY TRUST
 RALPH CASTAGNA TRS.
 69 PARKER STREET
 14560/567
 MAP 78 LOT 1-D



surveyor:
 DGT SURVEY GROUP - NORTH SHORE, LLC
 18 Center Street
 Newburyport, MA 01950
 Tel: 978-465-9992
 www.dgtsurvey.com

architect:
 GSD Associates, LLC
 146 Main Street
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 25 Kingston Street 5th Floor
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Project Name:
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 1 Boston Way
 Newburyport, MA

sheet title:
 Existing Conditions Plan

Issue date:
 12-16-2015

revisions:
 01-27-16
 03-02-16

dr. chk.

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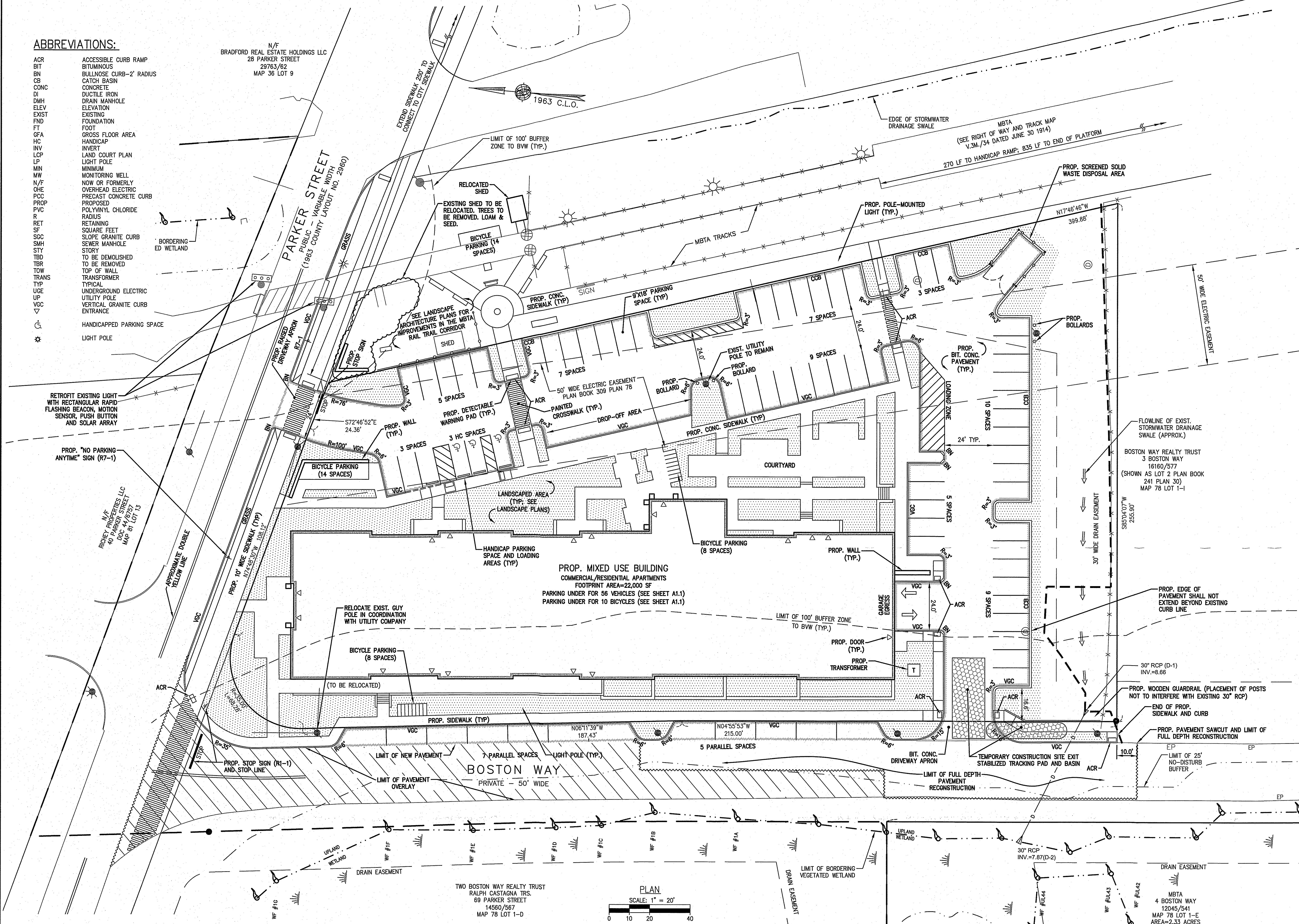
Job number:
 MCG- 3205

C-3

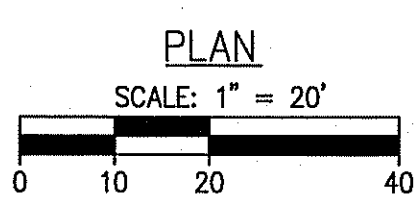
ABBREVIATIONS:

ACR	ACCESSIBLE CURB RAMP
BIT	BITUMINOUS
BN	BULLNOSE CURB-2' RADIUS
CB	CATCH BASIN
CONC	CONCRETE
DI	DUCTILE IRON
DMH	DRAIN MANHOLE
ELEV	ELEVATION
EXIST	EXISTING
FND	FOUNDATION
FT	FOOT
GFA	GROSS FLOOR AREA
HC	HANDICAP
INV	INVERT
LOP	LAND COURT PLAN
LP	LIGHT POLE
MIN	MINIMUM
MW	MONITORING WELL
N/F	NOW OR FORMERLY
OHE	OVERHEAD ELECTRIC
PCC	PRECAST CONCRETE CURB
PVC	PROPOSED
R	RADIUS
RET	RETAINING
SF	SQUARE FEET
SGC	SLOPE GRANITE CURB
SMH	SEWER MANHOLE
STY	STORY
TBD	TO BE DEMOLISHED
TBR	TO BE REMOVED
TOW	TOP OF WALL
TRANS	TRANSFORMER
TYP	TYPICAL
UGE	UNDERGROUND ELECTRIC
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB
▽	ENTRANCE
⊕	HANDICAPPED PARKING SPACE
⊙	LIGHT POLE

N/F
BRADFORD REAL ESTATE HOLDINGS LLC
28 PARKER STREET
29763/62
MAP 36 LOT 9



PROP. MIXED USE BUILDING
COMMERCIAL/RESIDENTIAL APARTMENTS
FOOTPRINT AREA=22,000 SF
PARKING UNDER FOR 56 VEHICLES (SEE SHEET A1.1)
PARKING UNDER FOR 10 BICYCLES (SEE SHEET A1.1)



TWO BOSTON WAY REALTY TRUST
RALPH CASTAGNA TRS.
69 PARKER STREET
14560/367
MAP 78 LOT 1-D

architect:
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:
The Morin-Cameron GROUP INC.
CIVIL ENGINEERS ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS LAND USE PLANNERS
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-6586
www.morincameron.com

landscape architect:
HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617.536.0380
www.halvorsondesign.com

owner:
One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

Project Name: 1 BOSTON WAY
sheet title: Site Layout Plan

Issue date: 12-16-2015

revisions:
01-27-16
03-02-16
03-31-16

dr: chk

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job number: MCG-3205

C-4

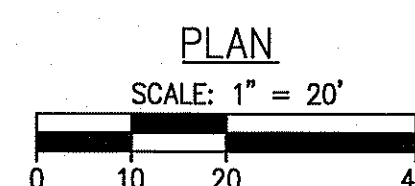
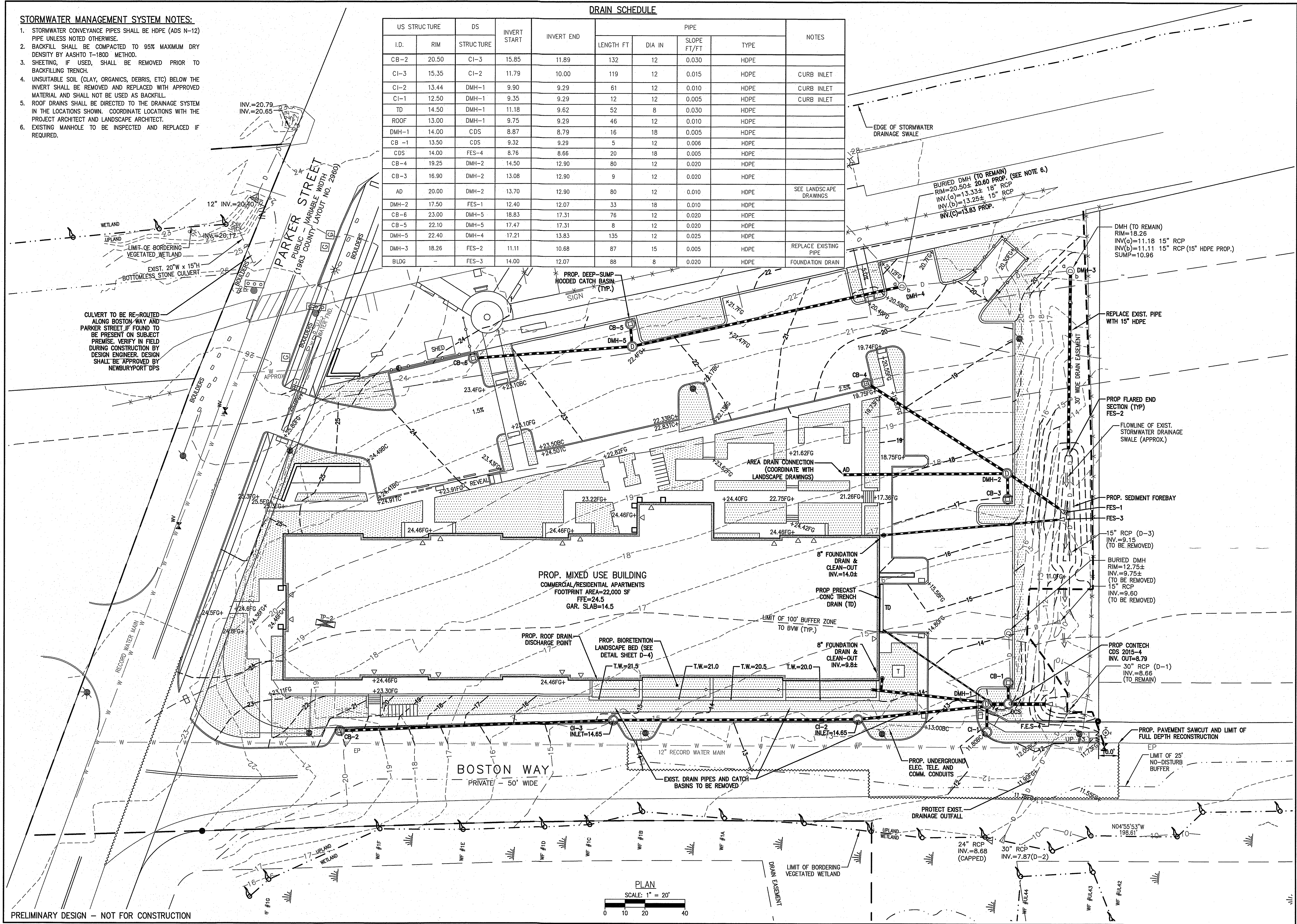
MBTA
4 BOSTON WAY
12945/541
MAP 78 LOT 1-E
AREA=2.33 ACRES

STORMWATER MANAGEMENT SYSTEM NOTES:

1. STORMWATER CONVEYANCE PIPES SHALL BE HDPE (ADS N-12) PIPE UNLESS NOTED OTHERWISE.
2. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-180D METHOD.
3. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH.
4. UNSUITABLE SOIL (CLAY, ORGANICS, DEBRIS, ETC) BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
5. ROOF DRAINS SHALL BE DIRECTED TO THE DRAINAGE SYSTEM IN THE LOCATIONS SHOWN. COORDINATE LOCATIONS WITH THE PROJECT ARCHITECT AND LANDSCAPE ARCHITECT.
6. EXISTING MANHOLE TO BE INSPECTED AND REPLACED IF REQUIRED.

DRAIN SCHEDULE

US STRUCTURE I.D.	RIM	DS STRUCTURE	INVERT START	INVERT END	LENGTH FT	PIPE			NOTES
						DIA IN	SLOPE FT/FT	TYPE	
CB-2	20.50	CI-3	15.85	11.89	132	12	0.030	HDPE	
CI-3	15.35	CI-2	11.79	10.00	119	12	0.015	HDPE	CURB INLET
CI-2	13.44	DMH-1	9.90	9.29	61	12	0.010	HDPE	CURB INLET
CI-1	12.50	DMH-1	9.35	9.29	12	12	0.005	HDPE	CURB INLET
TD	14.50	DMH-1	11.18	9.62	52	8	0.030	HDPE	
ROOF	13.00	DMH-1	9.75	9.29	46	12	0.010	HDPE	
DMH-1	14.00	CDS	8.87	8.79	16	18	0.005	HDPE	
CB-1	13.50	CDS	9.32	9.29	5	12	0.006	HDPE	
CDS	14.00	FES-4	8.76	8.66	20	18	0.005	HDPE	
CB-4	19.25	DMH-2	14.50	12.90	80	12	0.020	HDPE	
CB-3	16.90	DMH-2	13.08	12.90	9	12	0.020	HDPE	
AD	20.00	DMH-2	13.70	12.90	80	12	0.010	HDPE	SEE LANDSCAPE DRAWINGS
DMH-2	17.50	FES-1	12.40	12.07	33	18	0.010	HDPE	
CB-6	23.00	DMH-5	18.83	17.31	76	12	0.020	HDPE	
CB-5	22.10	DMH-5	17.47	17.31	8	12	0.020	HDPE	
DMH-5	22.40	DMH-4	17.21	13.83	135	12	0.025	HDPE	
DMH-3	18.26	FES-2	11.11	10.68	87	15	0.005	HDPE	REPLACE EXISTING PIPE
BLDG	-	FES-3	14.00	12.07	88	8	0.020	HDPE	FOUNDATION DRAIN



PRELIMINARY DESIGN - NOT FOR CONSTRUCTION

PERMIT DRAWING - NOT FOR CONSTRUCTION

architect:
GSD Associates, LLC
 146 Main Street
 North Andover, MA 01845
 Tel: 978-688-5422
 www.gsd-assoc.com

civil engineer:
The Morin-Cameron Group, Inc.
 CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
 LAND SURVEYORS | LAND USE PLANNERS
 447 Boston Street
 Topsheld, MA 01963
 Tel: 978-687-8586
 www.morincameron.com

landscape architect
HALYORSON DESIGN PARTNERSHIP
 25 Kingston Street 5th Floor
 Boston, Massachusetts 02111
 Tel: 617.536.0380
 www.halyorsondesign.com

owner
One Boston Way, LLC
 231 Sutton Street Suite 1B
 North Andover, MA 01845
 Tel: 978.687.6200

Project Name: 1 BOSTON WAY
sheet title: Grading & Drainage Plan

issue date: 12-16-2015

revisions:
 01-27-16
 03-02-16
 03-31-16

dr. chk.
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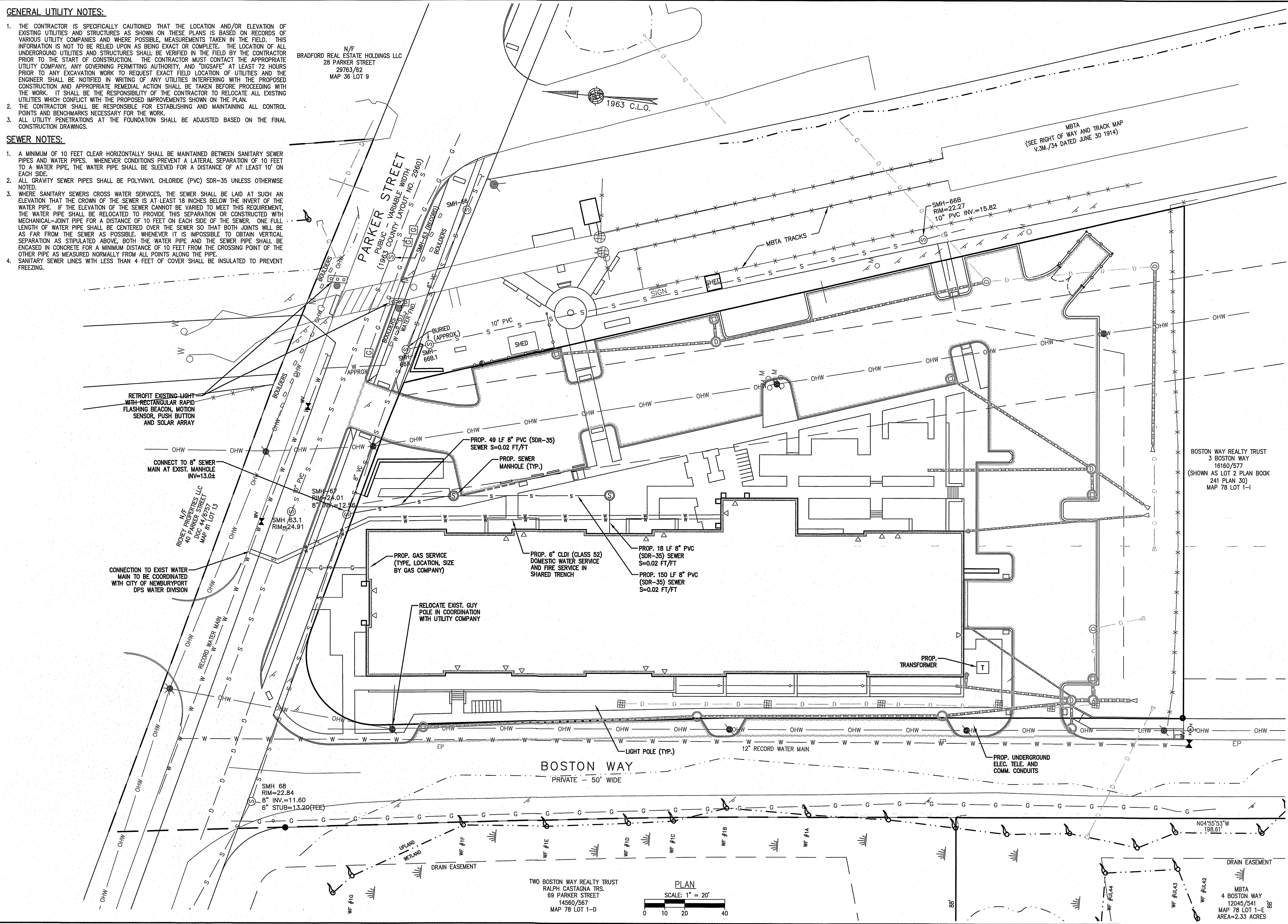
job number: MCG- 3205
C-5

GENERAL UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. ALL UTILITY PENETRATIONS AT THE FOUNDATION SHALL BE ADJUSTED BASED ON THE FINAL CONSTRUCTION DRAWINGS.

SEWER NOTES:

1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER PIPES AND WATER PIPES. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER PIPE, THE WATER PIPE SHALL BE SLEEVED FOR A DISTANCE OF AT LEAST 10' ON EACH SIDE.
2. ALL GRAVITY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
3. WHERE SANITARY SEWERS CROSS WATER SERVICES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER PIPE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER PIPE AND THE SEWER PIPE SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
4. SANITARY SEWER LINES WITH LESS THAN 4 FEET OF COVER SHALL BE INSULATED TO PREVENT FREEZING.



architect:

GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.gsd-assoc.com

civil engineer:

The Morn-Cameron GROUP INC.
CIVIL ENGINEERS ENVIRONMENTAL CONSULTANTS
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.morn-cameron.com

landscape architect

HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
3 Boston Way
16160/577
(SHOWN AS LOT 2 PLAN BOOK
241 PLAN 30)
MAP 78 LOT 1-I

sheet title:

Utility Plan

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

issue date: 12-16-2015

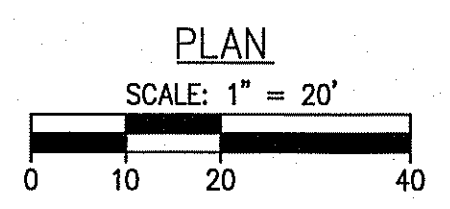
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 03-31-16

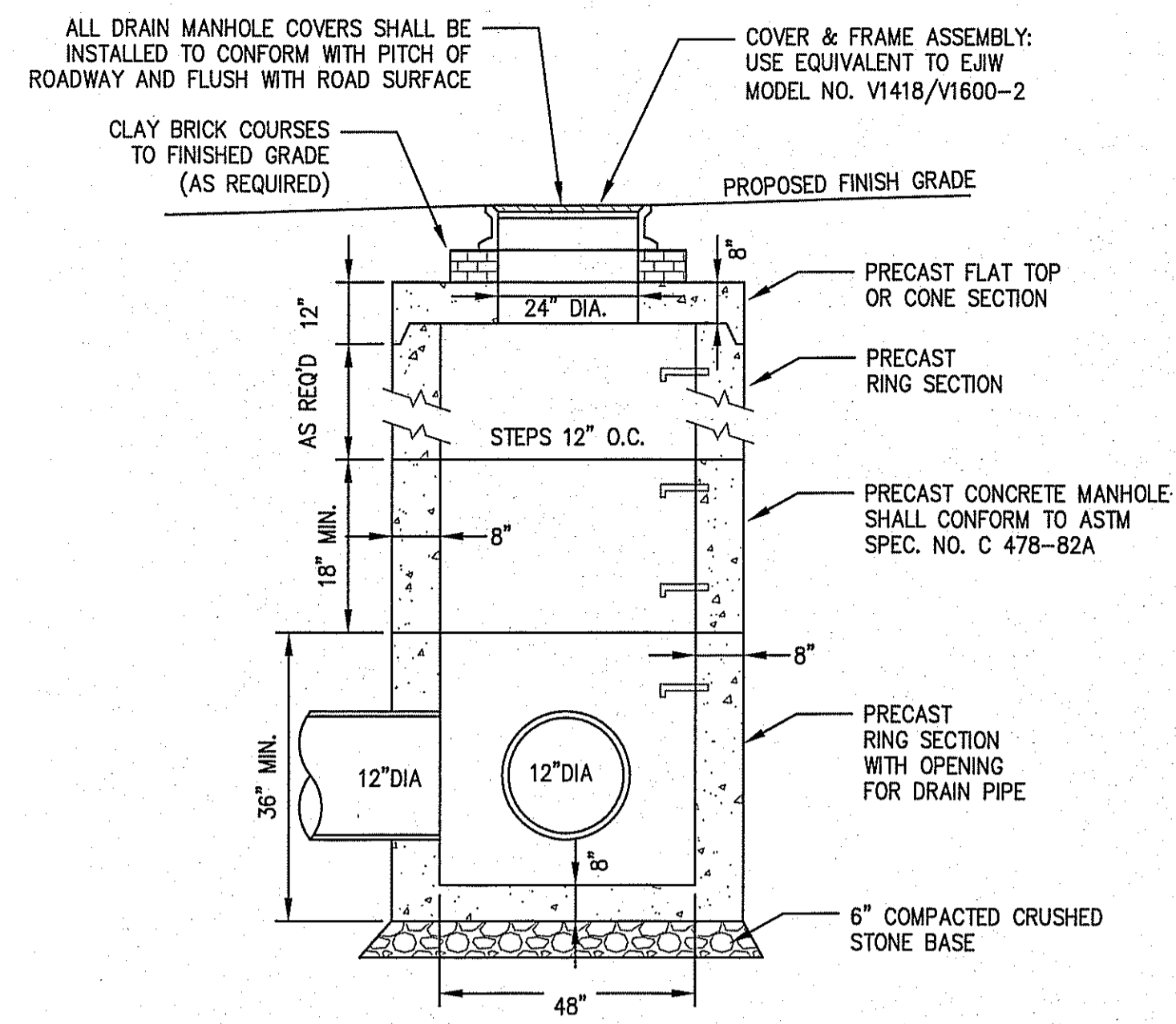
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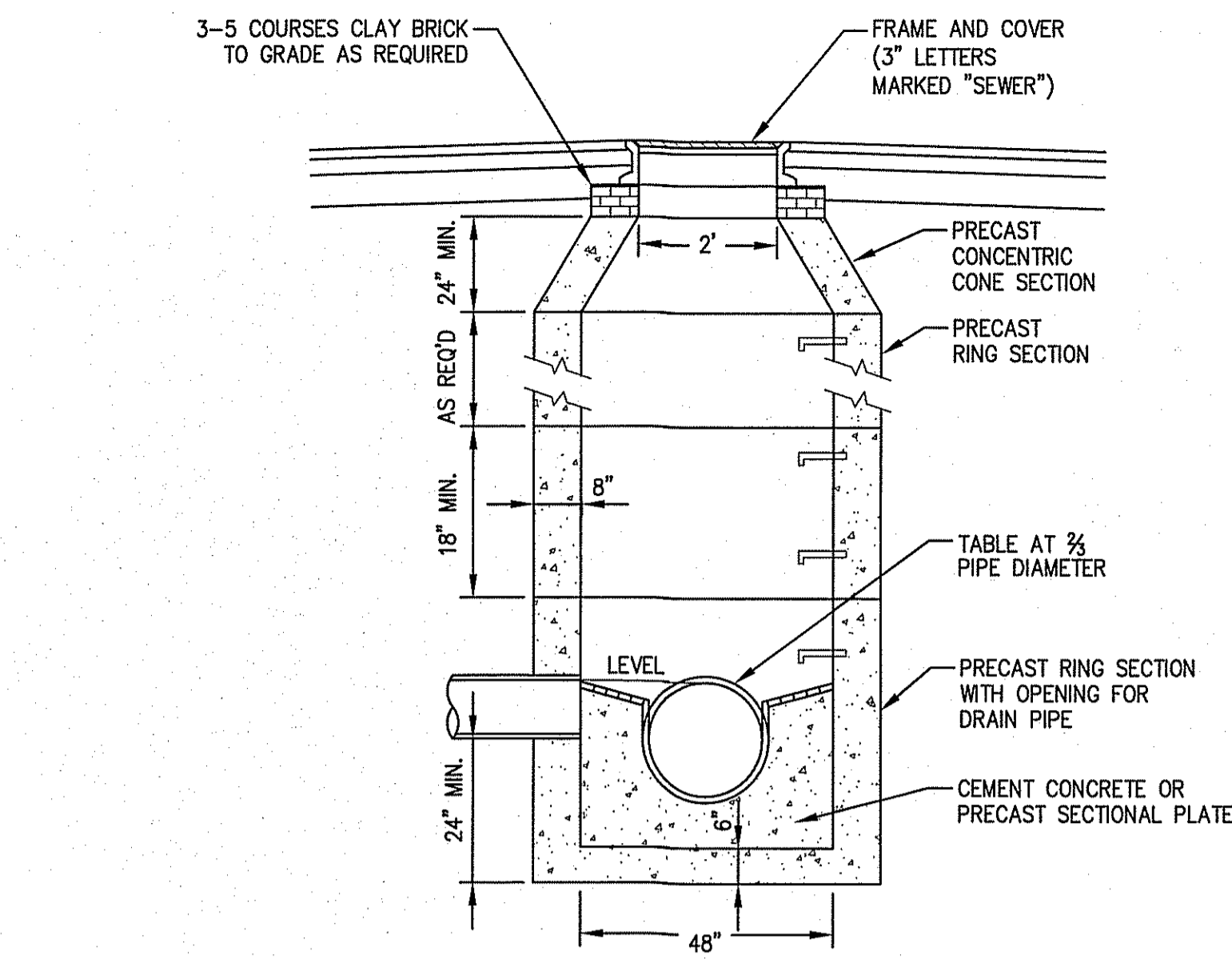
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MCG-3205

C-6

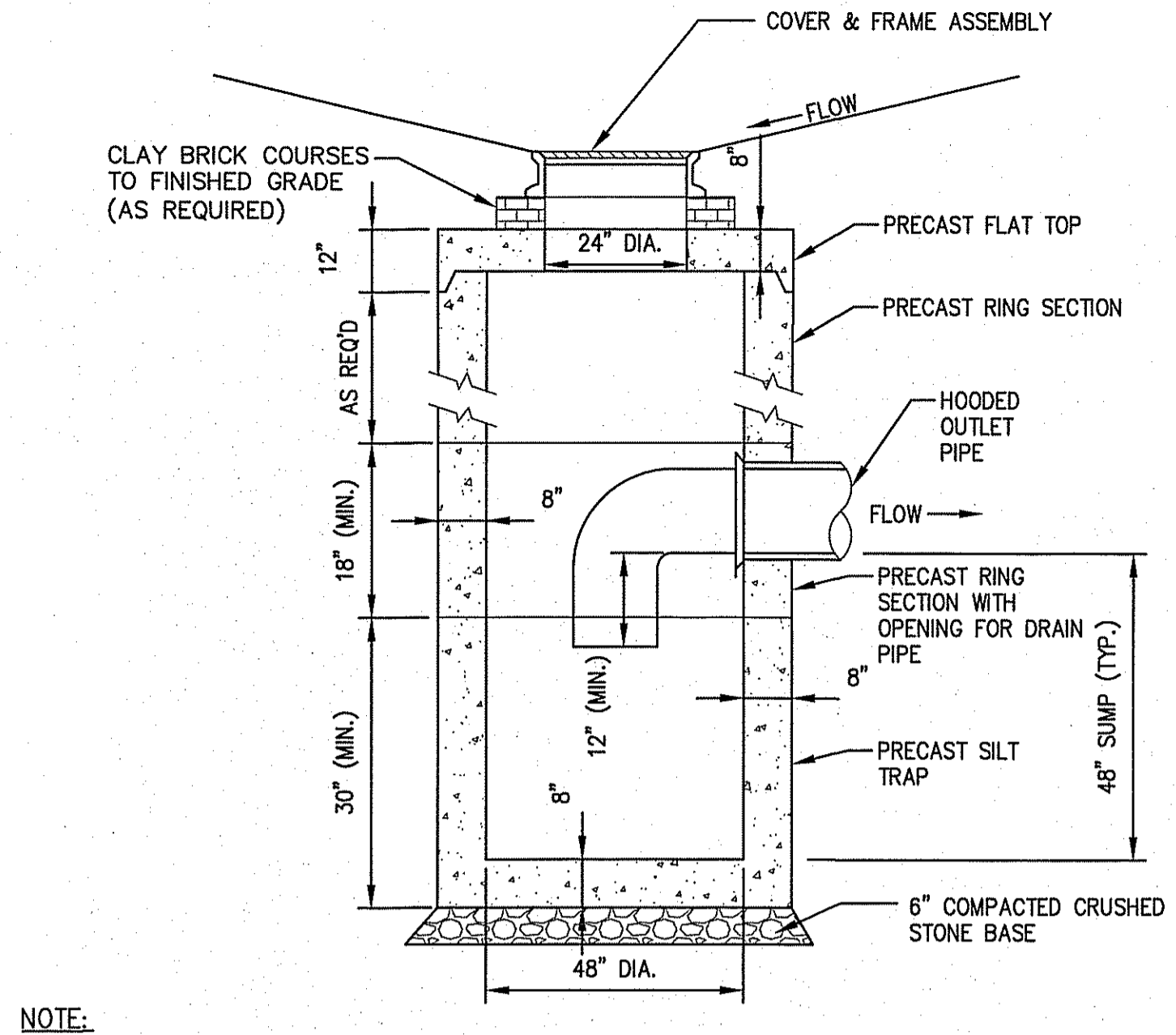




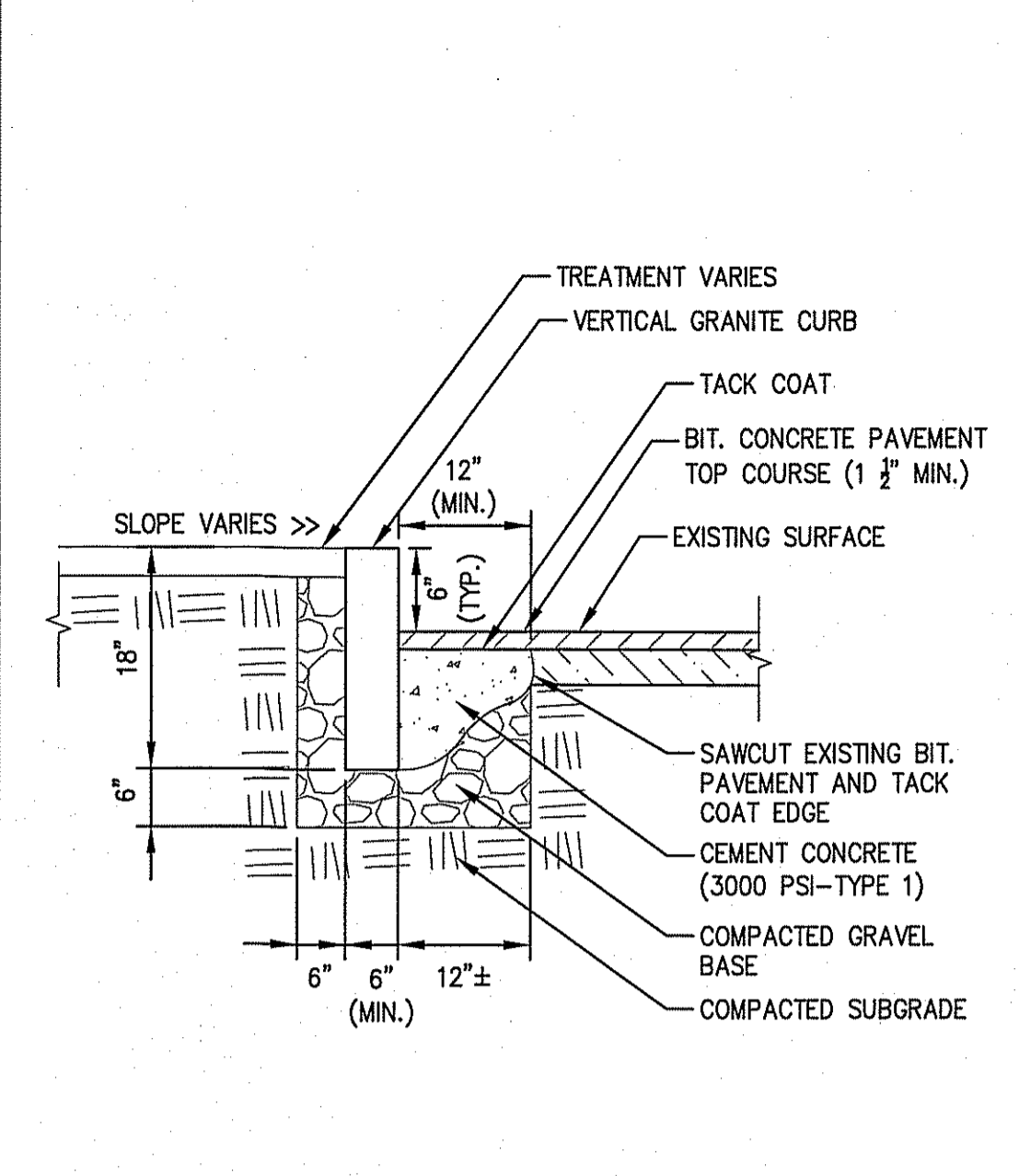
TYPICAL DRAIN MANHOLE
(NOT TO SCALE)



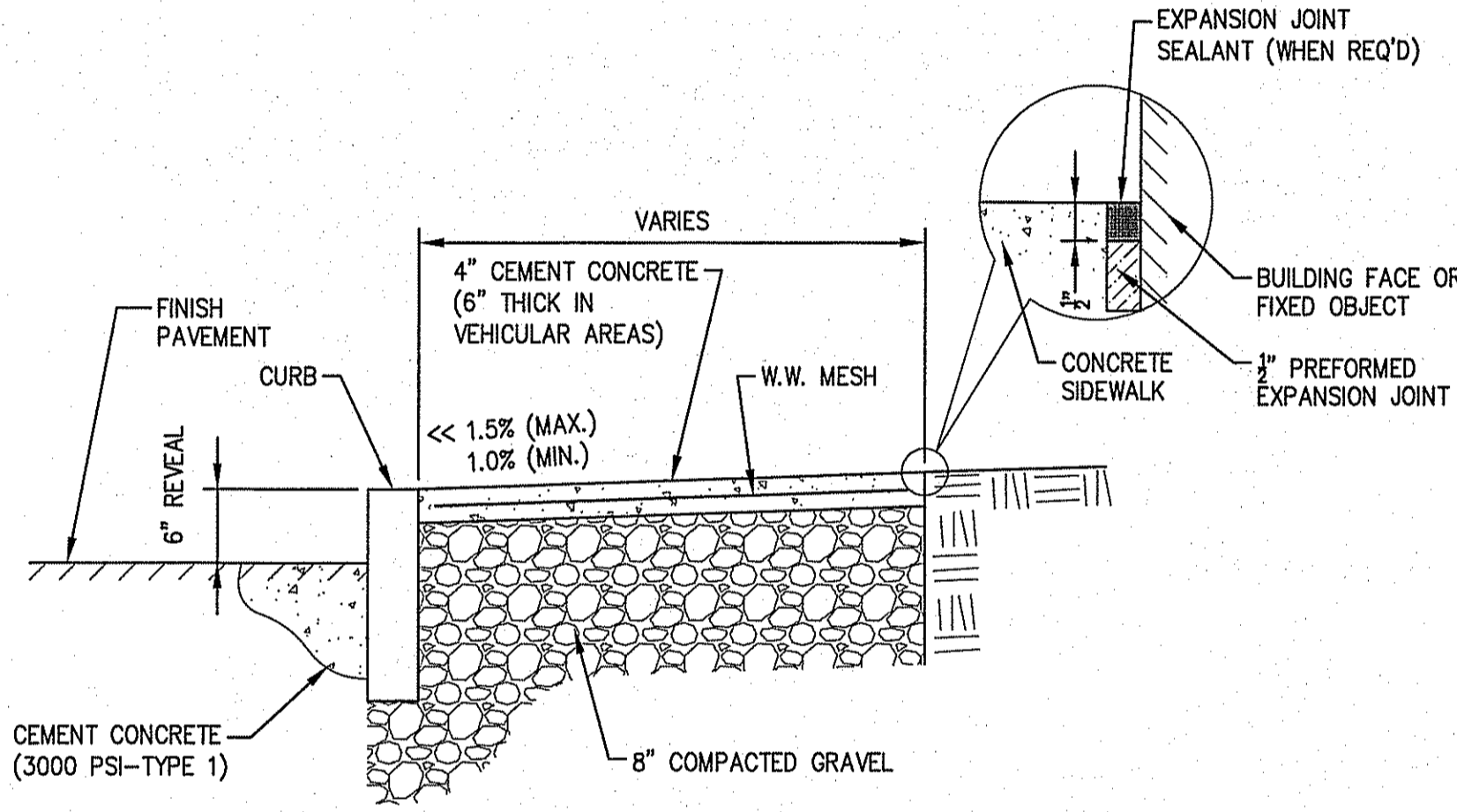
TYPICAL SEWER MANHOLE
(NOT TO SCALE)



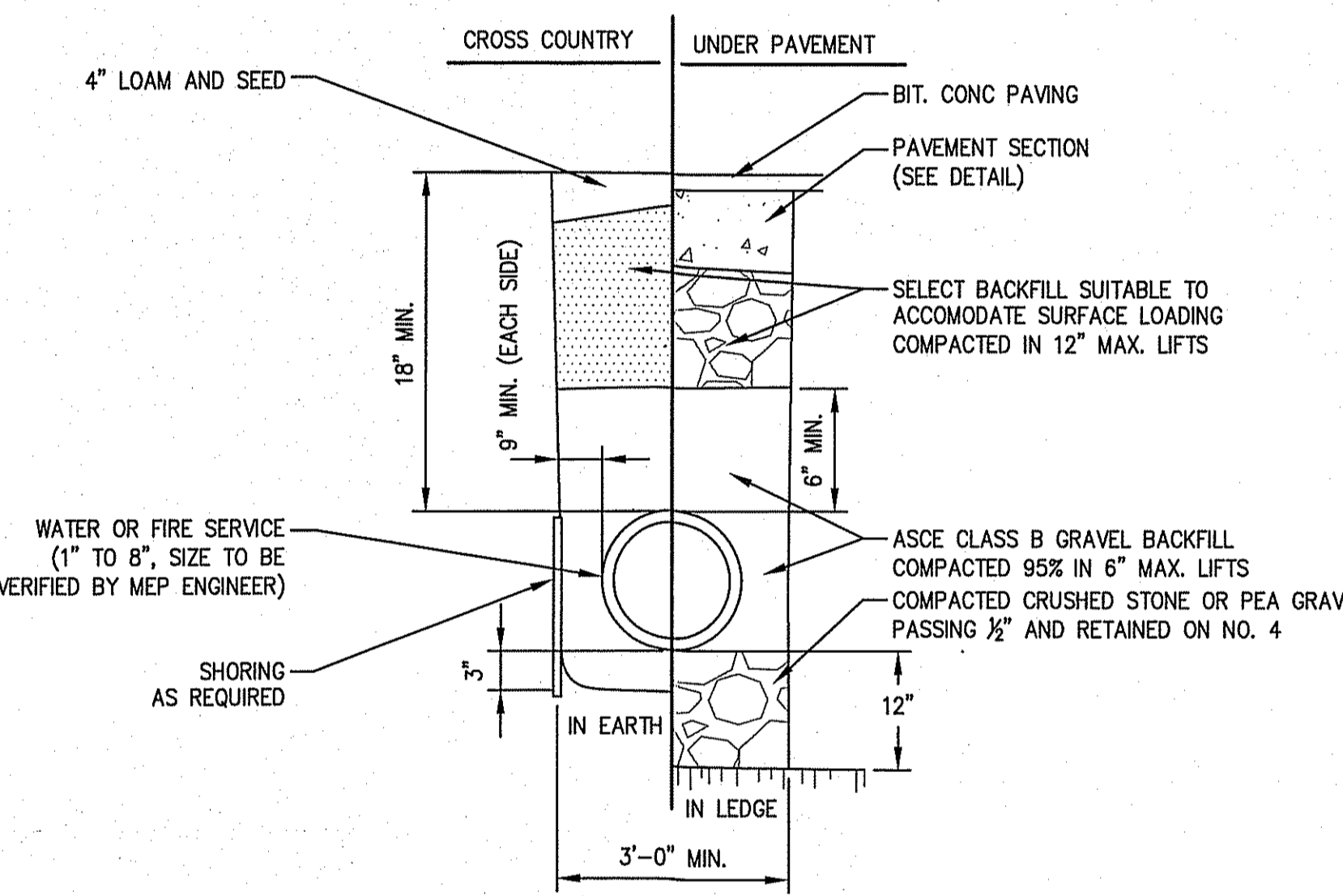
TYPICAL CATCH BASIN
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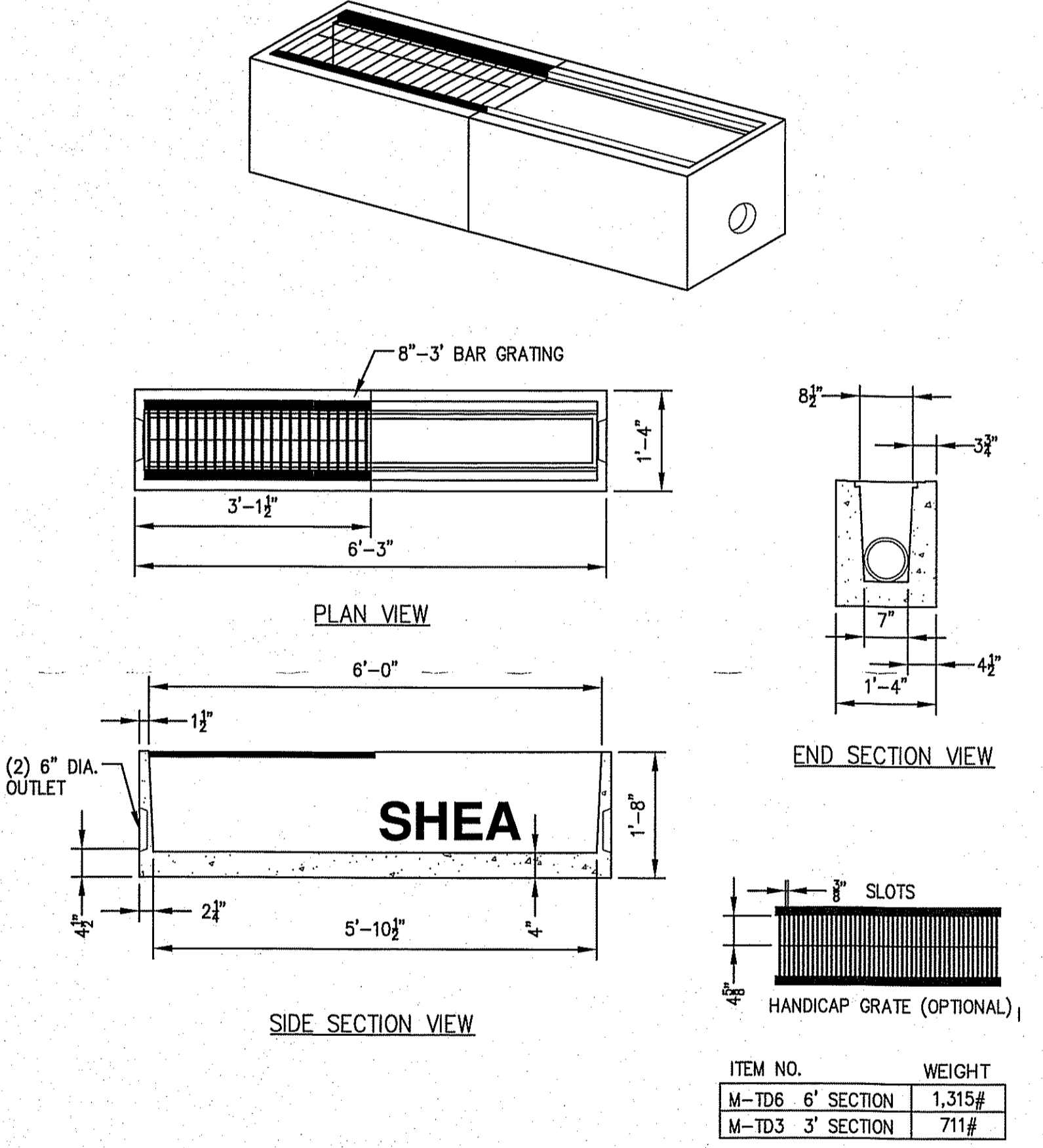
VERTICAL GRANITE CURB
(NOT TO SCALE)



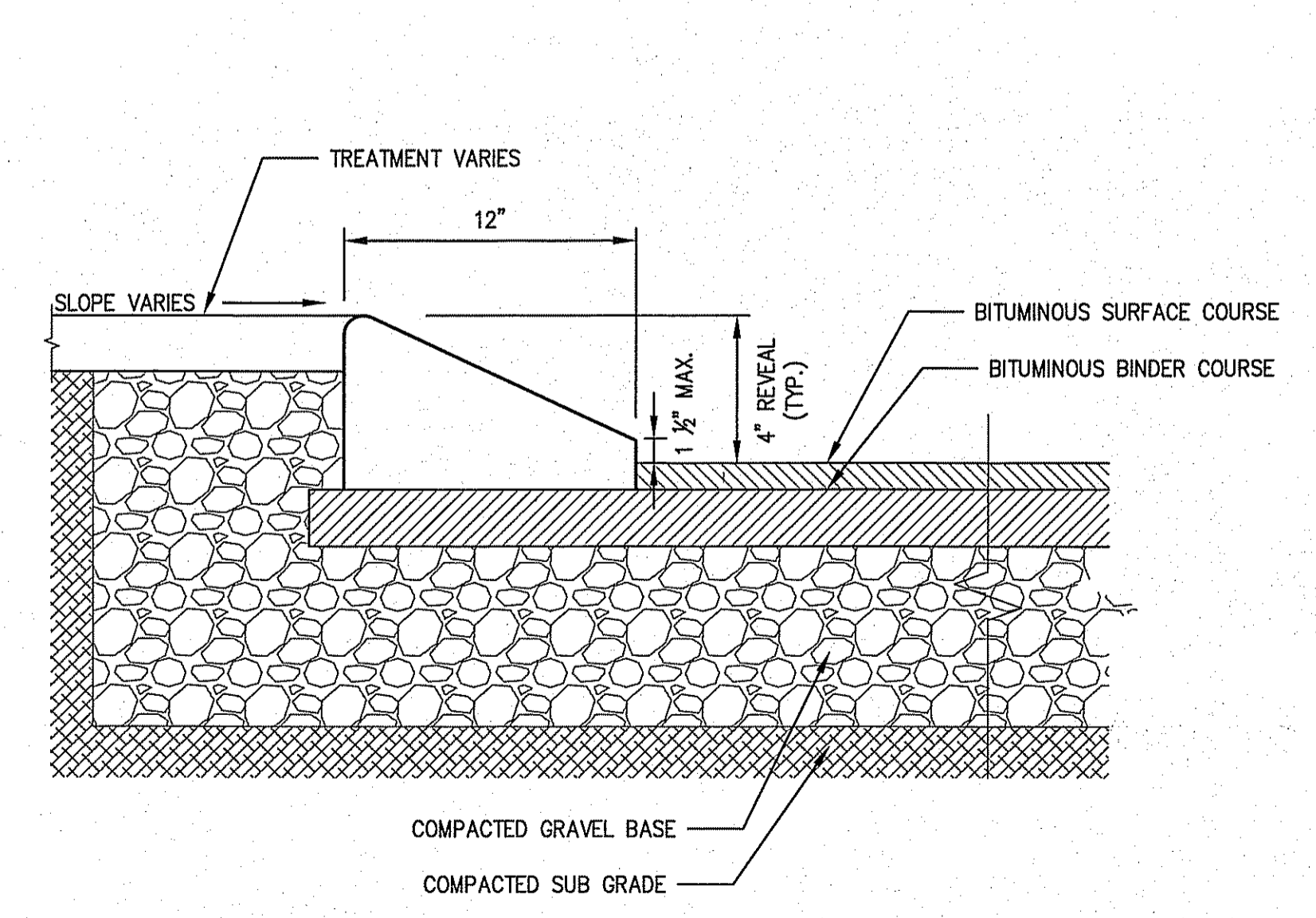
CONCRETE SIDEWALK
(NOT TO SCALE)



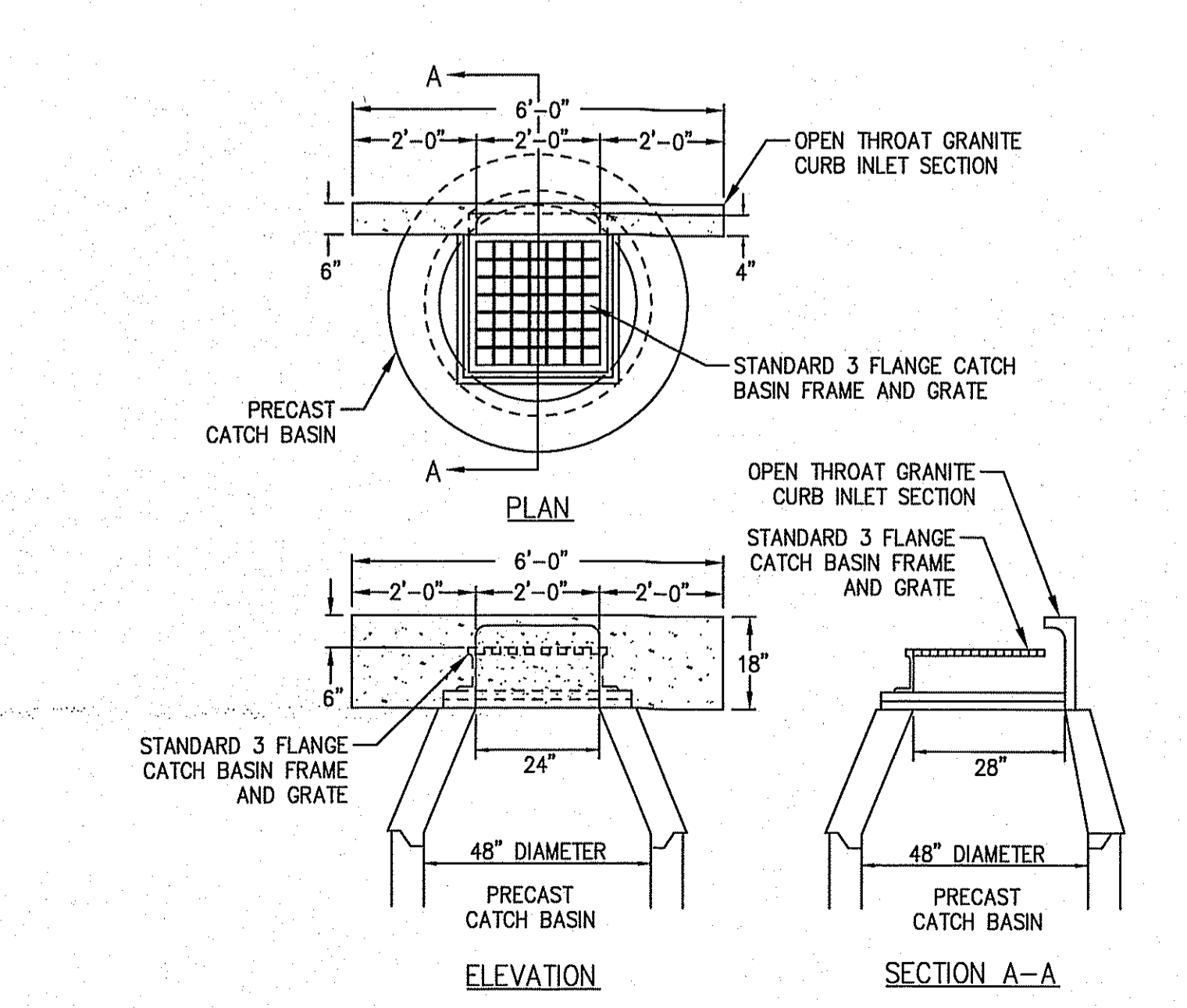
UTILITY TRENCH DETAIL
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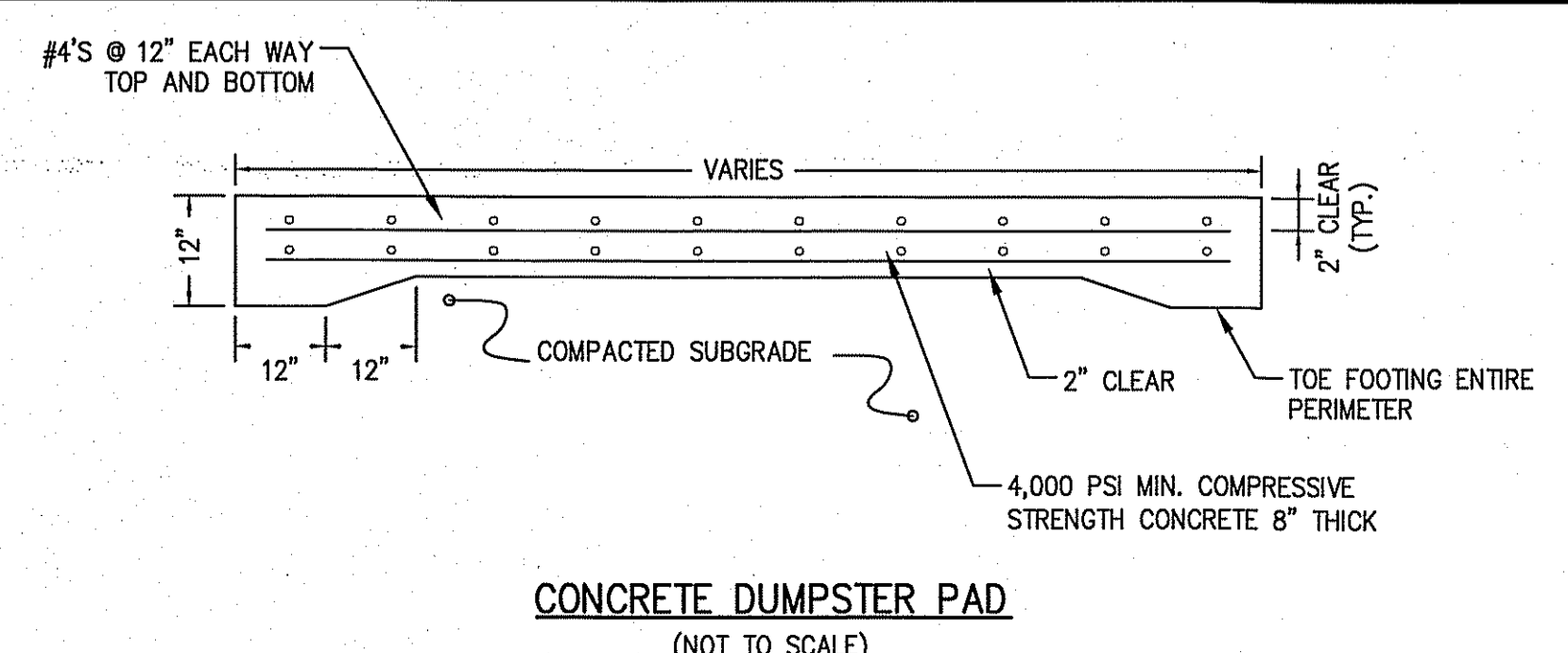
TRENCH DRAIN
(NOT TO SCALE)



CAPE COD BERM (CCB)
(NOT TO SCALE)



GRANITE CURB INLET
(NOT TO SCALE)



CONCRETE DUMPSTER PAD
(NOT TO SCALE)

architect:
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.gsd-assoc.com

civil engineer:
The Morin-Cameron GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
PLANNING AND USE PLANNING
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Topsfield, MA 01983
Tel: 978-887-8586
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landscape architect
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25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner
One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
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sheet title:
Details I

Project Name:
1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

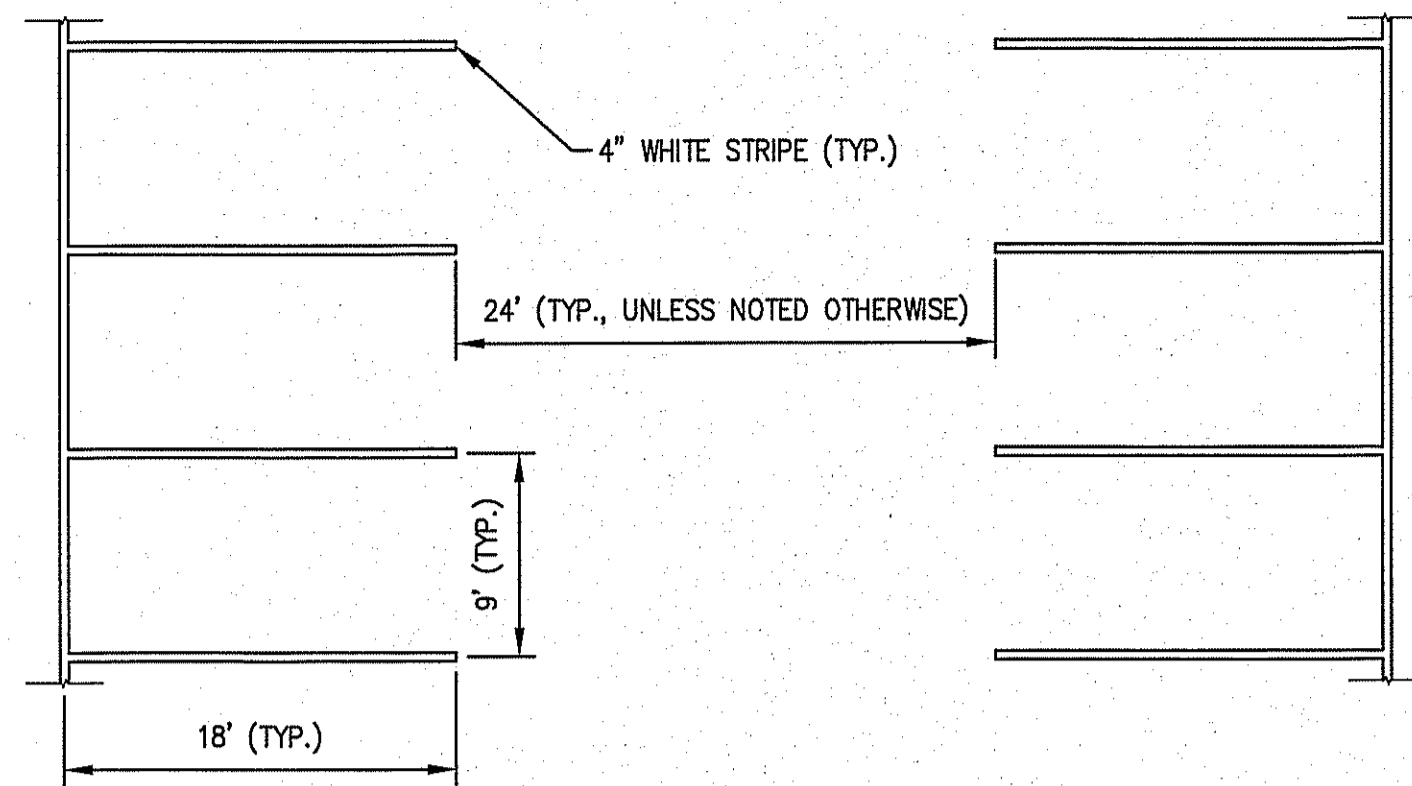
revisions:
03-02-16
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dr.: chk

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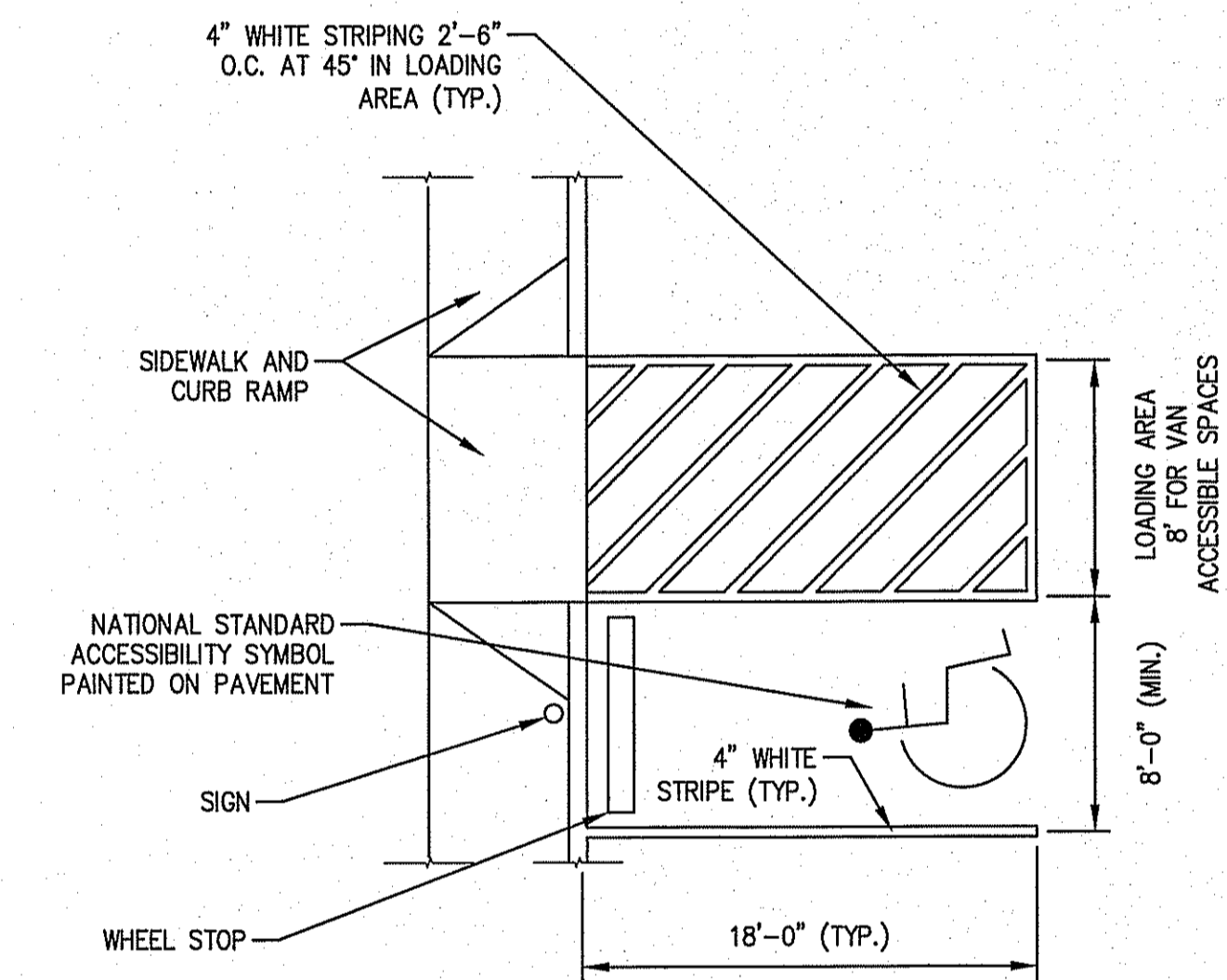
job number:
MCG- 3205

D-1



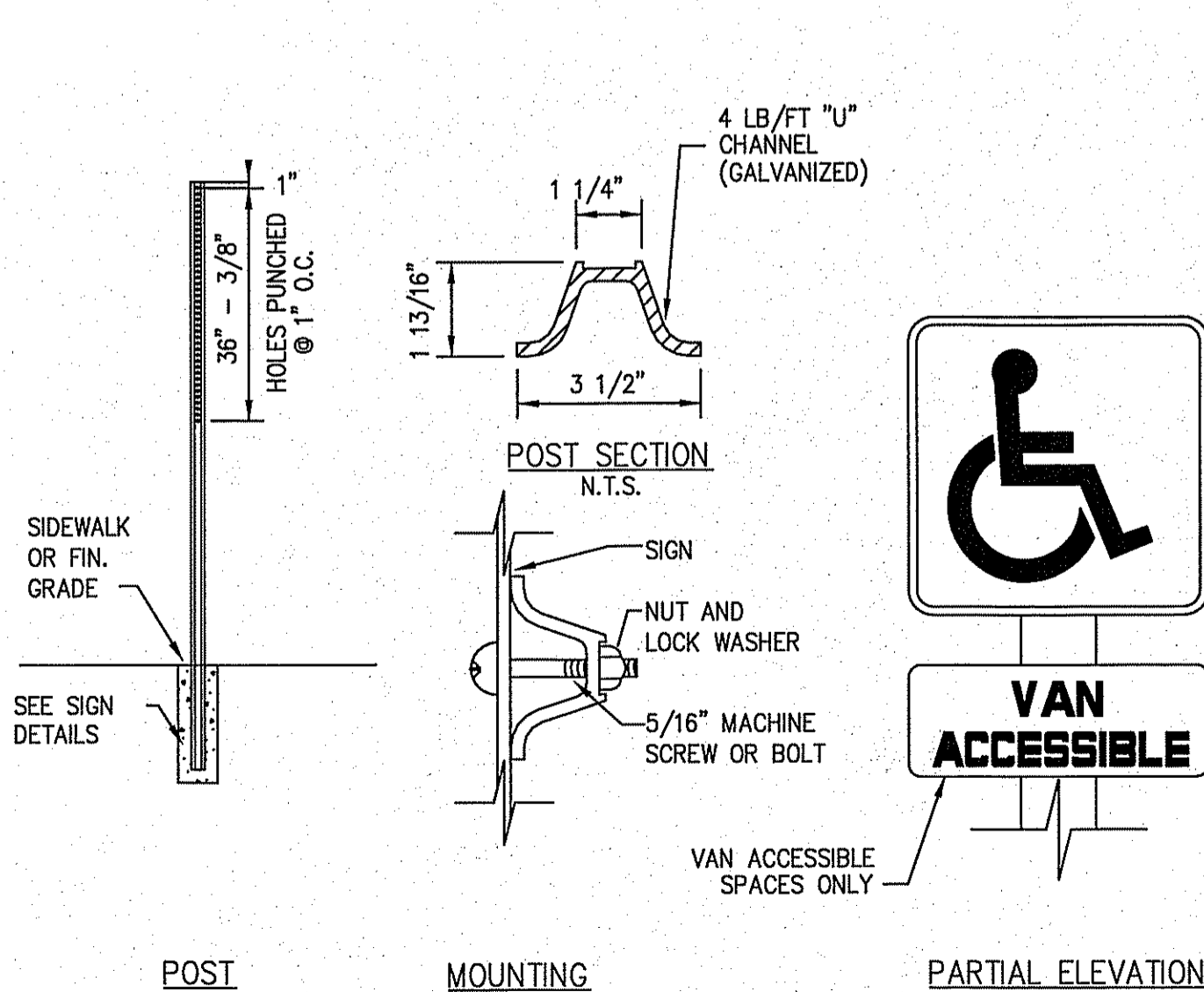
NOTE:
1. PARALLEL SPACES SHALL BE 8'x22'.

PARKING SPACE STRIPING
(NOT TO SCALE)

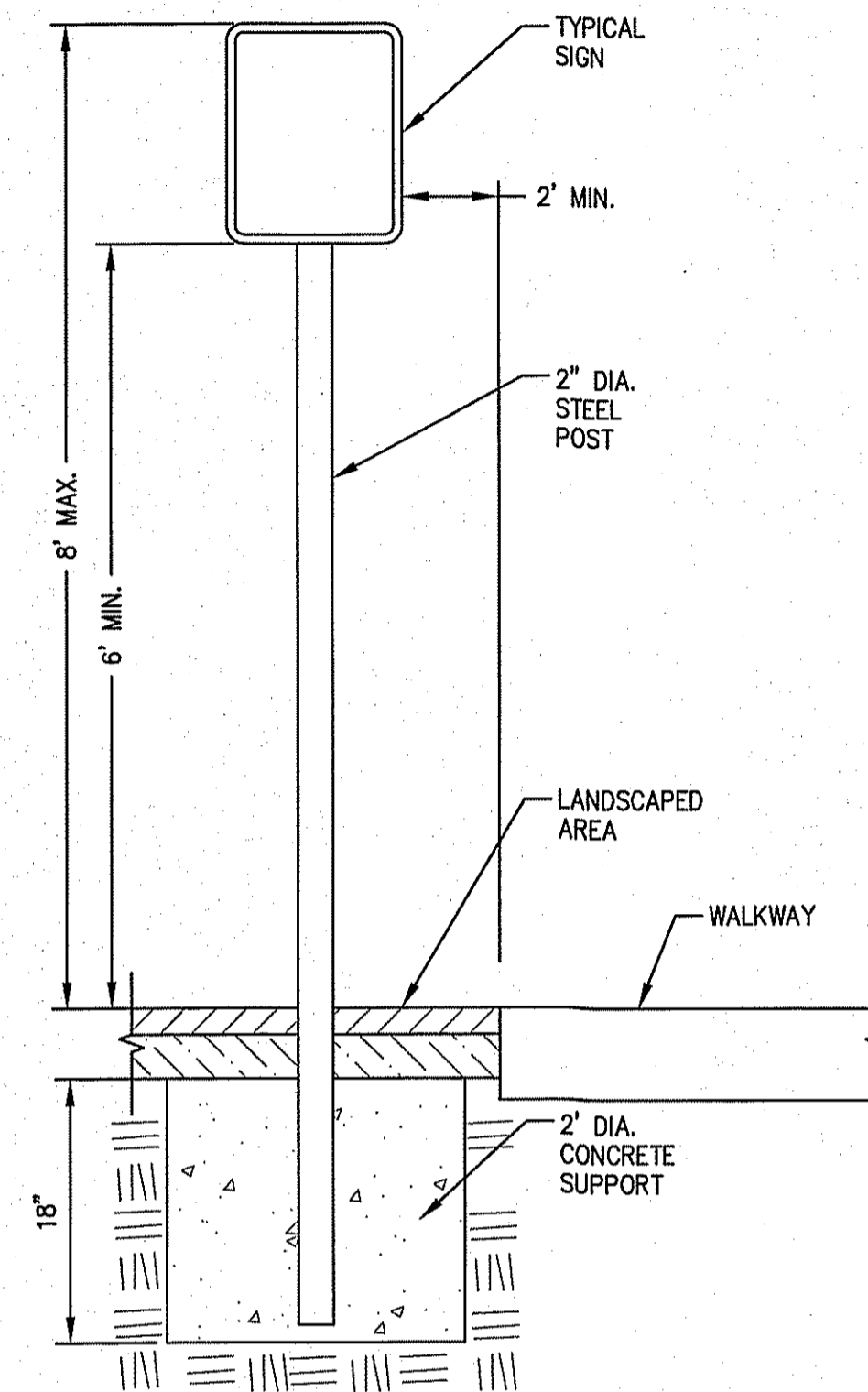


NOTE:
1. PAVEMENT MAX SLOPE 2% IN ALL DIRECTIONS.

ACCESSIBLE PARKING SPACE
(NOT TO SCALE)

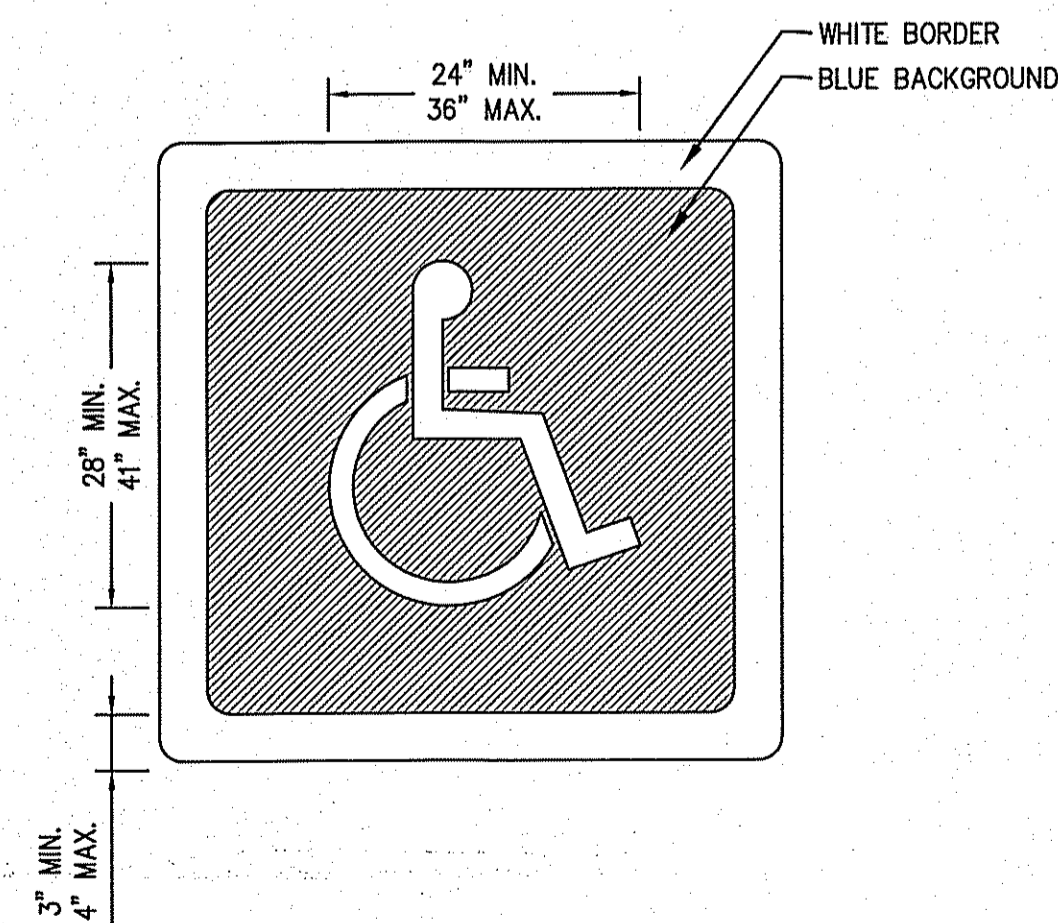


ACCESSIBLE PARKING SPACE SIGN
(NOT TO SCALE)



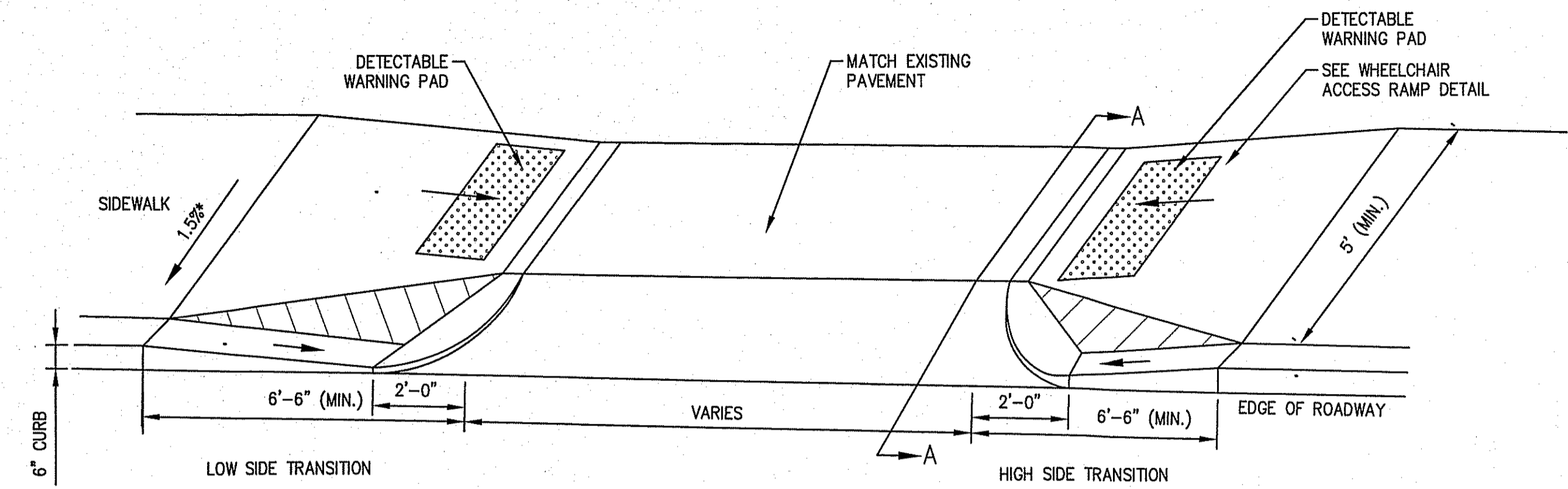
FOR SIGNS IN LANDSCAPE AREAS

SIGN POST
(NOT TO SCALE)



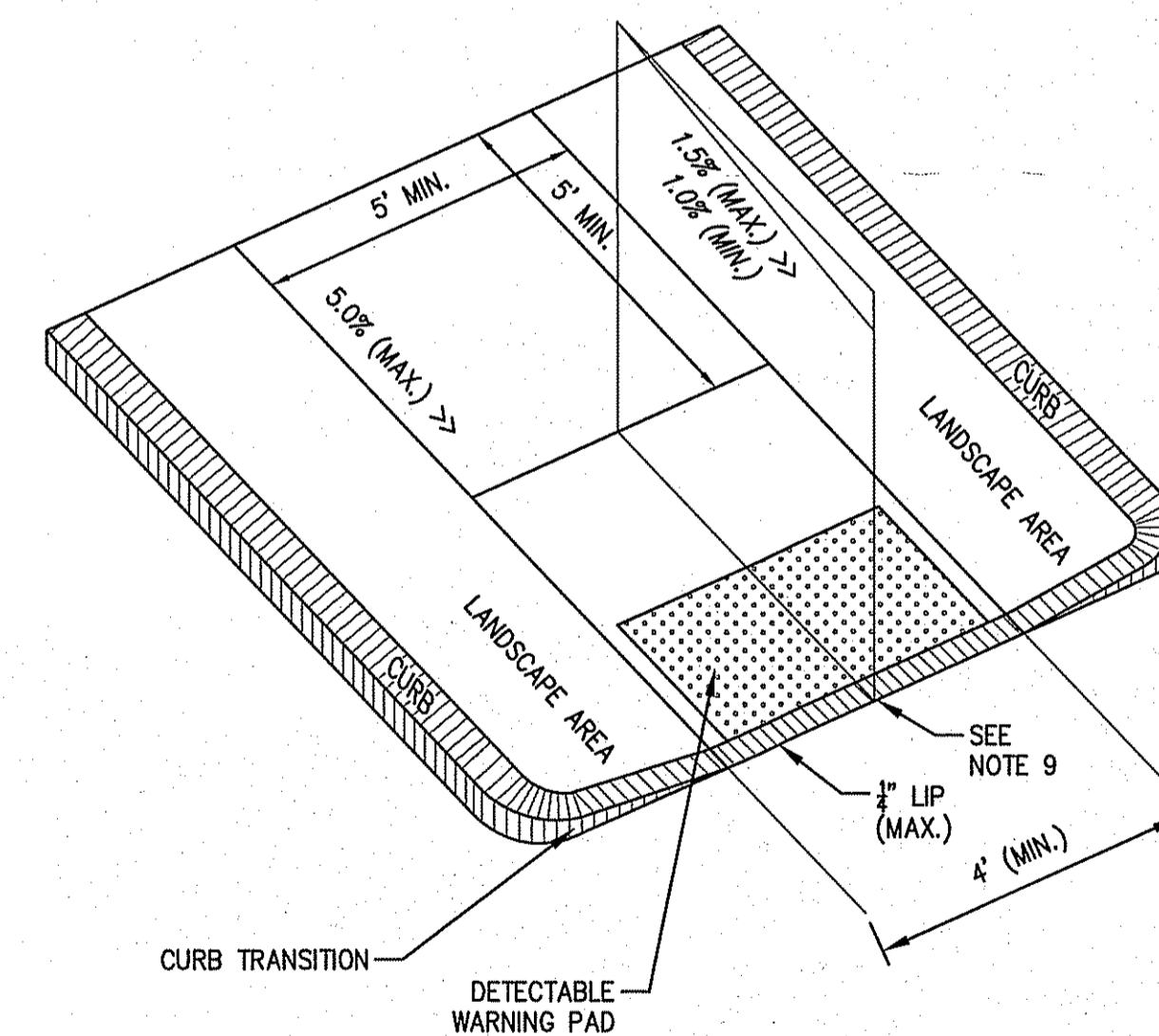
NOTE:
1. THE STROKE WIDTH OF THE PAINTED SYMBOL AND THE WHITE BORDER MUST BE A MINIMUM THICKNESS OF 3", WITH A MAXIMUM THICKNESS OF 4".
2. BLUE BACKGROUND AND WHITE BORDER ARE OPTIONAL.

INTERNATIONAL ACCESSIBILITY PARKING SPACE SYMBOL
(NOT TO SCALE)



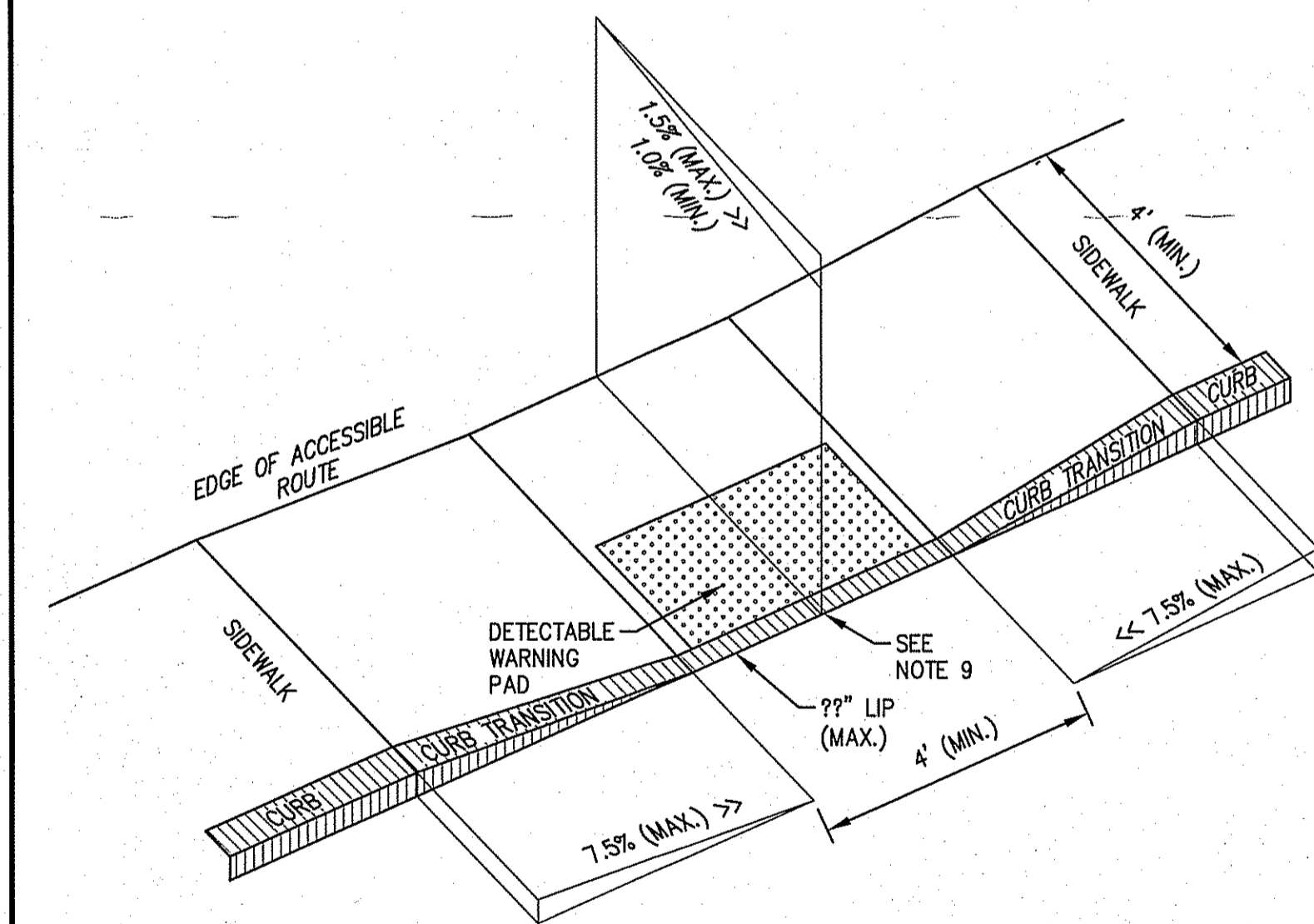
NOTE:
1. 0.5% TOLERANCE FOR CONSTRUCTION

DRIVEWAY APRON/ACCESSIBLE CURB RAMP (TYPE 'A')
(NOT TO SCALE)



NOTES:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

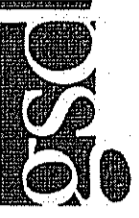
ACCESSIBLE CURB RAMP (TYPE 'C')
(NOT TO SCALE)



NOTES:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
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9. ELIMINATE ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

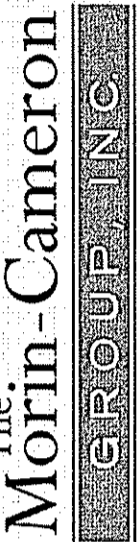
ACCESSIBLE CURB RAMP (TYPE 'B')
(NOT TO SCALE)

architect:



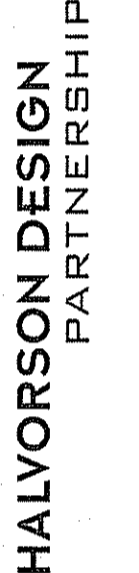
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:



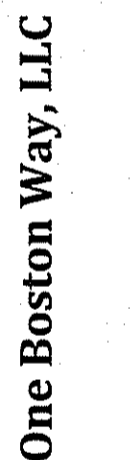
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LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect



HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner



One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Details II

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

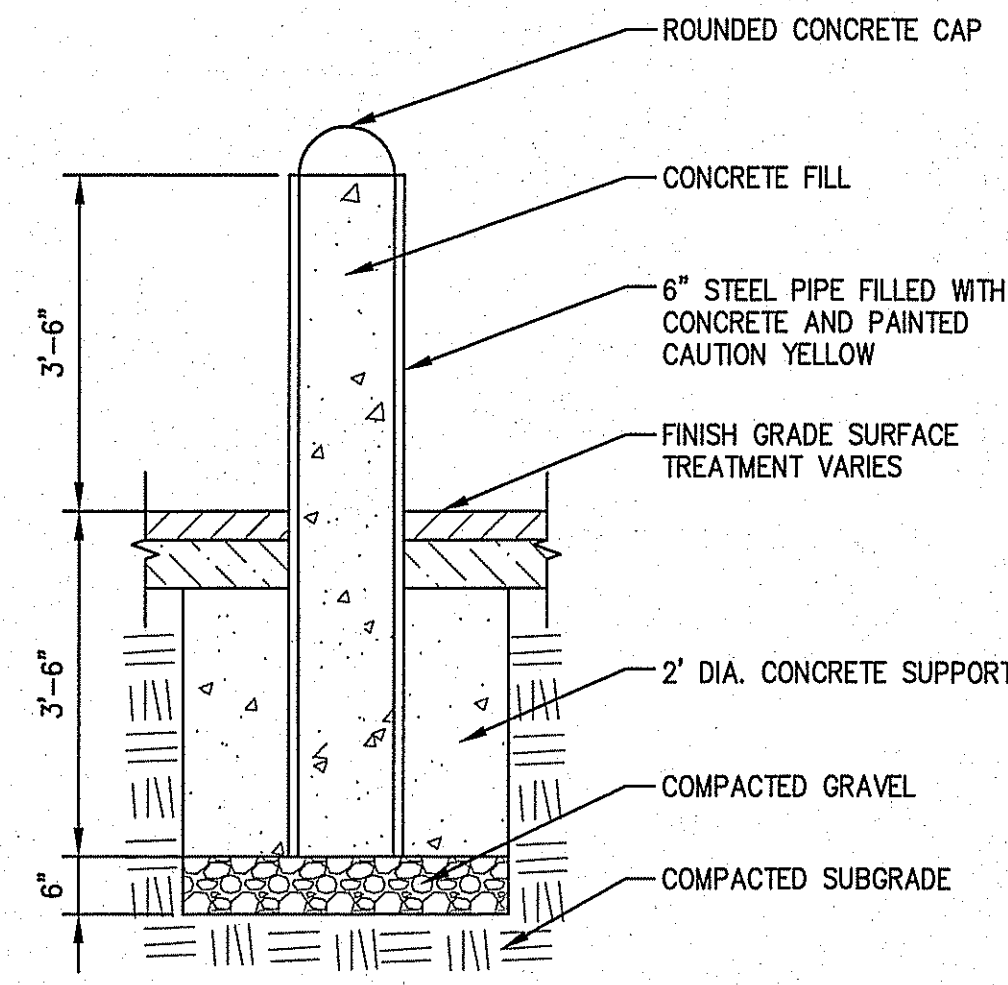
revisions:
03-02-16
03-31-16

dr. chk.

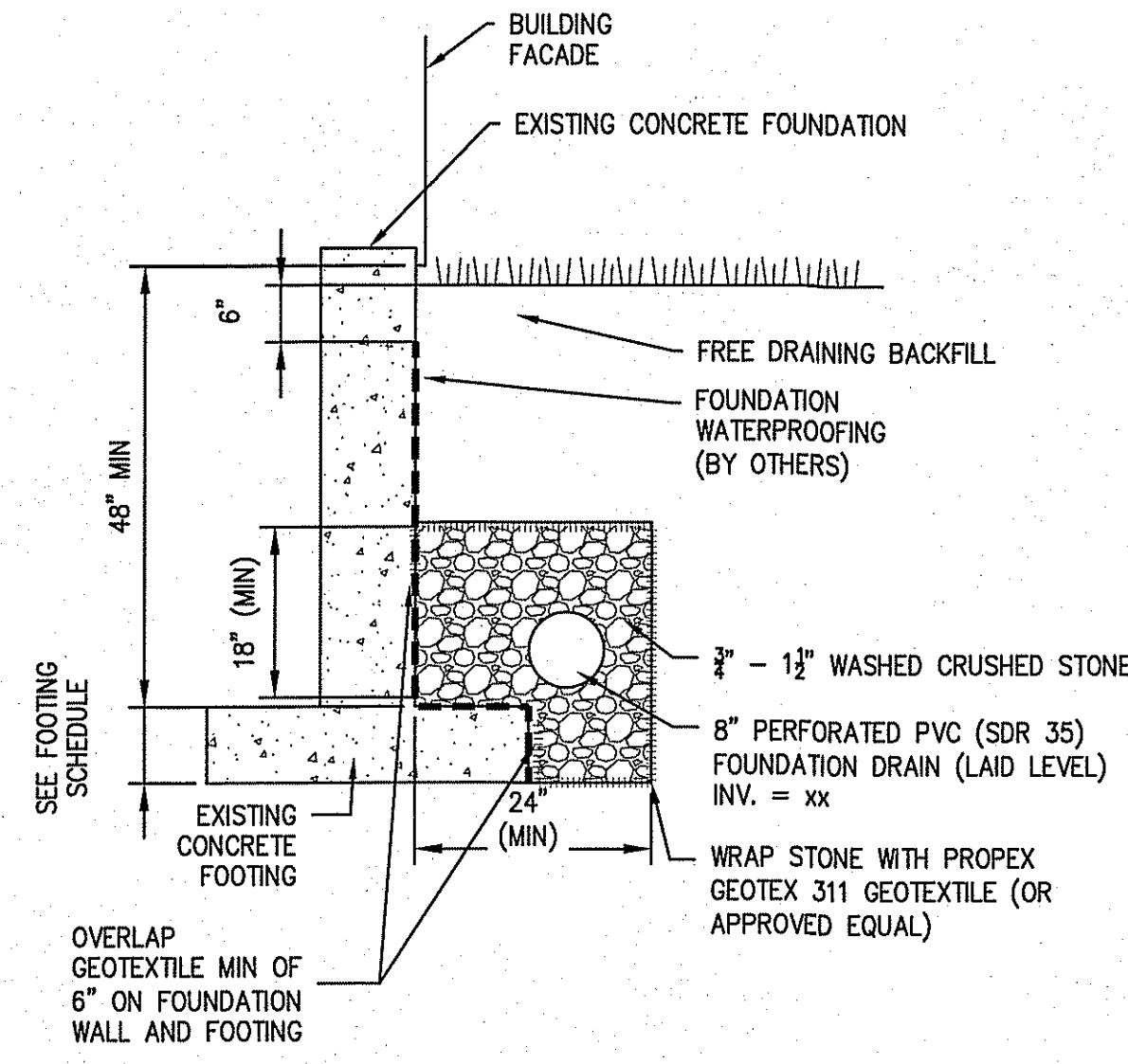
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job number:
MCG- 3205

D-2

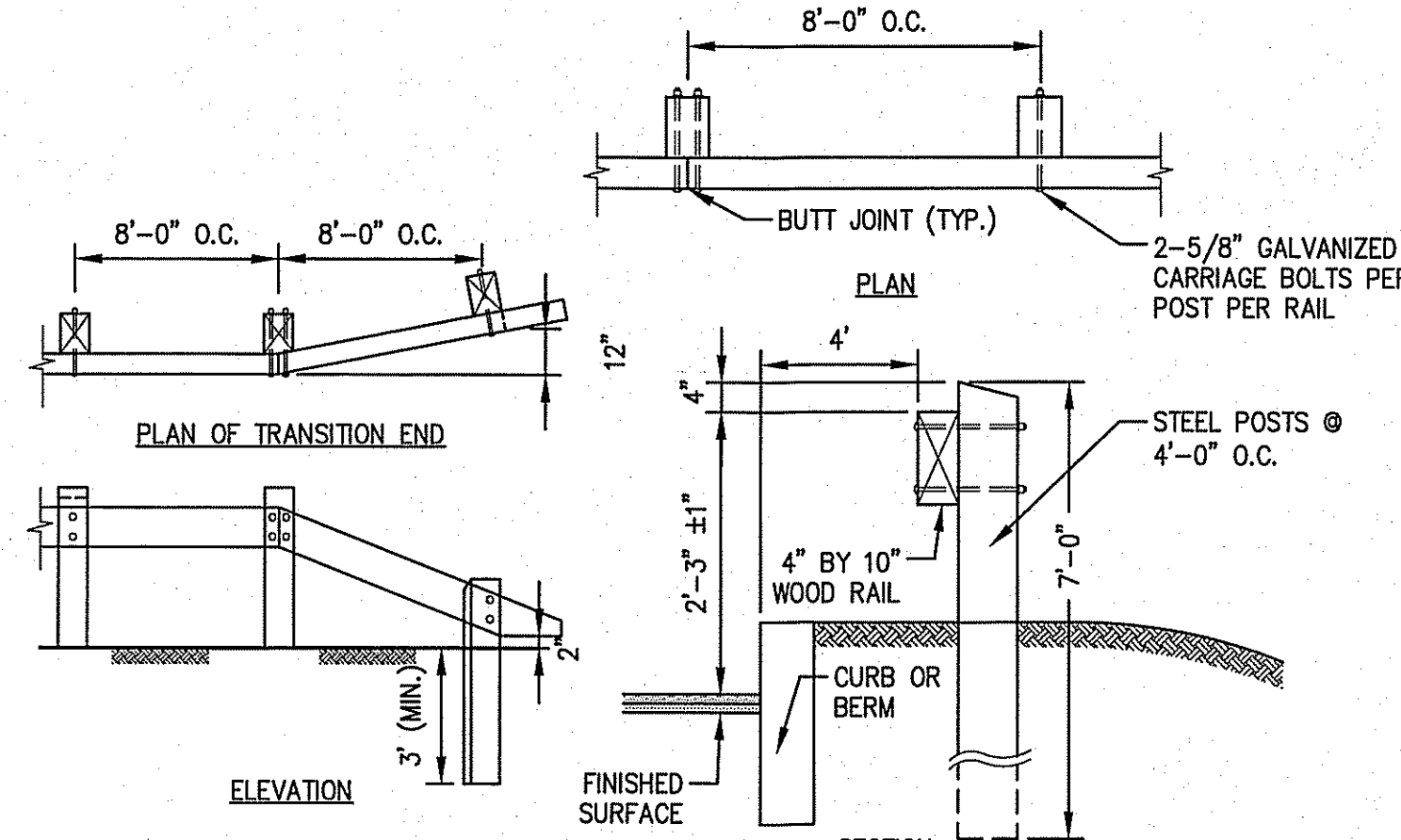


BOLLARD
(NOT TO SCALE)

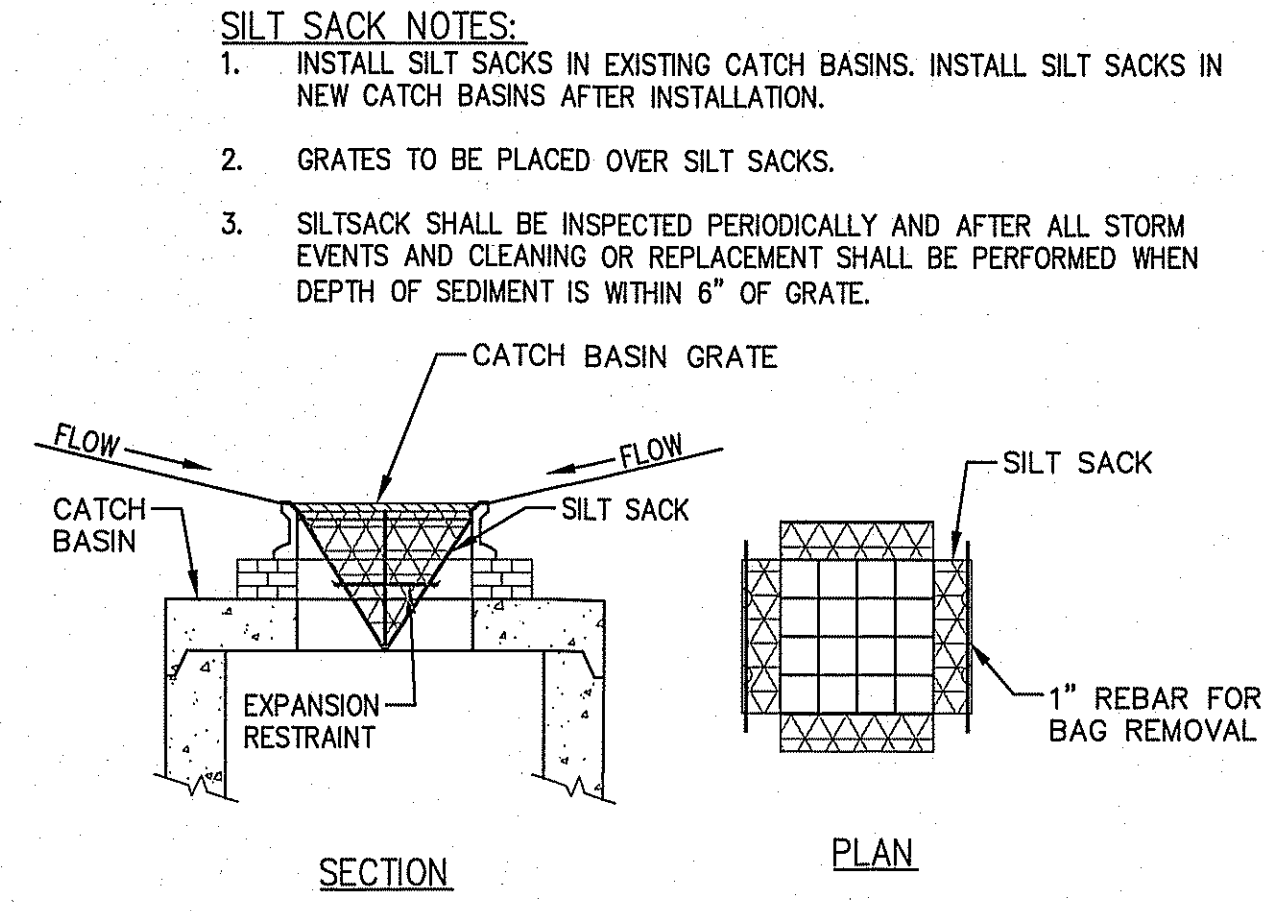


NOTE:
1. COORDINATE WITH ARCHITECTURAL DRAWINGS.

FOUNDATION DRAIN DETAIL
(NOT TO SCALE)

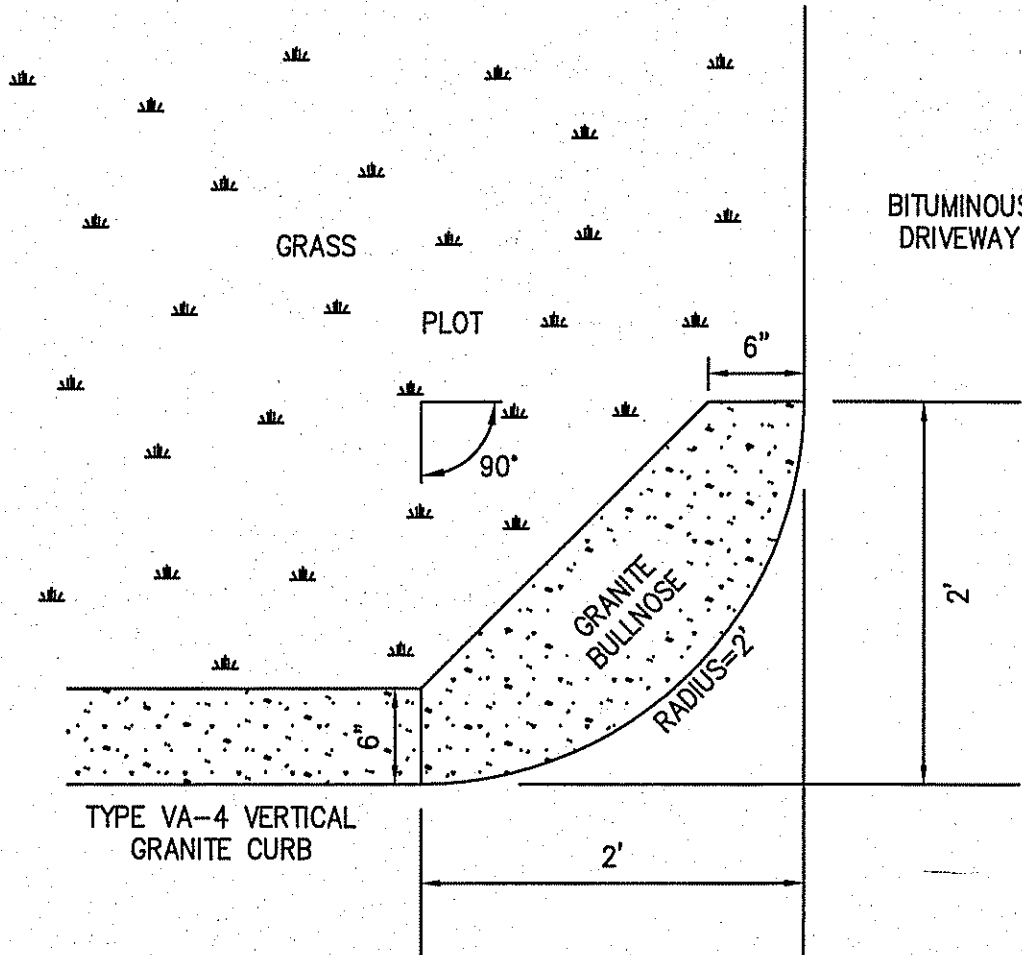


WOOD POST AND BEAM GUARDRAIL
(NOT TO SCALE)

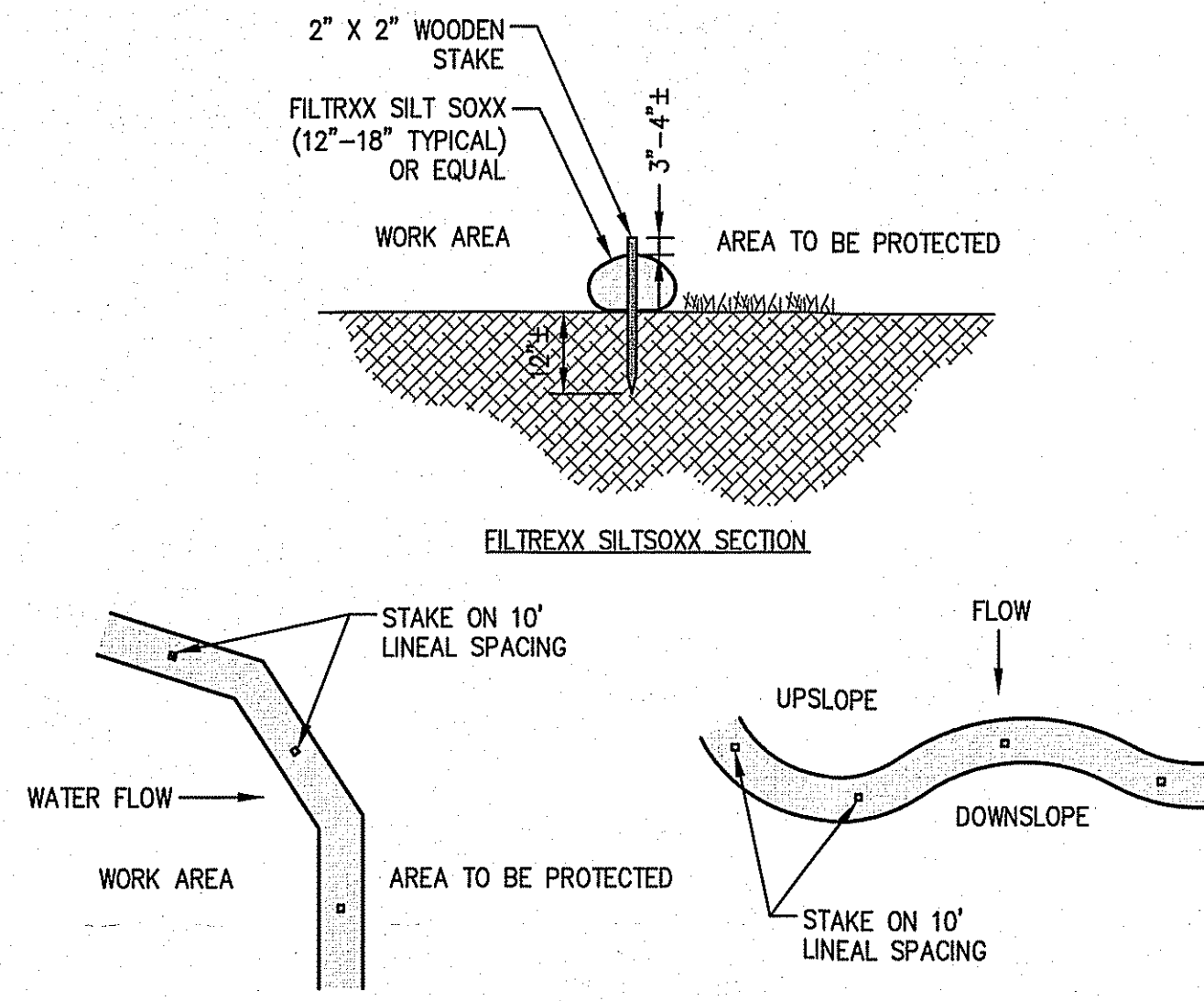


- SILT SACK NOTES:**
1. INSTALL SILT SACKS IN EXISTING CATCH BASINS. INSTALL SILT SACKS IN NEW CATCH BASINS AFTER INSTALLATION.
 2. GRATES TO BE PLACED OVER SILT SACKS.
 3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED WHEN DEPTH OF SEDIMENT IS WITHIN 8" OF GRATE.

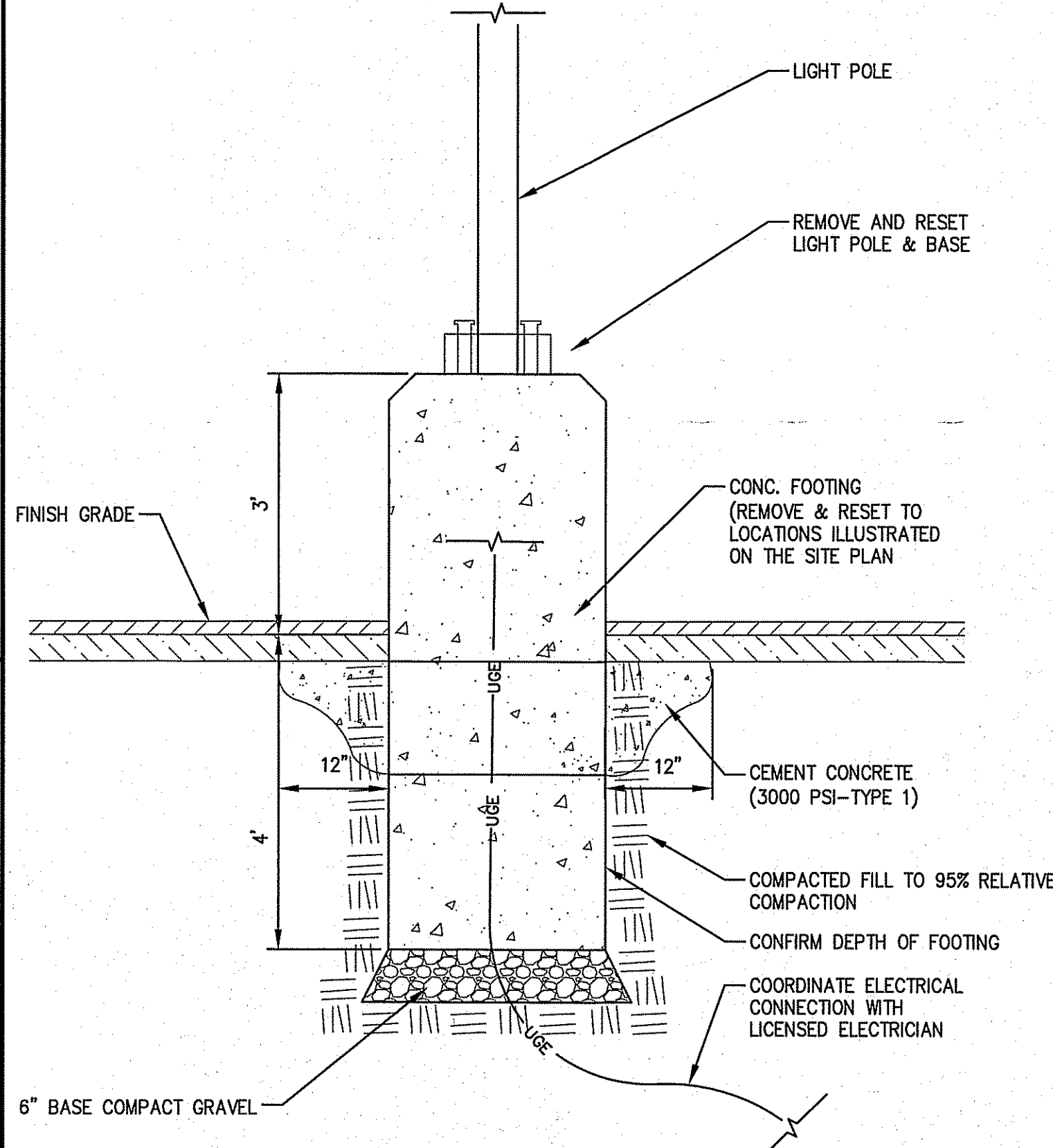
SILT SACK SEDIMENT TRAP
(NOT TO SCALE)



GRANITE BULLNOSE DETAIL
(NOT TO SCALE)

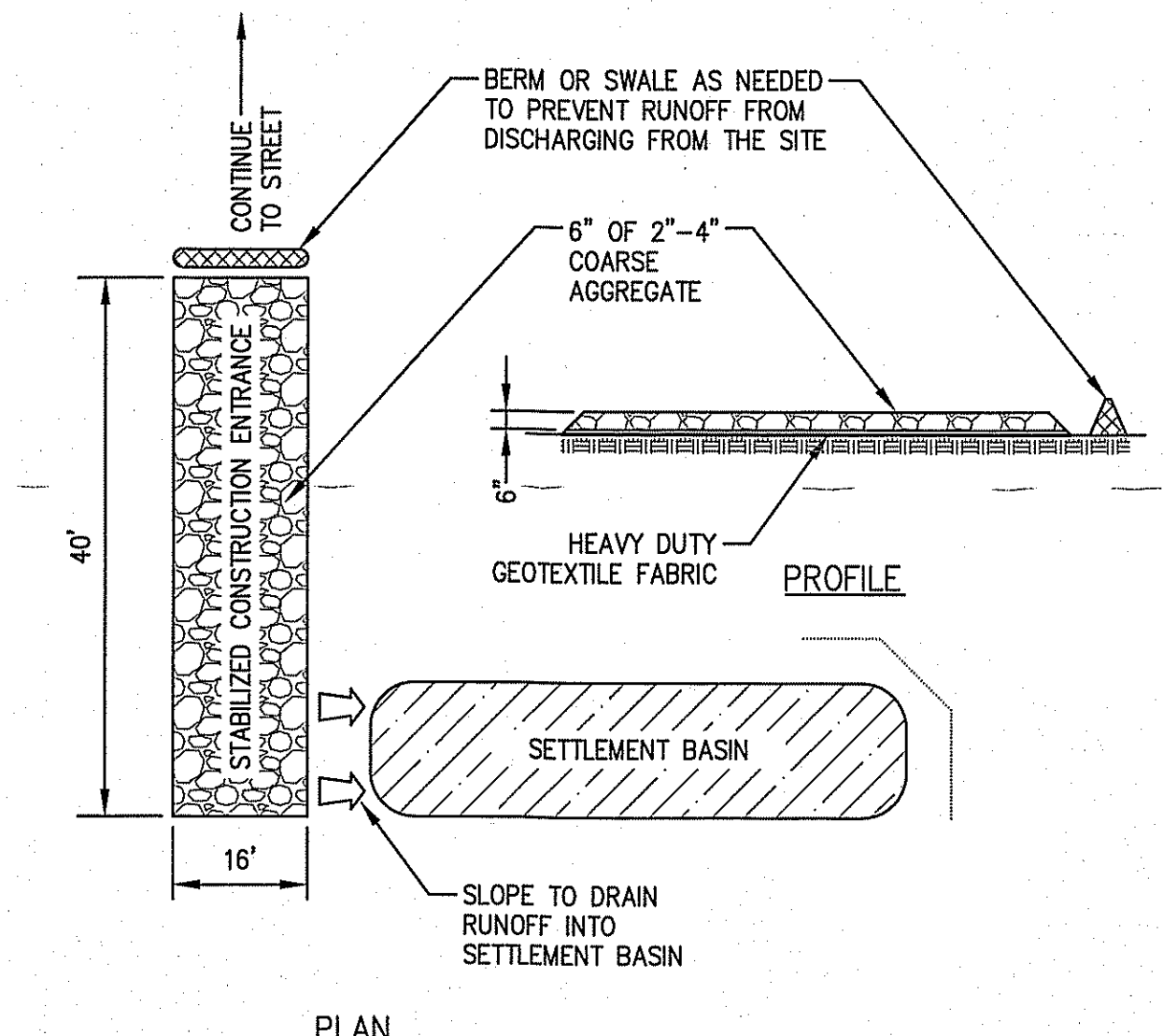


SILT SOCK
(NOT TO SCALE)



NOTE:
1. LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

LIGHT POLE DETAIL
(NOT TO SCALE)



SITE CONSTRUCTION EXIT SPECIFICATIONS FOR BOSTON WAY:

1. STONE FOR STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 2"-4" STONE, RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 40 FEET.
3. THE WIDTH OF THE ENTRANCE SHALL BE NO LESS THAN THE WIDTH OF THE INGRESS OR EGRESS DRIVE, OR 16 FEET, WHICHEVER IS GREATER.
4. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH MINIMUM 1 TO 5 SLOPES THAT CAN BE CROSSED BY VEHICLES CAN BE SUBSTITUTED.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. SEDIMENT SPILLED, WASHED OR TRACKED ONTO THE RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)

architect:
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:
The Morin-Cameron Group, Inc.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect
HALVORSON DESIGN PARTNERSHIP
25 Kingston Street, 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner
One Boston Way, LLC
231 Sutton Street, Suite 1B
North Andover, MA 01845
Tel: 978-887-6200

sheet title:
Details III

Project Name:
1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

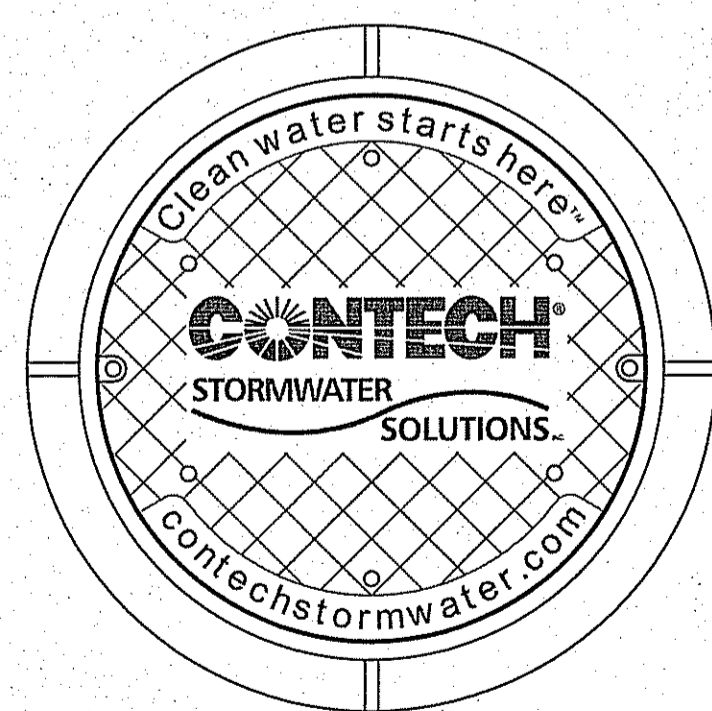
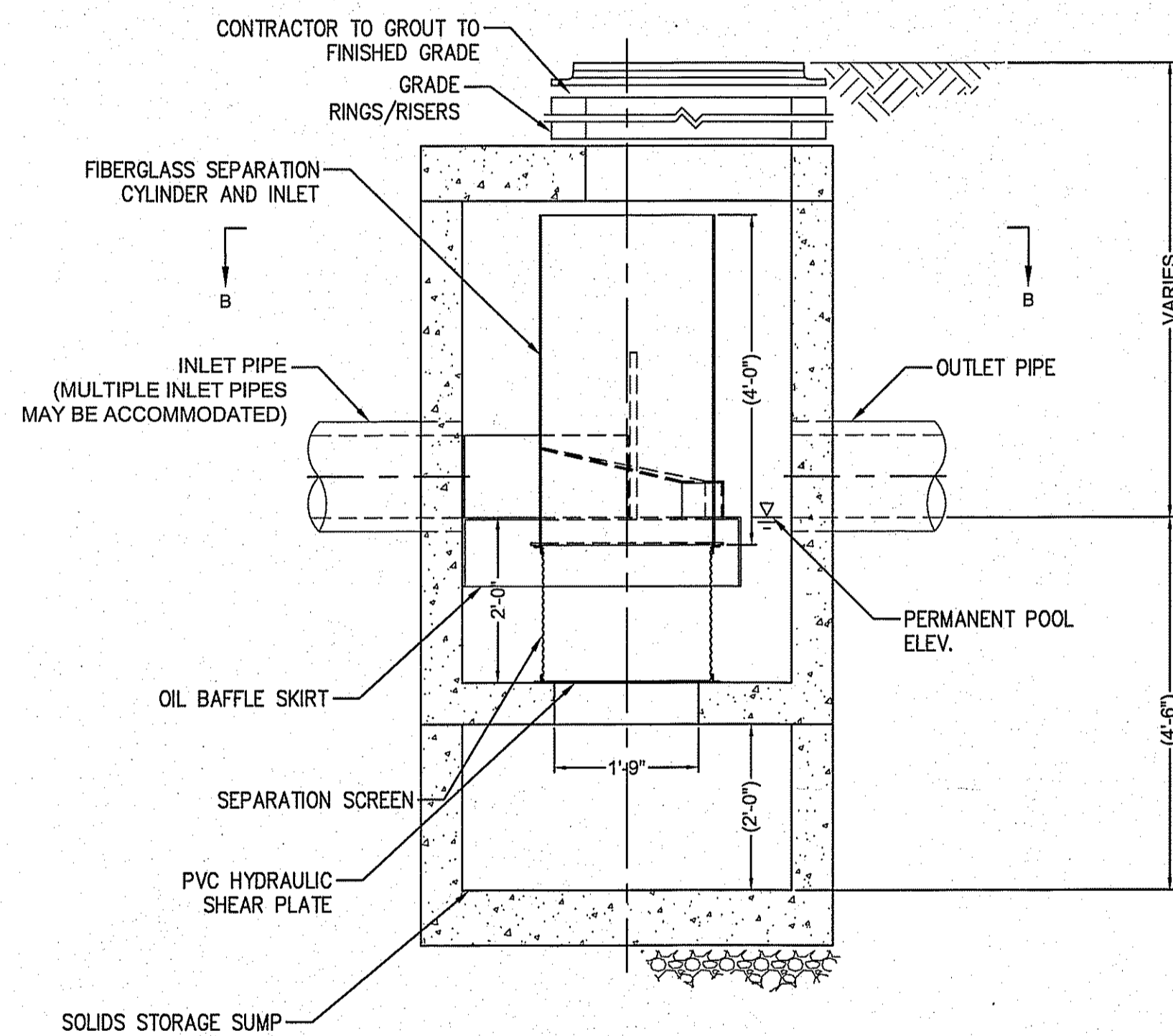
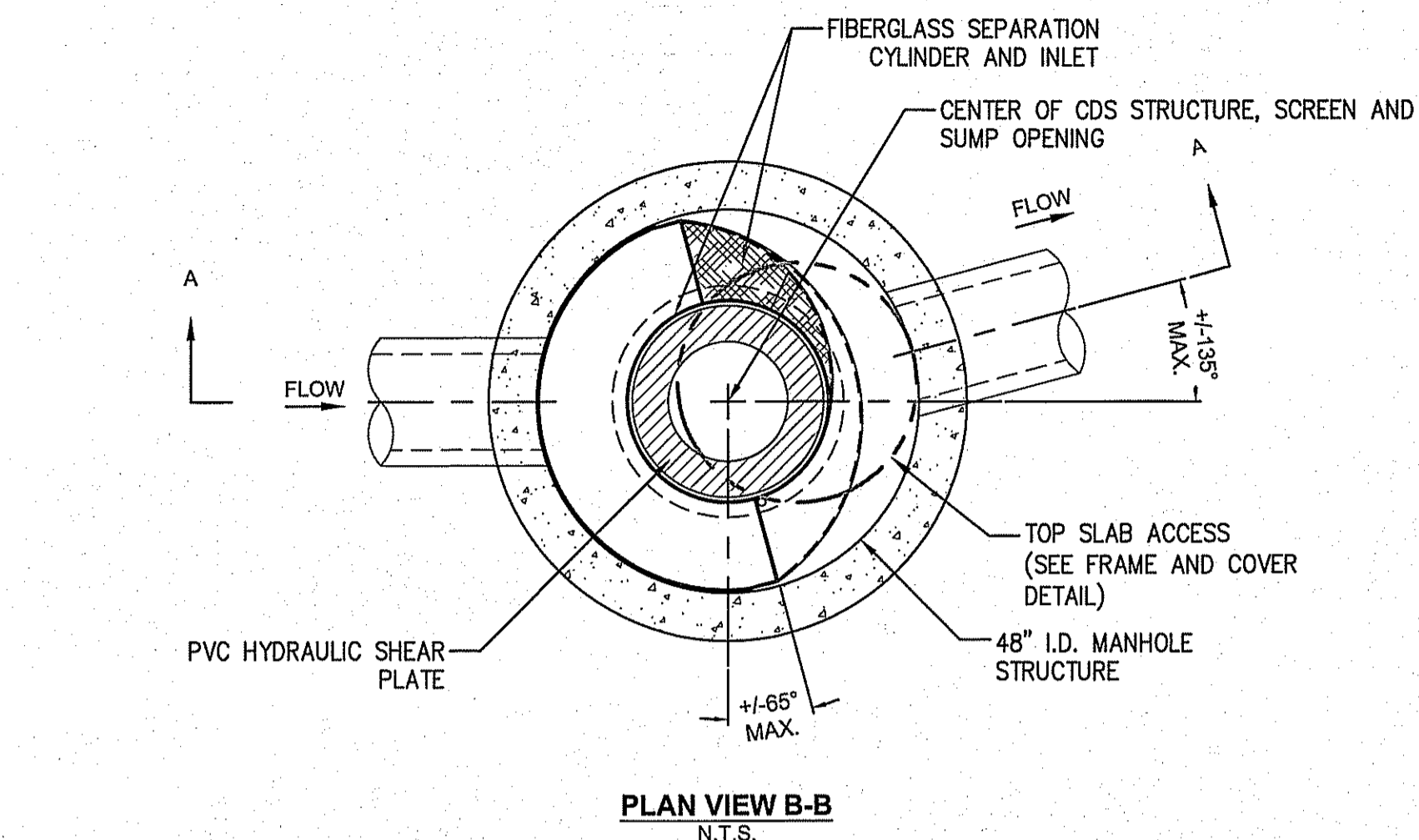
revisions:
03-02-16
03-31-16

dr: *chk*

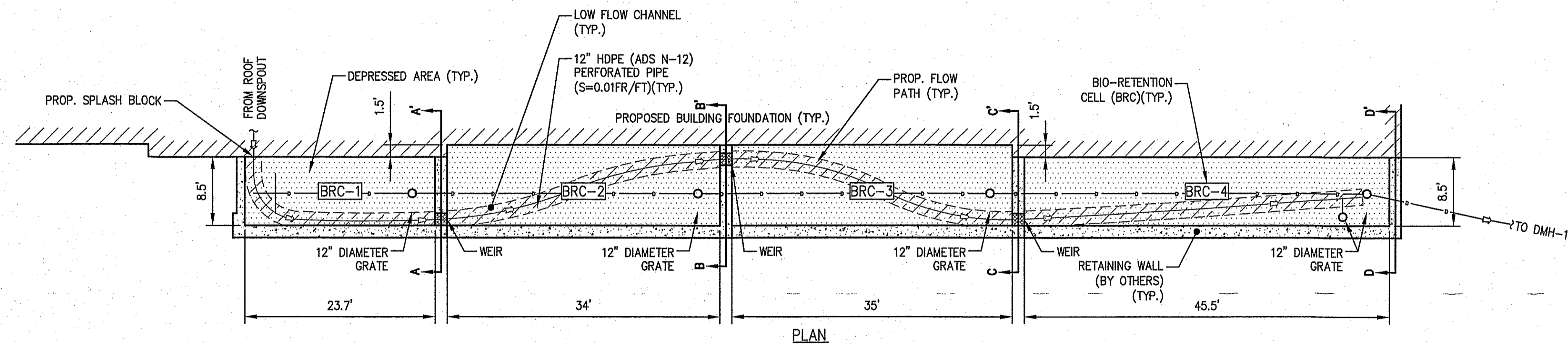
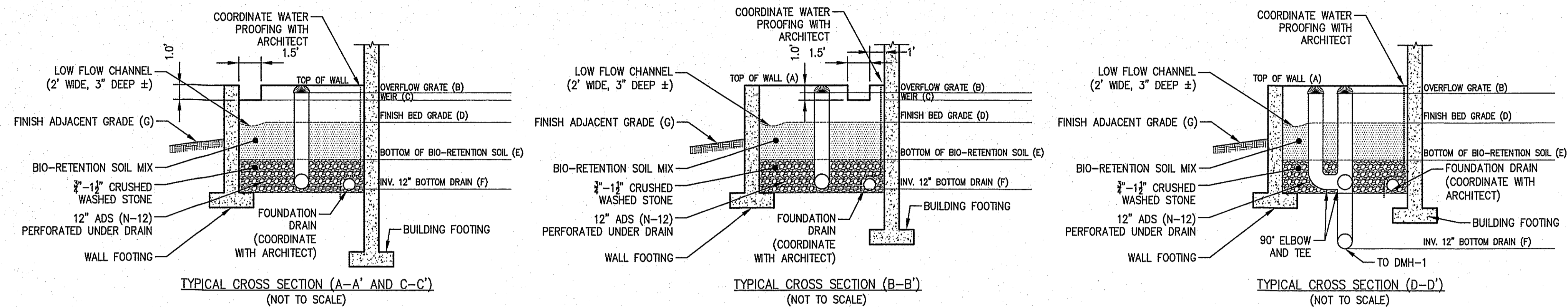
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job number:
MCG- 3205

D-3



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.
CONTECH CDS UNIT 2015-4
(NOT TO SCALE)



BIO-RETENTION CELL SCHEDULE				
	A	B	C	D
TOP OF WALL (A)	21.7'	21.2'	20.7'	20.2'
OVERFLOW GRATE (B)	21.0'	20.5'	20.0'	19.0'
WEIR (C)	20.5'	20.0'	19.5'	NONE
FINISH BED GRADE (D)	19.0'	18.5'	18.0'	17.5'
BOTTOM OF BIO-RETENTION SOIL (E)	16.5'	16.0'	15.5'	15.0'
INVERT (F)	14.46'	14.11'	13.75'	9.78'
FINISH ADJACENT GRADE (G)	15-15.5'	14-15'	14'	14'

STORM ELEVATIONS				
	A	B	C	D
2-YR EVENT	20.97'	20.46'	19.92'	19.15'
10-YR EVENT	21.10'	20.59'	20.09'	19.33'
100-YR EVENT	21.31'	20.80'	20.29'	19.76'

- NOTES:**
- BUILDING FOUNDATION WATER PROOFING BY OTHERS.
 - FOUNDATION DRAIN SIZE, TYPE AND LOCATION BY OTHERS.
 - RETAINING WALL STRUCTURAL DESIGN BY OTHERS.
 - ALL PIPING SHALL BE ADS N-12. PERFORATED PIPE SHALL BE USED FOR THE UNDERDRAIN.
 - MINIMUM SLOPE OF UNDERDRAIN = 0.01 FT/FT.

BIO-RETENTION LANDSCAPE BED
(NOT TO SCALE)

architect:

GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:

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landscape architect

HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Details IV

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

issue date: 12-16-2015

revisions:
03-02-16
03-31-16

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job number:
MCG- 3205

D-4

1 BOSTON WAY

SUBMITTAL TO PLANNING BOARD UNDER ZONING SECTION XXIX
NEWBURYPORT SMART GROWTH DISTRICT

1 Boston Way
Newburyport, MA

Owner:

1 Boston Way, LLC
231 Sutton St
North Andover, MA 01845
Tel: 978.687.6200

Architect:

GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

Civil Engineer:

The Morin-Cameron Group, Inc.
447 Boston St
Topsfield, MA 01983
Tel: 978.887.8586

Landscape Architect:

Halvorson Design Partnership
25 Kingston Street 5th Floor
Boston, MA 02111
Tel: 617.536.0380

Environmental Consultant:

LEC Environmental Consultants, Inc.
380 Lowell Street, Suite 101
Wakefield, MA 01880
Tel: 781.245.2500

Sheet List			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
A1.0	Cover sheet	12-16-2015	3-31-2016
A1.1	Site Plan and Parking Garage	12-16-2015	3-31-2016
A1.2	Site Plan at Entrance Level	12-16-2015	3-31-2016
A1.3	Floor Plans with Unit Mix and Affordable Unit Locations	12-16-2015	3-31-2016
A1.4	Typical Ground Level/ Live Work Unit Floor Plan	12-16-2015	3-31-2016
A1.5	Typical Residential Floor Plan	12-16-2015	3-31-2016
A1.6	Typical Unit Type Layouts	12-16-2015	3-31-2016
A1.7	Roof Plan	12-16-2015	3-31-2016
A2.1	Section	12-16-2015	3-31-2016
A3.1	North and East Elevations	12-16-2015	3-31-2016
A3.2	South and West Elevations	12-16-2015	3-31-2016
A3.3	Balcony and Signage details	03-31-2016	
A3.4	Mean Grade Calculation	03-31-2016	
C-1	Zoning Analysis Plan	12-16-2015	3-31-2016
C-2	Overall Existing Site Conditions Plan	12-16-2015	3-31-2016
C-3	Existing Conditions Plan	12-16-2015	3-31-2016
C-4	Site Layout Plan	12-16-2015	3-31-2016
C-5	Grading and Drainage Plan	12-16-2015	3-31-2016
C-6	Utility Plan	12-16-2015	3-31-2016
D-1	Details I	12-16-2015	3-31-2016
D-2	Details II	12-16-2015	3-31-2016
D-3	Details III	12-16-2015	3-31-2016
D-4	Details IV	12-16-2015	3-31-2016
L1.0	Site Design and Lighting Plan	4-6-2016	
L1.1	Lighting Photometric	4-6-2016	
L2.0	Planting Plan	4-6-2016	
L3.0	Landscape Materials and Site Furnishings Precedent Images	4-6-2016	



Unit Count Schedule by Level		
Level	Unit Type	Count
Level 1	1B Unit	1
Level 1	2B Live/Work Unit	4
Level 1	2B Unit	8
Level 1: 13		13
Level 2	1B Unit	8
Level 2	2B Unit	7
Level 2	3B Unit	2
Level 2: 17		17
Level 3	1B Unit	8
Level 3	2B Unit	7
Level 3	3B Unit	2
Level 3	Studio	1
Level 3: 18		18
Level 4	1B Unit	8
Level 4	2B Unit	7
Level 4	3B Unit	2
Level 4	Studio	1
Level 4: 18		18
Level 5	1B Unit	8
Level 5	2B Unit	7
Level 5	3B Unit	2
Level 5	Studio	1
Level 5: 18		18
Grand total: 84		84

Unit Count Schedule by Unit Type		
Unit Type	Level	Count
1B Unit	Level 1	1
1B Unit	Level 2	8
1B Unit	Level 3	8
1B Unit	Level 4	8
1B Unit	Level 5	8
1B Unit: 33		33
2B Live/Work Unit	Level 1	4
2B Live/Work Unit: 4		4
2B Unit	Level 1	8
2B Unit	Level 2	7
2B Unit	Level 3	7
2B Unit	Level 4	7
2B Unit	Level 5	7
2B Unit: 36		36
3B Unit	Level 2	2
3B Unit	Level 3	2
3B Unit	Level 4	2
3B Unit	Level 5	2
3B Unit: 8		8
Studio	Level 3	1
Studio	Level 4	1
Studio	Level 5	1
Studio: 3		3
Grand total: 84		84

1 Bedroom		
Unit Type	Level	Area
1B Unit	Level 1	704 SF
1B Unit	Level 2	722 SF
1B Unit	Level 2	719 SF
1B Unit	Level 2	754 SF
1B Unit	Level 2	709 SF
1B Unit	Level 2	751 SF
1B Unit	Level 2	725 SF
1B Unit	Level 2	740 SF
1B Unit	Level 2	709 SF
1B Unit	Level 3	709 SF
1B Unit	Level 3	721 SF
1B Unit	Level 3	690 SF
1B Unit	Level 3	710 SF
1B Unit	Level 3	700 SF
1B Unit	Level 3	716 SF
1B Unit	Level 3	691 SF
1B Unit	Level 3	699 SF
1B Unit	Level 4	709 SF
1B Unit	Level 4	692 SF
1B Unit	Level 4	692 SF
1B Unit	Level 4	713 SF
1B Unit	Level 4	714 SF
1B Unit	Level 4	689 SF
1B Unit	Level 4	701 SF
1B Unit	Level 4	698 SF
1B Unit	Level 5	713 SF
1B Unit	Level 5	725 SF
1B Unit	Level 5	694 SF
1B Unit	Level 5	716 SF
1B Unit	Level 5	701 SF
1B Unit	Level 5	713 SF
1B Unit	Level 5	693 SF
1B Unit	Level 5	703 SF
Grand total: 33		

2 Bedroom		
Unit Type	Level	Area
2B Live/Work Unit	Level 1	1133 SF
2B Live/Work Unit	Level 1	1065 SF
2B Live/Work Unit	Level 1	1135 SF
2B Unit	Level 1	1129 SF
2B Unit	Level 1	1073 SF
2B Unit	Level 1	1123 SF
2B Unit	Level 1	1077 SF
2B Unit	Level 1	1075 SF
2B Unit	Level 1	1577 SF
2B Unit	Level 1	1249 SF
2B Unit	Level 1	1062 SF
2B Live/Work Unit	Level 1	1095 SF
2B Unit	Level 2	1124 SF
2B Unit	Level 2	1114 SF
2B Unit	Level 2	1067 SF
2B Unit	Level 2	1050 SF
2B Unit	Level 2	1220 SF
2B Unit	Level 2	1277 SF
2B Unit	Level 2	1026 SF
2B Unit	Level 3	1143 SF
2B Unit	Level 3	1045 SF
2B Unit	Level 3	1073 SF
2B Unit	Level 3	1078 SF
2B Unit	Level 3	1045 SF
2B Unit	Level 3	1069 SF
2B Unit	Level 3	1044 SF
2B Unit	Level 4	1072 SF
2B Unit	Level 4	1136 SF
2B Unit	Level 4	1044 SF
2B Unit	Level 4	1054 SF
2B Unit	Level 4	1078 SF
2B Unit	Level 4	1043 SF
2B Unit	Level 4	1066 SF
2B Unit	Level 5	1136 SF
2B Unit	Level 5	1050 SF
2B Unit	Level 5	1048 SF
2B Unit	Level 5	1078 SF
2B Unit	Level 5	1076 SF
2B Unit	Level 5	1045 SF
2B Unit	Level 5	1071 SF
Grand total: 40		

3 Bedroom		
Unit Type	Level	Area
3B Unit	Level 2	1574 SF
3B Unit	Level 2	1598 SF
3B Unit	Level 3	1429 SF
3B Unit	Level 3	1403 SF
3B Unit	Level 4	1425 SF
3B Unit	Level 4	1395 SF
3B Unit	Level 5	1429 SF
3B Unit	Level 5	1400 SF
Grand total: 8		
Studios		
Unit Type	Level	Area
Studio	Level 3	614 SF
Studio	Level 4	613 SF
Studio	Level 5	619 SF
Grand total: 3		



AERIAL MAP

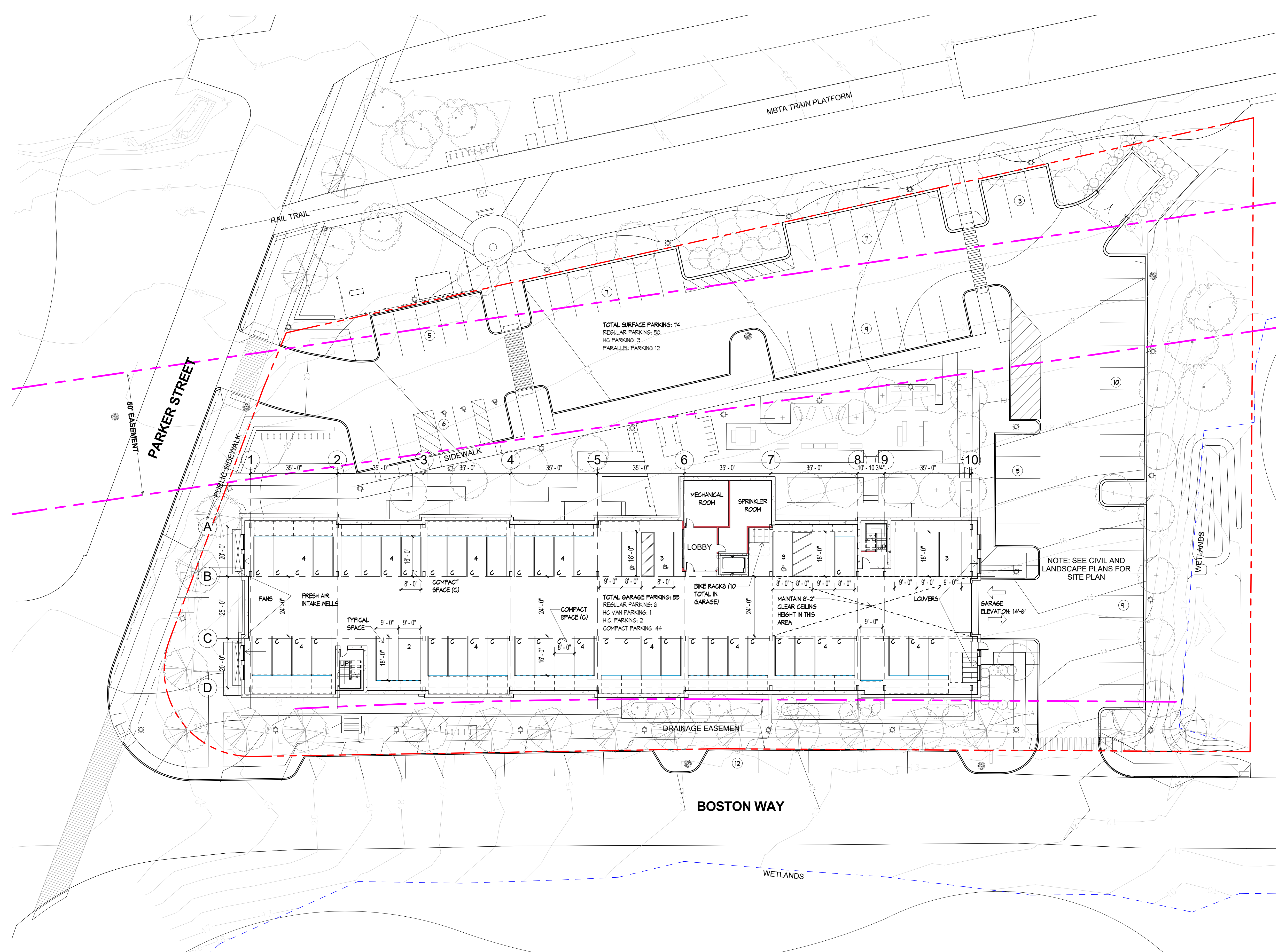
1 BOSTON WAY
 SUBMITTAL TO PLANNING BOARD UNDER ZONING SECTION XXIX
 NEWBURYPORT SMART GROWTH DISTRICT
 1 Boston Way
 Newburyport, MA

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Job number:
GSD-13-045

A1.0

PERMIT DRAWINGS - NOT FOR CONSTRUCTION



PERMIT DRAWINGS - NOT FOR CONSTRUCTION

architect:

GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:

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landscape architect

HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Site Plan and Parking Garage

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

revisions:
3-31-2016
REVISED SUBMITTAL FOR PERMIT APPLICATION

dr. chk.
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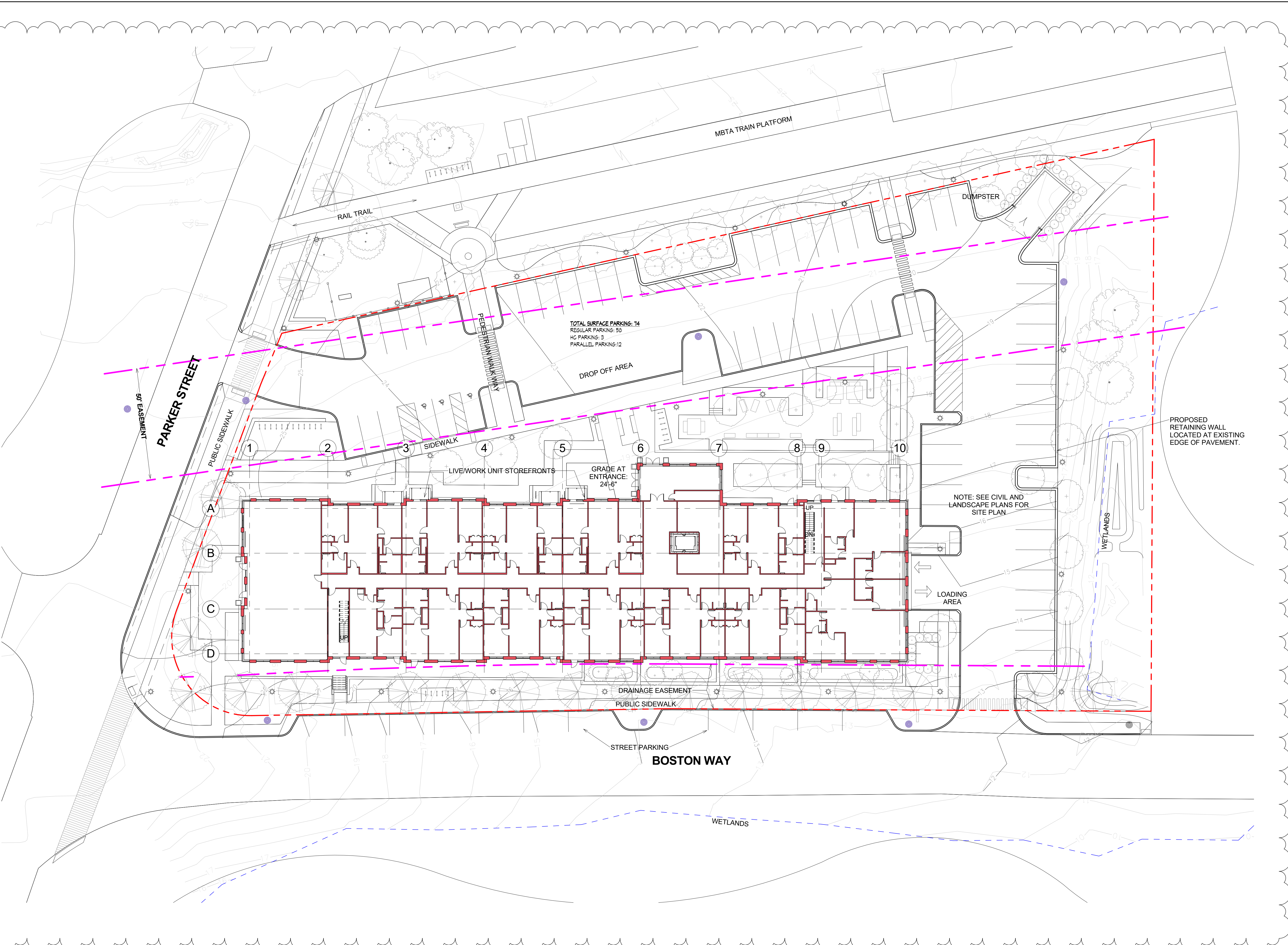
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job number:

GSD-13-045

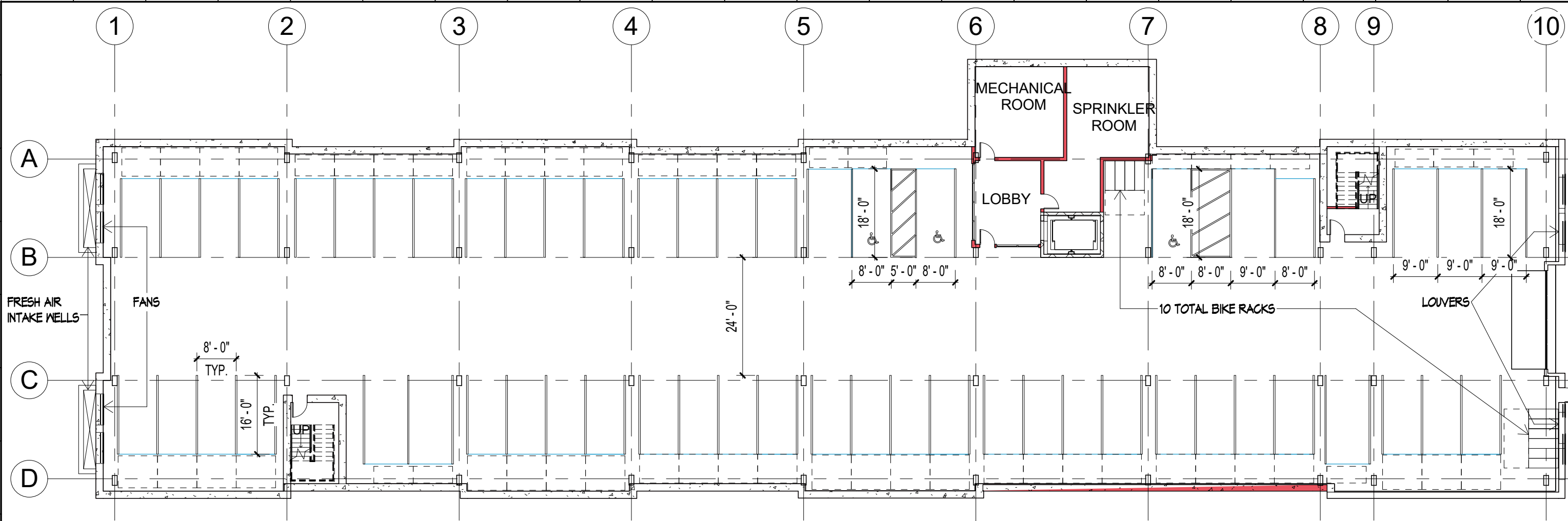
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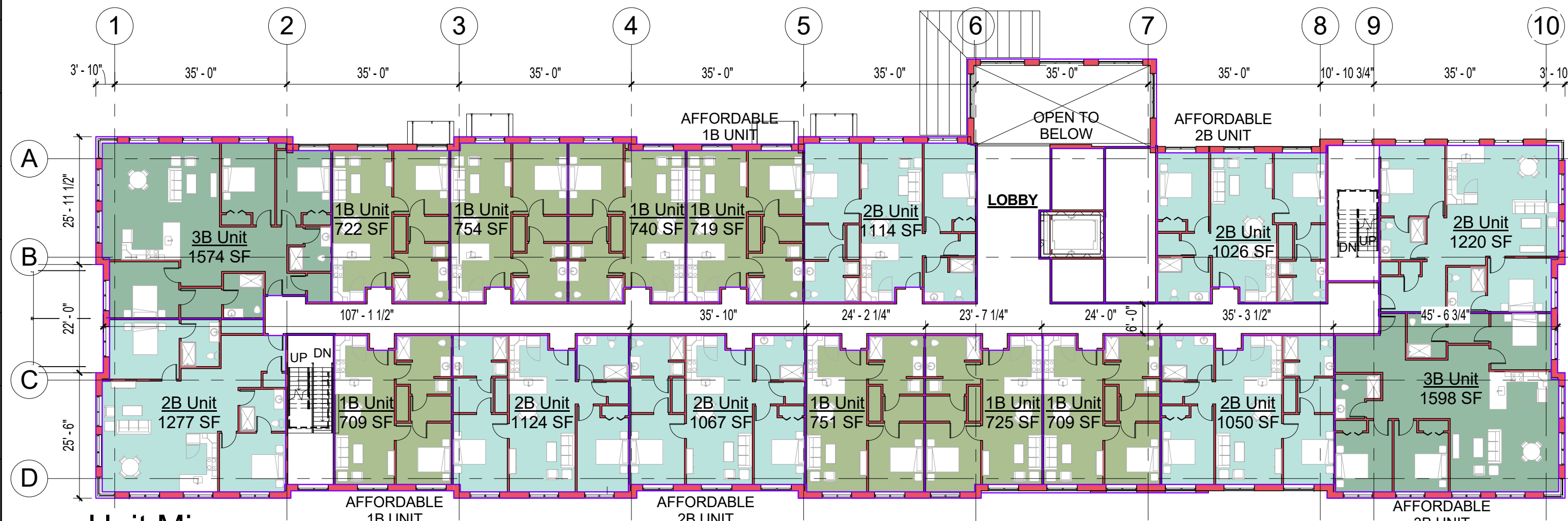
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1 GARAGE

SCALE: 1" = 20'-0"



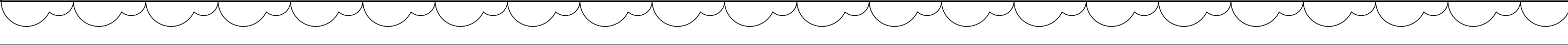
3 Second floor

SCALE: 1" = 20'-0"



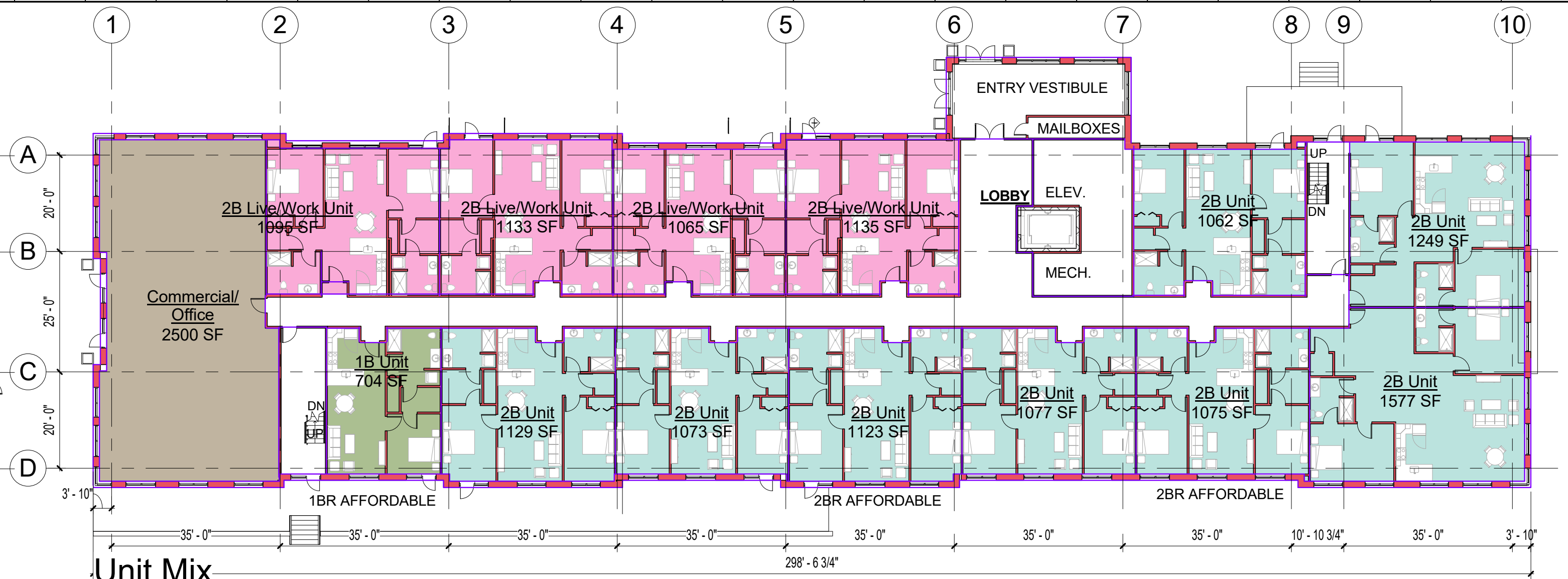
5 Fourth floor

SCALE: 1" = 20'-0"



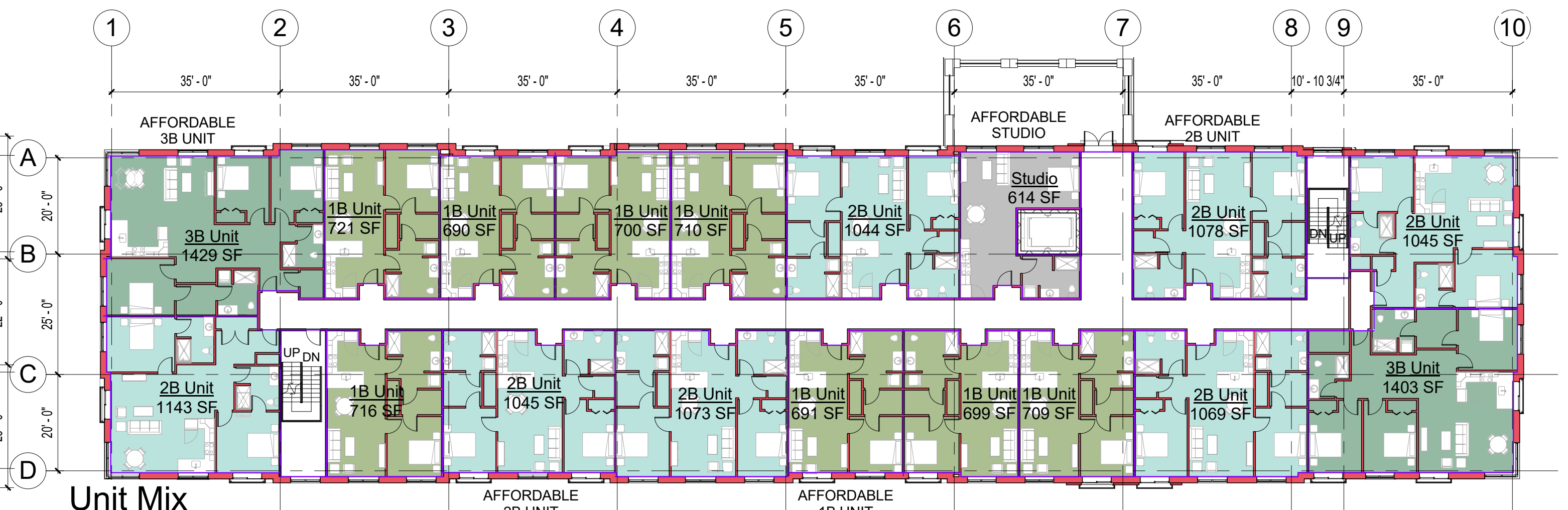
5 Fourth floor

SCALE: 1" = 20'-0"



2 First floor

SCALE: 1" = 20'-0"



4 Third floor

SCALE: 1" = 20'-0"



6 Fifth floor

SCALE: 1" = 20'-0"

PERMIT DRAWINGS - NOT FOR CONSTRUCTION

architect:



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civil engineer:



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landscape architect



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owner



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Tel: 978.687.6200

sheet title:

Floor Plans with Unit Mix and Affordable Unit Locations

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date:

12-16-2015

revisions:

3-31-2016
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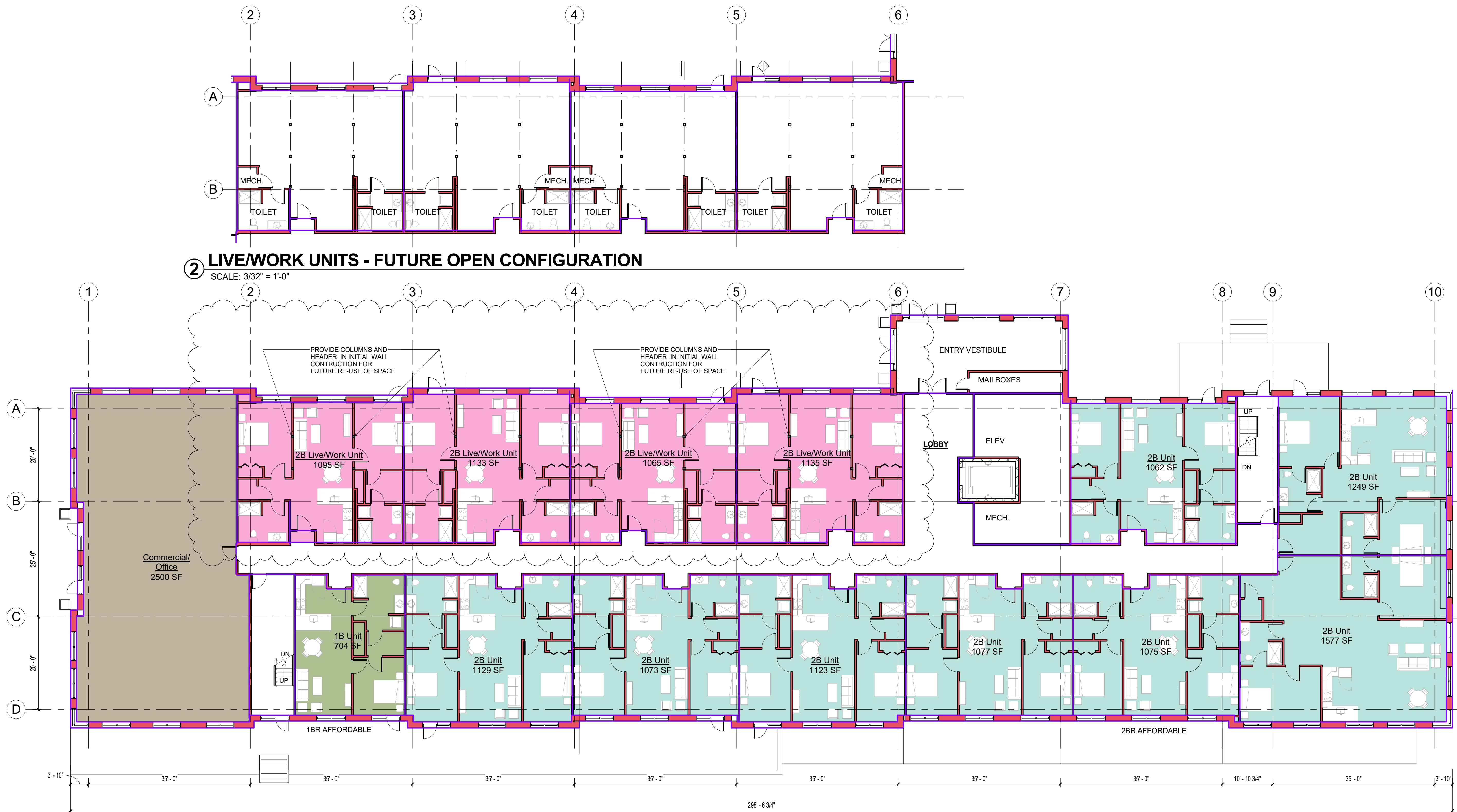
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job number:

GSD-13-045

A1.3



2 LIVE/WORK UNITS - FUTURE OPEN CONFIGURATION
SCALE: 3/32" = 1'-0"

1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

Unit Mix

- 1B Unit
- 2B Live/Work Unit
- 2B Unit
- Commercial/Office

PERMIT DRAWINGS - NOT FOR CONSTRUCTION

architect:

GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.gsd-assoc.com

civil engineer:

The Morin-Cameron GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect

HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Typical Ground Level/Live Work Unit Floor Plan

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

revisions:
3-31-2016
REVISED SUBMITTAL FOR PERMIT APPLICATION

dr. *chk.*

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A1.4

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Unit Mix

1B Unit
 2B Unit
 3B Unit
 Studio

1 Typical Residential Floor Plan
SCALE: 3/32" = 1'-0"

PERMIT DRAWINGS - NOT FOR CONSTRUCTION

architect:

GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.gsd-assoc.com

civil engineer:

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CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsheld, MA 01863
Tel: 978-887-8586
www.morincameron.com

landscape architect

HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.887.6200

sheet title:

Typical Residential Floor Plan

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

revisions:
3-31-2016
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dr. *chk.*

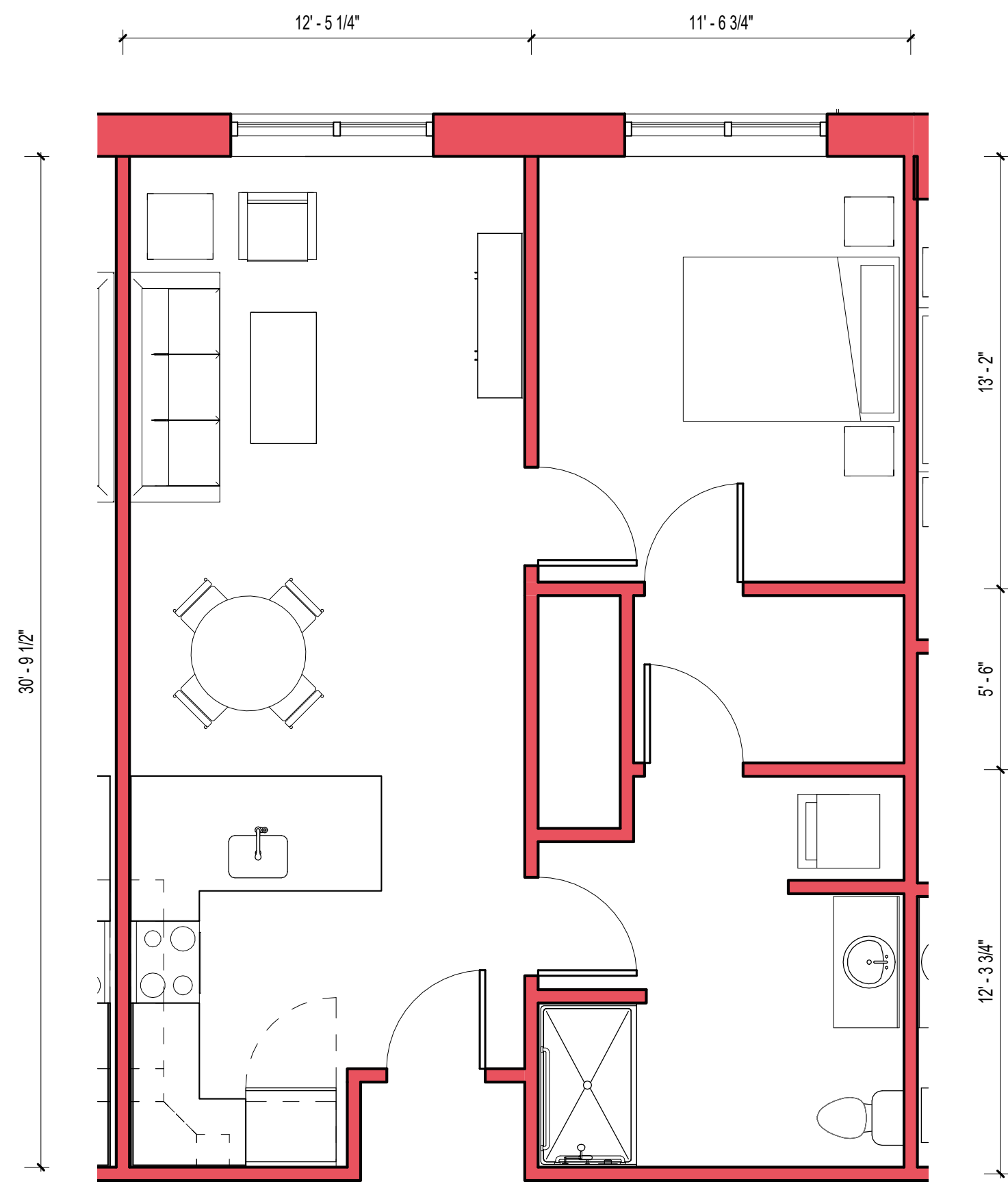
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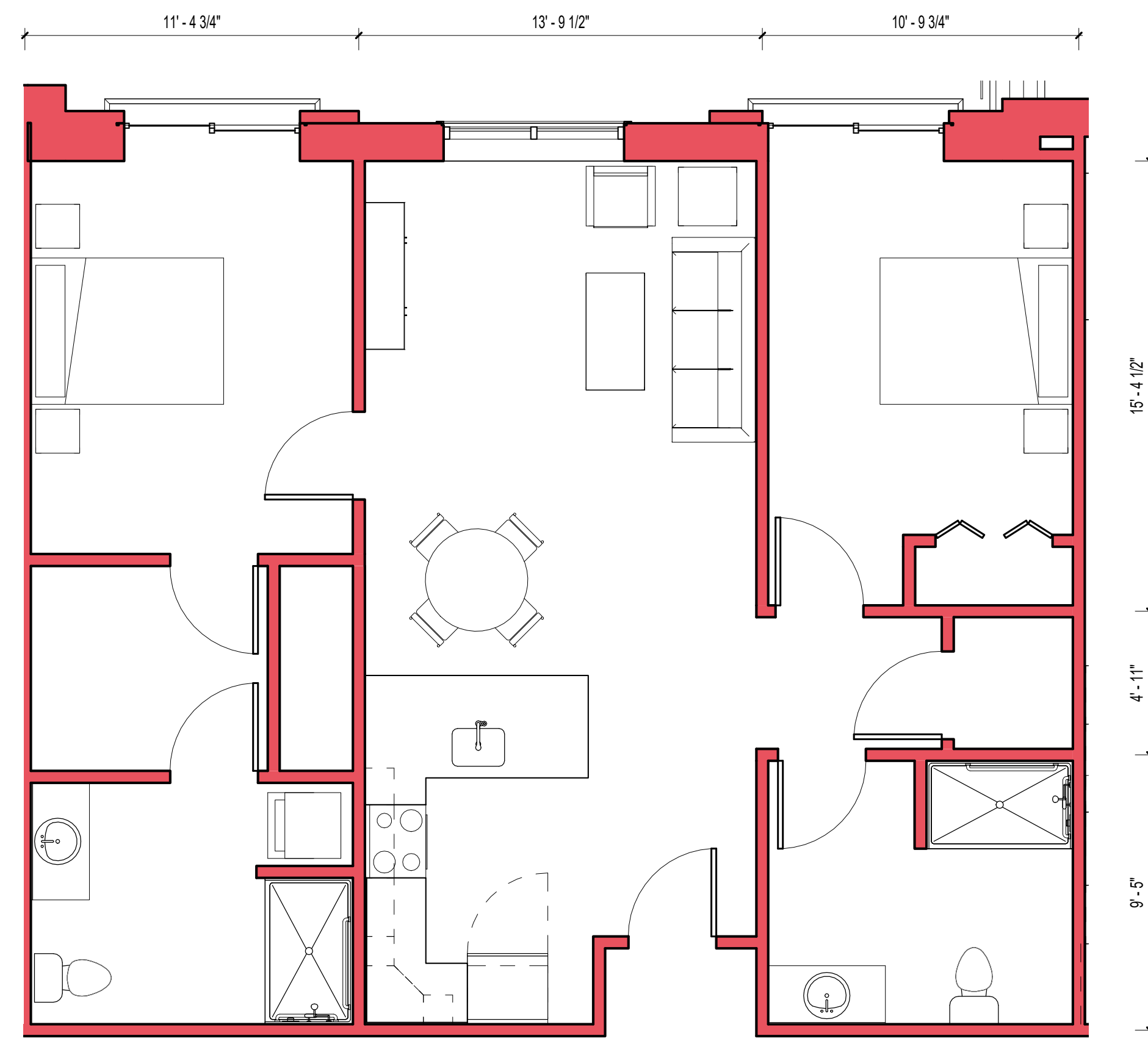
GSD-13-045

A1.5

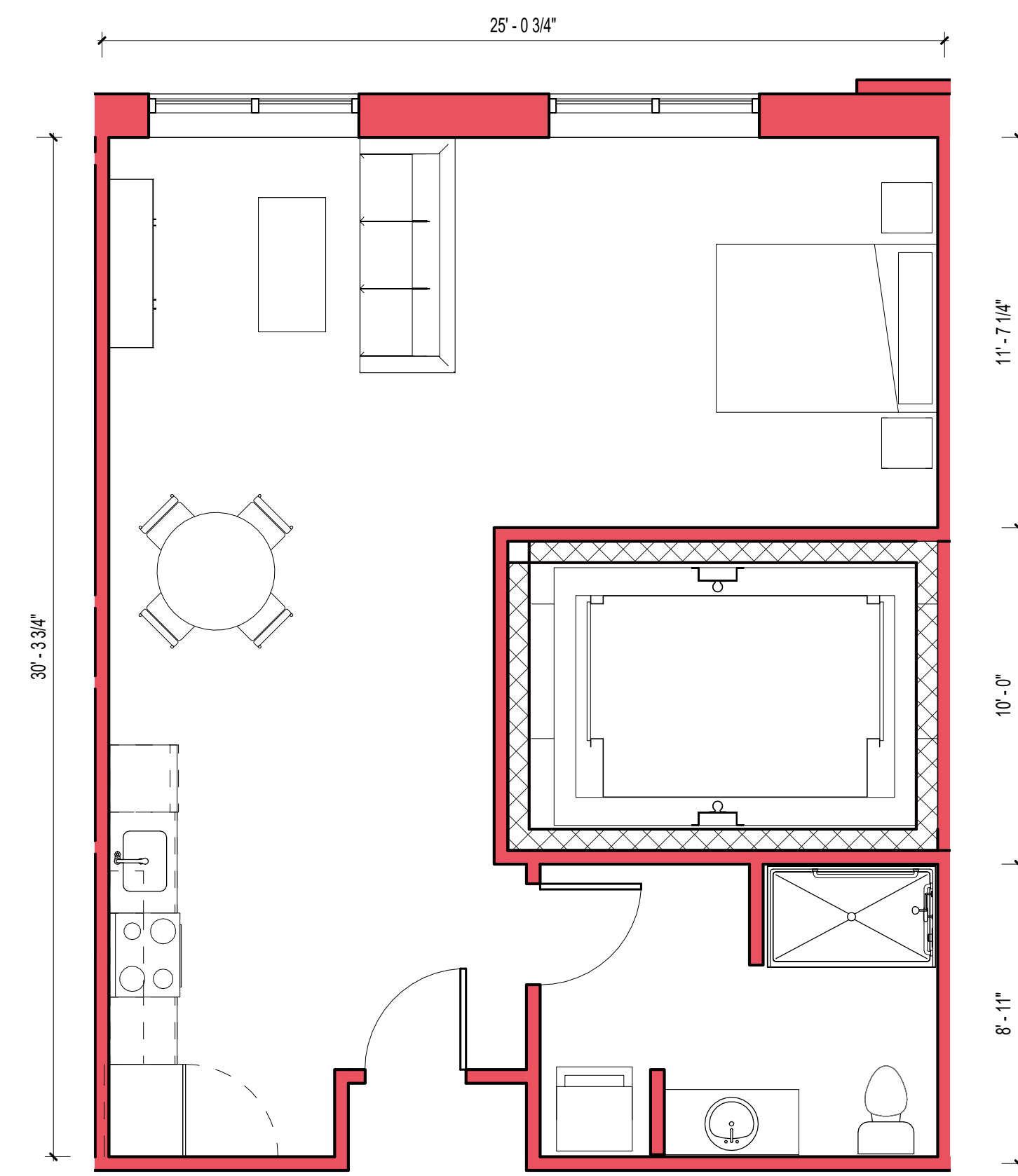
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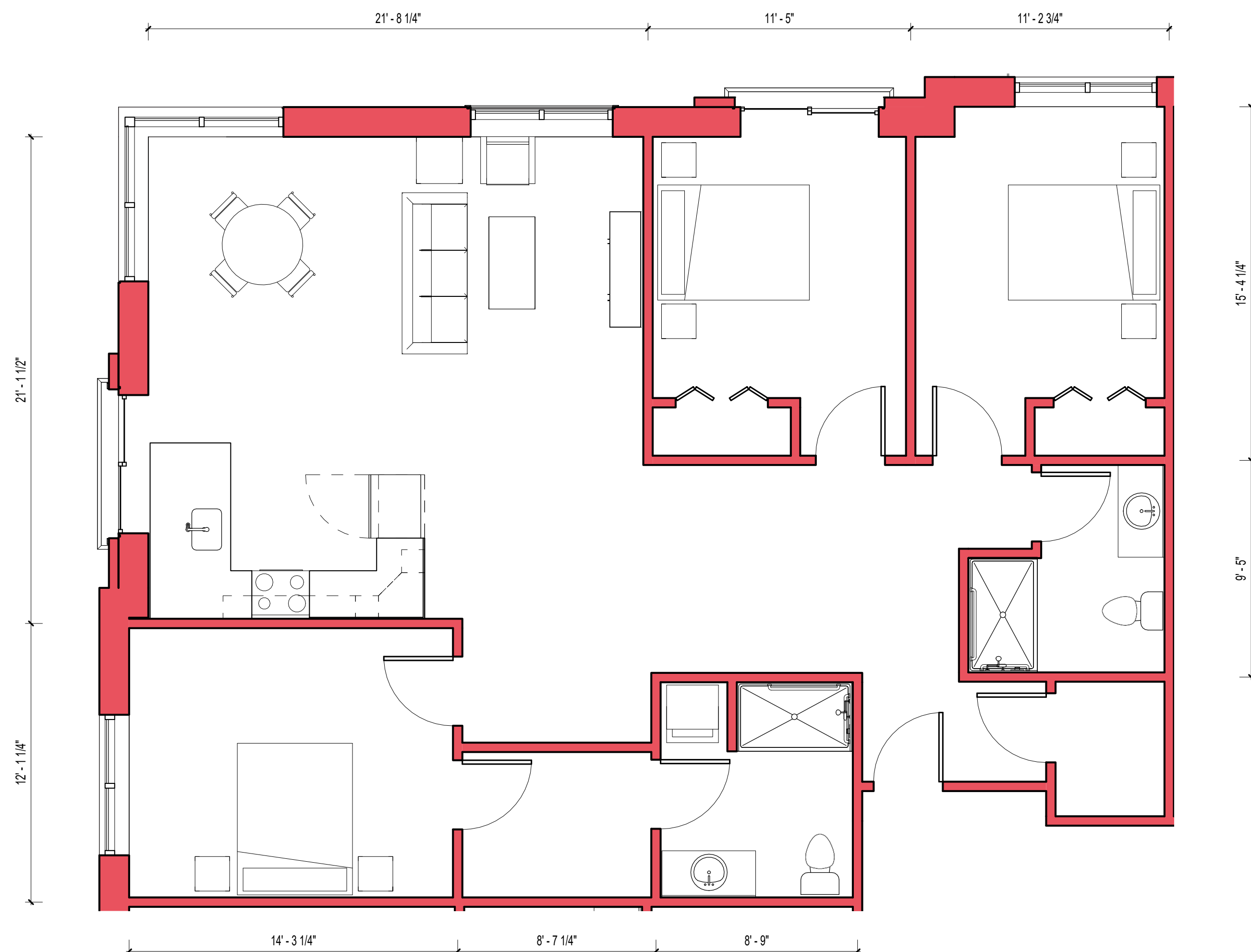
1 Typical 1 Bedroom
SCALE: 1/4" = 1'-0"



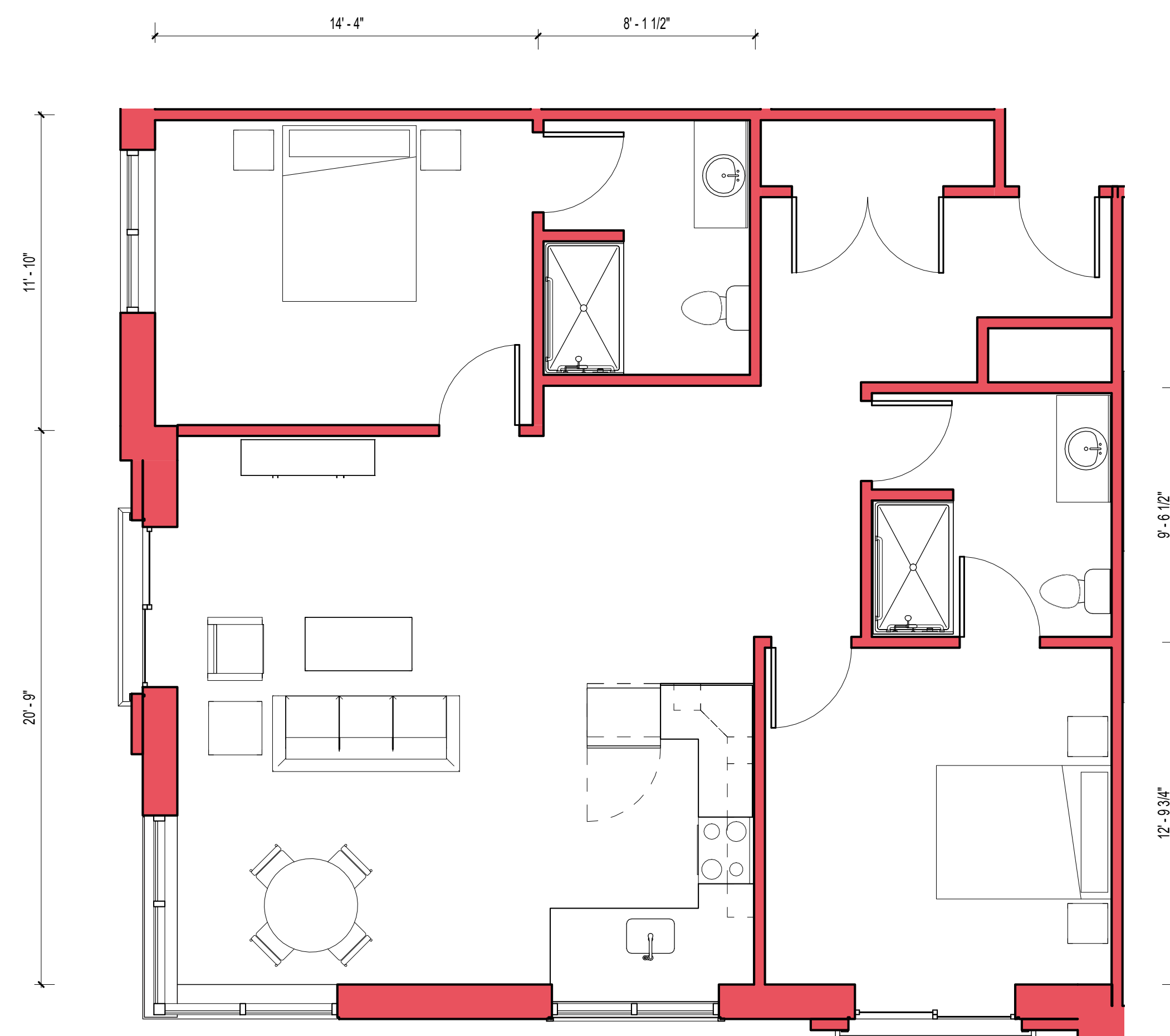
2 Typical 2 Bedroom
SCALE: 1/4" = 1'-0"



3 Typical Studio
SCALE: 1/4" = 1'-0"



4 Typical Corner 3 Bedroom
SCALE: 1/4" = 1'-0"



5 Typical Corner 2 Bedroom
SCALE: 1/4" = 1'-0"

PERMIT DRAWINGS - NOT FOR CONSTRUCTION

architect:

GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:

The Morin-Cameron GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect

HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Typical Unit Type
Layouts

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

revisions:
3-31-2016
REVISED SUBMITTAL FOR PERMIT APPLICATION

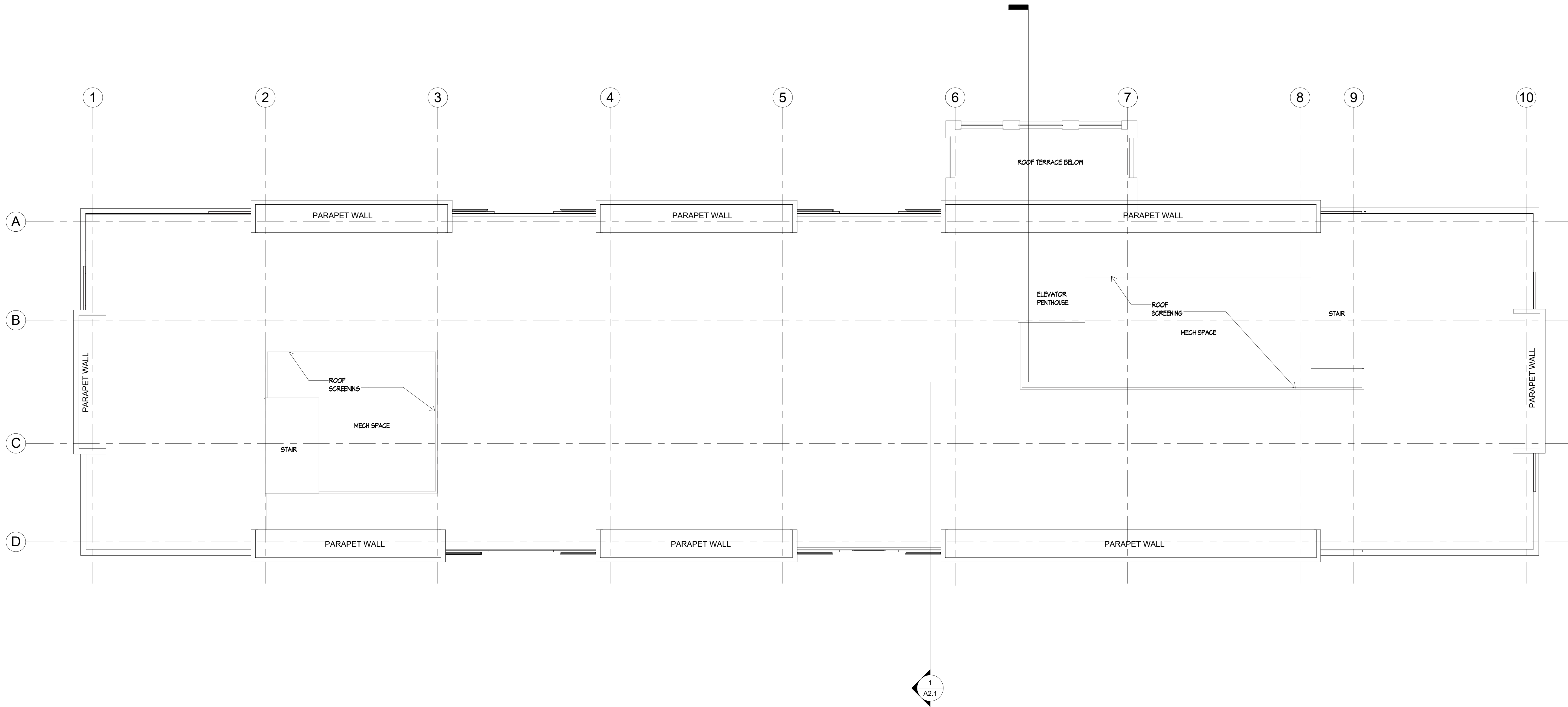
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A1.6

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1 Roof
SCALE: 3/32" = 1'-0"

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GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.gsd-assoc.com

civil engineer:

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LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsheld, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect

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25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.887.6200

sheet title:

Roof Plan

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

revisions:
3-31-2016
REVISED SUBMITTAL FOR PERMIT APPLICATION

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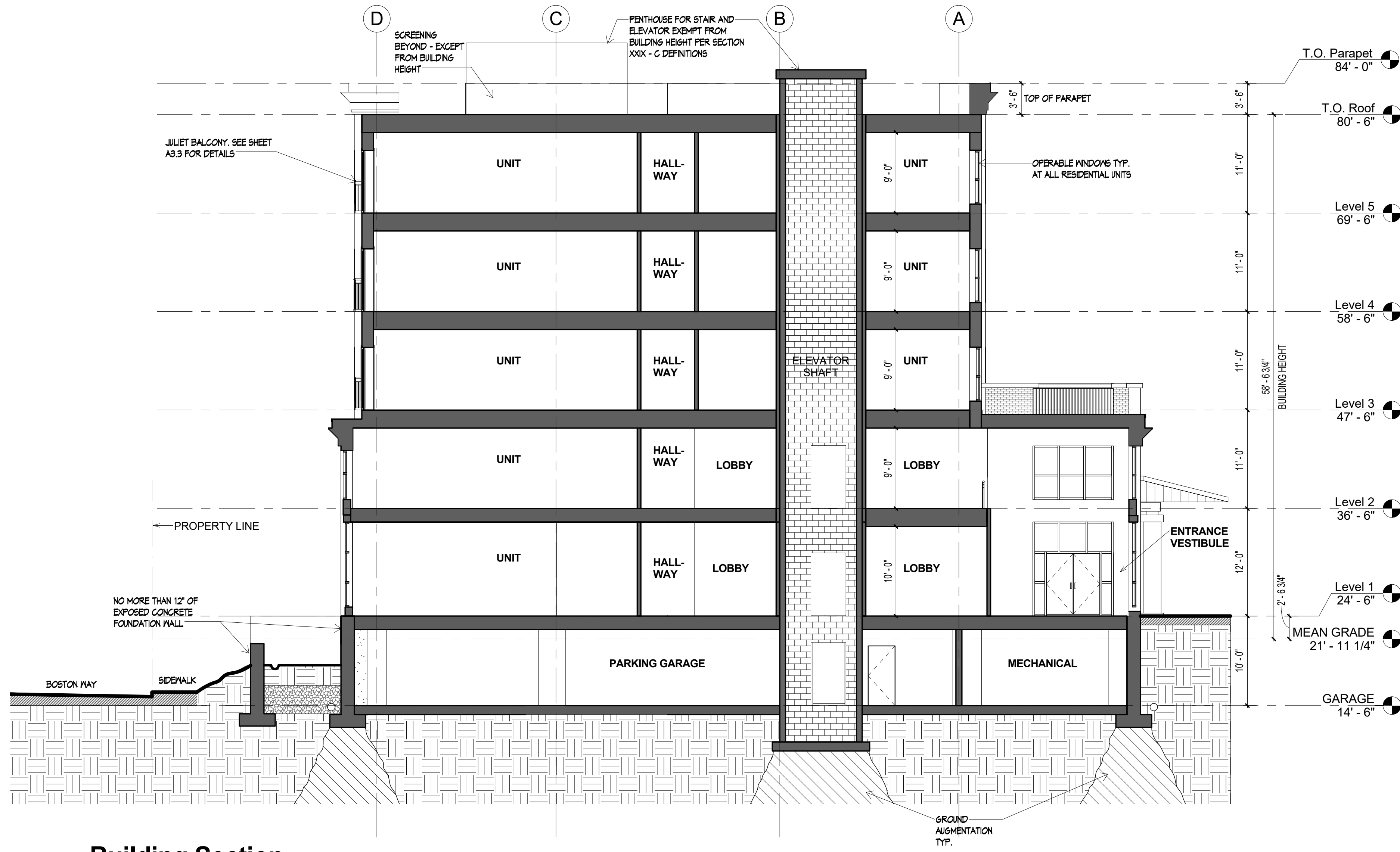
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job number:

GSD-13-045

A1.7

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1 Building Section
SCALE: 1/8" = 1'-0"

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architect:



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North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:



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CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect



HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Section

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date:

12-16-2015

revisions:

3-31-2016
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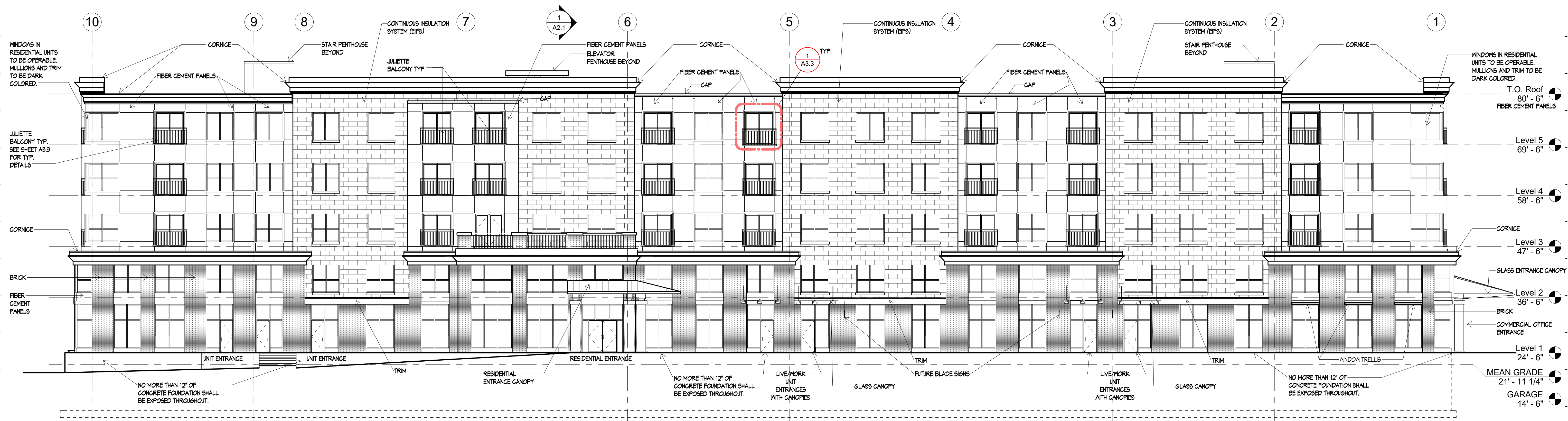
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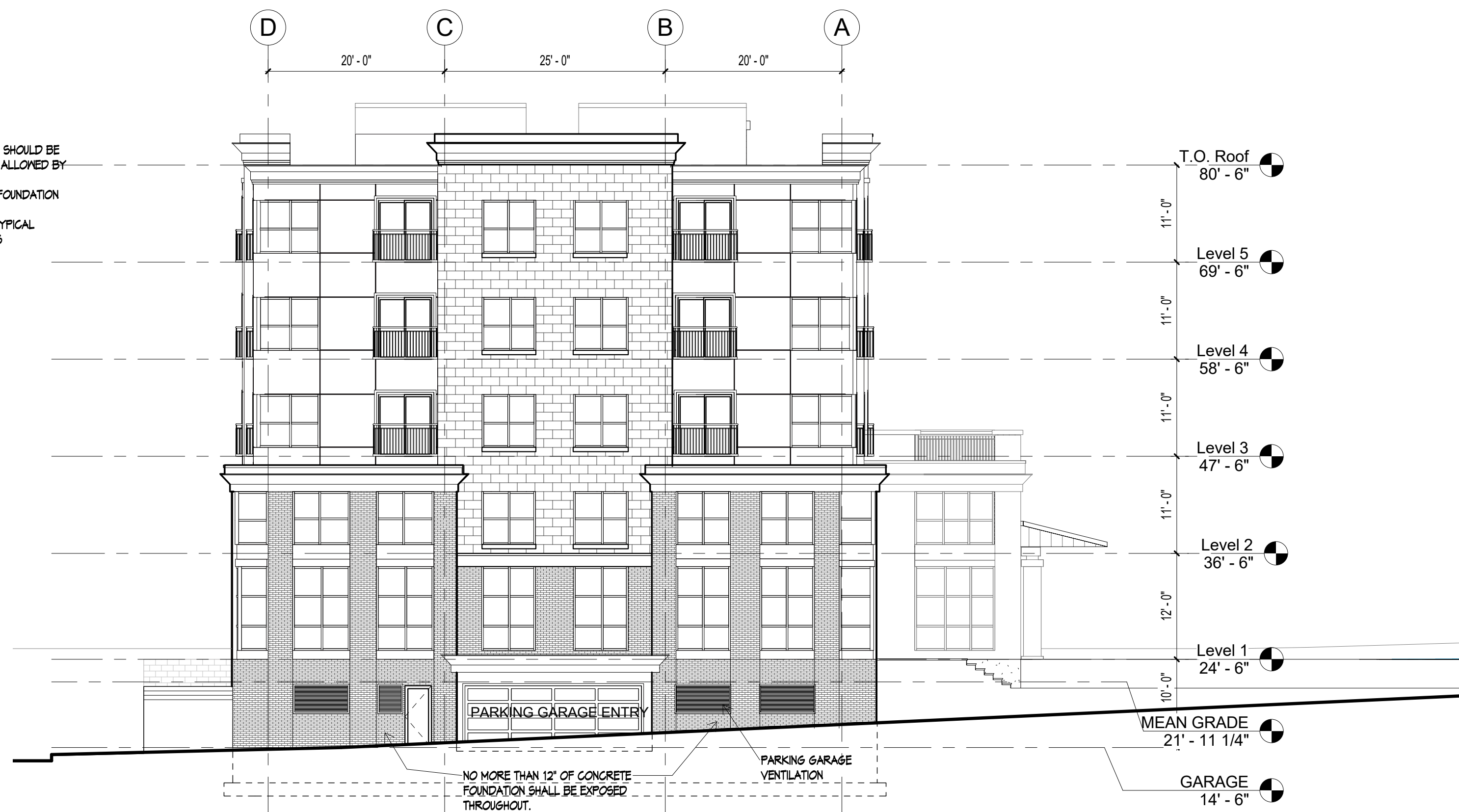
GSD-13-045

A2.1

P:\Central Model 1 BOS WAY PLAN_5-12-2016_Fedala.rvt



1 North Elevation
SCALE: 3/32" = 1'-0"



2 East Elevation
SCALE: 3/32" = 1'-0"

PERMIT DRAWINGS - NOT FOR CONSTRUCTION

architect:

GSD
GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-887-5422
www.gsd-assoc.com

civil engineer:

The Morin-Cameron GROUP, INC.
CIVIL ENGINEERS, ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS, LAND USE PLANNERS
447 Boston Street
Topsheld, MA 01983
Tel: 978-887-8386
www.morincameron.com

landscape architect

HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.887.6200

sheet title:

North and East Elevations

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date: 12-16-2015

revisions:
3-31-2016
REVISED SUBMITTAL FOR PERMIT APPLICATION

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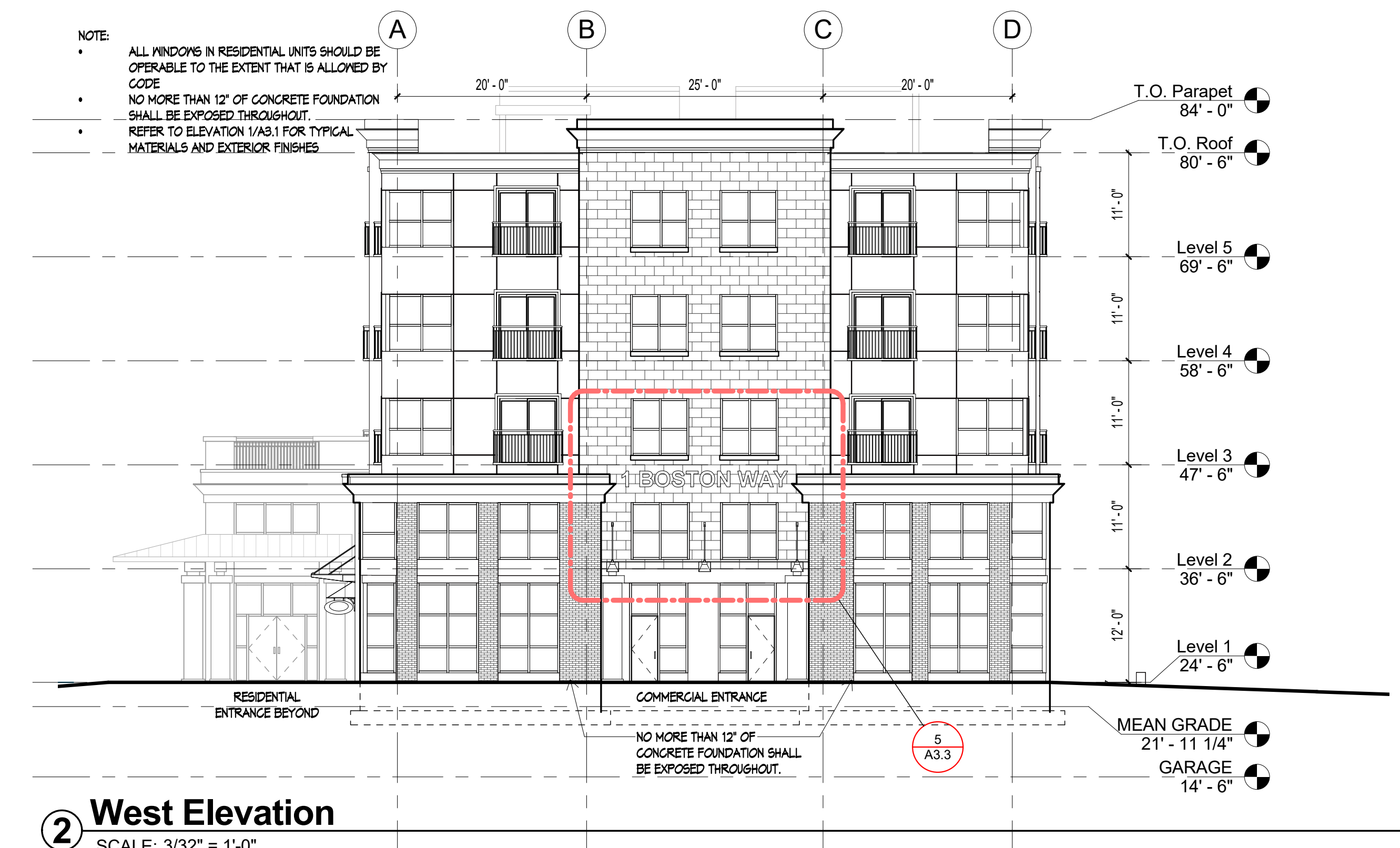
job number:
GSD-13-045

A3.1

P:\Central Model 1 BOSTON WAY PLAN_5-12-2016_Fields.rvt



1 South Elevation
SCALE: 3/32" = 1'-0"



2 West Elevation
SCALE: 3/32" = 1'-0"

PERMIT DRAWINGS - NOT FOR CONSTRUCTION

NOTE:
ALL WINDOWS ON LEVEL 2 THROUGH 5 SHOULD BE OPERABLE TO THE EXTENT THAT IS ALLOWED BY CODE
NO MORE THAN 12" OF CONCRETE FOUNDATION SHALL BE EXPOSED THROUGHOUT.
REFER TO ELEVATION 1/A3.1 FOR TYPICAL MATERIALS AND EXTERIOR FINISHES

NO MORE THAN 12" OF CONCRETE FOUNDATION SHALL BE EXPOSED THROUGHOUT.

NO MORE THAN 12" OF CONCRETE FOUNDATION SHALL BE EXPOSED THROUGHOUT.

NO MORE THAN 12" OF CONCRETE FOUNDATION SHALL BE EXPOSED THROUGHOUT.

NOTE:
ALL WINDOWS IN RESIDENTIAL UNITS SHOULD BE OPERABLE TO THE EXTENT THAT IS ALLOWED BY CODE
NO MORE THAN 12" OF CONCRETE FOUNDATION SHALL BE EXPOSED THROUGHOUT.
REFER TO ELEVATION 1/A3.1 FOR TYPICAL MATERIALS AND EXTERIOR FINISHES

NO MORE THAN 12" OF CONCRETE FOUNDATION SHALL BE EXPOSED THROUGHOUT.

architect:



GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:



The Morin-Cameron Group, Inc.
CIVIL ENGINEERS, ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS, LAND USE PLANNERS
447 Boston Street
Topsfield, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect



Halvorson Design Partnership
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC
231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.887.6200

sheet title:

South and West Elevations

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date:

12-16-2015

revisions:

3-31-2016
REVISED SUBMITTAL FOR PERMIT APPLICATION

dr. chk.

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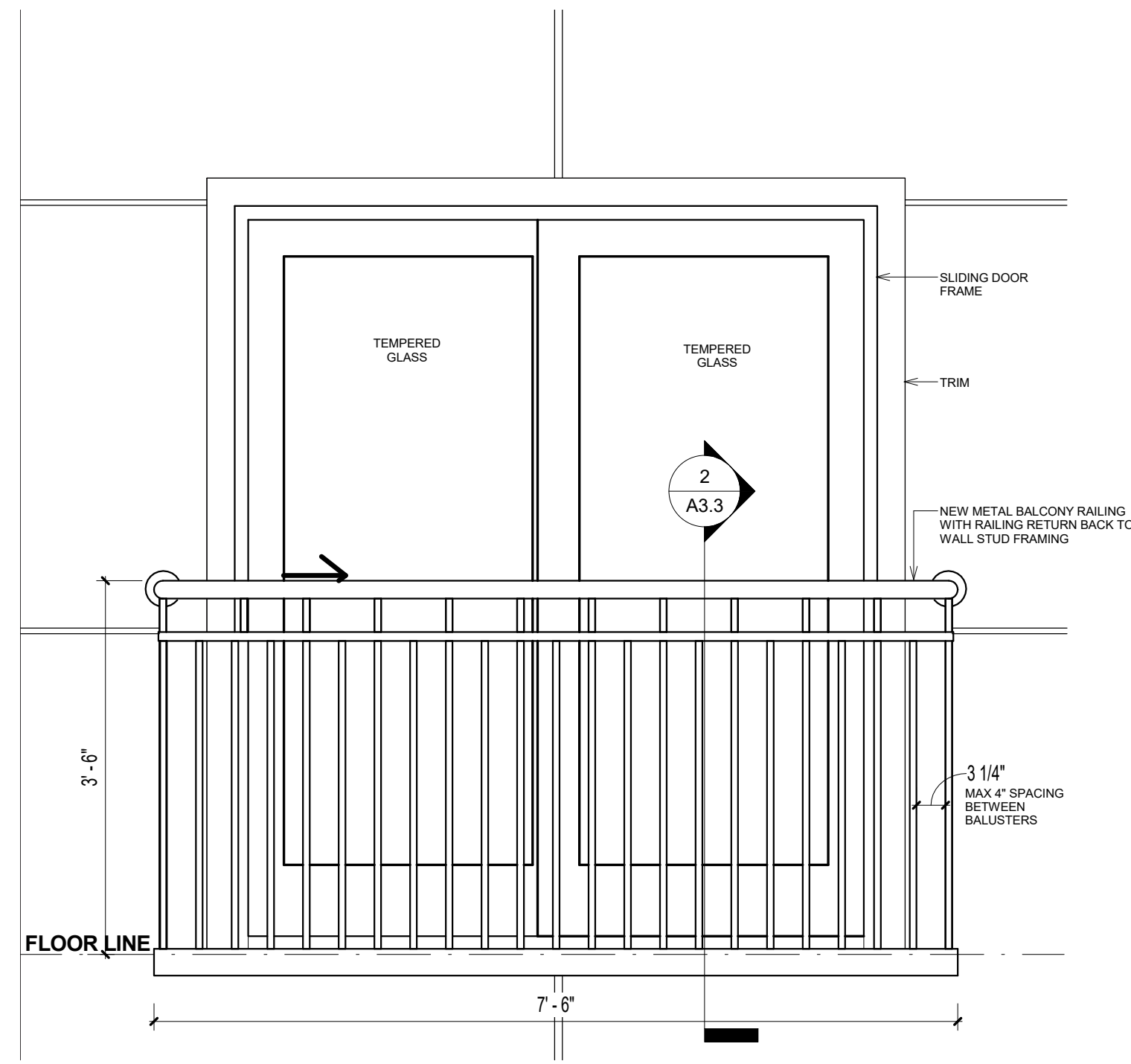
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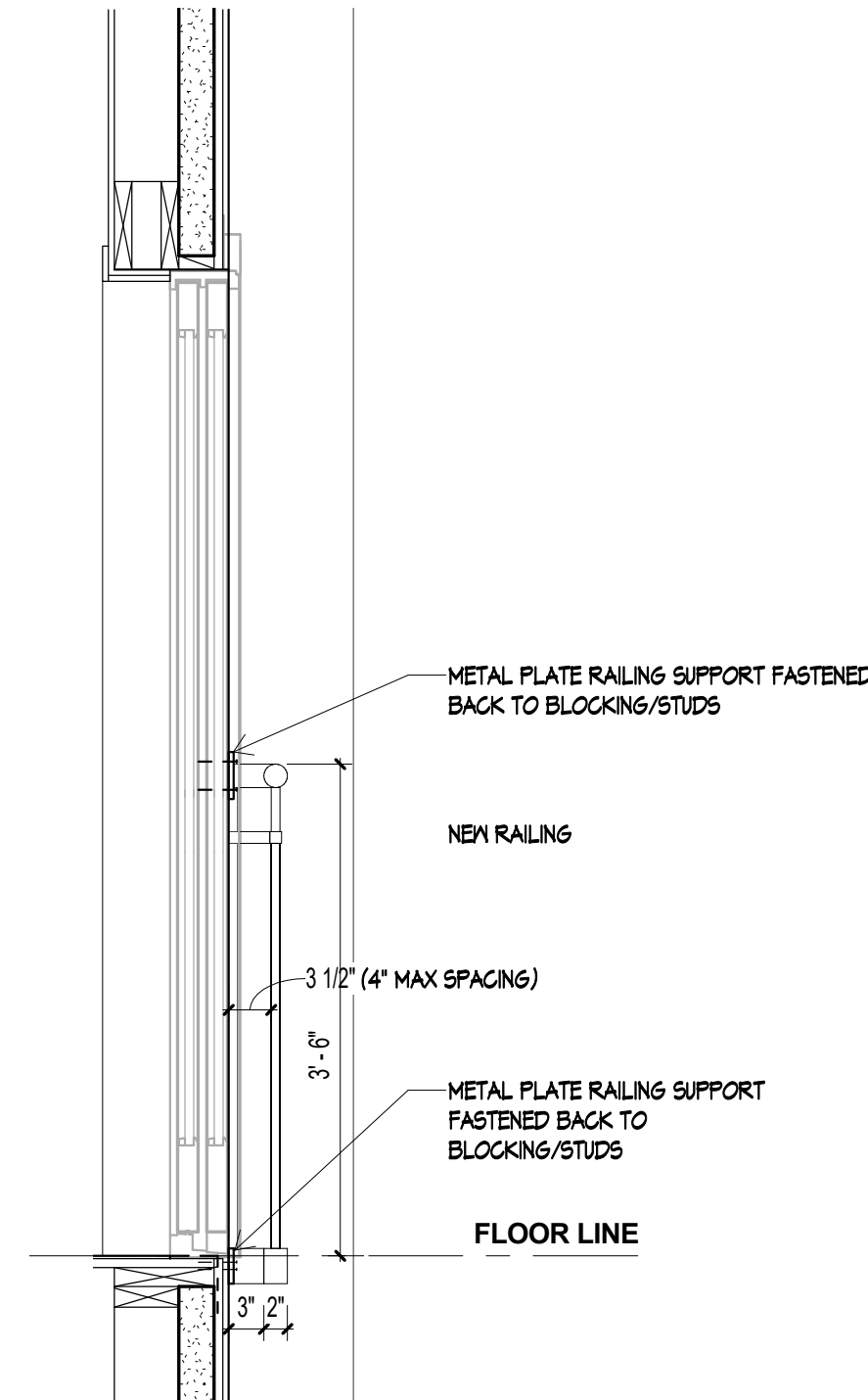
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A3.2

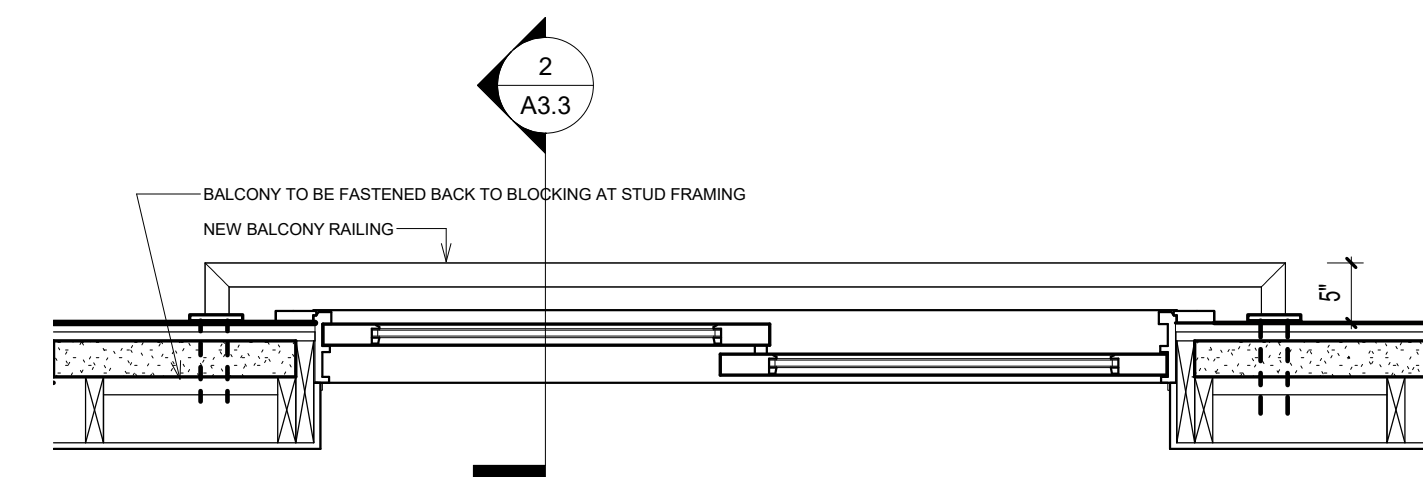
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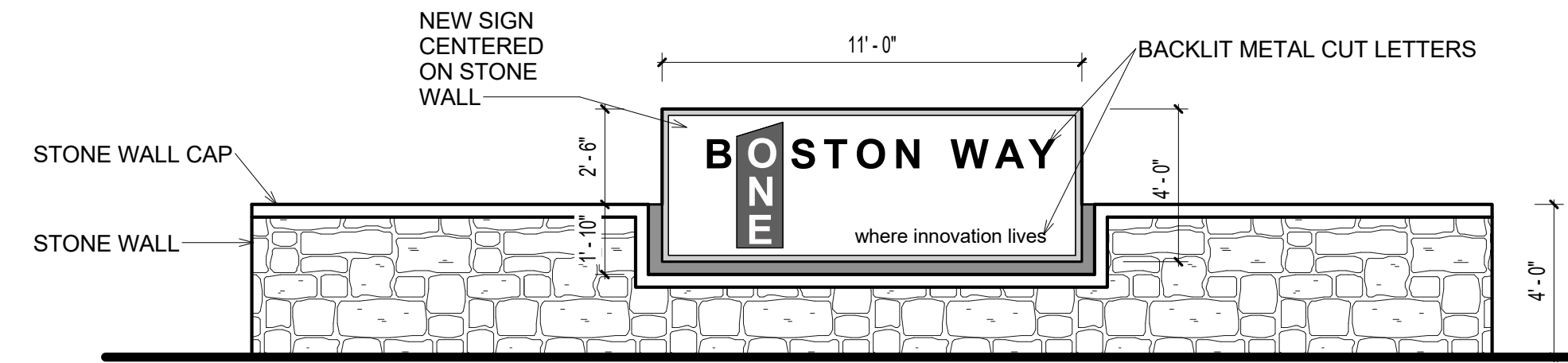
1 TYP. BALCONY DETAIL - ELEVATION
SCALE: 3/4" = 1'-0"



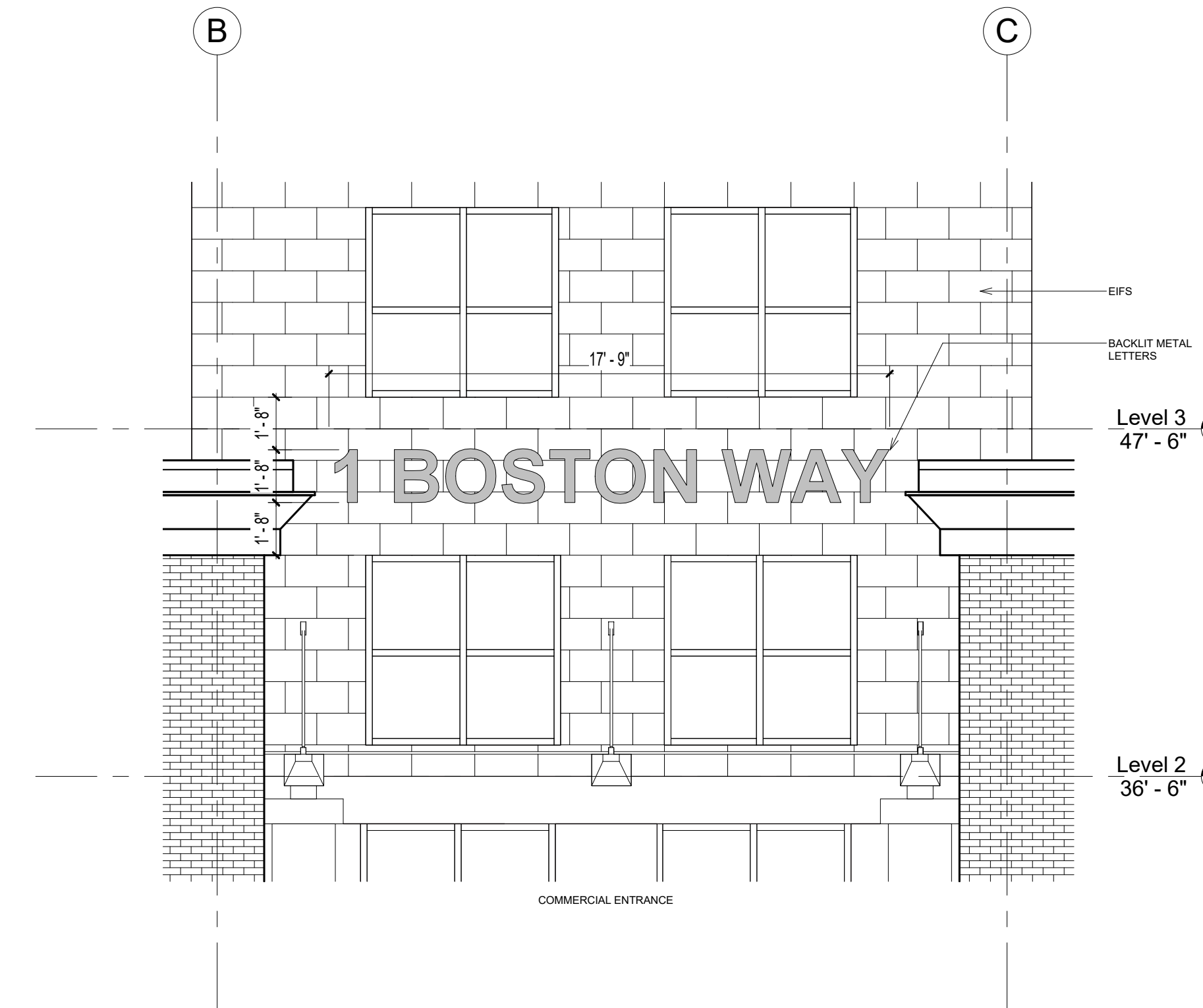
2 TYP. BALCONY SECTION
SCALE: 3/4" = 1'-0"



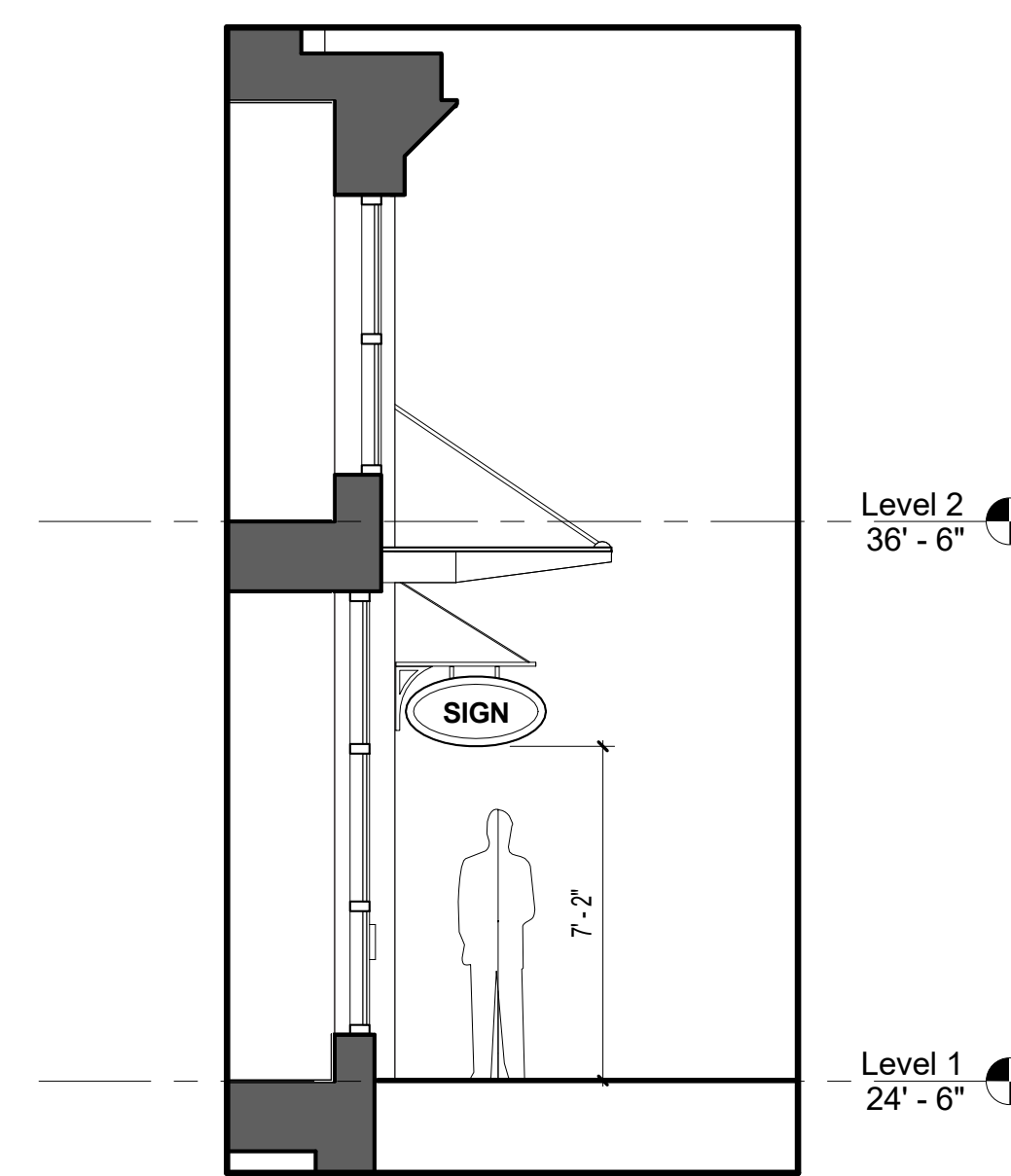
3 TYP. BALCONY DETAIL- PLAN VIEW
SCALE: 3/4" = 1'-0"



ENTRANCE STONE WALL SIGNAGE DETAIL
SCALE: 1/4" = 1'-0"



5 BUILDING SIGNAGE DETAIL
SCALE: 1/4" = 1'-0"



4 SECTION AT LIVE/WORK UNIT ENTRANCE
SCALE: 1/4" = 1'-0"

architect:



GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-888-5422
www.gsd-assoc.com

civil engineer:



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CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
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447 Boston Street
Topsheld, MA 01983
Tel: 978-887-8586
www.morincameron.com

landscape architect



HALVORSON DESIGN PARTNERSHIP
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC

231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.887.6200

sheet title:

Balcony and Signage details

Project Name:

1 BOSTON WAY

1 Boston Way
Newburyport, MA

Issue date:

03-31-2016

revisions:

dr.

chk.

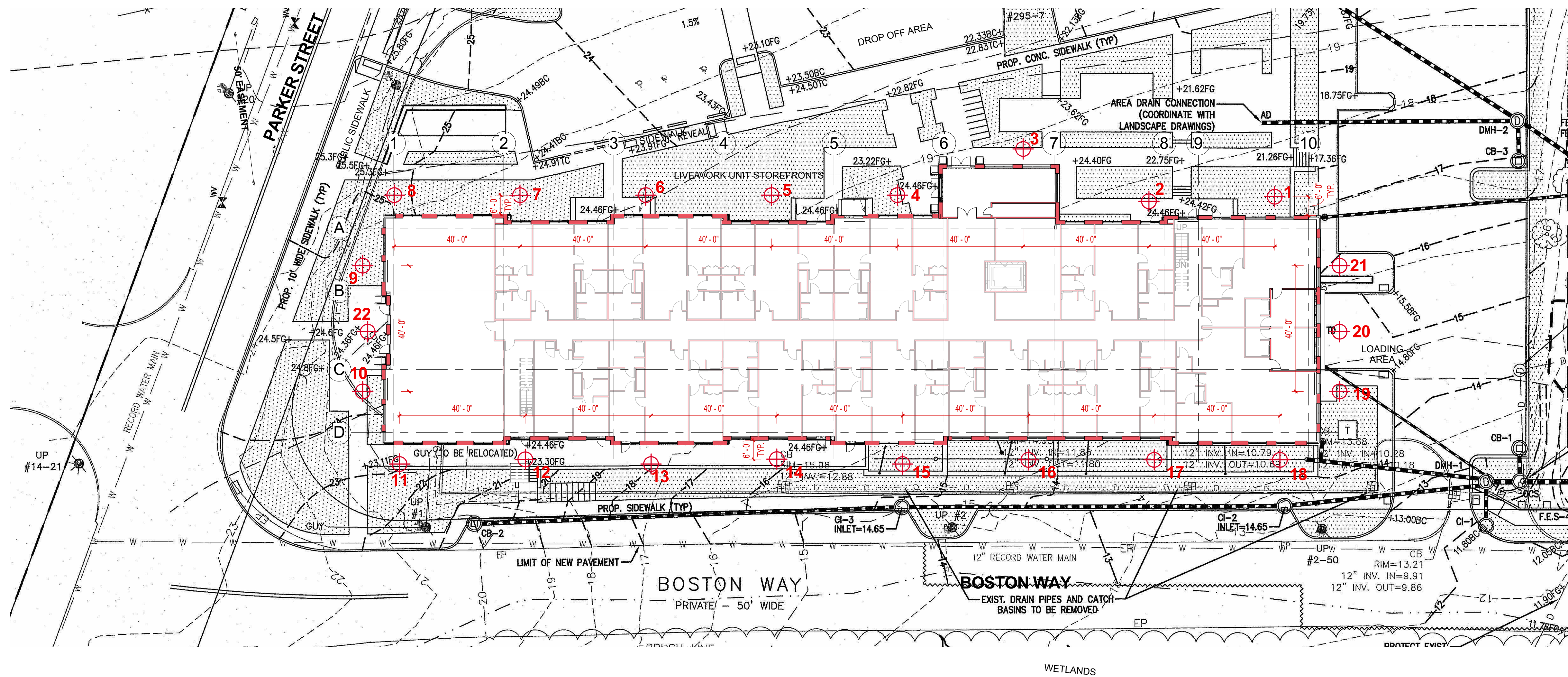
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job number:

GSD-13-045

A3.3



Mean Grade Calculation	
Point location on Plan	Point elevation
1	21.5
2	24.46
3	24.46
4	24.46
5	24.46
6	24.46
7	25.3
8	25
9	24.5
10	24.1
11	23.3
12	24.3
13	24.3
14	24.3
15	19
16	18.5
17	18
18	17.5
19	14.5
20	14.6
21	17
22	24.46
Total:	
482.46	
Mean Grade (Total/22 points):	
21.93	

1 Mean Grade Calculation Diagram
SCALE: 1" = 20'-0"

PERMIT DRAWINGS - NOT FOR CONSTRUCTION

architect:



GSD Associates, LLC
146 Main Street
North Andover, MA 01845
Tel: 978-688-5422
www.gsd-assoc.com

civil engineer:



The Morin-Cameron Group, Inc.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
447 Boston Street
Topsheld, MA 01883
Tel: 978-887-8886
www.morincameron.com

landscape architect



Halvorson Design Partnership
25 Kingston Street 5th Floor
Boston, Massachusetts 02111
Tel: 617-536-0380
www.halvorsondesign.com

owner

One Boston Way, LLC

231 Sutton Street Suite 1B
North Andover, MA 01845
Tel: 978.687.6200

sheet title:

Mean Grade Calculation

Project Name:

1 BOSTON WAY
1 Boston Way
Newburyport, MA

Issue date:

03-31-2016

revisions:

dr.

chk.

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job number:

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A3.4

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