

**ZONING**

GATEWAY PRODUCTIONS LLC  
INDUSTRIAL (I-1)

	REQUIRED	EXISTING (LIGHT MANUF. - 602)
MINIMUM LOT AREA	50,000 SQUARE FEET	201,247 SQUARE FEET
MINIMUM FRONTAGE	200 FEET	474 FEET
FRONT SETBACK	50 FEET	60'
SIDE SETBACK (R)	50 FEET	170'
SIDE SETBACK (L)	50 FEET	64'
REAR SETBACK	50 FEET	202'
MAXIMUM LOT COVERAGE (%)	40%	14%
MAXIMUM HEIGHT	40' FEET	22'
MINIMUM OPEN SPACE	NA	NA

\*REQUIRED ZONING PROVIDED ON TABLE IS FOR LIGHT MANUFACTURING; USE (602)

**PARKING REQUIREMENTS**  
LIGHT MANUFACTURING (USE 416)  
0.75 SPACE PER EMPLOYEE MAX. SHIFT PLUS 1 PER COMPANY VEHICLE  
24 TOTAL PARKING SPACES PROVIDED.  
ALLOWS FOR 2 COMPANY VEHICLES AND 29 EMPLOYEES

**ZONING**

KENNEL & ANIMAL BOARDING (424)

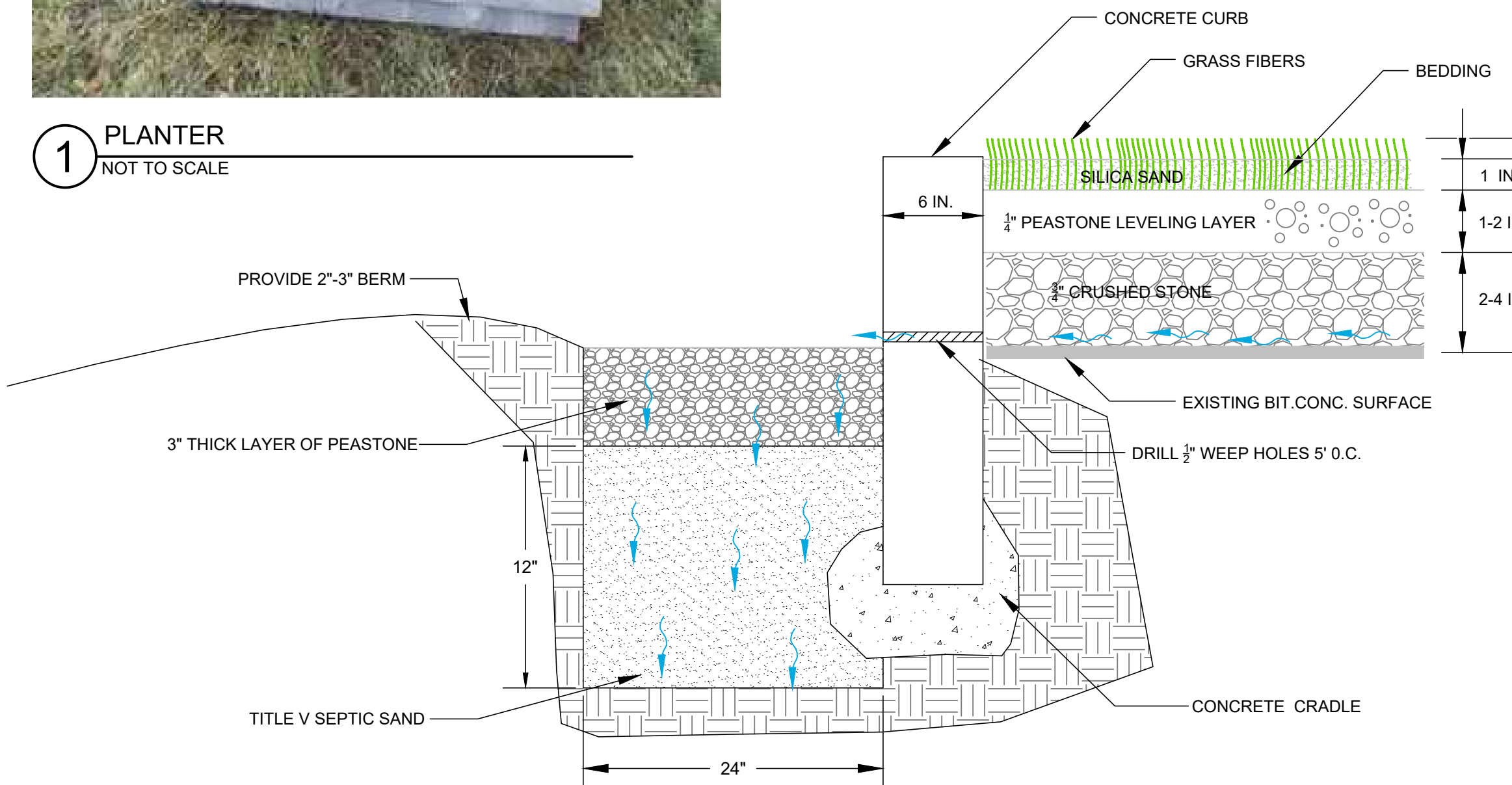
	REQUIRED	EXISTING (KENNEL 424)
MINIMUM LOT AREA	20,000 SQUARE FEET	201,247 SQUARE FEET
MINIMUM FRONTAGE	90 FEET	474 FEET
FRONT SETBACK	20 FEET	60'
SIDE SETBACK (R)	20 FEET	170'
SIDE SETBACK (L)	20 FEET	64'
REAR SETBACK	20 FEET	202'
MAXIMUM LOT COVERAGE (%)	40%	14%
MAXIMUM HEIGHT	40' FEET	22'
MINIMUM OPEN SPACE	NA	NA

\*REQUIRED ZONING PROVIDED ON TABLE IS FOR KENNEL/ANIMAL BOARDING; USE (424)

**PARKING REQUIREMENTS**  
KENNEL/ANIMAL BOARDING (USE 424)  
2 SPACE PER EMPLOYEE MAX. SHIFT PLUS 4 VISTOR SPACES  
12 TOTAL PARKING SPACES PROVIDED.  
ALLOWS FOR MAX SHIFT OF 4 EMPLOYEES



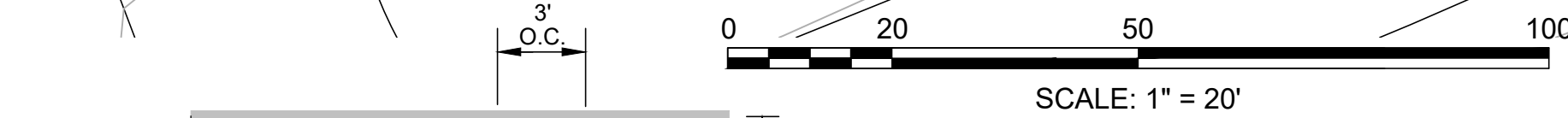
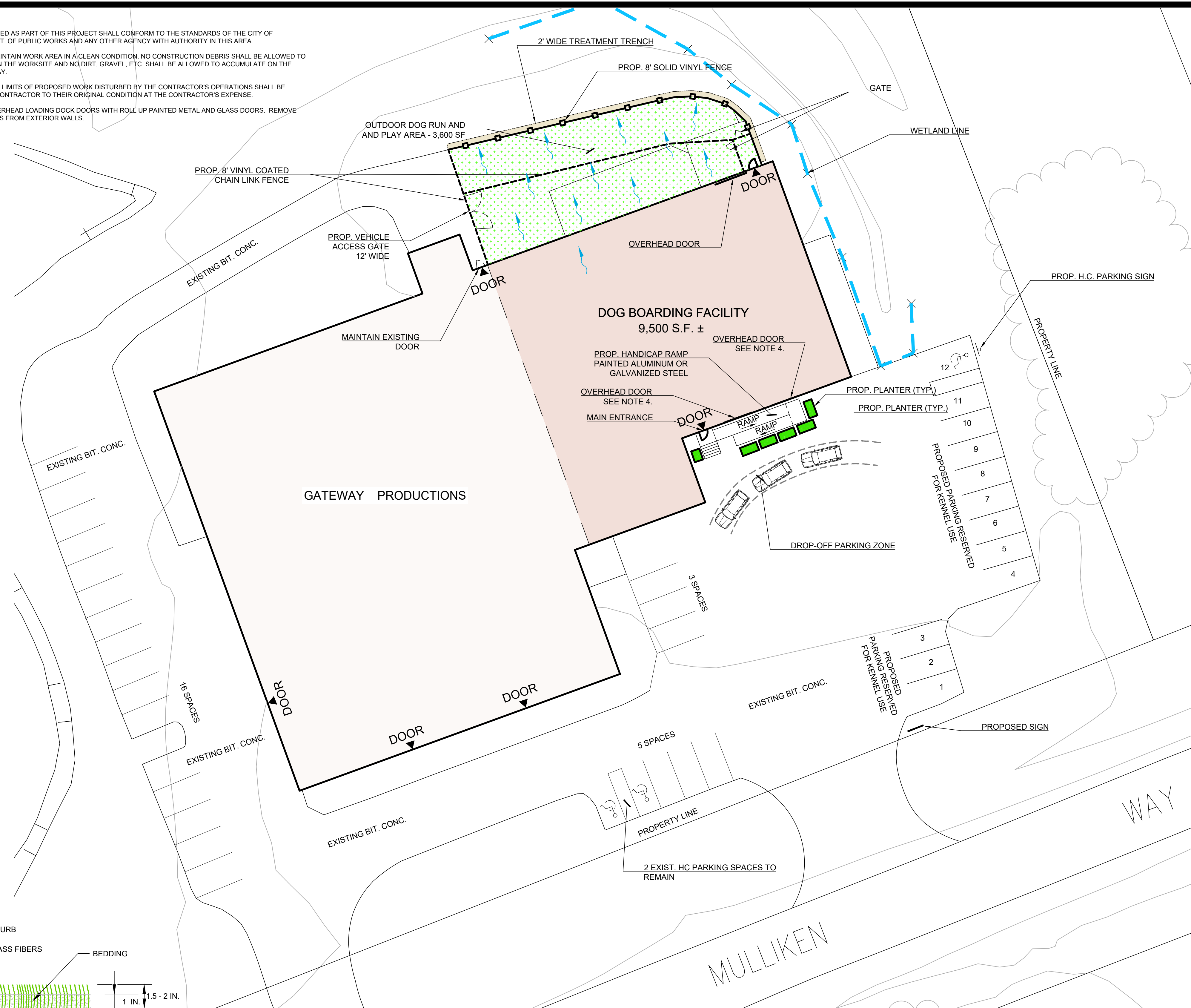
**1** PLANTER  
NOT TO SCALE



**2** MULTI FIBER TURF DETAIL & TREATMENT TRENCH  
NOT TO SCALE

**GENERAL NOTES**

- ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF NEWBURYPORT, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.
- CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- REPLACE METAL OVERHEAD LOADING DOCK DOORS WITH ROLL UP PAINTED METAL AND GLASS DOORS. REMOVE TRUCK BUMPER PADS FROM EXTERIOR WALLS.



**LEGEND**

<b>EXISTING:</b>	CS COMBINED SEWER & DRAIN	WATER GATE
S SANITARY SEWER	D DRAIN LINE	GAS GATE
W WATER LINE	OHW ELECTRIC LINE	TEST PIT
G GAS LINE	T TELEPHONE LINE	STOCKADE
ST STEAM LINE	SM SANITARY MANHOLE	S SEWER LINE
DM DRAIN MANHOLE	EM ELECTRIC MANHOLE	GAS LINE
UM UNKNOWN MANHOLE	TM TELEPHONE MANHOLE	DOM DOMESTIC WATER LINE
FM FIRE HYDRANT	WATER GATE	FIRE FIRE SUPPRESSION LINE
WASTE BASKET	GAS GATE	ETC ELECTRIC, TEL. & CABLE LINE
PARKING METER	WASTE BASKET	DRAIN LINE
MAIL BOX	PARKING METER	SPOT GRADE
TRAFFIC SIGNAL	MAIL BOX	CONTOUR
UTILITY POLE	TRAFFIC SIGNAL	TC BC TOP OF CURB, BOTTOM OF CURB
SPOT GRADE	UTILITY POLE	TW BW TOP OF WALL, BOTTOM OF WALL
	SPOT GRADE	INSP INSPECTION PORT
		CO CLEAN OUT

- NOTES:**
- FIELD ENGINEER TO DETERMINE FINAL DIMENSIONS.
  - PAVEMENT MARKINGS SHALL BE WHITE REFLECTORIZED PAINT.
- 3** HANDICAP STRIPING FOR CAR OR VAN  
NOT TO SCALE



**DEVELOPER:**  
SCOTT DEVIVO  
61 TURKEY HILL ROAD  
NEWBURYPORT, MA.  
01950

**PROJECT TEAM**

**PROJECT NAME**  
10 MULLIKEN WAY  
NEWBURYPORT, MA

**PROJECT INFO**

REV	DESCRIPTION	DATE
2.	CITY DEPT. REVIEW	12/16/19
1.	SPR PLAN UPDATE	12/4/19



STAMP:

**SITE PLAN**

SHEET NAME:

**C1.0**

SHT NO:  
DR BY: GS  
CHK BY: SS  
PROJ NO: 2019-120  
DATE: 11/05/2019  
SCALE: 1"=20'