

City of Newburyport Zoning Board of Appeals
Application for a SPECIAL PERMIT FOR NON-CONFORMITIES

Petitioner: Braden Monaco

Mailing Address: 18 Sylvester Street, Newburyport

Phone: 978-771-2177 Email: braden.monaco@gmail.com

Property Address: 18 Sylvester Street Newburyport

Map and Lot(s): 41 / 33 Zoning District: R2

Book and Page(s): 33588 / 0561

Owner(s) Name: Braden + Emily C. Monaco

Mailing Address (if different): _____

This request for a Special Permit for Non-Conformities is made under section(s):

- | | |
|---|---|
| <input type="checkbox"/> Extension or Alteration (IX.B.2) | <input checked="" type="checkbox"/> Over 500 s.f. increase (IX.B.3.c) |
| <input type="checkbox"/> Parking | <input type="checkbox"/> Plum Island Overlay District (XXI-G-3) |
| <input checked="" type="checkbox"/> Upward Extension | <input type="checkbox"/> FAR |
| <input type="checkbox"/> Open Space | <input type="checkbox"/> Footprint Expansion |
| <input type="checkbox"/> Height | <input type="checkbox"/> Height Increase |
| <input type="checkbox"/> Lot Area | |
| <input type="checkbox"/> Use | |
| <input type="checkbox"/> Rear Yard | |
| <input type="checkbox"/> Lot Coverage | |
| <input type="checkbox"/> Side Yard | |
| <input type="checkbox"/> Lot Frontage | |
| <input checked="" type="checkbox"/> Front Yard | |

(Refer to the Zoning Review form as supplied by the Zoning Administrator)

Description of request:

Looking for special permit for non-conformities for an addition to our home. We are looking to expand upwards on an already non-conforming single story part of our home as well as build a 2 story attached garage which will sit 21 ft from property line

All information contained within this application will become a formal part of the Zoning Board of Appeals proceedings and decision.

City of Newburyport Zoning Board of Appeals

Application for a SPECIAL PERMIT FOR NON-CONFORMITIES

	Lot s.f.	Open Space %	Lot Coverage %	FAR*	Height	Frontage	Parking Spaces	Front		Side B Setback	Rear Setback
								Front Setback Primary	Side A Setback Secondary		
Existing	City Records 7507 recent survey 7546	64	17	/	Mid Ridge 19.8	85	2	37.8	12.6	41.7	5-house 1.8 over shed
Proposed		56	25		Total 25.5 Mid 20.1	85	3	19.9	12.6	14.9	5 house
Required		40	25			35			25	25	10

*FAR is only applicable within the Plum Island Overlay District (PIOD).

Existing Buildings:

Ground Floor Sq. Feet	# of Floors	Total Sq. Feet	Use Code of Building**
<u>1152</u>	<u>2</u>	<u>1788</u>	<u>101</u>
_____	_____	_____	_____

Proposed Buildings:

Ground Floor Sq. Feet	# of Floors	Total Sq. Feet	Use Code of Building**
<u>1885</u>	<u>2</u>	<u>3540</u>	<u>101</u>
_____	_____	_____	_____

**Reference Dimensional Code numbers and uses from the Zoning Ordinance. (e.g. - 101 = single family, etc.)

Any advice, opinion, or information given by any board member or any other official or employee of the City of Newburyport shall not be binding on the Zoning Board of Appeals. Every application for a Special Permit for Non-Conformities must be made on this form, which is the official form of the ZBA. It shall be the responsibility of the petitioner to furnish all supporting documentation with this application. The dated copy of this application received by the City Clerk or Planning Office does not absolve the petitioner from this responsibility. The petitioner shall be responsible for all expenses for the filing, publication, and legal notification. Failure to comply with the application requirements, as cited herein and in the Zoning Board Rules and Regulations may result in a dismissal by the ZBA of this application as incomplete.

Petitioner's and Owner's signature(s):

Special Permit For Non-Conformities Application

Item #1

Section C:

- A. Existing use is Single Family Home – proposed us Single Family Home
- B. Currently the home to does not conform to the existing setback regulations. The house is non-conforming on both the secondary front and back.
- C. The Addition would not intensify the existing non-conformities. The upward addition will remain equally distant from rear setback as existing structure for which it will sit. However, the garage will create a slight impediment on the primary front yard setback requirements creating a non-conformity. The increased square footage will also exceed the 500 sq/ft requirement.
- D. The proposed use will not create any non-conformity issues. Home will remain a single-family dwelling. In relation to existing non-conformities on the property, the proposed structure will not exceed or create any detrimental changes to the property as it stands in relation to itself and more specifically abutting properties. Per Zoning review, established front yard setback allows for extension via SPNC. All non-conformities will remain well behind those of the neighborhood as shown in later diagram.

CITY OF NEWBURYPORT, MA
ZONING REVIEW (BUILDING PERMIT DENIAL)

APR# 2018-073

Name: Braden Monaco

Address: 18 Sylvester Street Zoning District(s): R2

Request: Construct an addition and upward extension including roofline to a nonconforming single family residential structure over 100 years old. Extension of garage and addition above in to the required front yard setback using VI-G SPNC to apply established front yard setback.

ZONING BOARD REVIEW REQUIRED

Variance

- Use Regulations (V)
- Dimensional Controls (VI)
 - ___ Lot Area ___ Open Space ___ Front Yard
 - ___ Lot Frontage ___ Height ___ Side Yard
 - ___ Lot Coverage ___ Lot Width ___ Rear Yard
- Parking (VII)

Sign Variance

- Signs (VIII)
 - ___ Type ___ Size
 - ___ Lighting ___ Location

Special Permit

- Table of Use Regulations (V.D) #: _____
- Spacing (VI.D)
- In-Law Apartment (XIIA)
- Bonus for Multifamily Developments (XVI)
- Personal Wireless Communication Services (XX)
- Demolition Control Overlay District (XXVIII)*
- Wind Energy Conversion Facilities (XXVI)
- Other _____

Special Permit for Non-Conformities

- Extension or Alteration (IX.B.2)
 - ___ Parking ___ Rear Yard
 - Upward Extension ___ Lot Coverage
 - ___ Open Space ___ Side Yard
 - ___ Height ___ Lot Frontage
 - ___ Lot Area Front Yard
 - ___ Use
- Over 500 sf. increase (IX.B.3.c) *established front yard allows extension via SPNC.*
- Plum Island Overlay District (XXI-G-3)
 - ___ FAR ___ Height
 - ___ Lot Coverage ___ Setbacks
 - ___ Open Space

PLANNING BOARD REVIEW REQUIRED

Special Permit

- Table of Use Regulations (V-D) # _____
- One residential structure per lot (VI.C)
- Open Space Residential Development (XIV)
- Water Resource Protection District (XIX)
- Federal Street Overlay District (XXII)
- Courts and Lanes (XXIII)
- Waterfront West Overlay District (XXIV)
- Towle Complex Redev. Overlay District (XXV)
- Downtown Overlay District (XXVII)*
- Other _____

Smart Growth District (XXIX)

- Plan Approval

Special Permit for Non-Conformities

- Extension or Alteration (IX.B.2)
 - ___ Parking ___ Rear Yard
 - ___ Upward Extension ___ Lot Coverage
 - ___ Open Space ___ Side Yard
 - ___ Height ___ Lot Frontage
 - ___ Lot Area ___ Front Yard
 - ___ Use
- Over 500 sf. increase (IX.B.3.c)

Site Plan Review (XV)

- Major Minor

HISTORICAL COMMISSION REVIEW REQUIRED

- Demo. Delay *Advisory Review

CONSERVATION COMMISSION REVIEW REQUIRED

CITY COUNCIL REVIEW REQUIRED (X.H.9)

Janet Gahet
Newburyport Zoning Administrator

9/7/2018
Date

CURRENT OWNER	TOPO.	UTILITIES	STRT./ROAD	LOCATION	DESCRIPTION	Code	Appraised Value	Assessed Value	Code	Appraised Value	Assessed Value
MONACO BRADEN EMILY C T/E 18 SYLVESTER ST					RESIDENTL RES LAND	1010 1010	166,000 251,800	166,000 251,800	123		
NEWBURYPORT, MA 01950											NEWBURYPORT, MA

Other ID:	41-33	CONDO CV:	IN/LAW Y/N:	LOT SPLIT:	40B HSN:
SUB-DIV					
PHOTO					
WARD	5				
TILE #:					
ATT 1/2 HSE:					
GIS ID: M 249622_951887					

RECORD OF OWNERSHIP	BR-VOL/PAGE	SALE DATE	Yr. Code	Assessed Value	Yr. Code	Assessed Value	Yr. Code	Assessed Value	
MONACO BRADEN	33588/0561	10/03/2014	Q	166,000	2017	1010	169,000	2016	1010
JACOBS KATHLEEN ANN	32675/0153	07/22/2013	U	251,800	2017	1010	239,800	2016	1010
JACOBS KATHLEEN ANN TRS	28160/0357	11/20/2008	U						
JACOBS KATHLEEN ANN	28160/0355	11/20/2008	U						
JACOBS KATHLEEN A	13697/0553	08/07/1996	U						
SWEENEY TIMOTHY M	06854/0245	08/04/1981	U						
Total:				417,800			408,800		384,300

EXEMPTIONS	Description	Amount	Code	Description	Number	Amount	Comm. Int.
OTHER ASSESSMENTS							
ASSESSING NEIGHBORHOOD							
NBHD/SUB	NBHD Name	Street Index Name	Tracing	Batch			
6/A							
NOTES							
NAT. WOOD SHED N/V							

Year	Type	Description	Amount	Code	Description	Number	Amount	Comm. Int.
APPRaised VALUE SUMMARY								
Appraised Bldg. Value (Card)								
Appraised XF (B) Value (Bldg)								
Appraised OB (L) Value (Bldg)								
Appraised Land Value (Bldg)								
Special Land Value								
Total Appraised Parcel Value								
Valuation Method:								
Adjustment:								
Net Total Appraised Parcel Value								
417,800								

Permit ID	Issue Date	Type	Description	Amount	Insp. Date	% Comp.	Date Comp.	Comments
ARK36	10/28/2004	RS	Residential	38,400		0		CONSTRUCT 1 STORY

BUILDING PERMIT RECORD									
Permit ID	Issue Date	Type	Description	Amount	Insp. Date	% Comp.	Date Comp.	Comments	Date
ARK36	10/28/2004	RS	Residential	38,400		0		CONSTRUCT 1 STORY	11/09/2006
									06/07/2005
									10/28/1997
									09/28/1988

LAND LINE VALUATION SECTION															
B Use Code	Use Description	Zone	D Front	Depth	Units	Unit Price	I Factor	Acre Disc	C Factor	ST Adj.	Notes-Adj	Special Pricing	S Adj	Adt. Unit Price	Land Value
1	1010 SINGLE FAM	R2			7,507 SF	29.17	1.1500	6	1.0000	1.00	0.00		1.00	33.54	251,800

VISIT/ CHANGE HISTORY									
ID	Cd.	Purpose/Result							
AF	02	Measur+2 Visits							
JL	00	Measur+Listed							
NR	00	Measur+Listed							
BMI	00	Measur+Listed							

Total Card Land Units: 0.17 AC														
Parcel Total Land Area: 0.17 AC														
Total Land Value: 251,800														



CONSTRUCTION DETAIL (CONTINUED)

Element	Cd	Ch	Description	Element	Cd	Ch	Description
Style	03		Colonial				
Model	01		Residential				
Grade	03		Average				
Stories	2		2 Stories				
Occupancy	1		Wood Shingle				
Exterior Wall 1	14		Clapboard				
Exterior Wall 2	11		Gable/Hip				
Roof Structure	03		Asph/F Gls/Cmp				
Roof Cover	03		Drywall/Sheet				
Interior Wall 1	05						
Interior Wall 2	09		Pine/Soft Wood				
Interior Fir-1	14		Carpet				
Interior Fir-2	02		Oil				
Heat Fuel	04		Forced Air-Duc				
Heat Type	01		None				
AC Type	03		3 Bedrooms				
Total Bedrooms	1						
Total Bthrms	1						
Total Half Baths	1						
Total Xtra Fixtrs	1						
Total Rooms	7						
Bath Style	02		Average				
Kitchen Style	02		Average				

OB-OUTBUILDING & YARD ITEMS(L) / XF-BUILDING EXTRA FEATURES(B)

Code	Description	Sub	Sub Descript	U/B	Units	Unit Price	Yr	Gde	Dp Rt	Cnd	%Cnd	Apr Value
BAS	First Floor				1,152	1,152						129,118
FOP	Porch, Open				0	150			30			3,362
FUS	Upper Story, Finished				620	620			620			69,491
UBM	Basement, Unfinished				0	620			124			13,898
WDK	Deck, Wood				0	232			23			2,578

BUILDING SUB-AREA SUMMARY SECTION

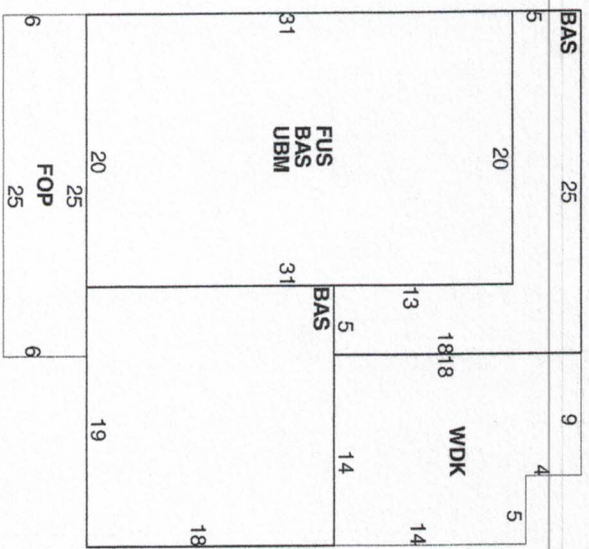
Code	Description	Living Area	Gross Area	Eff. Area	Unit Cost	Undeprec. Value
BAS	First Floor	1,152	1,152	1,152	112,088	129,118
FOP	Porch, Open	0	150	30	22,442	3,362
FUS	Upper Story, Finished	620	620	620	112,088	69,491
UBM	Basement, Unfinished	0	620	124	22,442	13,898
WDK	Deck, Wood	0	232	23	11,111	2,578

MIXED USE

Code	Description	Percentage
1010	SINGLE FAM	100

COST/MARKET VALUATION

Adj. Base Rate:	112.08
Replace Cost	218,447
AYB	1895
EYB	1993
Dep Code	G
Remodel Rating	
Year Remodeled	
Dep %	24
Functional Obshc	0
External Obshc	0
Cost Trend Factor	1
Condition	
% Complete	76
Apprais Val	166,000
Dep % Ovr	0
Dep Ovr Comment	
Misc Imp Ovr	0
Misc Imp Ovr Comment	
Cost to Cure Ovr	0
Cost to Cure Ovr Comment	





Newburyport MIMAP
Merrimack Valley Planning Commission (2018)

18 sylvester

Sign in

Tools

I want to...

Basemaps

X V

150ft

60ft

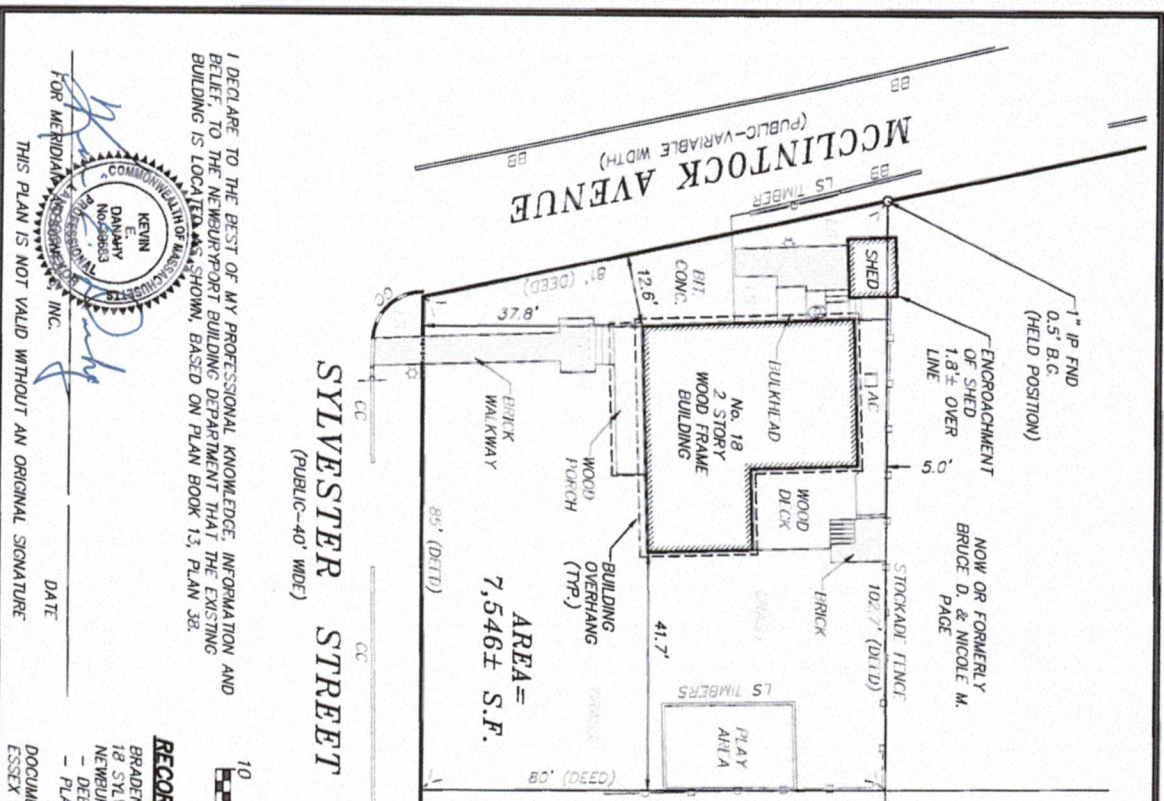
18 Sylvester

B1

B2

B3

-Pt. From Street



McCLINTOCK AVENUE
(PUBLIC-VARIABLE WIDTH)

SYLVESTER STREET
(PUBLIC-40' WIDE)

AREA = 7,546 ± S.F.

NO. 18 2-STORY WOOD FRAME BUILDING

BRICK WALKWAY

WOOD PORCH

BRICK BUILDING OVERHANG (TYP.)

WOOD DECK

SHED

STOCKADE FENCE

LS TIMBERS

PLAY AREA

ENCROACHMENT OF SHED 1.8' ± OVER LINE

1" IP FND 0.5' B.G. (HELD POSITION)

NOW OR FORMERLY BRUCE D. & NICOLE M. PAGE

NOW OR FORMERLY LEONARD S. PEARL & PATRICIA E. MYERS

NOW OR FORMERLY JACQUELINE M. SALOMON

ESSEX COUNTY LAYOUT OF LOT STREET NO. 2858

MERIDIAN IS BASED UPON THE 1956

LEGEND:

- GRANITE CURB
- METAL FENCE
- GAS METER
- SIGN
- LIGHT POST
- B.G. BELOW GROUND
- LS LANDSCAPE
- S.F. SQUARE FEET
- CC GRANITE CURB
- BB CONCRETE CURB
- IP BITUMINOUS CONCRETE BERM
- IRON PIPE

NOTES:

- PHOTO REPRODUCTION OF THE SEAL AND SIGNATURE BELOW IS INDICATIVE OF UNAUTHORIZED REPRODUCTION AND USE OF THIS PLAN. THE ENFORCEMENT AUTHORITY SHALL NOT ACCEPT A PHOTO REPRODUCTION FOR ANY PURPOSE.
- THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES OR FOR TITLE INSURANCE PURPOSES.
- THIS PLAN DOES NOT REPRESENT A CORNERIZATION OF BOUNDARY LINES NOR A DETERMINATION OF TITLE BUT IS SOLELY INTENDED TO DEPICT THE OFFSET DIMENSIONS OF THE EXISTING BUILDING TO THE BOUNDARY LINES AS DEPICTED IN PLAN BOOK 13, PLAN 38.
- THE SUBJECT PROPERTY IS DEPICTED AS LOT 33 ON TOWN OF NEWBURYPORT ASSESSOR'S MAP 41.
- THE SUBJECT PROPERTY IS LOCATED IN THE RESIDENTIAL (R2) ZONING DISTRICT.

ABBREVIATED SCHEDULE OF DIMENSIONAL CONTROLS:

(SECTION VI NEWBURYPORT ZONING ORDINANCE)
(SINGLE-FAMILY RESIDENTIAL R2 DISTRICT)

REQUIRED	EXISTING
MINIMUM LOT SIZE:	10,000 S.F.
MINIMUM LOT FRONTAGE:	90 FEET
MINIMUM HEIGHT OF BUILDING:	35 FEET
MINIMUM YARD SETBACKS:	
FRONT:	25 FEET
REAR:	10 FEET
SIDE:	12.6 FEET
MAXIMUM LOT COVERAGE:	25%
MINIMUM OPEN SPACE:	17%
	40%
	64%

RECORD OWNER/REFERENCES:

BRADEN & EMILY C. MONACO
18 SYLVESTER STREET
NEWBURYPORT, MASSACHUSETTS
- DEED BOOK 335983, PAGE 561
- PLAN BOOK 13, PLAN 38

DOCUMENTS ON RECORD AT THE SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS:

DATE: SEPTEMBER 13, 2018
SCALE: 1"=20'
SHEET No. 1 of 1
PROJECT No. 6106

PLOT PLAN OF LAND
18 SYLVESTER STREET
LOCATED IN
NEWBURYPORT, MASSACHUSETTS
(ESSEX COUNTY)
PREPARED FOR
BRADEN & EMILY C. MONACO

500 CUMMINGS CENTER, SUITE 900 BEVERLY, MASSACHUSETTS 01915
TELEPHONE (978) 270-9400
WWW.MERIDIANASSOC.COM

49 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE (508) 871-7030
WWW.MERIDIANASSOC.COM



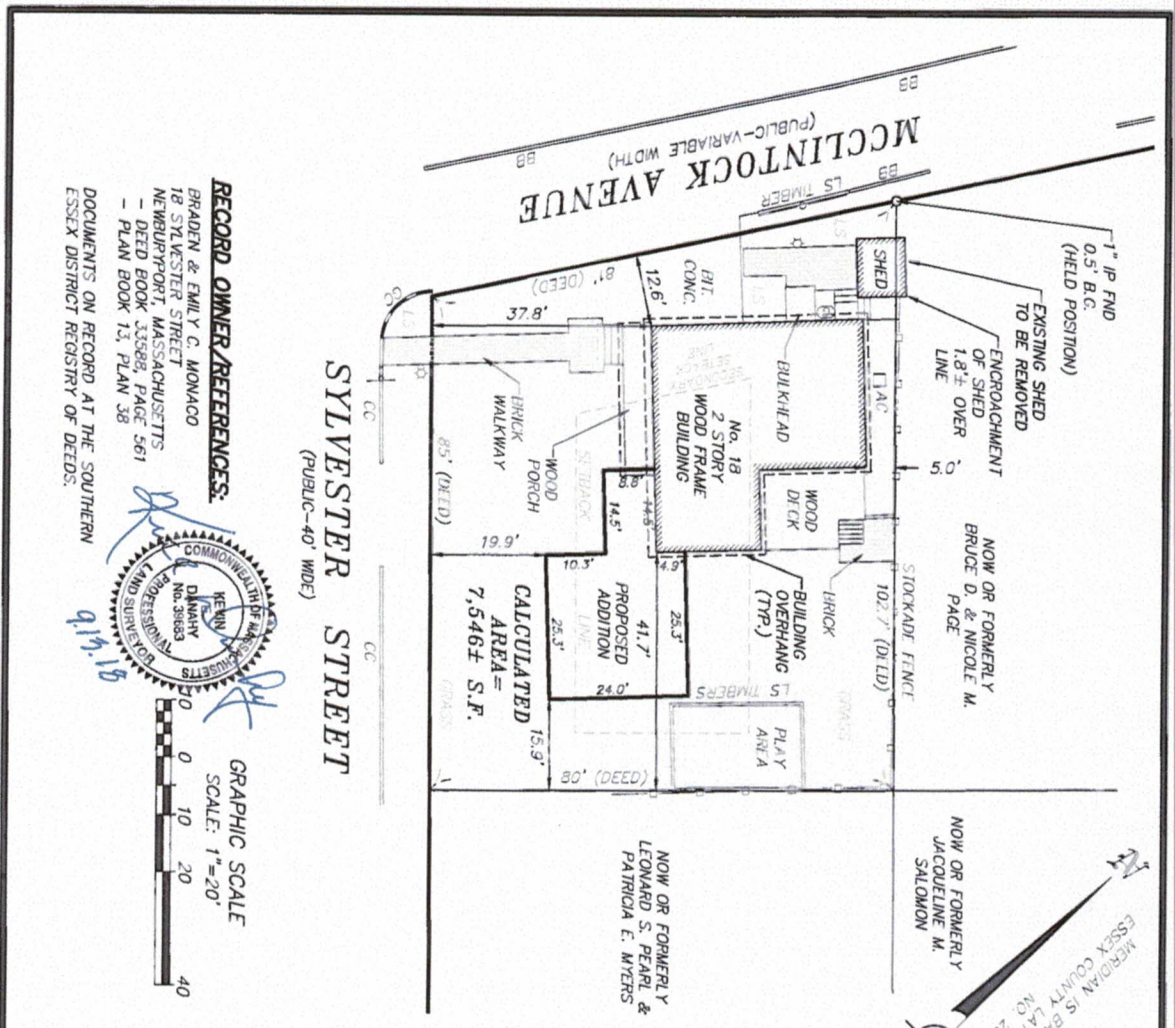
I DECLARE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, TO THE NEWBURYPORT BUILDING DEPARTMENT THAT THE EXISTING BUILDING IS LOCATED AS SHOWN, BASED ON PLAN BOOK 13, PLAN 38.

FOR MERIDIAN ASSOCIATES, INC.

DATE: _____

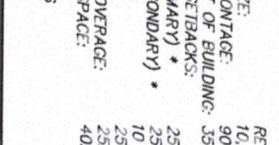
THIS PLAN IS NOT VALID WITHOUT AN ORIGINAL SIGNATURE.

BK. 643, PG. 9
DWG. No. 6106_PP



RECORD OWNER/REFERENCES:
 BRADEN & EMILY C. MONACO
 18 SYLVESTER STREET
 NEWBURYPORT, MASSACHUSETTS
 - DEED BOOK 33598, PAGE 561
 - PLAN BOOK 13, PLAN 38

DOCUMENTS ON RECORD AT THE SOUTHERN
 ESSEX DISTRICT REGISTRY OF DEEDS.



GRAPHIC SCALE
 SCALE: 1"=20'

ABBREVIATED SCHEDULE OF DIMENSIONAL CONTROLS:
 (SECTION V NEWBURYPORT ZONING ORDINANCE)
 (SINGLE-FAMILY RESIDENTIAL R2 DISTRICT)

1. PHOTO REPRODUCTION OF THE SEAL AND SIGNATURE BELOW IS INDICATIVE OF UNAUTHORIZED REPRODUCTION AND USE OF THIS PLAN. THE ENFORCEMENT AUTHORITY SHALL NOT ACCEPT A PHOTO REPRODUCTION FOR ANY PURPOSE.
2. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES OR FOR TITLE INSURANCE PURPOSES.
3. THIS PLAN DOES NOT REPRESENT A CONFIRMATION OF BOUNDARY LINES NOR A DETERMINATION OF TITLE BUT IS SOLELY INTENDED TO DEPICT THE OFFSET DIMENSIONS OF THE EXISTING BUILDING TO THE BOUNDARY LINES AS DEPICTED IN PLAN BOOK 13, PLAN 38.
4. THE SUBJECT PROPERTY IS DEPICTED AS LOT 33 ON TOWN OF NEWBURYPORT ASSESSOR'S MAP 41.
5. THE SUBJECT PROPERTY IS LOCATED IN THE RESIDENTIAL (R2) ZONING DISTRICT.
6. SYLVESTER STREET IS CONSIDERED PRIMARY FRONTAGE. MCCLINTOCK AVENUE IS CONSIDERED SECONDARY FRONTAGE.

MINIMUM LOT SIZE:	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT FRONTAGE:	10,000 S.F.	7,546 S.F.	7,546 S.F.
MINIMUM HEIGHT OF BUILDING:	90 FEET	85 FEET	85 FEET
MINIMUM YARD SETBACKS:			
FRONT (PRIMARY) *	25 FEET	37.8 FEET	19.9 FEET
FRONT (SECONDARY) *	25 FEET	12.6 FEET	12.6 FEET
SIDE	10 FEET	41.7 FEET	14.9 FEET
REAR	25 FEET	5.0 FEET	5.0 FEET
MAXIMUM LOT COVERAGE:	25%	17%	25%
MINIMUM OPEN SPACE:	40%	64%	56%

- * SEE NOTE 6

LEGEND:

—	GRANITE CURB
—	METAL FENCE
—	GAS METER
—	SIGN
—	LIGHT POST
—	BELOW GROUND LANDSCAPE
—	SQUARE FEET
—	GRANITE CURB
—	CONCRETE CURB
—	BITUMINOUS CONCRETE BERM
—	IRON PIPE

NOTES:

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BR. 643, PG. 9
 PROJECT NO. 6106

DATE: SEPTEMBER 13, 2018
 SCALE: 1"=20'
 SHEET NO. 1 OF 1

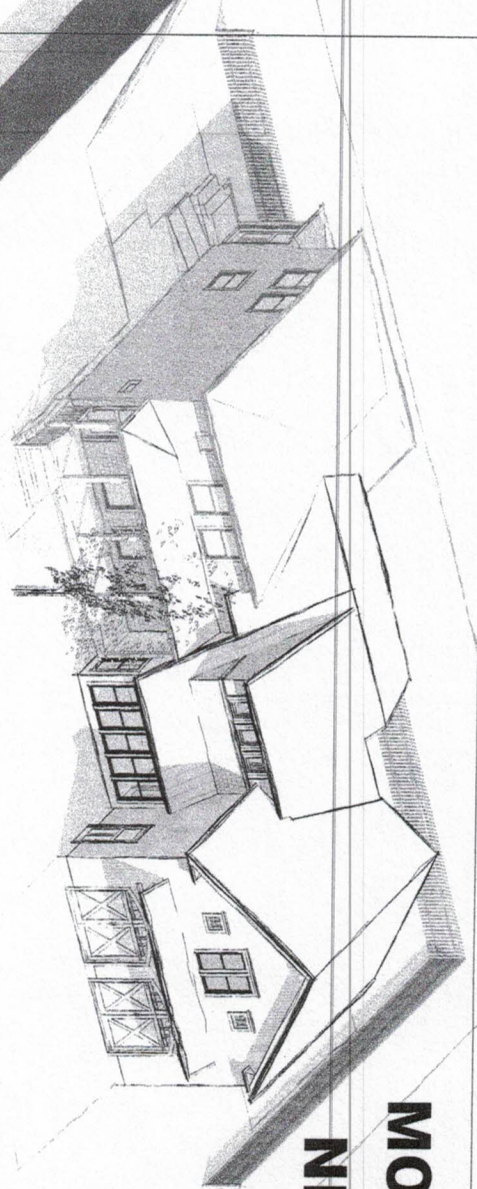
PLOT PLAN OF LAND
 (TO ACCOMPANY A REQUEST FOR VARIANCE)
18 SYLVESTER STREET
 LOCATED IN
NEWBURYPORT, MASSACHUSETTS
 (ESSEX COUNTY)
 PREPARED FOR
BRADEN & EMILY C. MONACO

6106

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MONACO RESIDENCE NEWBURYPORT, MA

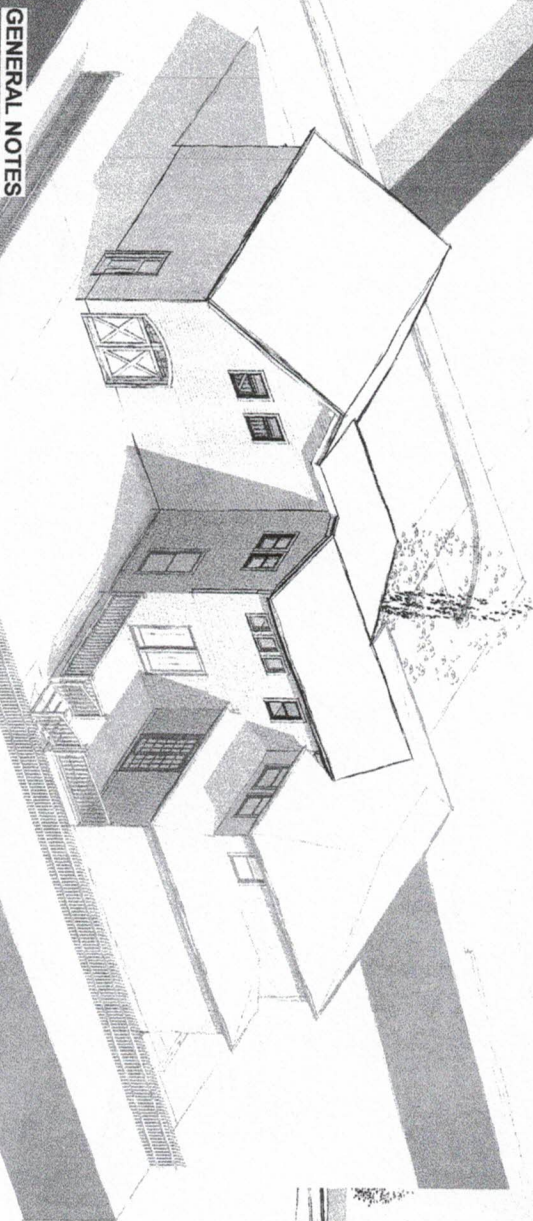
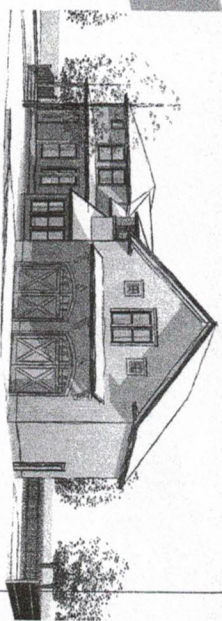
Architect: Amy M. Lee, AIA, LEED AP
9 South Street
Newburyport, MA 01950
Tel: 978-771-2177
www.amylee.com



EXISTING PERSPECTIVE



PROPOSED PERSPECTIVE



GENERAL NOTES

1. All work shall comply with the 9th Edition Residential Code based on 2015 International Residential Building Code and MA amendments and all other applicable codes and ordinances, accepted practice, standard methods of construction and any other requirements of the building department in strict compliance with the manufacturer's instructions and any other requirements of the building department on a design build basis.
2. All mechanical, electrical and plumbing work shall proceed on a design build basis.
3. All structural elements shall be sized by structural engineer and approved by the contractor estimating or performing work is added to or deleted from the design.
4. All dimensions and conditions shall be field verified, and all work shall conform to the approved design.
5. All dimensions and conditions shall be field verified, and all work shall conform to the approved design.
6. The contractor shall obtain all necessary permits, approvals and responses as required by law.
7. All work shall be done in accordance with the approved design and fully understand the existing conditions and what is to be provided under this contract.
8. All general contractor is responsible for trade coordination and sequencing of work.
9. Any variations from these documents which are requested by the contractor must be reviewed and approved by the architect in writing.
10. All indications and notations on the drawings, applying to one area, component or condition, shall apply to all other similar areas, components and conditions, unless clearly indicated otherwise.
11. Care shall be taken not to damage any existing to remain construction.
12. Contractor shall provide list, plants and level surfaces for installation of all casework and appliances.

HOME OWNER:

BRADEN & EMILY MONACO
18 SYLVESTER STREET
NEWBURYPORT MA

978-771-2177

DRAWING LIST	SHEET #	SHEET NAME
COVER SHEET	A0.0	
PERSPECTIVE	A0.1	
SITE PLAN	A0.2	
AREA PLANS	A0.3	
DEMOLITION PLANS	A0.7	
FIRST FLOOR PLAN	A1.1	
SECOND FLOOR PLAN	A1.2	
ROOF PLAN	A1.3	
REFLECTED CEILING PLANS	A2.0	
FRONT ELEVATION	A3.0	
SIDE ELEVATION - ENTRY	A3.1	
REAR ELEVATION	A3.2	
SIDE ELEVATION	A3.3	
BUILDING SECTION A	A4.0	
BUILDING SECTIONS B, C	A4.1	
BUILDING SECTION D	A4.2	
EXTERIOR DETAILS	A9.1	
ARCHITECTURAL: 17		
STRUCTURAL FOUNDATION / FIRST FLOOR FRAMING PLAN	S1.0	
STRUCTURAL FRAMING PLAN SECOND FLOOR	S1.1	
ROOF FRAMING PLAN	S1.2	
STRUCTURAL: 3		
Grand total: 20		

A0.0

SCHEMATIC DESIGN

COVER SHEET

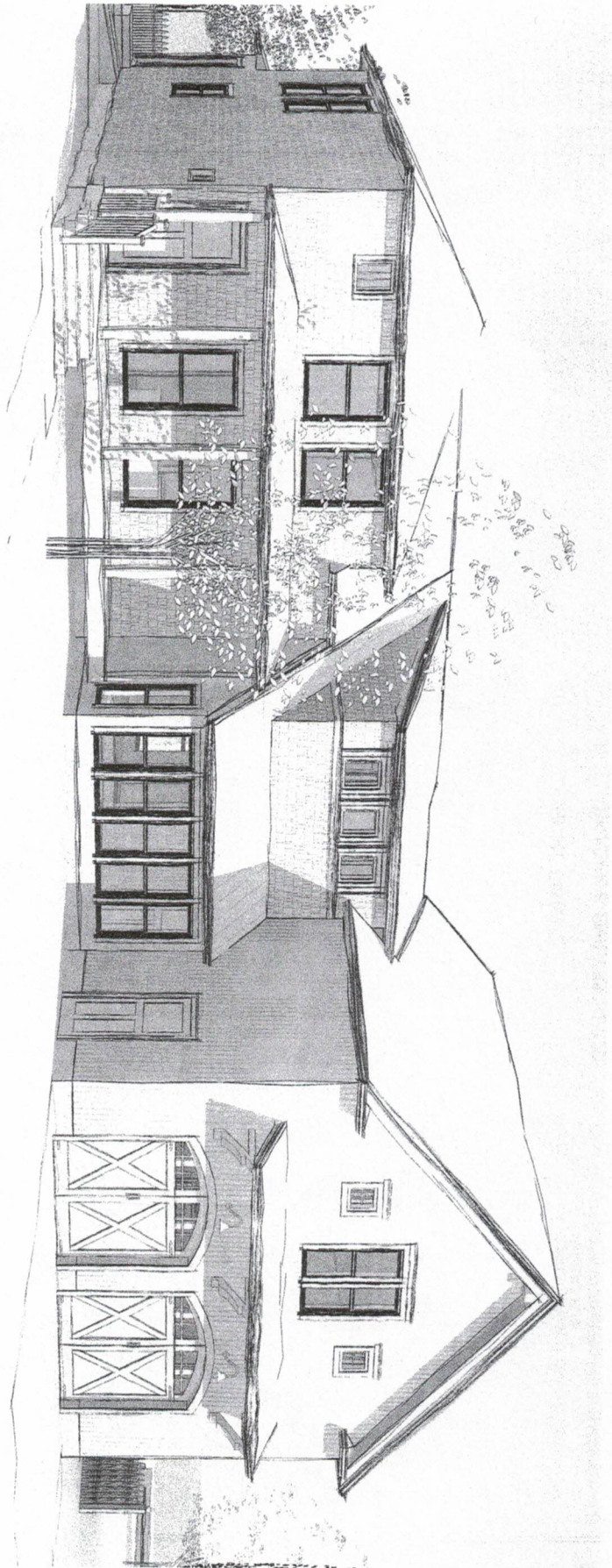
MONACO RESIDENCE

18 SYLVESTER STREET
NEWBURYPORT, MA

978-771-2177

AMYLEE.COM

9/15/2016 3:14:48 PM



Architect: **Perreé, Papp, & Lee, LLP**
300 West Street
New York, NY 10014
Tel: 212.224.1100
Fax: 212.224.1101
www.perreepappandlee.com

**MONACO
RESIDENCE**

30 BLENHEIM STREET
MANHATTAN, NY

NY 02:01:23:02:14

**SCHEMATIC
DESIGN**

DATE: 08/11/08
PERRECE/LEE

A0.1

ZONING INFORMATION

BASED ON TOWN OF NEWBURGH ZONING BY-LAWS
AS PUBLISHED ONLINE

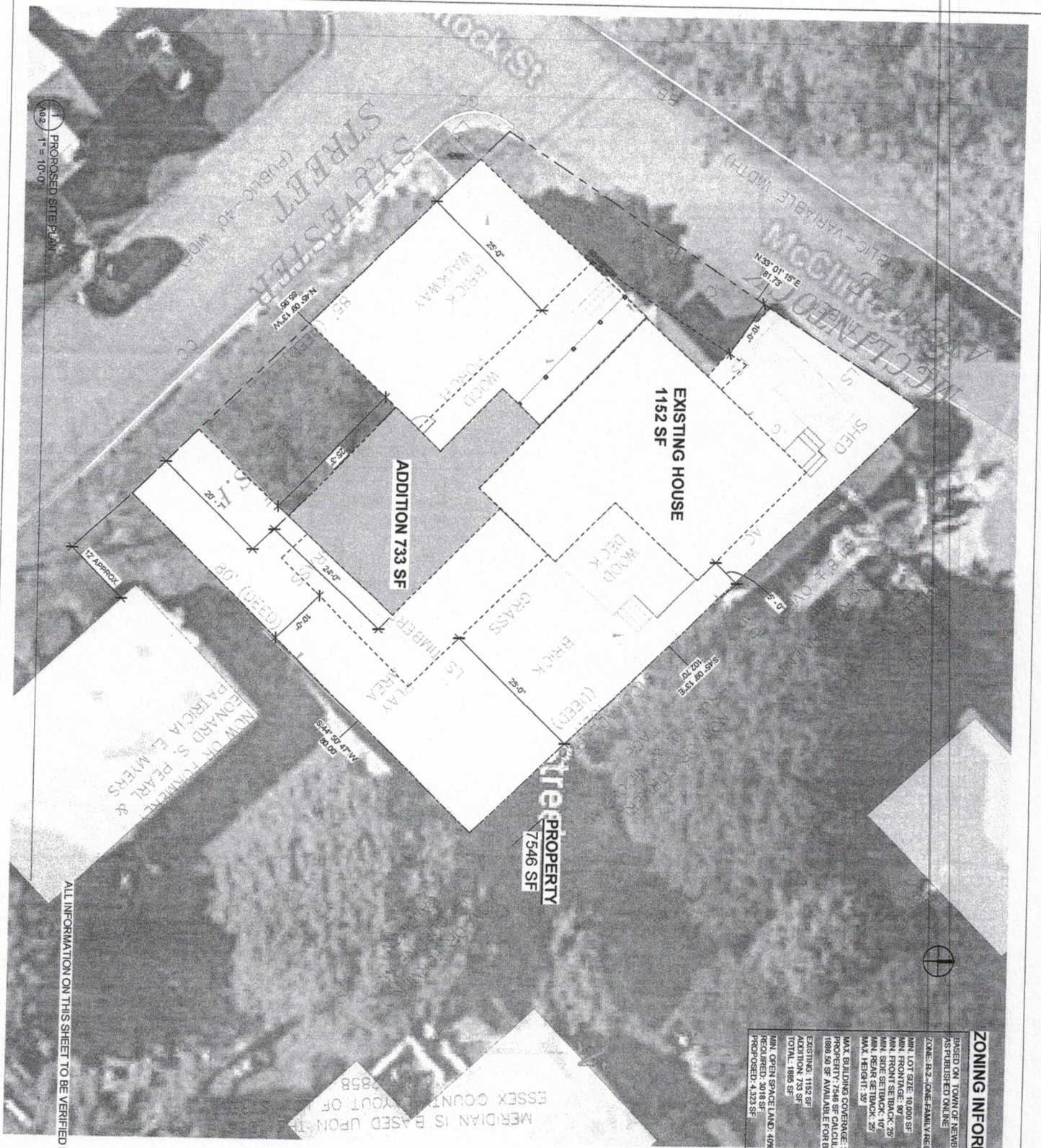
ZONE: R-2, ONE-FAMILY RESIDENCE

MIN. LOT SIZE: 10,000 SF
MIN. FRONTAGE: 80 FT
MIN. FRONT SETBACK: 25 FT
MIN. SIDE SETBACK: 10 FT
MIN. REAR SETBACK: 25 FT
MAX. HEIGHT: 35 FT

MAX. BUILDING COVERAGE: 25%
PROPERTY: 7546 SF CALCULATES TO 1889.50 SF AVAILABLE FOR BUILDING

EXISTING: 1152 SF
ADDITION: 733 SF
TOTAL: 1885 SF

MIN. OPEN SPACE/LAND: 40%
REQUIRED: 3016 SF
PROPOSED: 4,323 SF



PROPOSED SITE PLAN
1" = 10'-0"

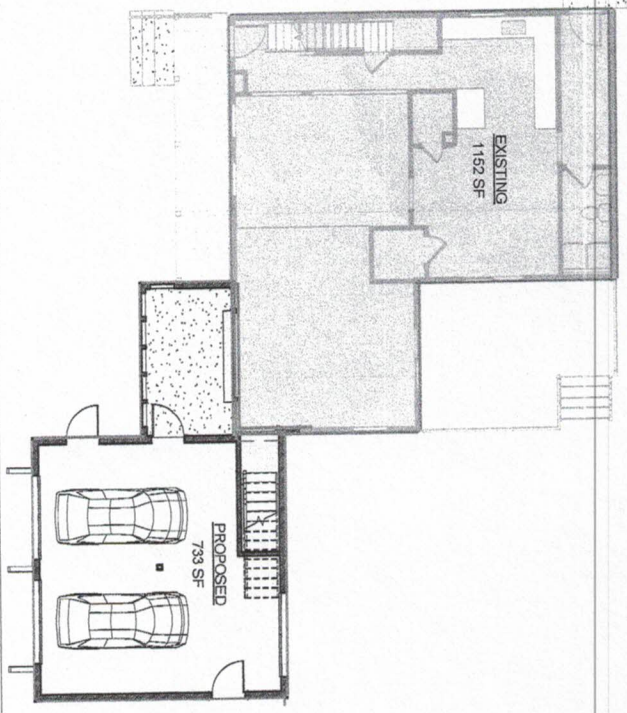
ALL INFORMATION ON THIS SHEET TO BE VERIFIED BY SURVEYOR.

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SCHEMATIC DESIGN
SITE PLAN
A0.2

08/2019 2:16:29 PM
812019 2:16:29 PM

EXISTING
86 SF

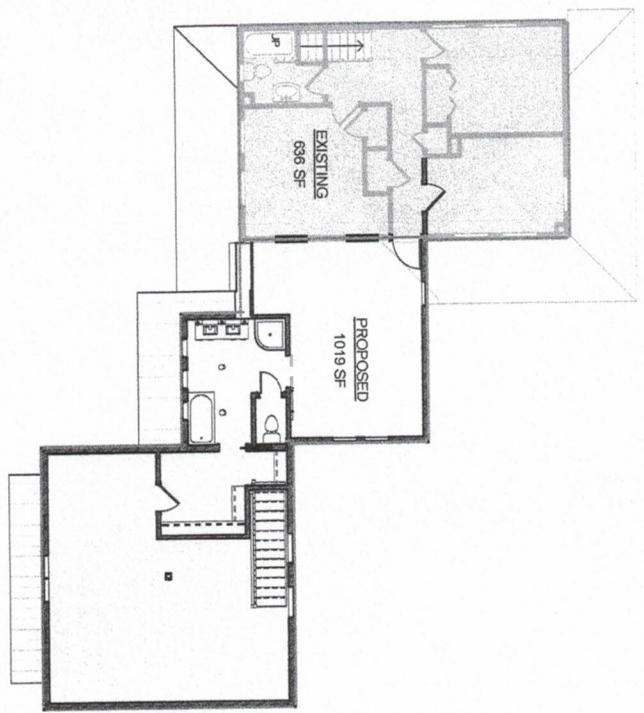
SHED TO BE DEMOLISHED



1 FIRST FLOOR
A0.3 1/8" = 1'-0"

Level	Area Schedule (Gross Building)	Name	Area
FIRST FLOOR	EXISTING	86 SF	
FIRST FLOOR	EXISTING	1152 SF	
SECOND FLOOR	EXISTING	636 SF	
EXISTING: 3		1874 SF	
FIRST FLOOR	PROPOSED	733 SF	
SECOND FLOOR	PROPOSED	1019 SF	
PROPOSED: 2		1752 SF	
Grand total:	5	3627 SF	

FIRST FLOOR	EXISTING	86 SF
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FIRST FLOOR	PROPOSED	733 SF
SECOND FLOOR	PROPOSED	1019 SF
PROPOSED: 2		1752 SF
Grand total:	5	3627 SF



2 SECOND FLOOR
A0.3 1/8" = 1'-0"

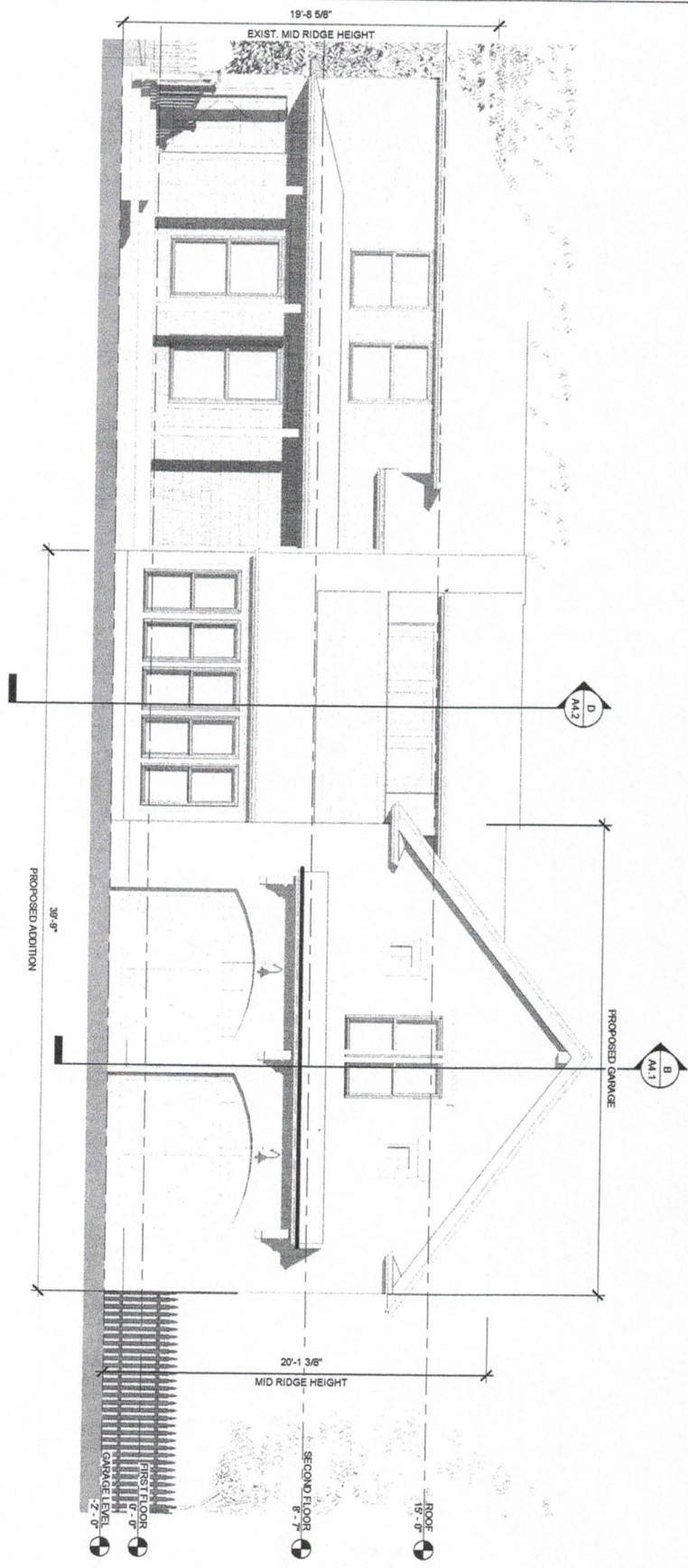
Architect: **Angus Mack, LLC**
3000 West
10th Street, Suite 1100
Denver, CO 80202
Phone: 303.733.1100
www.angusmack.com

**MONACO
RESIDENCE**
8 SYLVAN STREET
MINNEAPOLIS, MN

**SCHEMATIC
DESIGN**

ANGUS MACK
ARCHITECTS
ANGUS MACK PLANS

A0.3

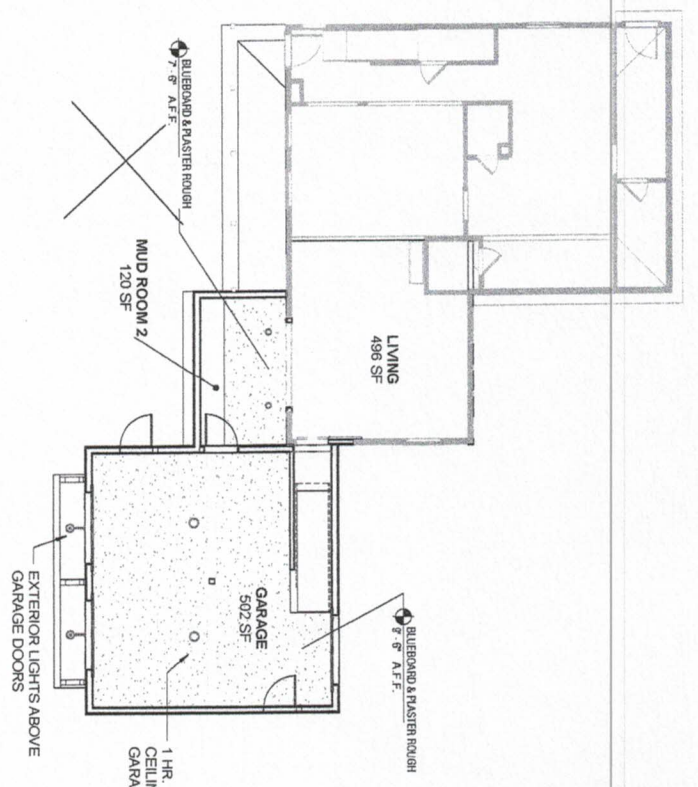


1 PROPOSED FRONT ELEVATION
 A3.0 1/4" = 1'-0"

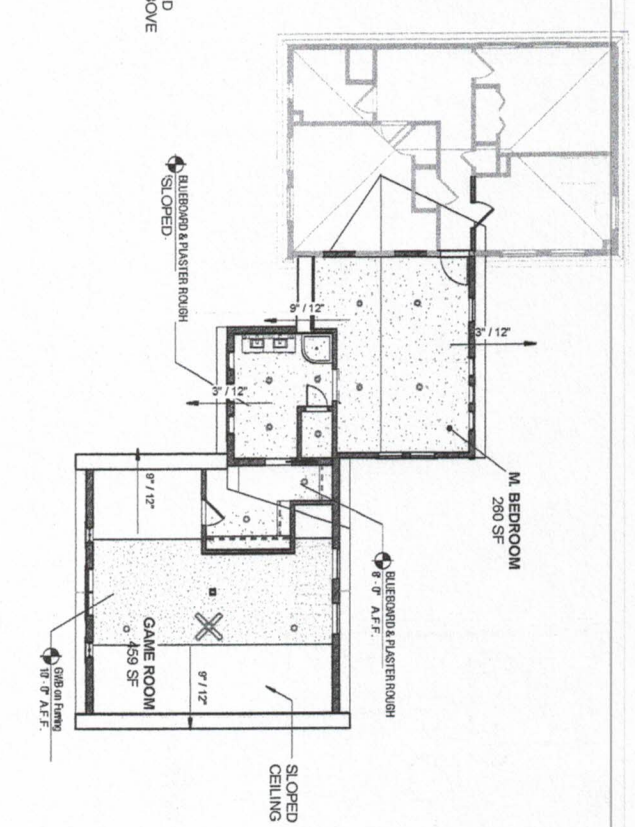
ARCHITECT: [Faint text]
 PROJECT: MONACO RESIDENCE
 DATE: [Faint text]

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 SCHEMATIC DESIGN
 06/15/2018

A3.0
 FRONT ELEVATION



1 FIRST FLOOR RCP
 A2.0 1/8" = 1'-0"



2 SECOND FLOOR RCP
 A2.0 1/8" = 1'-0"

MONACO
 RESIDENCE

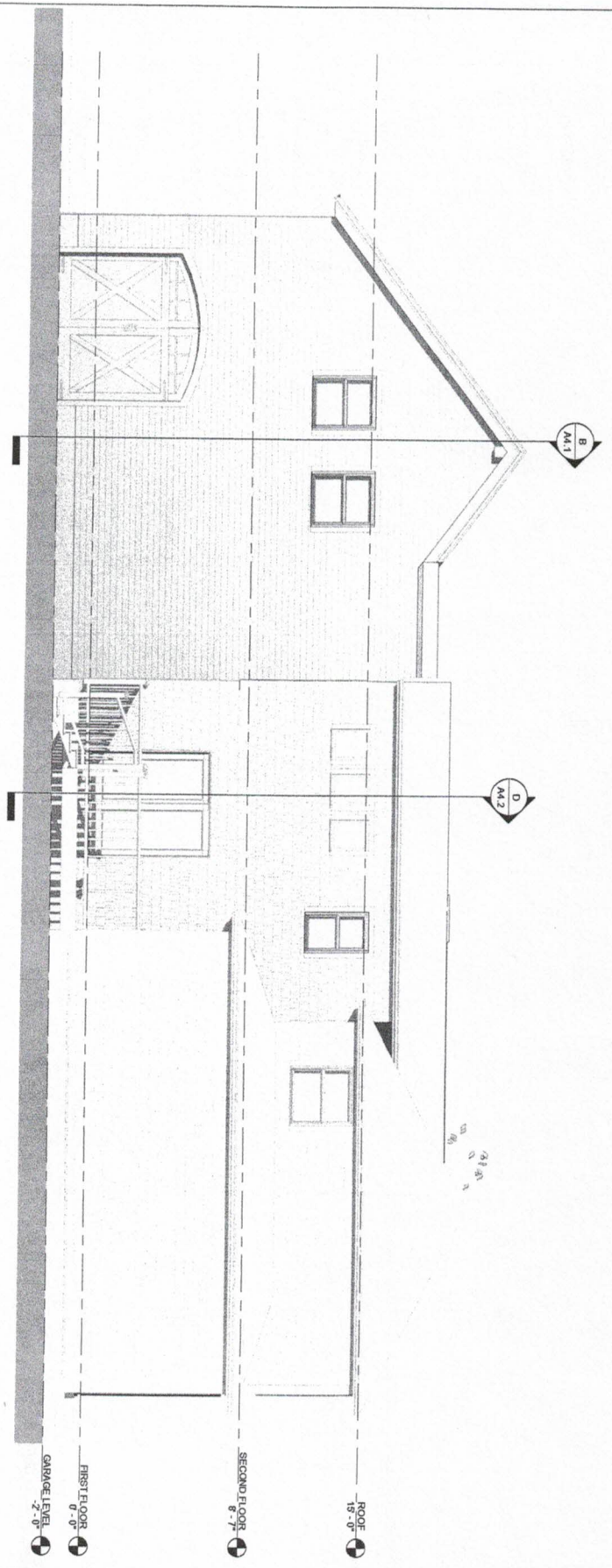
18 SILVERSTONE STREET
 ANNAPOLIS, MD 21403
 MD 19-191-21-8102/CLN

SCHEMATIC
 DESIGN

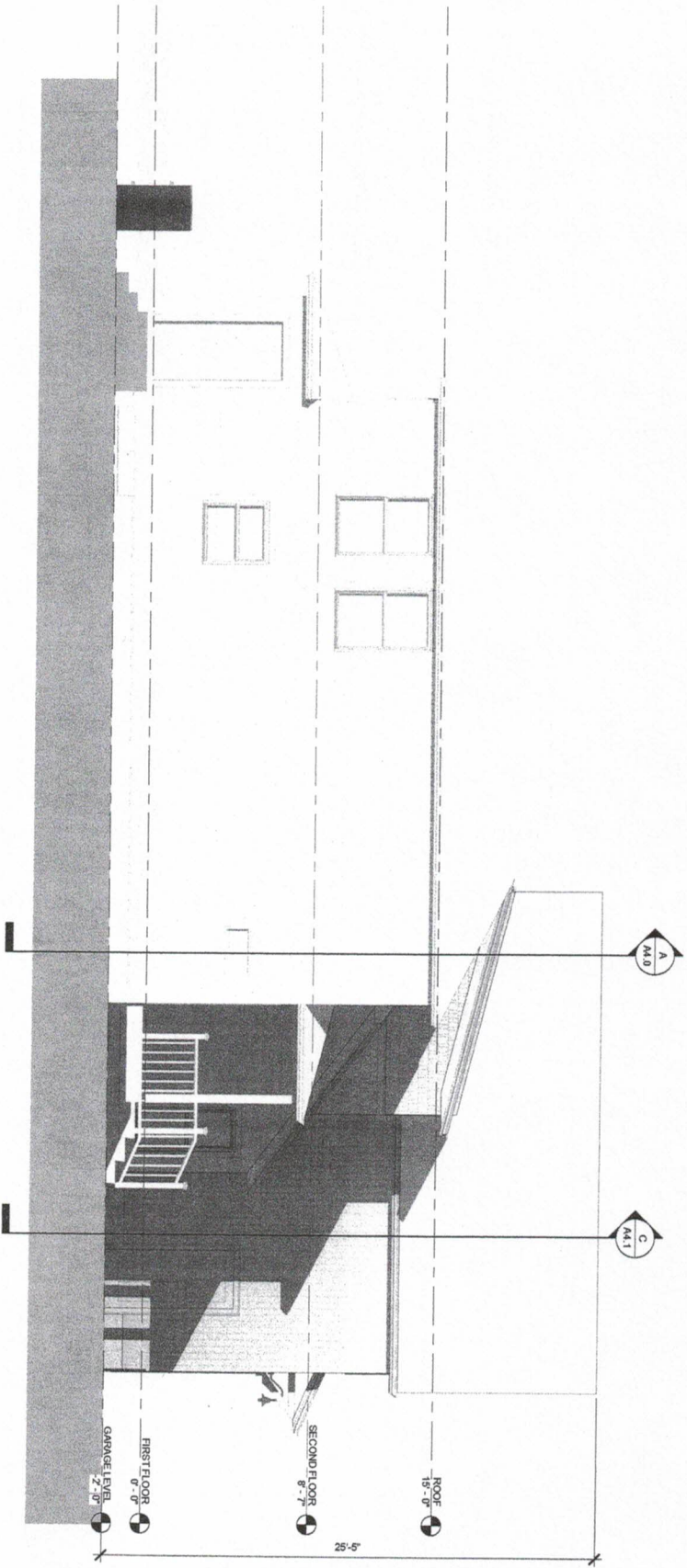
REFLECTED
 CEILING PLANS

A2.0

1 PROPOSED REAR ELEVATION
 A3.2 1/4" = 1'-0"



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 08/15/2024



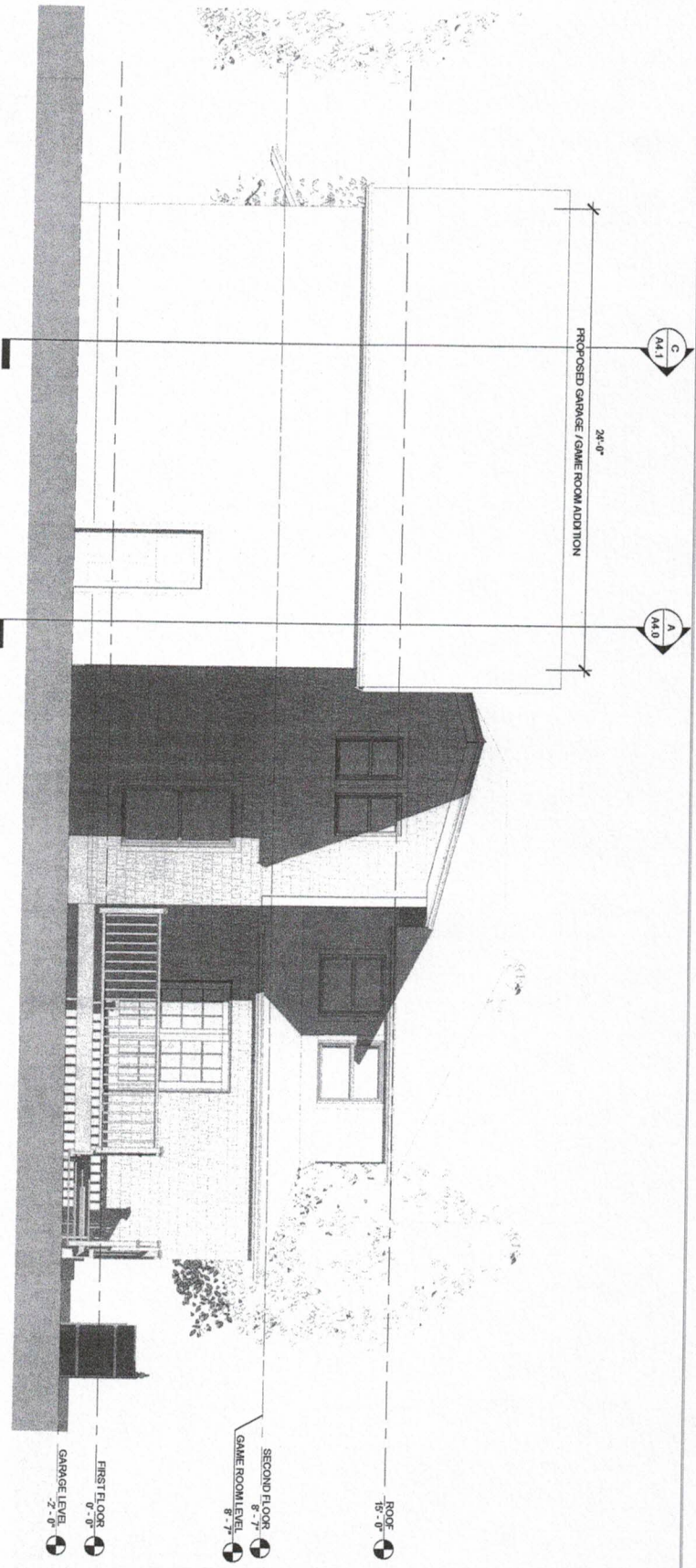
1 PROPOSED SIDE ELEVATION
 A3.1 1/4" = 1'-0"

MONACO
 RESIDENCE

30 OLIVER STREET
 NEWTON, MASSACHUSETTS, MA

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SIDE ELEVATION
 - ENTRY

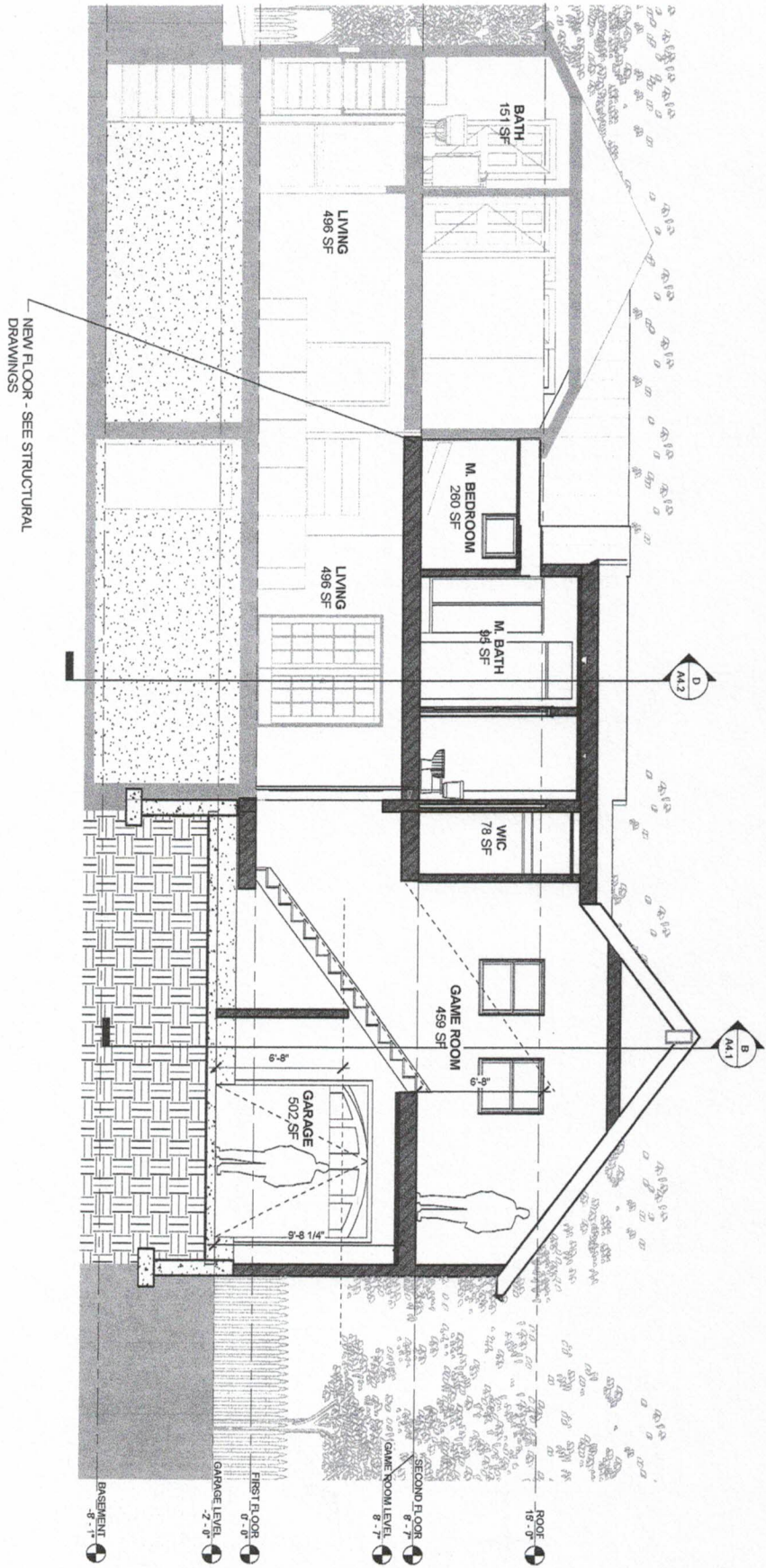


1
 A3.3 1/4" = 1'-0" PROPOSED SIDE ELEVATION.

**MONACO
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 10 GUYVERNE STREET
 WESTPORT, MA 01886

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SIDE ELEVATION



NEW FLOOR - SEE STRUCTURAL DRAWINGS

A BUILDING SECTION A
 A4.0 1/4" = 1'-0"

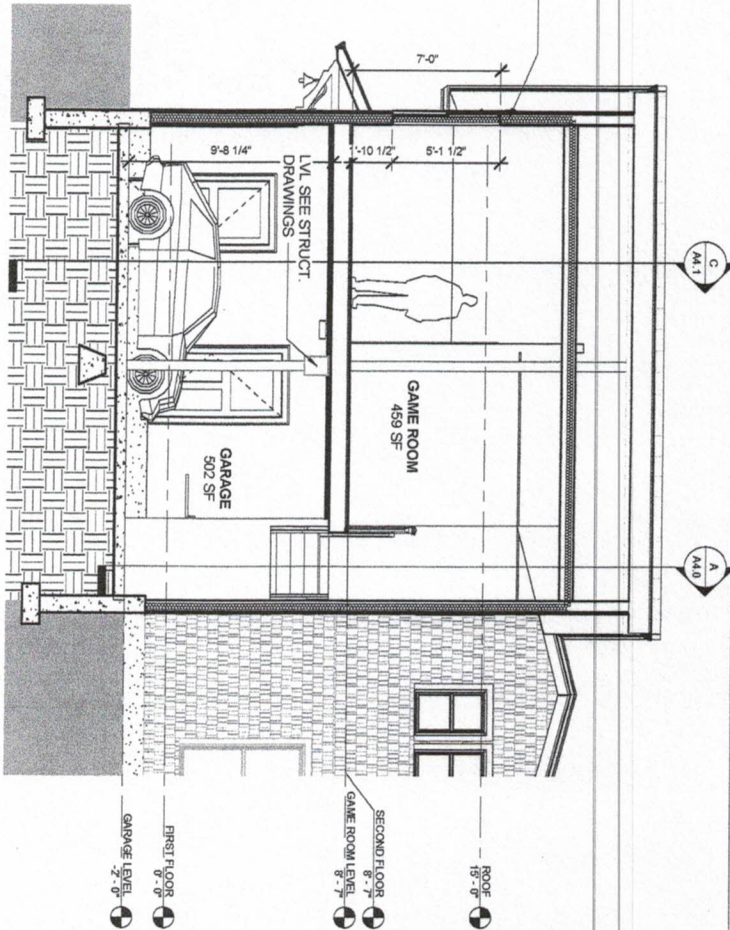
ARCHITECT: MONACO RESIDENCE
 1000 RIVINGTON AVENUE
 NEWTON, MASSACHUSETTS 02459
 PHONE: 781.552.1100
 FAX: 781.552.1101
 WWW.MONACODSIGN.COM

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 08/13/2018
 BUILDING
 SECTION A

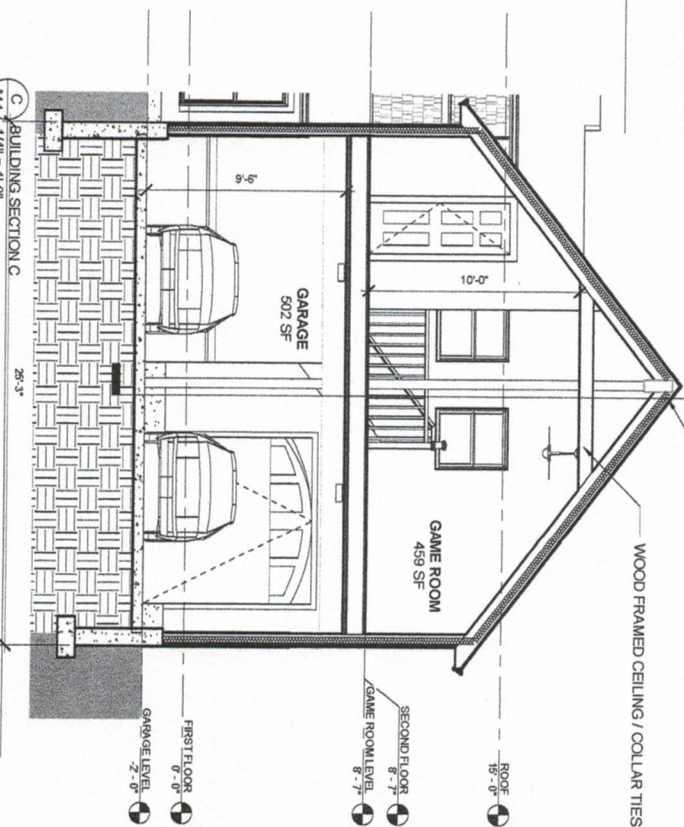
A4.0

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2x6 WALL FRAMING
 BATT INSULATION
 PLYWOOD SHEATHING
 AIR BARRIER ON EXTERIOR
 WOOD SIDING (REFER TO
 EXTERIOR ELEVATIONS)



B BUILDING SECTION B
 A4.1 1/4" = 1'-0"



C BUILDING SECTION C
 A4.1 1/4" = 1'-0"

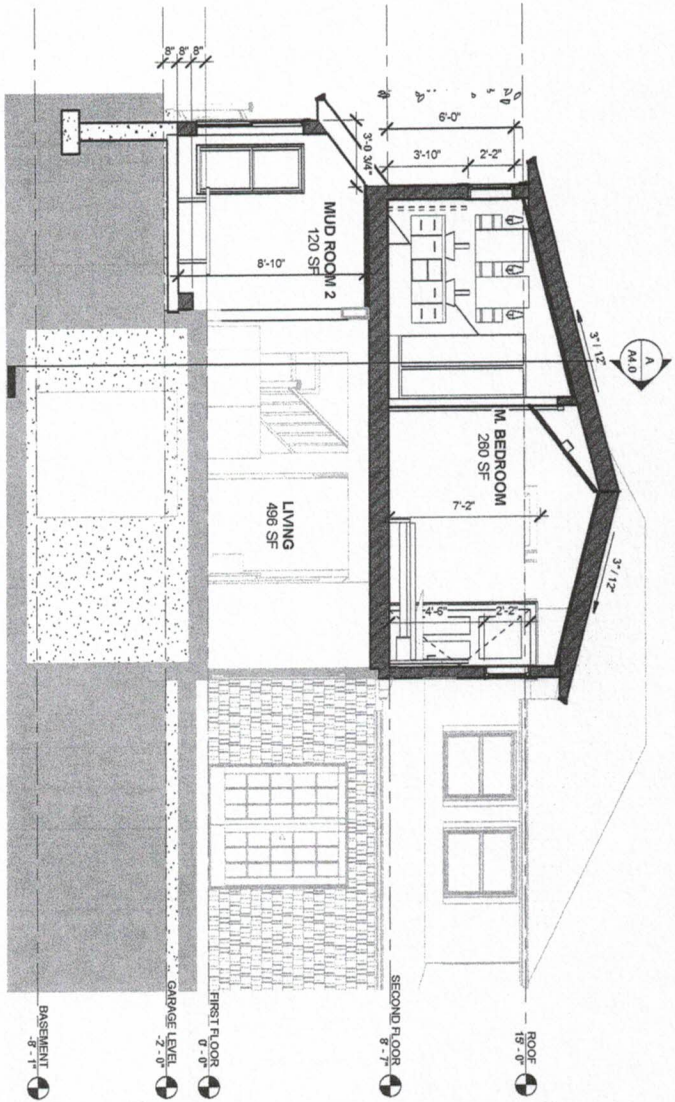
Approved by: **DAVID LESTER, AIA**
 ARCHITECT
 1000 W. 10TH AVENUE
 SUITE 1000
 DENVER, CO 80202
 PHONE: 303.733.1111
 FAX: 303.733.1112

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 RESIDENCE**

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A4.1
 BUILDING
 SECTIONS B, C

D BUILDING SECTION D
 A4.2 1/4" = 1'-0"



Architectural Firm Name, Address, Phone, Email, Website

MONACO RESIDENCE

SCHENATIC DESIGN

A4.2

DATE: 12/18/21