

**LAND USAGE TABLE - GENERAL ACUTE CARE MEDICAL (M-1)
USE: 208 - HOSPITAL / 215 - MEDICAL OFFICE BUILDING**

ITEM	EXISTING ¹	PROPOSED ^{2,3,4}	REQUIRED ⁴ /ALLOWED
LOT AREA (S.F.)	13.56 AC (459,913 S.F.)	10.96 AC ¹ (459,913 S.F.)	4.69 AC (200,000 S.F.)
FRONTAGE (FEET)	1,451'	1,451'	200'
FRONT YARD SETBACK (FEET)	20'	20'	20'
SIDE YARD SETBACK (FEET)	20'	20'	20'
REAR YARD SETBACK (FEET)	20'	20'	20'
MAX. BUILDING HEIGHT (F.L.T.)	39.4'	38.5'	40'
LOT COVERAGE (SQ)	20%	22%	50%
OPEN SPACE (SQ)	N/A	N/A	N/A

- NOTES:
1. ALL EXISTING UNUSUAL CALCULATIONS AND PROPOSED FRONT YARD, SIDE YARD, REAR YARD SETBACKS, HAVE BEEN REFERENCED FROM THE PARKING SUMMARY ON PLAN TITLED "OVERALL SITE PLAN", FOR THE EXPANSION PROJECT AT ANNA JACQUES HOSPITAL, PREPARED BY DM ENGINEERS, DATED, 9/9/2019. THE PROPOSED PROJECT DOES NOT CHANGE THE FRONT YARD, SIDE YARD, & REAR YARD SETBACKS AS THE PROPOSED BUILDING ADDITION IS LOCATED ON THE INTERIOR OF THE PROPERTY AND FURTHER AWAY FROM THE PROPERTY LINE THAN THE EXISTING BUILDING.
 2. LOT COVERAGE, THAT PERCENTAGE OF THE LOT AREA WHICH IS DEVOTED TO BUILDING AREA. (SECTION 18, DEFINITIONS 25.)
 3. PROPOSED BUILDING HEIGHT & STORES IS FROM JACA ARCHITECTS ON DECEMBER 10, 2019.
 4. PROPOSED BUILDING FOOTPRINT G.S.F. IS FROM JACA ARCHITECTS ON DECEMBER 10, 2019.

OFF-STREET PARKING SUMMARY

208 - HOSPITAL USE

1 PER 2 EMPLOYEES PLUS 1 PER DOCTOR PLUS 1 PER 2 BEDS

(402 EMPLOYEES) x 1 SPACE PER 2 EMPLOYEES = 201 SPACES
 (21 DOCTORS) x 1 SPACE PER DOCTOR = 21 SPACES
 (120 BEDS) x 1 SPACE PER 2 BEDS = 60 SPACES

215 - MEDICAL OFFICE BUILDING

1 PER 2 EMPLOYEES PLUS 1 PER 300 SQUARE FEET GROSS FLOOR AREA

(66 EMPLOYEES) x 1 SPACE PER 2 EMPLOYEES = 33 SPACES
 (59,000 G.S.F.) x 1 SPACE PER 100 G.S.F. = 104 SPACES

SITE TOTAL OFF-STREET PARKING REQUIREMENT = 511 SPACES

ADA REQUIRED STANDARD ACCESSIBLE & VAN ACCESSIBLE SPACES
 (839 TOTAL STALLS)(2.0%) = 16.78 STALLS, ROUNDED TO 17 HANDICAPPED STALLS REQUIRED, OF WHICH 1 OUT OF EVERY 6 PROPOSED ADA ACCESSIBLE STALLS MUST BE VAN ACCESSIBLE.
 ((17 REQUIRED STANDARD ADA ACCESSIBLE STALLS)(1/3 VAN ACCESSIBLE)) = 3 VAN ACCESSIBLE STALLS REQUIRED
 6 EXISTING VAN STALLS ARE PROVIDED OUT OF THE 26 TOTAL EXISTING ACCESSIBLE STALLS

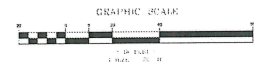
TOTAL EXISTING	TOTAL PROVIDED (WITH THE REMOVAL OF 12 SPACES AND THE 10 NEWLY CONSTRUCTED 9'X18' SPACES)	TOTAL SPACES LEASED FROM HOSPITAL TO HMC	TOTAL SPACES PROVIDED FOR HOSPITAL	TOTAL REQUIRED
841	839	40	799	511

- NOTES:
1. THE EXISTING PARKING COUNTS (TOTAL EXISTING, TOTAL EXISTING ACCESSIBLE SPACES, AND EXISTING ACCESSIBLE VAN SPACES) HAS BEEN REFERENCED FROM MULTIPLE PLANS.
 - A. THE PARKING SUMMARY ON PLAN ENTITLED "OVERALL SITE PLAN C-1", FOR THE PARKING (1)17 EXPANSION PROJECT AT ANNA JACQUES HOSPITAL, PREPARED BY DM ENGINEERING GROUP, WITH A LAST REVISION DATE OF 11/15/14.
 - B. PLAN ENTITLED "PARKING LOT REPAIR PLAN", C-1", FOR THE PARKING LOT REPAIRS AT ANNA JACQUES HOSPITAL, PREPARED BY DM CONSULTING GROUP, WITH A DATE OF 10/23/2017.

Anna Jacques Hospital Expansion
 25 Highland Avenue
 Newburyport, Massachusetts



Beth Israel Lahey Health
 Anna Jaques Hospital







Beth Israel Lahey Health

Anna Jaques Hospital

OR Building Expansion

25 Highland Ave, Newburyport, MA 01950

SITE PLAN REVIEW	
A0	COVER SHEET
A1	GROUND FLOOR PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	BUILDING ELEVATIONS
A5	SIGNAGE ELEVATIONS
A6	BUILDING SECTIONS
A7	EXTERIOR VIEWS



Site Plan Review

01/03/2020



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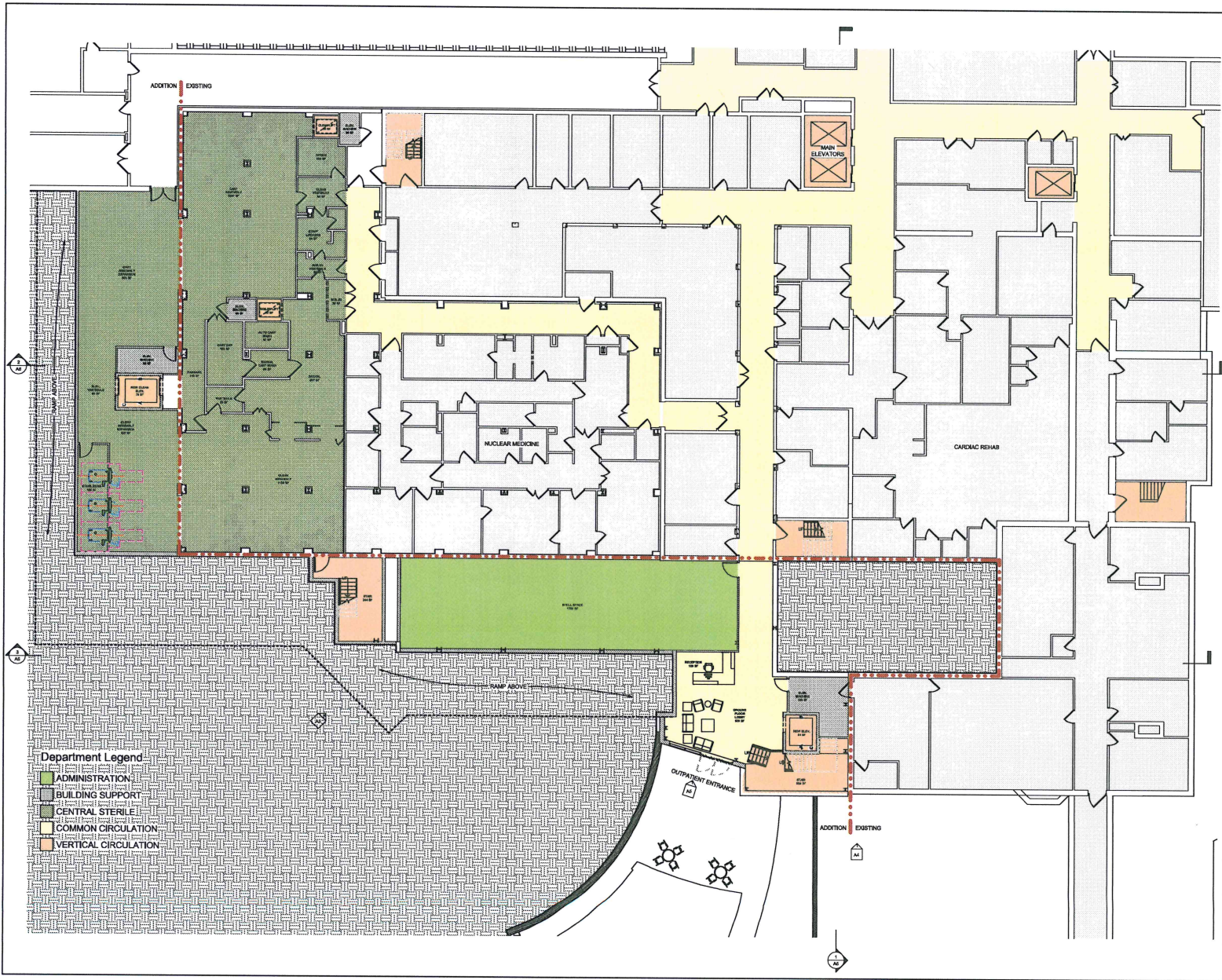
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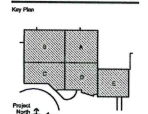


- Department Legend**
- ADMINISTRATION
 - BUILDING SUPPORT
 - CENTRAL STERILE
 - COMMON CIRCULATION
 - VERTICAL CIRCULATION

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DATE	
DATE	
DATE	
DATE	

Mark	Revision	Date



Drawing Title
GROUND FLOOR PLAN

Scale: **1/8" = 1'-0"**

Drawing Number
A1

Project Number: 190042



- Department Legend**
- ADMINISTRATION
 - ADMINISTRATION CIRCULATION
 - BUILDING SUPPORT
 - COMMON CIRCULATION
 - PACU
 - PACU CIRCULATION
 - SURGICAL CIRCULATION
 - SURGICAL OPERATING ROOM
 - SURGICAL SUPPORT
 - VERTICAL CIRCULATION
 - WAITING & RECEPTION

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Plan Plan

Issue _____ **Date** _____

Site Plan Review _____

Mark	Revision	Date

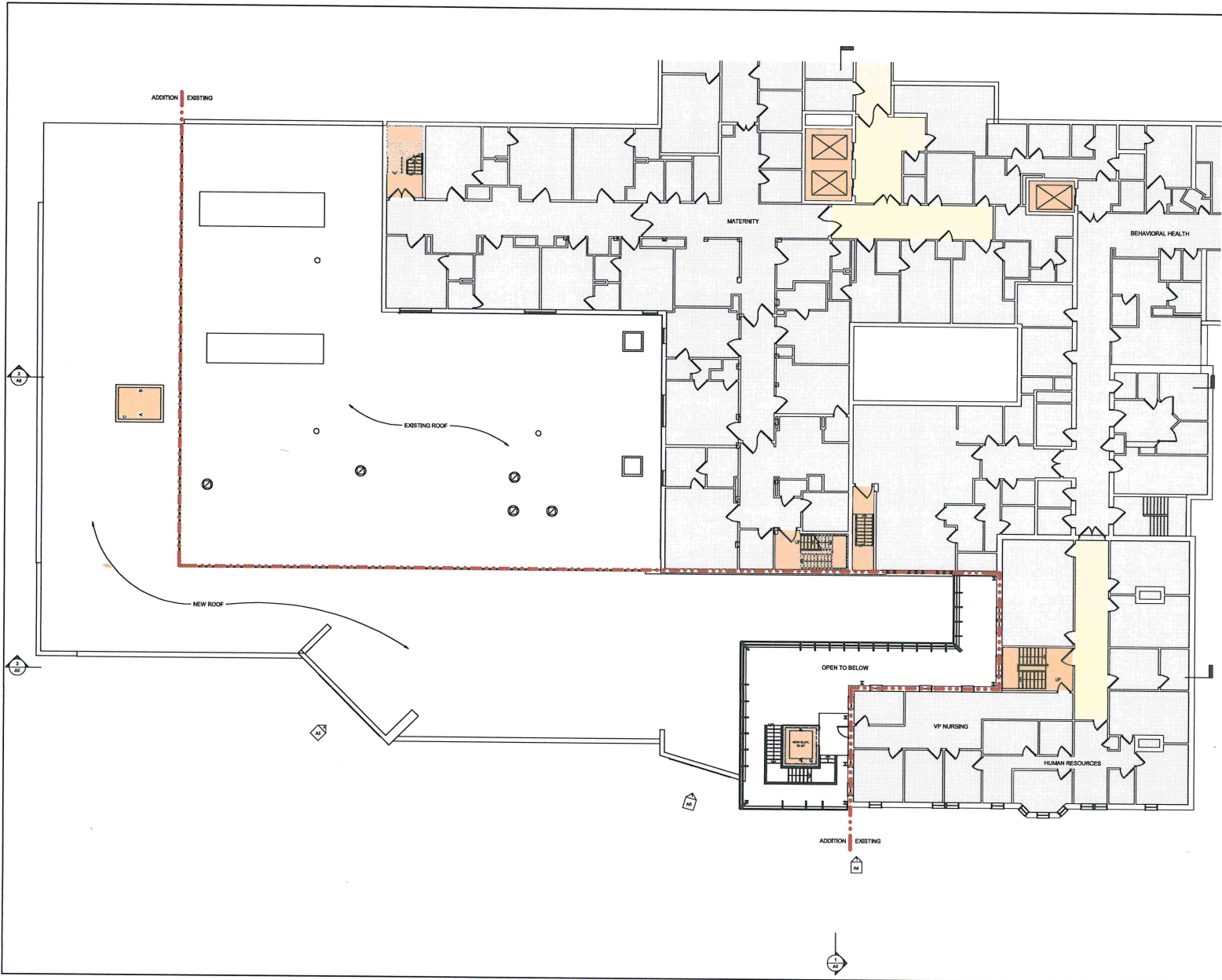


FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"

Drawing Number: **A2**

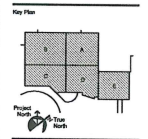
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DATE	REVISION

SITE PLAN REVIEW: 05/28/2020

Mark	Revision	Date



Drawing Title
SECOND FLOOR PLAN

Scale: 1/8" = 1'-0"
 Drawing Number

A3
 Project Number 190042

Landscape Architect

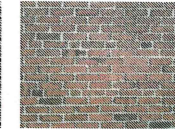
BUILDING MATERIALS



3. GLASS



2. GRAY-GREEN SLATE

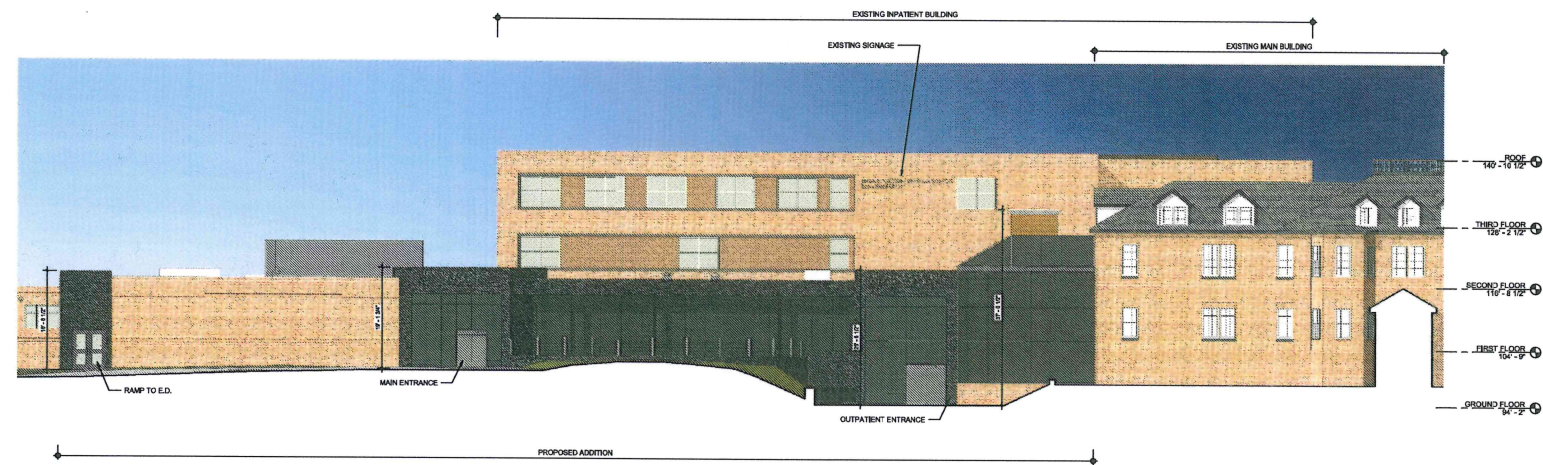


1. RED BRICK

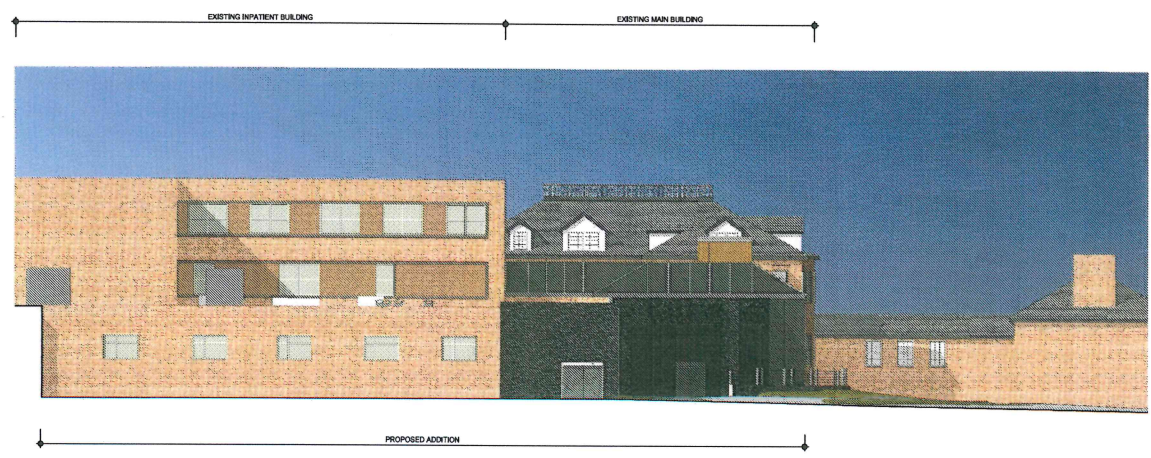
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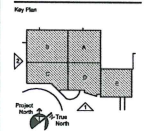
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1 SOUTH EXTERIOR ELEVATION - PRESENTATION
 18'-1 1/2"



2 WEST EXTERIOR FACADE
 18'-1 1/2"



DATE	DATE

SITE PLAN REVIEW: _____

Mark	Revision	Date



Drawing Title
BUILDING ELEVATIONS

Scale: 1/8" = 1'-0"
 Drawing Number

A4

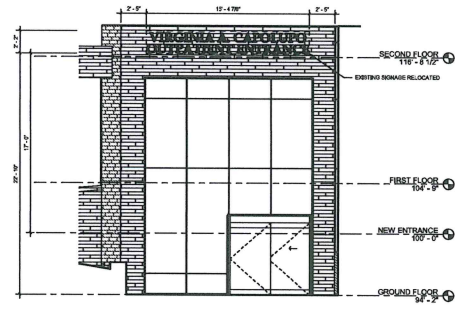
Project Number: 190042

UNIVERSITY MICROFILMS

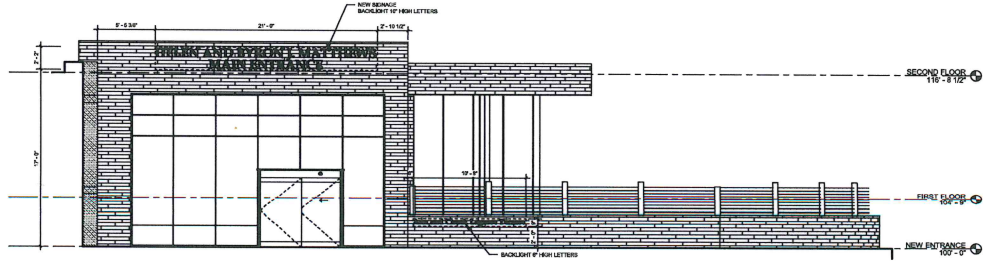
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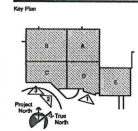
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1 ELEVATION OF OUTPATIENT ENTRANCE SIGNAGE
 1/4" = 1'-0"



2 ELEVATION OF MAIN ENTRANCE SIGNAGE
 1/4" = 1'-0"



DATE	DATE

Mark	Revision	Date



Drawing Title
SIGNAGE ELEVATIONS

Scale
 1/4" = 1'-0"

Drawing Number
A5

Project Number
 190042

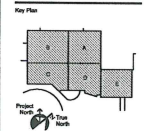
10/20/2018 10:00 AM



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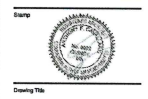
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ISSUE	DATE

SITE PLAN REVIEWER: PROJECTS

Mark	Revision	Date

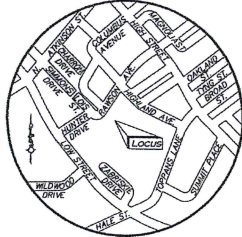


Drawing Title: **BUILDING SECTIONS**

Scale: 1/8" = 1'-0"

Drawing Number: **A6**

Project Number: 190042



LOCUS MAP
NOT TO SCALE

SITE DEVELOPMENT PLANS FOR OR BUILDING EXPANSION ANNA JAQUES HOSPITAL

25 HIGHLAND AVENUE
NEWBURYPORT, MA 01950

OWNER/APPLICANT:
BETH ISRAEL LAHEY HEALTH
ANNA JAQUES HOSPITAL
25 HIGHLAND AVENUE
NEWBURYPORT, MA 01950

ARCHITECT:
JACA ARCHITECTS
9 BILLINGS ROAD
NORTH QUINCY, MA 02171

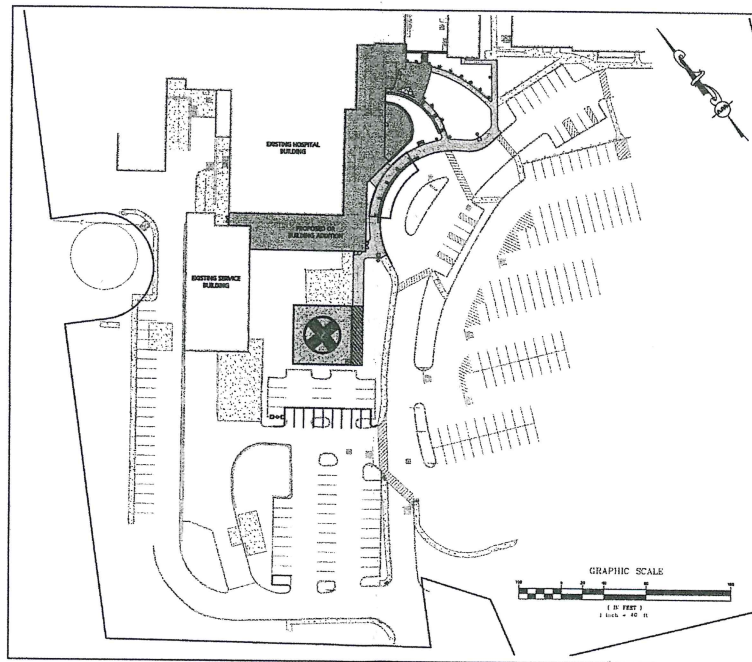
CIVIL ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
SUITE 5
WOBBURN, MA 01801

LANDSCAPE ARCHITECT:
ALLEN & MAJOR ASSOCIATES, INC.
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LAND SURVEYOR:
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LIST OF DRAWINGS				
DRAWING TITLE	SHEET NO.	ISSUED	LAST REVISED	
EXISTING CONDITIONS PLAN	V-101	11-25-19	01-08-20	
OBSERVATIONS & NOTES	C-001	11-25-19	01-08-20	
ABBREVIATIONS & NOTES	C-002	11-25-19	01-08-20	
SITE PREPARATION AND DEMOLITION PLAN	C-101	11-25-19	01-08-20	
LAYOUT & MATERIAL PLAN	C-102	11-25-19	01-08-20	
GRADING & DRAINAGE PLAN	C-103	11-25-19	01-08-20	
DETAILS	C-001	11-25-19	01-08-20	
DETAILS	C-002	11-25-19	01-08-20	
DETAILS	C-003	-	01-08-20	
LANDSCAPE PLAN	L-101	11-25-19	01-08-20	
LANDSCAPE DETAILS	L-201	11-25-19	01-08-20	



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR SITE PLAN REVIEW &
SPECIAL PERMIT: JANUARY 8, 2020

ISSUED FOR LOCAL PERMITTING: NOVEMBER 25, 2019

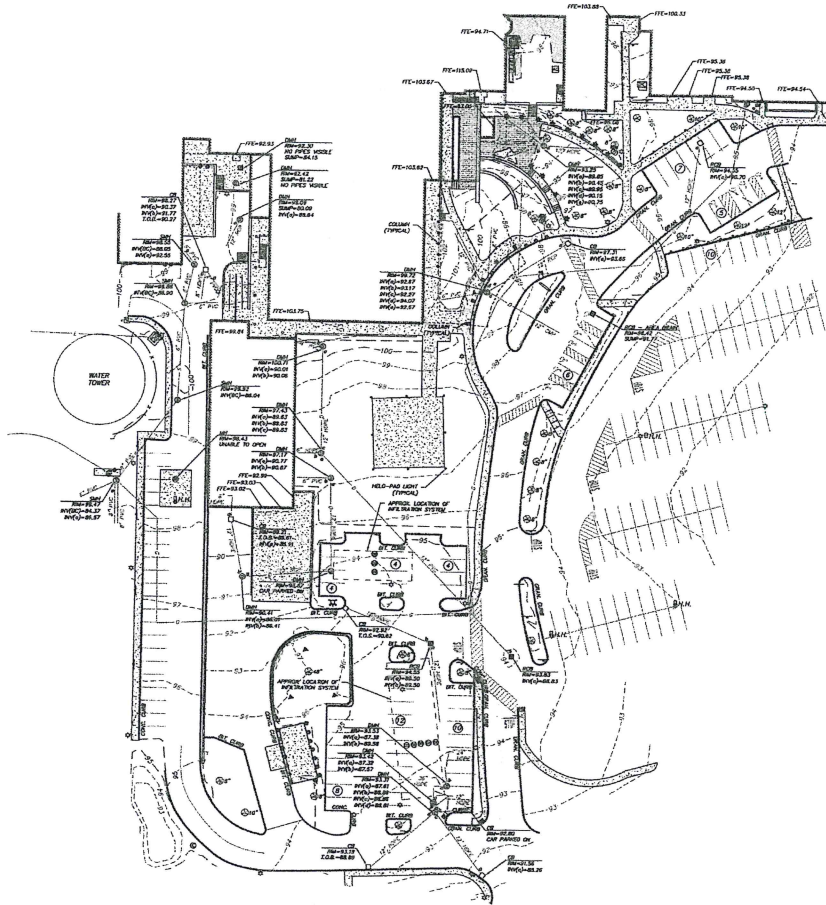
H:\PROJECTS\2019-01\LOCAL PERMITTING\CURRENT\10-2019-01 COVER.DWG



LOCUS MAP
(NOT TO SCALE)

WE HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 16, 2018 AND NOVEMBER 11, 2018. THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS FOR
ALLEN & MAJOR ASSOCIATES, INC.



LEGEND	
DRAIN MANHOLE (DM)	⊙
SEWER MANHOLE (SM)	⊙
ELECTRIC MANHOLE (EM)	⊙
MISC. MANHOLE (MH)	⊙
CATCH BASIN (CB)	⊙
ROUND CATCH BASIN (RCB)	⊙
BOLLARD	⊙
LIGHT	⊙
FLOODLIGHT	⊙
PEDESTAL LIGHT	⊙
TREE	⊙
AREA DRAIN	⊙
SDW	⊙
SDW	⊙
TRANSFORMER	⊙
HAND HOLE	⊙
AIR CONDITIONER	⊙
CABLE BOX	⊙
TELEPHONE BOX	⊙
ELECTRIC BOX	⊙
GAS METER	⊙
ELECTRIC METER	⊙
HANDICAPPED PARKING SPACE	⊙
IRREGULAR CONTROL WALK	⊙
PARKING SPACE COUNT	⊙
SPOT GRADE	⊙
CONCRETE	⊙
LANDSCAPED AREA (LSA)	⊙
BRICK/PAVED	⊙
BUILDING	⊙
BUILDING OVERLAP	⊙
1' CONTOUR	⊙
5' CONTOUR	⊙
PROPERTY LINE	⊙
CONCRETE RETAINING WALL	⊙
EDGE OF PAVEMENT	⊙
CURB	⊙
CHAIN LINK FENCE	⊙
STOCKPILE FENCE	⊙
METAL RAILING	⊙
SEWER LINE	⊙
DRINK LINE	⊙
GAS LINE	⊙
ELECTRIC LINE	⊙
FINISHED FLOOR ELEVATION	⊙
BITUMINOUS	⊙
CONCRETE	⊙
GRAVEL	⊙
BOTTOM CENTER	⊙
REINFORCED CONCRETE PIPE	⊙
POLYETHYLENE GLYCOLIC PIPE	⊙
CORRUGATED METAL PIPE	⊙
HIGH DENSITY POLYETHYLENE PIPE HDPE	⊙

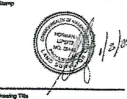
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Anna Jacques Hospital
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Architect
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architects
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Author	CD
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Approved	
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Mark	Revision	Date



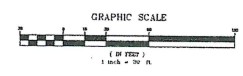
EXISTING CONDITIONS

Scale: 1" = 30'
Drawing Number:

V-101

JACA Project Number 190042

- NOTES
- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (NAD83) (NAD 83).
 - VERTICAL CURVE IS 1000 FT.
 - CONTOUR INTERVAL IS ONE FOOT (1').



DIG SAFE

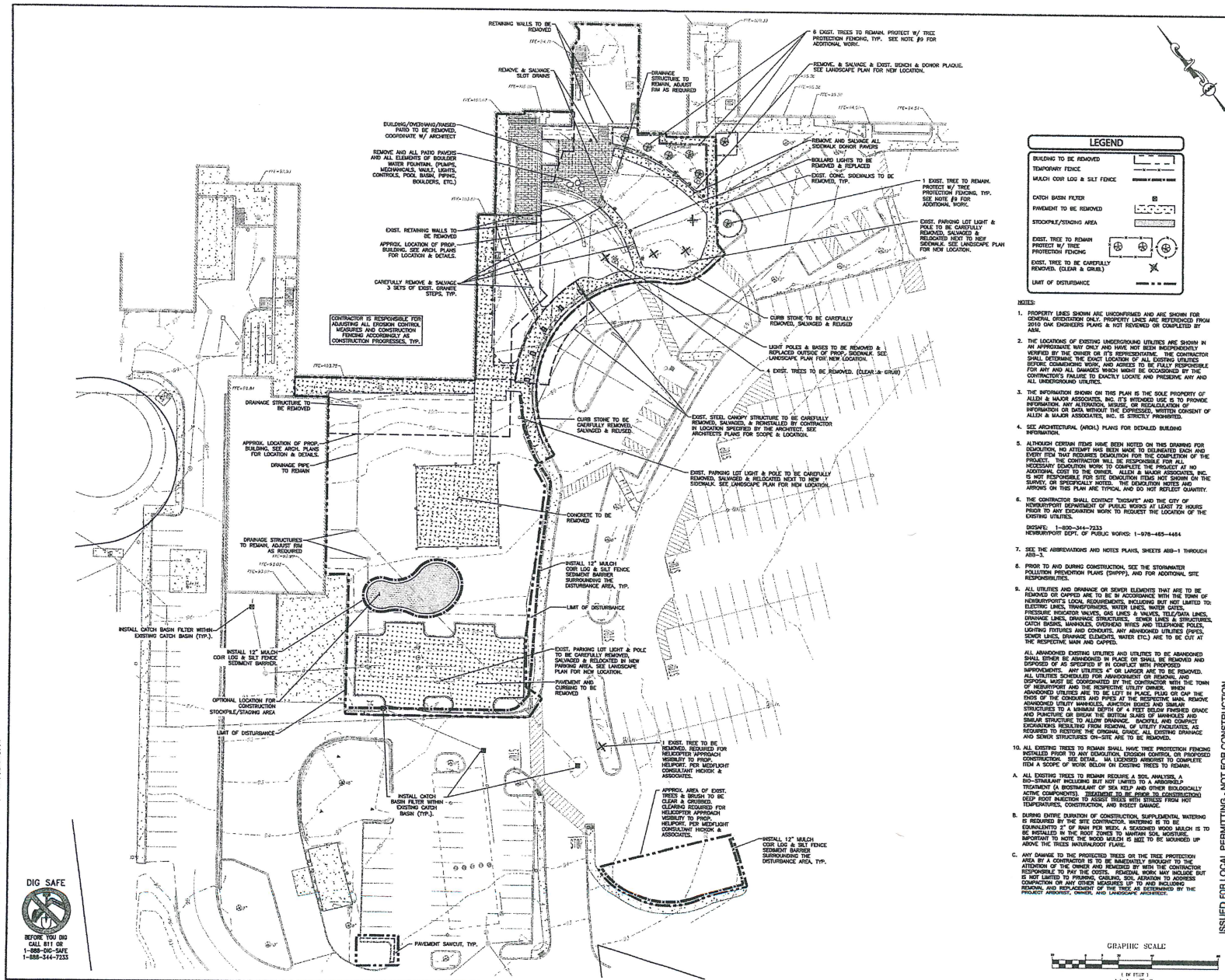


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DRAWN BY: JACA/ALM; CHECKED BY: JACA/ALM; DATE: 11/15/2018



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Approved:

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architects

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 Tel: 781-453-2926

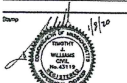
LEGEND

- BUILDING TO BE REMOVED
- PERMANENT FENCE
- MATCH CURB LOG & SILT FENCE
- CATCH BASIN FILTER
- PAVEMENT TO BE REMOVED
- STOCKPILE/STAGING AREA
- EXIST. TREE TO REMAIN, PROTECT W/ TREE PROTECTION FENCING
- EXIST. TREE TO BE CAREFULLY REMOVED (CLEAR A CRIB)

NOTES:

1. PROPERTY LINES SHOWN ARE UNCONFIRMED AND ARE SHOWN FOR GENERAL INFORMATION ONLY. PROPERTY LINES ARE REDUCED FROM 2010 DAK ENGINEERING PLANS & NOT REVERSED OR COMPLETED BY...
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT AND ALL UNDERGROUND UTILITIES.
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4. SEE ARCHITECTURAL (ARCH) PLANS FOR DETAILED BUILDING INFORMATION.
5. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR THE OWNER'S INFORMATION, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COMPLETE VERIFICATION OF ALL UTILITIES AND CONDITIONS OF ALL UTILITIES PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
6. THE CONTRACTOR SHALL CONTRACT "TUSSEAT" AND THE CITY OF MERRIMACK DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
 DESIGNED: 1-200-344-7333
 MERRIMACK DEPT. OF PUBLIC WORKS: 1-978-485-4484
7. SEE THE APPROVED AND NOTED PLANS, SHEETS ASD-1 THROUGH ASD-5.
8. PRIOR TO AND DURING CONSTRUCTION, SEE THE STRATEGIC POLLUTION PREVENTION PLANS (SWPPP) AND FOR ADDITIONAL SITE RESPONSIBILITY.
9. ALL UTILITIES AND DRAINAGE OR SEWER ELEMENTS THAT ARE TO BE REMOVED OR CAPPED ARE TO BE IN ACCORDANCE WITH THE TOWN OF MERRIMACK'S LOCAL REGULATIONS, INCLUDING BUT NOT LIMITED TO: ELECTRIC LINES, TRANSFORMERS, WATER LINES, WATER CATES, PRESSURE REGULATOR VALVES, GAS LINES & VALVES, TELEPHONE LINES, DRAINAGE LINES, DRAINAGE STRUCTURES, SEWER LINES & STRUCTURES, CATCH BASINS, MANHOLES, OVERFLOW BINES AND TELEPHONE POLES. LIGHTING FIXTURES AND CONDUITS, ANY ABOVEGROUND UTILITIES (PIPES, CATCH LINES, DRAINAGE ELEMENTS, WATER ETC.) ARE TO BE CUT AT THE RESPECTIVE MAIN AND CAPPED.
10. ALL ABOVEGROUND UTILITIES AND UTILITIES TO BE REMOVED SHALL EITHER BE ABANDONED IN PLACE OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED IF IN CONFLICT WITH PROPOSED IMPROVEMENTS. ANY UTILITIES AT OR LARGER ARE TO BE REMOVED, ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL, AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE TOWN OF MERRIMACK AND THE RESPECTIVE UTILITY OWNER. REMOVED ABOVEGROUND UTILITIES ARE TO BE LEFT IN PLACE, PLUGS OR CAP THE ENDS OF THE CONDUITS AND PIPES AT THE RESPECTIVE MAIN. REMOVE ABOVEGROUND UTILITY MANHOLES, OVERFLOW BINES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND FRACTURE OR CRACK THE BOTTOM SURFACE OF THE MANHOLE OR SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY INFRASTRUCTURE AS REQUIRED TO RESTORE THE ORIGINAL GRADE. ALL EXISTING DRAINAGE AND SEWER STRUCTURES ON-SITE ARE TO BE REMOVED.
11. ANY EXISTING TREES TO REMAIN SHALL HAVE TREE PROTECTION FENCING INSTALLED FROM TREE TRUNK TO EXISTING CURB LOG OR PROPOSED CURB LOG A SCOPE OF TREE TRUNK TO EXISTING CURB LOG OR PROPOSED CURB LOG.
12. ALL EXISTING TREES TO REMAIN REQUIRES A SOIL ANALYSIS, A BIO-STABILITY INCLUDING BUT NOT LIMITED TO A PARASITIC TREATMENT OR BIOSTABILIZATION OF SOIL KEYS AND OTHER BIOLOGICALLY ACTIVE COMPONENTS. TREATMENT SO BE PRIOR TO CONSTRUCTION. KEEP ROOT PROTECTION TO ASSIST TREES WITH STRESSES FROM HOT TEMPERATURES, CONSTRUCTION, AND INSECT DAMAGE.
13. DURING PERIODS OF CONSTRUCTION, SUPPLEMENTAL WATERING IS REQUIRED BY THE SITE CONTRACTOR, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF PERMANENT SPRINKLERS WHICH SHALL BE INSTALLED IN THE ROOT ZONES TO MAINTAIN SOIL MOISTURE. IMPORTANT TO NOTE THE SOIL SHOULD BE MOIST TO BE WORKED UP ABOVE THE TREES NATURAL ROOT FLAKE.
14. ANY DAMAGE TO THE PROTECTED TREES OR THE TREE PROTECTION AREA BY A CONTRACTOR IS TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND REMEDIATED BY WITH THE CONTRACTOR RESPONSIBLE TO FIX THE DAMAGE. REMEDIAL WORK MAY INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: REPAIR TO THE TREE TRUNK, SOIL MOISTURE COMPACTOR FOR ANY OTHER MEASURES UP TO AND INCLUDING REMOVAL AND REPLACEMENT OF THE PROJECT ARCHITECT, OWNER, AND LANDSCAPE ARCHITECTURE.

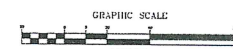
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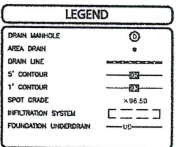
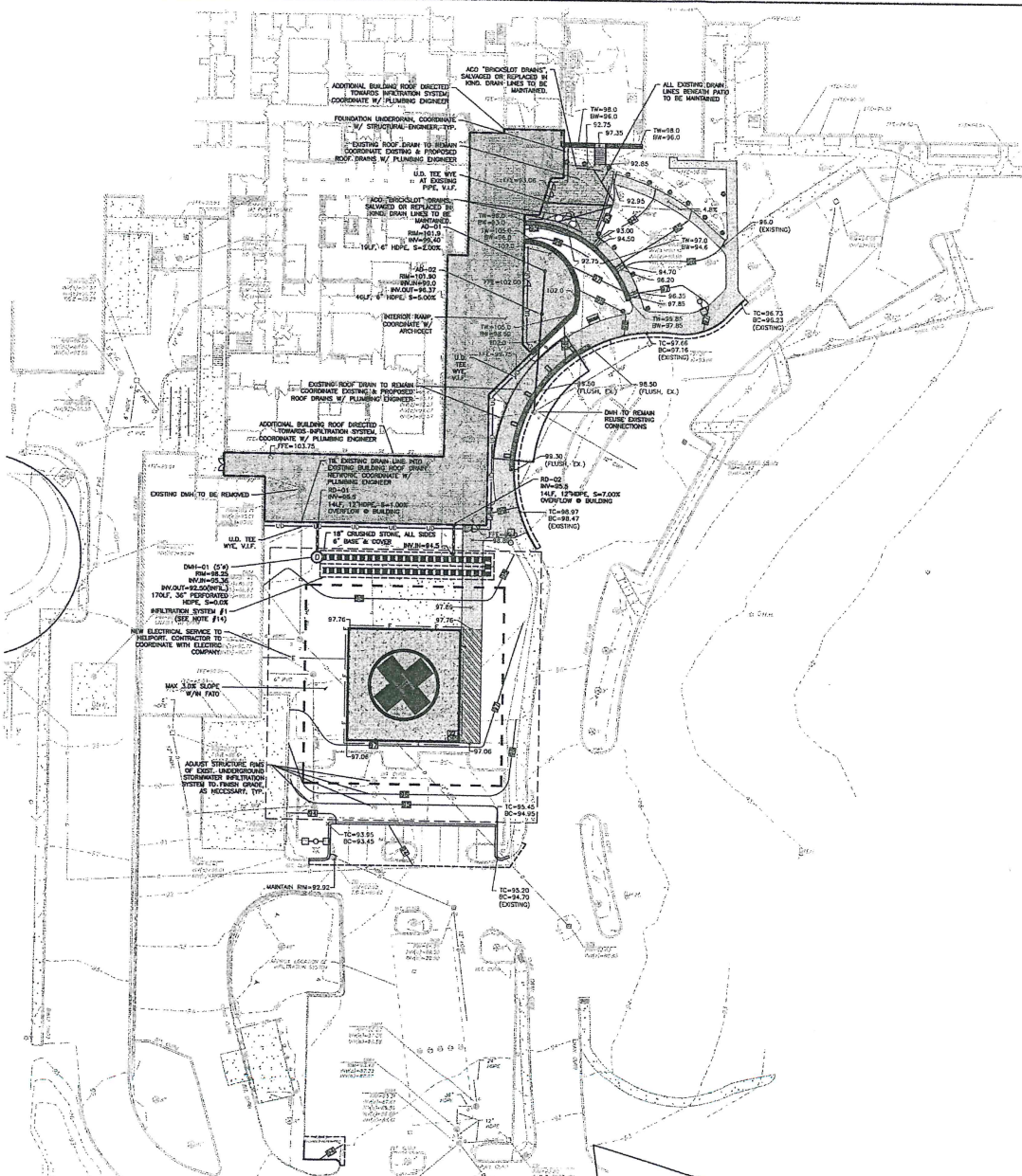
Drawing Title:
SITE PREPARATION AND DEMOLITION PLAN

Scale: 1" = 20'

C-101
 JACA Project Number 190042



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 1-888-666-SAFE
 1-888-344-7233



- GRADING & DRAINAGE NOTES:**
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 2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDICATED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.
 3. CONTRACTOR SHALL REMOVE OR REMOVE ANY EXISTING UTILITIES THAT CONFLICT WITH EXISTING IMPROVEMENTS.
 4. ALL ELEVATIONS REFER TO NAVD 83.
 5. ROOF DRAIN LOCATIONS TO BE COORDINATED W/ ARCHITECT.
 6. PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
 7. EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH TRANSITION GRADE.
 8. IN LANDSCAPED AREAS THE TOP ELEVATION OF DRAIN PIPES/COVER SHALL BE FLUSH WITH FRESH GRADE OF THE LOCAL. IN FINISH AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FRESH GRADE.
 9. ALL EXIST. STRUCTURES NEAR AREA OF WORK & NEWLY INSTALLED CATCH BASINS, MANHOLES AND WATER QUALITY STRUCTURES TO BE CLEANED OUT PRIOR TO FINAL APPROVAL. TO REMOVE ANY CONSTRUCTION SILT AND DEBRIS.
 10. IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE CHANGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT HIS ADDITIONAL COST.
 11. ALL STORM PUMP EXISTING STRUCTURES SHALL BE SECURED TO ASSURE CONNECTION AT STRUCTURE IS WATERPROOF.
 12. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL INTERIOR AND EXTERIOR AREAS.
 13. ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
 14. THE CONTRACTOR SHALL CONFIRM, BY TEST PIT, THE SOLS SATURATED INFILTRATION SYSTEM #1 PRIOR TO CONSTRUCTION.
 15. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS UNLAWFUL USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OF EACH WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

Beth Israel Lahey Health
 Anna Jaques Hospital
 OR Building Expansion
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850 Gage Road
 Northbrook, MA 01901
 Tel: 978.281.4800
 Fax: 978.281.4833

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LAND SURVEY
LANDSCAPE ARCHITECT
 & CIVIL ENGINEER
 Alan J. Major Associates, Inc.
 100 Main Street
 Northbrook, MA 01901
 Tel: 978.281.4833

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DATE: 08/14/18
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPR. NO. [Signature]

ISSUE	DATE	
ISSUED FOR LOCAL PERMITTING	10/25/18	
ISSUED FOR SITE PLAN REVIEW AND SPECIAL PERMIT	10/25/18	
Mark	Revision	Date



Drawing Title: **GRADING & DRAINAGE PLAN**

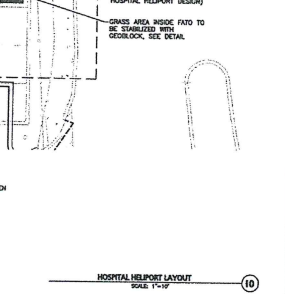
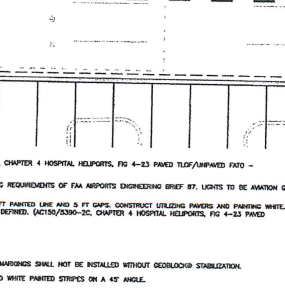
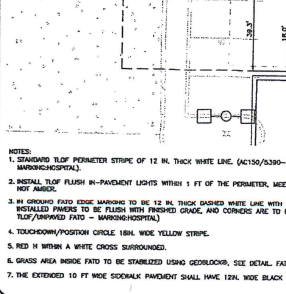
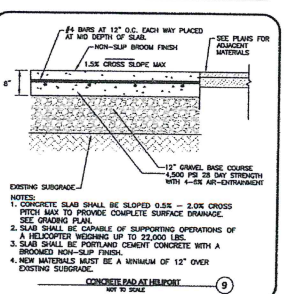
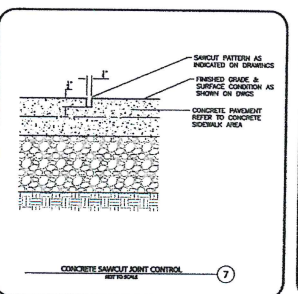
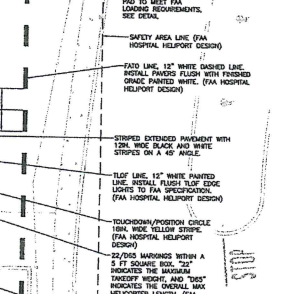
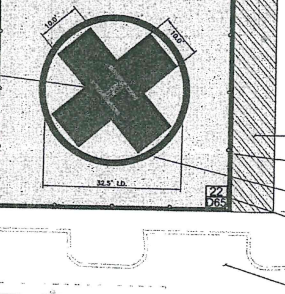
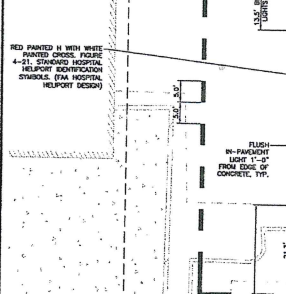
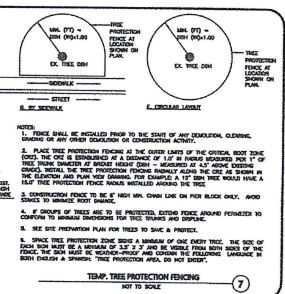
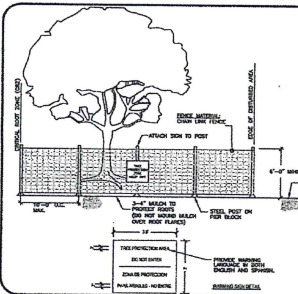
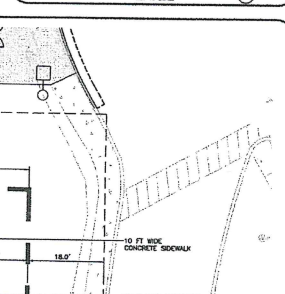
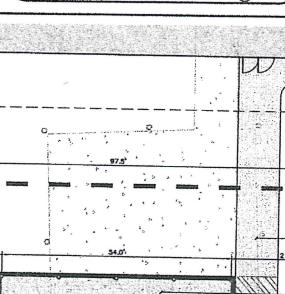
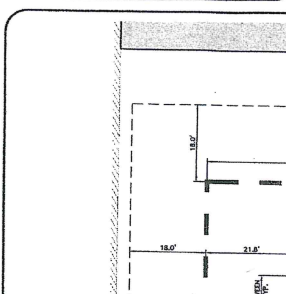
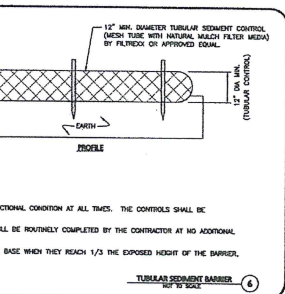
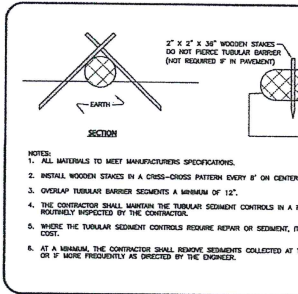
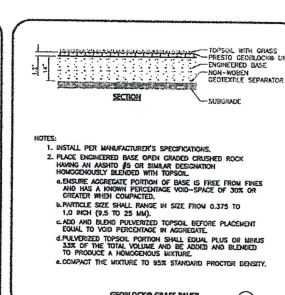
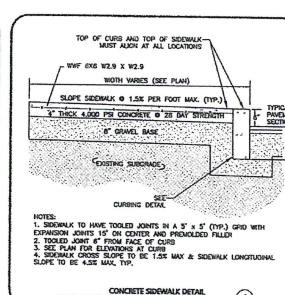
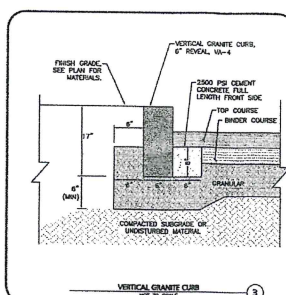
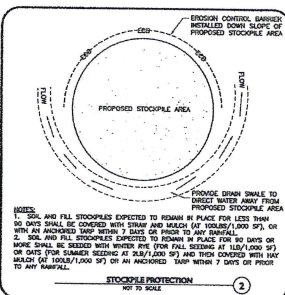
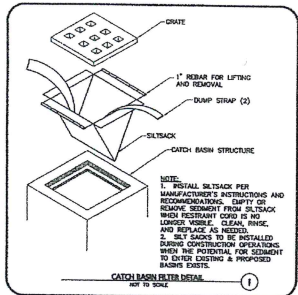
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Drawing Number: **C-103**

JACA Project Number: 190042

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Both Israel Lehigh Hospital
 Anna Jaques Hospital
 Anna Jaques Expansion
 OR Building Expansion
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 & CIVIL ENGINEER
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STRUCTURAL ENGINEER
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Issued by:	RSW
Checked by:	RSW
Approved by:	RSW

DATE	DESCRIPTION
11/18/18	ISSUED FOR LOCAL PERMITTING
01-04-20	ISSUED FOR SITE PLAN REVIEW AND SHELTER PERMIT

Date	Revision	By

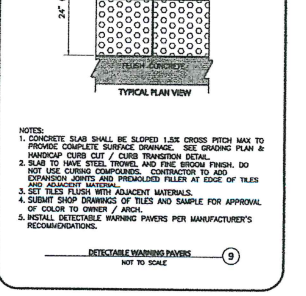
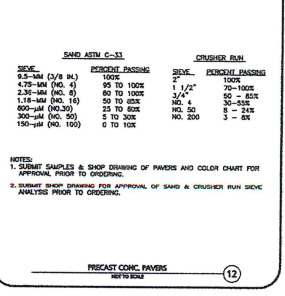
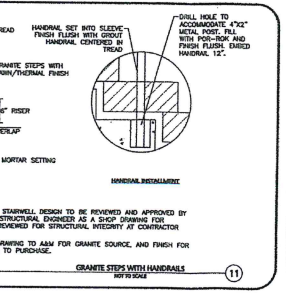
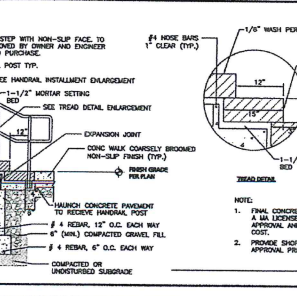
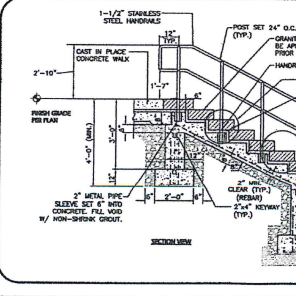
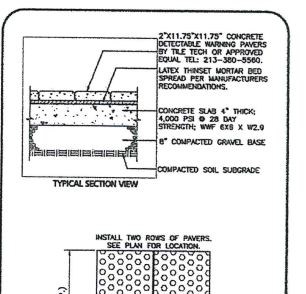
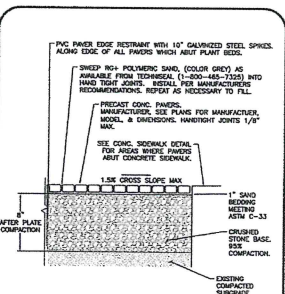
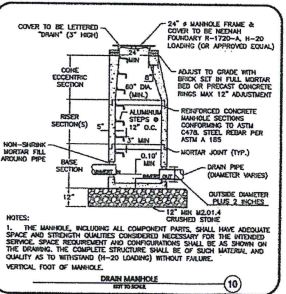
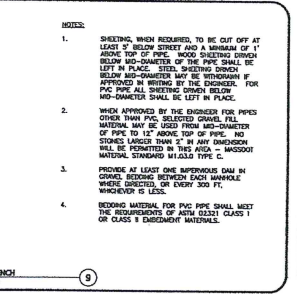
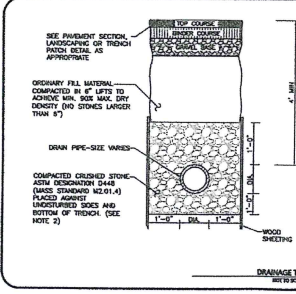
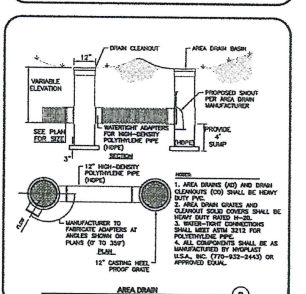
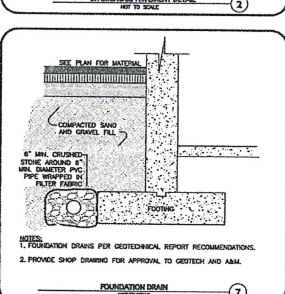
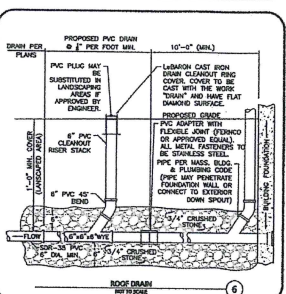
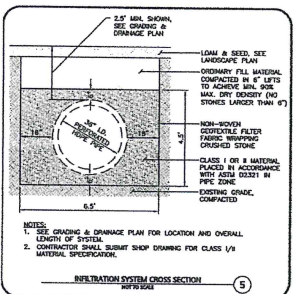
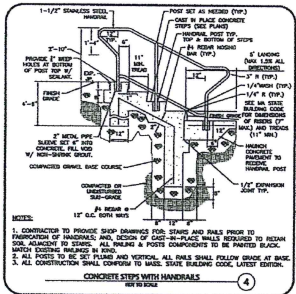
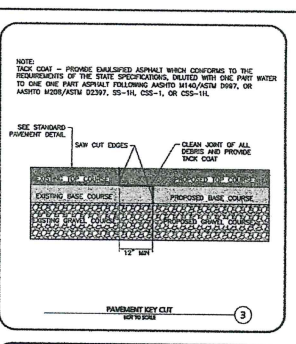
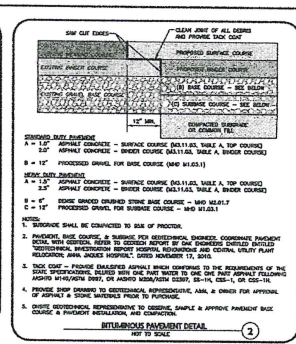
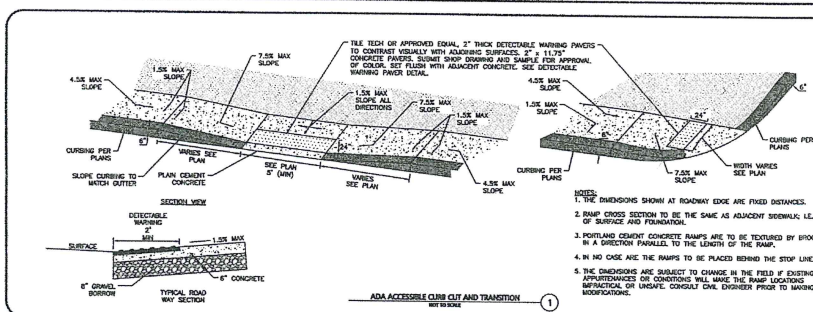


Details
 Drawing Number
C-501

JACA Project Number
 190042

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SHEET 20 OF 21 - 18-1822-C-501 (REVISED) (SHEET 20 OF 21) - HELIPAD ELECTRICAL



Bath Israel LeRoy Health
Anna Jacques Hospital
Anna Jacques Hospital
OR Building Expansion
68 Hospital Ave., Hawthorne, NJ 07040

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Sanku Engineering
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Revised By:	ASB R/L
Revised Date:	ASB R/L
Revised Description:	ASB R/L

Date:	11-15-18
Scale:	ASB R/L
Author:	ASB R/L

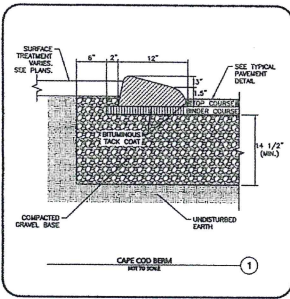
Mark	Revision	Date

Drawn By:	ASB R/L
Checked By:	ASB R/L
Scale:	ASB R/L
Author:	ASB R/L

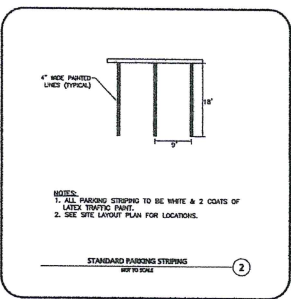
C-502
JACA Project Number 190042

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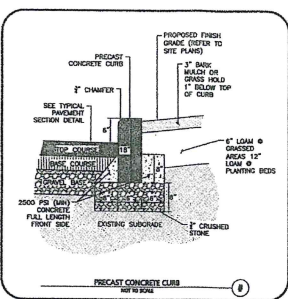
S:\05370252 - 10-4642-Civil\05021\05021.dwg (10-4642) 12/22/2010 10:41:11 AM



CAPE COD BERM
SEE SCALE ①



STANDARD PARKING STRIPS
SEE SCALE ②



PRECAST CONCRETE CURB
SEE SCALE ③

Beth Israel LaheyHealth
Anna Jaques Hospital

Anna Jaques Hospital
OR Building Expansion

25 Highland Ave., Nashua, NH 03072

Architect

JACA
architects

8 Spring Road
North Conway, NH 03257
Tel: 603-759-6300
Fax: 603-759-6088

Consultants

MEP/FP ENGINEER
RJK Cultural Engineering
433 Main St., Suite 203
Nashua, NH 03077
Tel: 603-883-0377

LAND SURVEY, LANDSCAPE ARCHITECT & CIVIL ENGINEER
JACO & BROWN
100 Commerce Way, Suite 3
Nashua, NH 03078
Tel: 781-526-1088

STRUCTURAL ENGINEER
Sunka Engineering LLC
65 Main Street
Lafayette, NH 03047
Tel: 774-678-2046

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL DIMENSIONS AND INFORMATION ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN.

DESIGNED BY:	AM 20 109 LAM
CHECKED BY:	109 LAM
DATE:	2010-01
ISSUE:	DATE:
ISSUED FOR LOCAL PERMITTING:	11-25-10
ISSUED FOR STATE PERMITTING AND SPECIAL PERMIT:	04-08-10

Mark	Priority	Date



Drawing Title: **DETAILS**

Scale: _____

Drawing Number: **C-503**

JACA Project Number: 190042

ISSUED FOR LOCAL PERMITTING - NOT FOR CONSTRUCTION

Beth Israel Lehigh Valley
 Anna Jaques Hospital
 OR Building Expansion
 21 Highland Ave., Allentown, PA 18109

JACA
 architects

1000 North
 Northampton, PA 18101
 Tel: 610-788-3300
 Fax: 610-788-3300

CONTRACTOR
 HENPEP ENGINEER
 400 South 10th Street
 Allentown, PA 18101
 Tel: 610-788-3300
 Fax: 610-788-3300

LAND SURVEY
 LANDSCAPE ARCHITECT
 & CIVIL ENGINEER
 Anna & Mark Associates, Inc.
 100 Commerce Way, Suite 5
 Allentown, PA 18106
 Tel: 781-888-6850

STRUCTURAL ENGINEER
 Baha Engineering LLC
 19 Mill Street
 Lehigh Valley, PA 18101
 Tel: 717-263-7276

This drawing has been prepared in electronic format. All dimensions shall be in metric units unless otherwise specified. All dimensions shall be in metric units unless otherwise specified. All dimensions shall be in metric units unless otherwise specified.

DATE	DESCRIPTION
08/20/18	ISSUED FOR LOCAL PERMITTING
08/20/18	ISSUED FOR SITE PLAN REVIEW AND CHECK PERMIT

DATE	DESCRIPTION
08/20/18	ISSUED FOR LOCAL PERMITTING
08/20/18	ISSUED FOR SITE PLAN REVIEW AND CHECK PERMIT



LANDSCAPE PLAN

Scale: 1" = 20'

Drawing Number: **L-101**

JACA Project Number: 190042

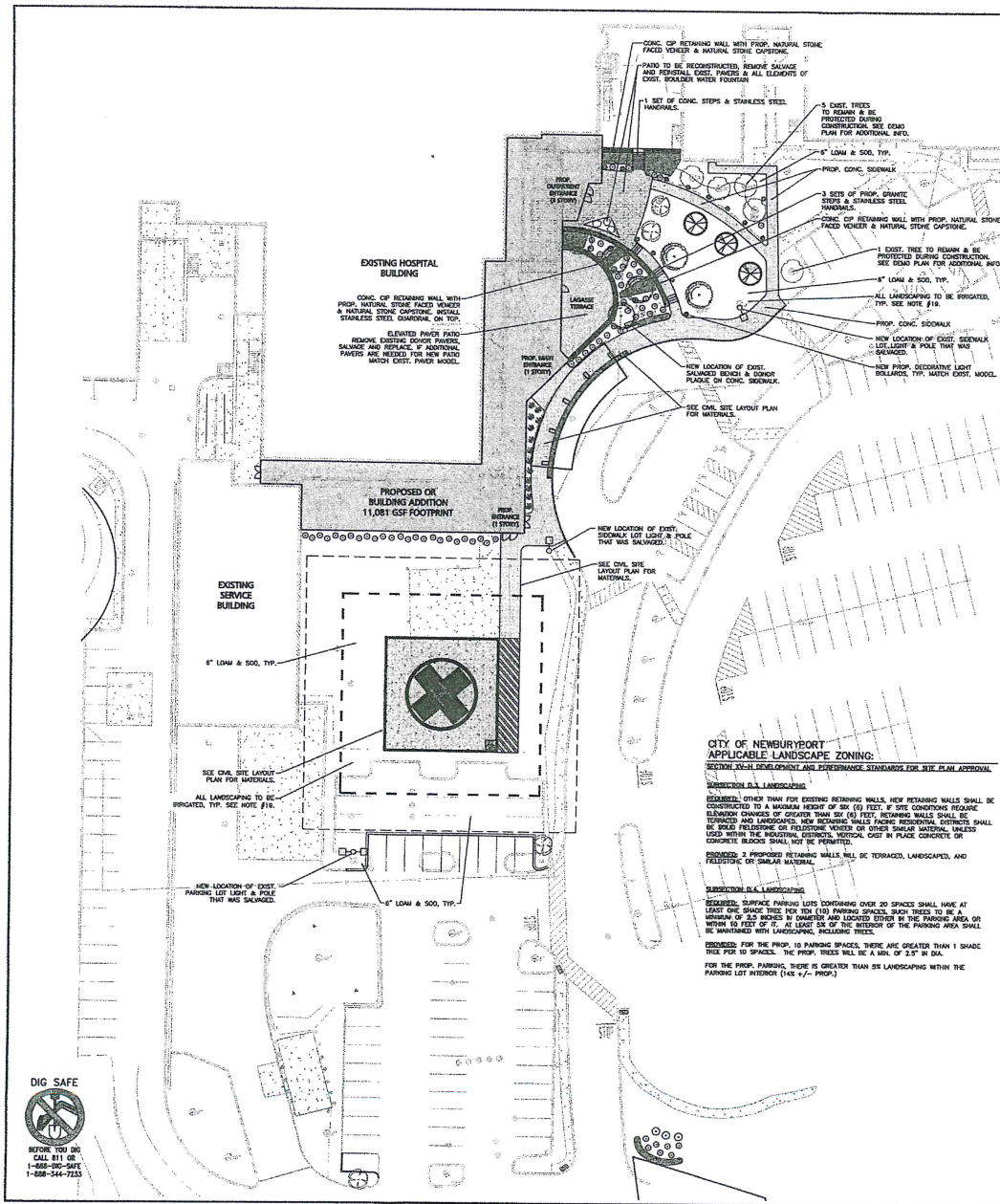
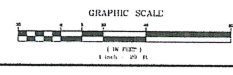
LEGEND

APPROX. EXIST. PROPERTY LINE
 SHOWN
 PROPOSED BUILDING
 BUILDING ARCHITECTURE
 BUILDING INTERIOR WALLS
 CURB
 RETAINING WALL
 PROPOSED SIDEWALK
 ADA ACCESSIBLE RAMP
 ADA DET. WARNING SURFACE
 PROPOSED PARKING

PROP. PERENNIALS / GROUNDCOVERS
 PROP. SHRUBS
 PROP. TREES TO REMAIN
 NEW DECORATIVE LIGHT BOLLARD (WITH EXIST. BOLLARD)
 EXIST. LIGHT POLES TO BE SALVAGED & RELOCATED

- ### GENERAL NOTES
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND ACCESS TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DURING THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MARK ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR MISREPRESENTATION OF INFORMATION OR DATA WITHOUT THE EXPRESS, WRITTEN CONSENT OF ALLEN & MARK ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - SEE ARCHITECTURAL (ARCH) PLANS FOR RELATED BUILDING INFORMATION.
 - THE CONTRACTOR SHALL CONTACT "MAGNA" AND THE CITY OF NEWBURYPORT DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
 DOWNEY: 1-800-344-7233
 NEWBURYPORT: 978-345-4444
 - ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 18" MINIMUM DEPTH OF TOPSOIL, DIRTED IN TOPSOIL. PLANTING DEPTH FOR PLANTS SHALL BE AS FOLLOWS: SHRUBS: 18" DEPTH FOR ALL DEPTHS OF ROOTBALLS. SEE PLANTING SCHEDULE FOR PLANTING DEPTHS OF SHRUBS AND TREES. ALL AREAS OF LOAM AND SOIL TO HAVE 4" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY AEM PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE DEPTHS OF EXISTING MATERIAL REMOVAL ABOVE SOIL TO THE EXISTING MINIMUM AND 4" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE SET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.
 - PROPERTY LINES SHOWN ARE UNCORRECTED AND ARE SHOWN FOR GENERAL ORIENTATION ONLY. PROPERTY LINES ARE REFERENCED FROM 2010 GMA EXHIBITS PLANS & NOT REVIEWED OR COMPLETED BY AEM.
 - FOR ADDITIONAL LANDSCAPE INFORMATION, SEE SHEET L-201.

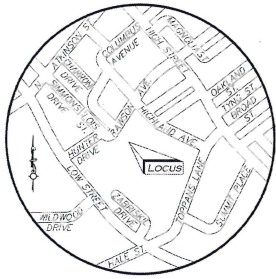
- ### LANDSCAPE NOTES
- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF NEWBURYPORT, MA.
 - PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "MAGNA" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONTACTS IN WRITING.
 - NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE INDICATED AREA, ANY TREES NOTED AS "SAL" OR "SELECTED SPECIES" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
 - ALL TREES SHALL BE WALLED AND BURLAPPED (BURL) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
 - ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET THE QUALITIES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL PLANT MATERIALS SHALL BE QUANTITIES FOR THE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIALS WHICH BE WITHIN THE YEAR PLANT QUANTITIES PERIOD WILL BE REPLACED BY LANDSCAPE ARCHITECT.
 - ALL PERENNIALS SHALL BE QUANTITIES FOR THE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PERENNIALS WHICH BE WITHIN THE YEAR PERENNIALS PERIOD WILL BE REPLACED BY LANDSCAPE ARCHITECT.
 - ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 4" OF SUSTAINABLE LOAM & SEED LAMING WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
 - ANY FALL TRANSPLANTING HAZARDOUS PLANTS SHALL BE DIED IN THE SPRING AND STORED FOR FALL PLANTING.
 - ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF FINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF FINE BARK MULCH.
 - ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
 - ALL TREE STAVES SHALL BE STAINED DARK BROWN.
 - CONTRACTOR RESPONSIBLE FOR WATERING, AND RE-SODDING OR RE-SEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
 - ALL AREAS PLANTED WITH SHRUBS AND PERENNIALS SHALL HAVE 18" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB/ SIDEWALK.
 - SOIL SAMPLES, TESTS, AND SHOP DRAWINGS MUST BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
 - ALL PROPOSED LANDSCAPE AREAS INCLUDING PLANTING, MOUND LAMING, TREES, SHRUBS BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT IRRIGATION SYSTEMS. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGNER. IRRIGATION SYSTEMS SHALL BE DESIGNED BY THE CONTRACTOR'S REPRESENTATIVE. IRRIGATION SYSTEMS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING USE OF Drip Irrigation For Shrubs and Perennials, Irrigation Systems With Micro-Tube Coverage, A Central, Start-Off Valve, and Each Type of Irrigation System. IRRIGATION SYSTEMS SHALL BE PROVIDED TO THE CONTRACTOR FOR INSTALLATION OF IRRIGATION. SHUT OFF IRRIGATION DURING RAIN EVENTS. LOCATION OF IRRIGATION CONTROLLER TO BE DETERMINED PRIOR TO INSTALLATION OF IRRIGATION. IRRIGATION CONTROLLER TO BE COORDINATED WITH TOWN OF NEWBURYPORT FOR IRRIGATION METERING REQUIREMENTS AND ANY ADDITIONAL TOWN REQUIREMENTS FOR IRRIGATION.
 - A MINIMUM 18" WIDE BANDWIDTH OF 1" GRAY OR TAN PEASTRENE SHALL BE INSTALLED IN ALL PLANT BEDS WHICH DIRECTLY ADJUT THE BUILDINGS. NO MULCH IS ALLOWED WITHIN 6" OF ALL BUILDINGS FOR THE LATEST EXISTING OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF THE SERVICES REGULATION (SST) OUR 17.020. INSTALL 6" DEPTH OF PEASTRENE WITH MESH WED FABRIC BENEATH AND STEEL EDGING BETWEEN THE PEASTRENE AND ADJACENT MOUND SOIL. PROVIDE SHOP DRAWINGS TO AEM FOR APPROVAL PRIOR TO PURCHASE OF PEASTRENE. MESH WED FABRIC & STEEL EDGING. OPTIONS FOR THE STORE INCLUDE: LANDSCAPE DEPOT SUPPLY (DUNFORD, MA 508-478-8100), & THE BERT DOTTING COMPANY, MA 903-998-3200.
 - FOR ANY PLANTINGS THAT HAVE BEEN INSTALLED PRIOR TO IRRIGATION SYSTEM BEING OPERATIONAL, LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TOPDRESS/WATER ALL INSTALLED PLANTINGS & LAWN AREAS MIN. 4 TIMES A WEEK UNTIL IRRIGATION SYSTEM IS OPERATIONAL AT NO ADDITIONAL COST.
 - PRIOR TO LAUNCH TOPSOIL, ALL SURFACE (BELOW PROPOSED TOPSOIL) TO BE FILLED TO A DEPTH OF AT LEAST 18" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER SEASONING OF TOPSOIL.



DIG SAFE

BEFORE YOU DIG
 CALL 811 OR
 1-800-255-SAFE
 1-888-344-7233

SHD 2/20/2018 - 10:49:27 (Unsaved) (Command) (V) (C) (E) (R) (E) (T) (L) (O) (S) (T) (I) (O) (N)



LOCUS MAP
NOT TO SCALE

SITE DEVELOPMENT PLANS FOR OR BUILDING EXPANSION ANNA JAQUES HOSPITAL

25 HIGHLAND AVENUE
NEWBURYPORT, MA 01950

OWNER/APPLICANT:
BETH ISRAEL LAHEY HEALTH
ANNA JAQUES HOSPITAL
25 HIGHLAND AVENUE
NEWBURYPORT, MA 01950

ARCHITECT:
JACA ARCHITECTS
9 BILLINGS ROAD
NORTH QUINCY, MA 02171

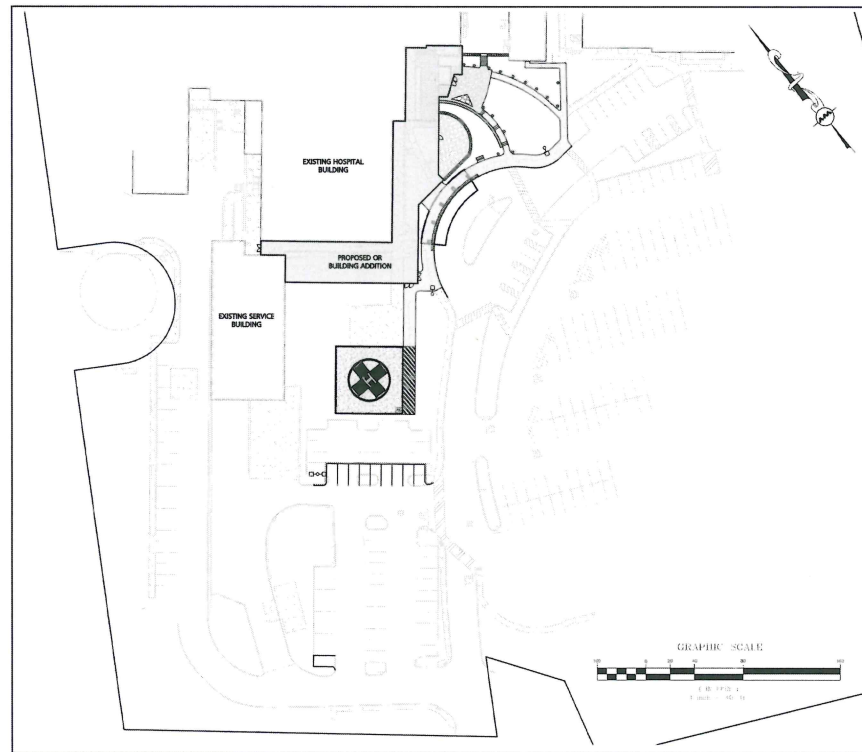
CIVIL ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
SUITE 5
WOBURN, MA 01801

LANDSCAPE ARCHITECT:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
SUITE 5
WOBURN, MA 01801

LAND SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
SUITE 5
WOBURN, MA 01801


STRUCTURAL ENGINEER
SCHLICK ENGINEERING, LLC
10 MAIN STREET
LAKEVILLE, MA 02347

MEP/FP ENGINEER:
R.W. SULLIVAN ENGINEERING
529 MAIN STREET , SUITE 203
BOSTON, MA 02129

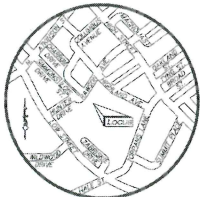


LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	LAST REVISED
EXISTING CONDITIONS PLAN	V-101	11-25-19	02-05-20
ABBREVIATIONS & NOTES	C-001	11-25-19	01-08-20
ABBREVIATIONS & NOTES	C-002	11-25-19	01-08-20
SITE PREPARATION AND DEMOLITION PLAN	C-101	11-25-19	02-05-20
LAYOUT & MATERIAL PLAN	C-102	11-25-19	01-08-20
GRADING & DRAINAGE PLAN	C-103	11-25-19	01-08-20
DETAILS	C-501	11-25-19	01-08-20
DETAILS	C-502	11-25-19	01-08-20
DETAILS	C-503	-	01-08-20
LANDSCAPE PLAN	L-101	11-25-19	01-08-20
LANDSCAPE DETAILS	L-201	11-25-19	01-08-20




ALLEN & MAJOR ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERING • LAND SURVEYING
 ENVIRONMENTAL CONSULTING • LANDSCAPE ARCHITECTURE
 100 COMMERCE WAY, SUITE 5
 WOBBURN, MA 01801
 TEL: (978) 935-0000
 FAX: (978) 935-0000
WOBBURN, MA • EASTVILLE, MA • WASHINGTON, DC

RE-ISSUED FOR SITE PLAN REVIEW & SPECIAL PERMIT: FEBRUARY 5, 2020
 ISSUED FOR SITE PLAN REVIEW & SPECIAL PERMIT: JANUARY 8, 2020
 ISSUED FOR LOCAL PERMITTING: NOVEMBER 25, 2019

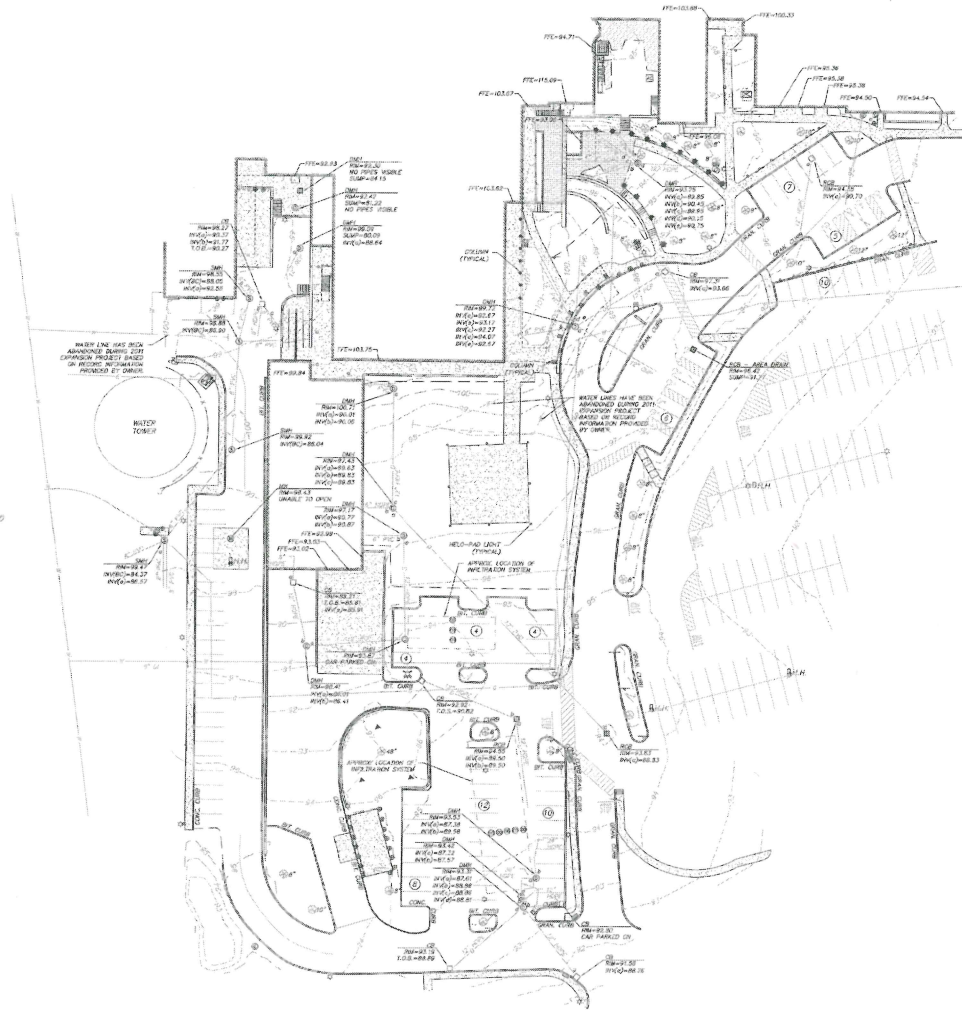


LOCUS MAP
(NOT TO SCALE)

WE HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 12, 2019 AND NOVEMBER 11, 2019. THE WORK IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

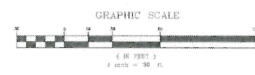
ALLEN & MAJOR ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



LEGEND	
DRIVER MANHOLE (DMH)	⊙
SEWER MANHOLE (SMH)	⊙
ELECTRIC MANHOLE (EMH)	⊙
MISC. MANHOLE (MH)	⊙
CURBY BASIN (CB)	⊙
ROADWAY CURBY BASIN (RCB)	⊙
BOLLARD	⊙
LIGHT	⊙
FLOODLIGHT	⊙
PEDESTRIAN LIGHT	⊙
DRAIN	⊙
AREA DRAIN	⊙
SEW	⊙
SEW	⊙
TRANSFORMER	⊙
HWAY HOLE	⊙
AIR CONDENSER	⊙
SMILE BOX	⊙
TELEPHONE BOX	⊙
ELECTRIC BOX	⊙
ONE METER	⊙
ELECTRIC METER	⊙
IMMEDIATE PARKING SPACE	⊙
IRRIGATOR CONTROL VALVE	⊙
PARKING SPACE COUNT	⊙
SPOT GRADE	⊙
CONCRETE	⊙
LANDSCAPED AREA (LSA)	⊙
BUILDING	⊙
BUILDING OVERLAP	⊙
1' CONTOUR	⊙
5' CONTOUR	⊙
PROPERTY LINE	⊙
CONCRETE RETAINING WALL	⊙
EDGE OF PAVEMENT	⊙
EDGE OF BRICK	⊙
CLUB	⊙
CHAIN LINK FENCE	⊙
STOCKPILE FENCE	⊙
METAL RAILING	⊙
SEWER LINE	⊙
DRAIN LINE	⊙
GAS LINE	⊙
ELECTRIC LINE	⊙
WATER LINE	⊙
UNBANKED WATER LINE	⊙
FINISHED FLOOR ELEVATION	FFE
BRICKMOUTH	BM
CONCRETE	CON
GRASS	GR
BOTTOM CENTER	BC
REINFORCED CONCRETE PIPE	RCP
PORCHING GALVANIZED PIPE	PG
DISBURGATED METAL PIPE	DMP
HIGH DENSITY POLYETHYLENE PIPE HOPE	HDPE

- NOTES
1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MASSLAND ZONE) (NAD 83).
 2. SURVEY UNITS OF FEET OR FEET AND INCHES.
 3. CONTOUR INTERVAL IS ONE FOOT (1').
 4. SEWER LINE AND LANDSCAPED AREA LINE SHOWN ABOVE HAVE BEEN SCALED FROM RECORD PLANS USED FOR THE 2011 EXPANSION PROJECT AS PREPARED BY SMA ARCHITECTS AND PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. BY THE CLIENT.



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UTILITY STATEMENT
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Beth Israel Lahey Health
Anna Jaques Hospital
Anna Jaques Hospital
OR Building Expansion
25 Highland Ave. Andover, MA 01810
Architect
JACA
architects
8 Bridge Street
North Quincy, MA 02171
Tel: 617-766-1500
Fax: 617-766-1389

MEPFP ENGINEER
R.W. Rufus Engineers
200 State St. Suite 200
Boston, MA 02109
Tel: 617-552-5507
LAND SURVEY, LANDSCAPE ARCHITECT & CIVIL ENGINEER
Alan & Matt Associates, Inc.
110 Central Ave. Suite 5
Chelsea, MA 02156
Tel: 781-553-6889
STRUCTURAL ENGINEER
Stevens Engineering, LLC
19 Main Street
Lawrence, MA 01840
Tel: 781-683-3388

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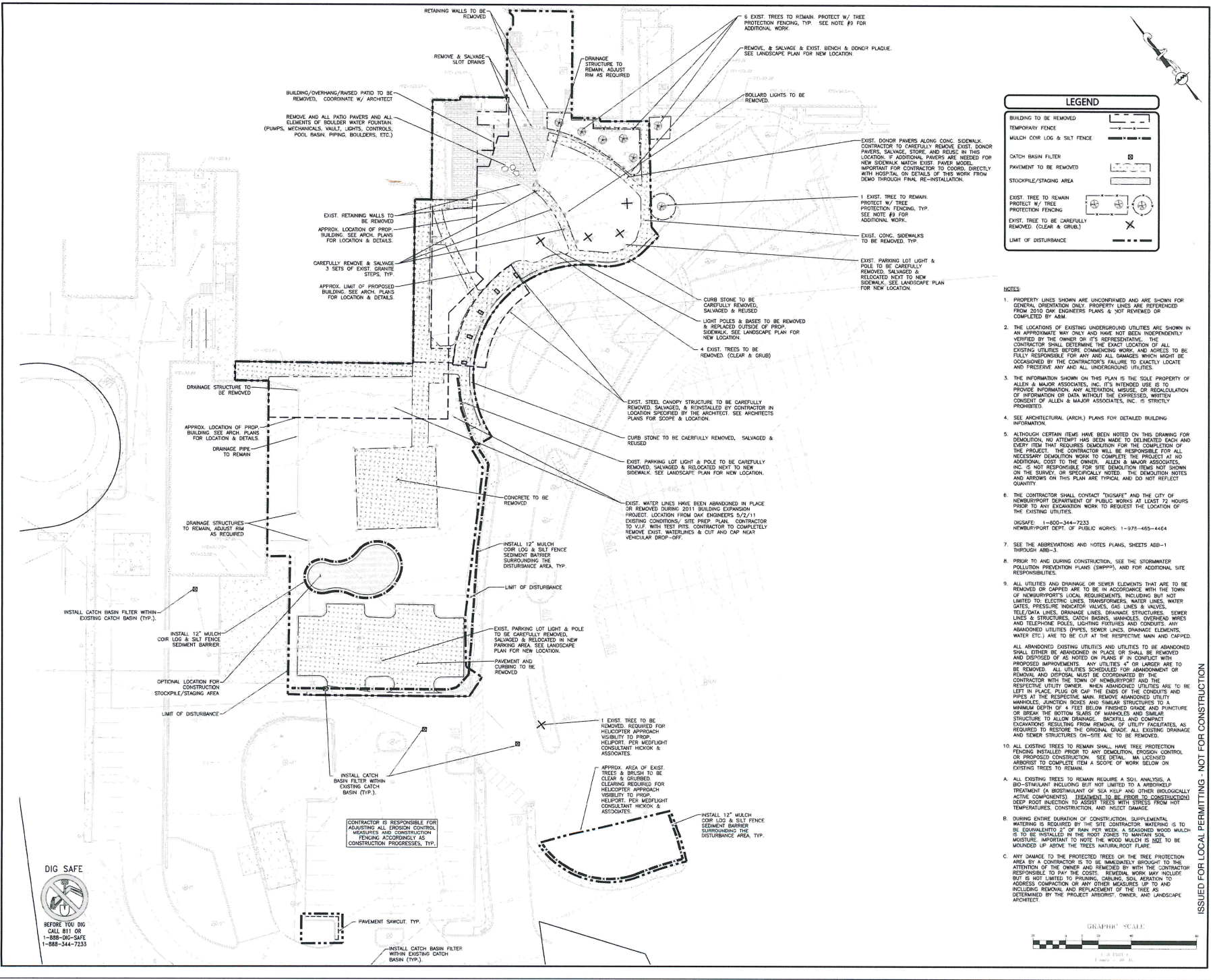
Drawn by:	CSB
Checked by:	ML
Field project number:	2019-01

ISSUE	DATE
ISSUED FOR LOCAL PERMITTING	11-29-19
ISSUED FOR SITE PLAN REVIEW	01-20-20
REVISED PER REVIEW	
DESIGN DEVELOPMENT	03-17-20
WATER LINES ADDED	02-05-20

NO.	REVISION	DATE

Drawing Title
EXISTING CONDITIONS
Scale: 1" = 30'
Drawing Number:
V-101

2:10/2024 9:43:00 AM C:\Users\jacob\OneDrive\Documents\100010101\100010101.dwg (1:1=400) 10/10/2024 10:10:10 AM



LEGEND

BUILDING TO BE REMOVED

TEMPORARY FENCE

MULCH COR LOG & SILT FENCE

DATCH BASIN FILTER

PAVEMENT TO BE REMOVED

STOCKPILE/STAGING AREA

EXIST. TREE TO REMAIN PROTECT W/ TREE PROTECTION FENCING

EXIST. TREE TO BE CAREFULLY REMOVED (CLEAR & GRUB)

LIMIT OF DISTURBANCE

- NOTES**
- PROPERTY LINES SHOWN ARE UNCONFIRMED AND ARE SHOWN FOR GENERAL ORIENTATION ONLY. PROPERTY LINES ARE REDEFINED FROM 2010 OAK ENGINEERS PLANS & NOT REVIEWED OR COMPLETED BY ADM.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATIONS, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - SEE ARCHITECTURAL (ARCH) PLANS FOR DETAILED BUILDING INFORMATION.
 - ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT SHOWING NO ADDITIONAL COST TO THE OWNER. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND AIRSOS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
 - THE CONTRACTOR SHALL CONTACT "DISEASE" AND THE CITY OF NEWBURYPORT DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
DISEASE: 1-800-344-7233
NEWBURYPORT DEPT. OF PUBLIC WORKS: 1-978-465-4464
 - SEE THE ABBREVIATIONS AND NOTES PLANS, SHEETS ABB-1 THROUGH ABB-3.
 - PRIOR TO AND DURING CONSTRUCTION, SEE THE STORMWATER POLLUTION PREVENTION PLANS (SWPPP), AND FOR ADDITIONAL SITE RESPONSIBILITIES.
 - ALL UTILITIES AND DRAINAGE OR SEWER ELEMENTS THAT ARE TO BE REMOVED OR CAPPED ARE TO BE IN ACCORDANCE WITH THE TOWN OF NEWBURYPORT'S LOCAL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO ELECTRIC LINES, TRANSFORMERS, WATER LINES, WATER SALES, PRESSURE INDICATOR VALVES, GAS LINES & VALVES, TELE/DATA LINES, DRAINAGE LINES, DRAINAGE STRUCTURES, SEWER LINES & STRUCTURES, CATCH BASINS, OVERHEAD WIRES AND TELEPHONE POLES, LIGHTING FIXTURES AND CONDUITS. ANY ABANDONED UTILITIES (Pipes, SPOW LINES, DRAINAGE ELEMENTS, WATER ETC.) ARE TO BE CUT AT THE RESPECTIVE MAN AND CAPPED. ALL ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE OR SHALL BE REMOVED AND DISPOSED OF AS NOTED ON PLANS IF IN CONFLICT WITH PROPOSED IMPROVEMENTS. ANY UTILITIES 4" OR LARGER ARE TO BE REMOVED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE TOWN OF NEWBURYPORT AND THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND MANHOLES. JUNCTION BOXES AND SIGNALS STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIGNALS STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE. ALL EXISTING DRAINAGE AND SEWER STRUCTURES ON-SITE ARE TO BE REMOVED.
 - ALL EXISTING TREES TO REMAIN SHALL HAVE TREE PROTECTION FENCING INSTALLED PRIOR TO ANY DEMOLITION, EROSION CONTROL OR PROPOSED CONSTRUCTION. SEE DETAIL. MA LICENSED ARBORIST TO COMPLETE ITEM A SCOPE OF WORK BELOW ON EXISTING TREES TO REMAIN.
 - ALL EXISTING TREES TO REMAIN REQUIRE A SOIL ANALYSIS, A BIO-STIMULANT INCLUDING BUT NOT LIMITED TO A ARBORICIDE TREATMENT (A BIOSTIMULANT OF SEA KELP AND OTHER BIOLOGICALLY ACTIVE COMPONENTS) TREATMENT TO BE APPLIED TO CONSTRUCTION DEEP ROOT INJECTION TO ASSIST TREES WITH STRESS FROM HOT TEMPERATURES, CONSTRUCTION AND INSECT DAMAGE.
 - DURING ENTIRE DURATION OF CONSTRUCTION, SUPPLEMENTAL WATERING IS REQUIRED BY THE SITE CONTRACTOR. WATERING IS TO BE EQUIVALENT TO 2" OF RAIN PER WEEK. A SEASONED WOOD MULCH IS TO BE INSTALLED IN THE ROOT ZONES TO MAINTAIN SOIL MOISTURE. IMPORTANT TO NOTE THE WOOD MULCH IS NOT TO BE MOUNDING UP AROUND THE TREES TRUNK/ROOT FLARE.
 - ANY DAMAGE TO THE PROTECTED TREES OR THE TREE PROTECTION AREA BY A CONTRACTOR IS TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND REMEDIATED BY WITH THE CONTRACTOR RESPONSIBLE TO PAY THE COSTS. REMEDIATION WORK MAY INCLUDE BUT IS NOT LIMITED TO PRUNING, CARING, SOIL RESTORATION, ADDRESS COMPACTON OR ANY OTHER MEASURES UP TO AND INCLUDING REMOVAL AND REPLACEMENT OF THE TREES AS DETERMINED BY THE PROJECT ARBORIST, OWNER AND LANDSCAPE ARCHITECT.

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THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. COORDINATES, PERCENTAGES, AND DIMENSIONS ARE GIVEN IN DECIMALS, INCHES, FEET AND DECIMALS THEREOF, AND SPECIFICATIONS IN DECIMALS, INCHES, FEET AND DECIMALS THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND SPECIFICATIONS.

NO.	DATE	DESCRIPTION
1	11-15-19	ISSUED FOR LOCAL PERMITTING
2	01-09-20	ISSUED FOR SITE PLAN REVIEW
3	02-05-20	AND FINAL PERMIT
4	02-05-20	REVISED AND RE-SUBMITTED FOR SITE PLAN REVIEW & CHECK
5	02-05-20	REVISED PER CITY REQUEST

NO.	DATE	DESCRIPTION
1	08-08-19	ISSUED FOR PERMITS
2	08-08-19	ISSUED FOR PERMITS
3	08-08-19	ISSUED FOR PERMITS

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1	08-08-19	ISSUED FOR PERMITS
2	08-08-19	ISSUED FOR PERMITS
3	08-08-19	ISSUED FOR PERMITS

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3	08-08-19	ISSUED FOR PERMITS



SITE PREPARATION AND DEMOLITION PLAN

Scale: 1" = 20'

Drawing Number: **C-101**

JACA Project Number: 190042

ISSUED FOR LOCAL PERMITTING - NOT FOR CONSTRUCTION

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