

# CONDOMINIUM SITE DEVELOPMENT PLANS

## PARKER HILL DEFINITIVE SUBDIVISION

- TAX MAP 34 LOT 8-A -

2 PARKER STREET

NEWBURYPORT, MASSACHUSETTS 01950

AUGUST 14, 2017

LAST REVISED: NOVEMBER 7, 2017

### ABUTTER INFORMATION

MAP 34 LOT 8-A  
PARKER 2 REALTY TRUST  
JOSEPH G. HILL, TRUSTEE  
160 BRIDGE ROAD  
SALISBURY, MA 01952  
BK.34796 PG.59 3/25/16  
(PARKER ST.)

MAP 34 LOT 13  
BROADWAY PLAZA TRUST II  
NEIL A. TAGERMAN, TRUSTEE  
75 OAK STREET  
NEWTON, MA 02464  
BK.13656 PG.56 7/11/96  
(151-155 STATE ST.)

MAP 34 LOT 8-A-1  
PARKER 2 REALTY TRUST  
JOSEPH G. HILL, TRUSTEE  
160 BRIDGE ROAD  
SALISBURY, MA 01952  
BK.34796 PG.59 3/25/16  
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MAP 34 LOT 8-A-2  
PARKER 2 REALTY TRUST  
JOSEPH G. HILL, TRUSTEE  
160 BRIDGE ROAD  
SALISBURY, MA 01952  
BK.34796 PG.59 3/25/16  
(PARKER ST.)

MAP 34 LOT 8  
OAK HILL CEMETERY  
BOARD OF TRUSTEES  
P.O. BOX 576  
NEWBURYPORT, MA 01950  
BK.1835 PG.175 8/18/1906  
(4 BROWN ST.)

MAP 34 LOT 6  
3 PARKER STREET NOMINEE TRUST  
KENNETH F. LABRECQUE, TRUSTEE  
P.O. BOX 162  
NEWBURYPORT, MA 01950  
BK.16930 PG.542 3/1/01  
(3 PARKER ST.)

MAP 34 LOT 7  
C&O REALTY TRUST  
DAVID L. & CAROLYN SHEPARD, TRUSTEES  
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BK.25756 PG.340 6/8/06  
(PARKER ST.)

MAP 34 LOT 9-A  
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DAVID L. & CAROLYN SHEPARD, TRUSTEES  
14 PINE STREET  
NEWBURYPORT, MA 01950  
BK.7596 PG.179 12/4/84  
(4 PARKER ST.)

MAP 34 LOT 11  
HARDWARE NOMINEE TRUST  
PETER G. & LISA L. KELLY, TRUSTEES  
163 STATE STREET  
NEWBURYPORT, MA 01950  
BK.14612 PG.374 2/25/98  
(163 STATE ST.)

MAP 34 LOT 12  
GRANT NOMINEE TRUST  
PETER G. & KATHERINE G. KELLY, TRUSTEES  
161 STATE STREET  
NEWBURYPORT, MA 01950  
BK.14612 PG.405 2/25/98  
(161 STATE ST.)

MAP 34 LOT 14  
BEBOSAM, LLC  
149 STATE STREET  
NEWBURYPORT, MA 01950  
BK.29830 PG.19 10/1/10  
(149 STATE ST.)

MAP 34 LOT 15  
PATRICIA GALLACHER  
147 STATE STREET  
NEWBURYPORT, MA 01950  
BK.12244 PG.390 11/16/93  
(147 STATE ST.)

MAP 34 LOT 16  
JOHNATHAN G. YOUNG  
145 STATE STREET  
NEWBURYPORT, MA 01950  
BK.31804 PG.116 10/10/12  
(145 STATE ST.)

MAP 34 LOT 17  
143 STATE STREET TRUST  
ROBERT A. HOFFMAN, TRUSTEE  
143 STATE STREET  
NEWBURYPORT, MA 01950  
BK.8046 PG.252 1/21/88  
(143 STATE ST.)  
(UNITS 1-8)  
(UNITS A THRU I)

MAP 34 LOT 18  
143 STATE STREET TRUST  
ROBERT A. HOFFMAN, TRUSTEE  
143 STATE STREET  
NEWBURYPORT, MA 01950  
BK.8046 PG.252 1/21/88  
(143 STATE ST.)  
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MAP 34 LOT 19  
143 STATE STREET TRUST  
ROBERT A. HOFFMAN, TRUSTEE  
143 STATE STREET  
NEWBURYPORT, MA 01950  
BK.8046 PG.252 1/21/88  
(143 STATE ST.)  
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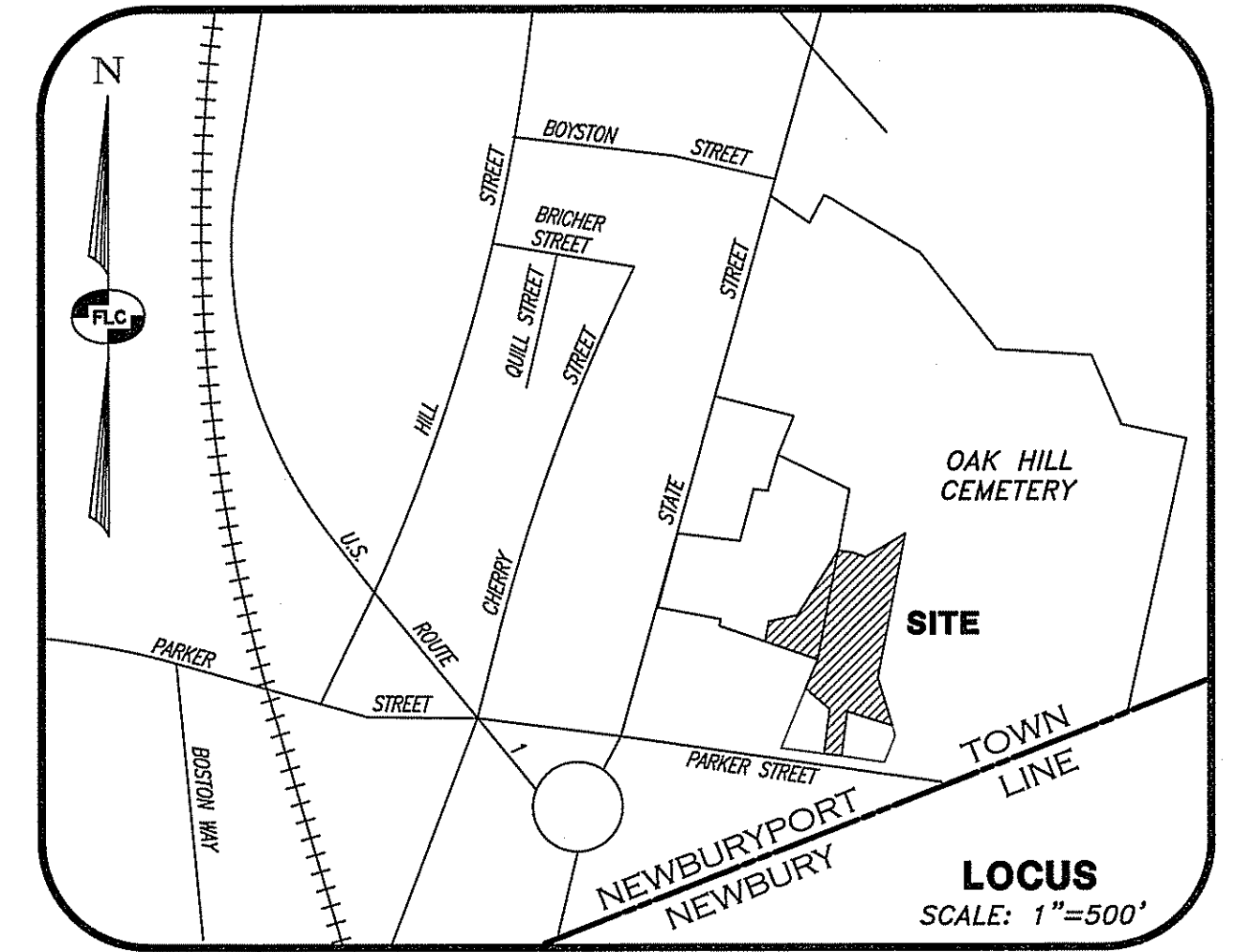
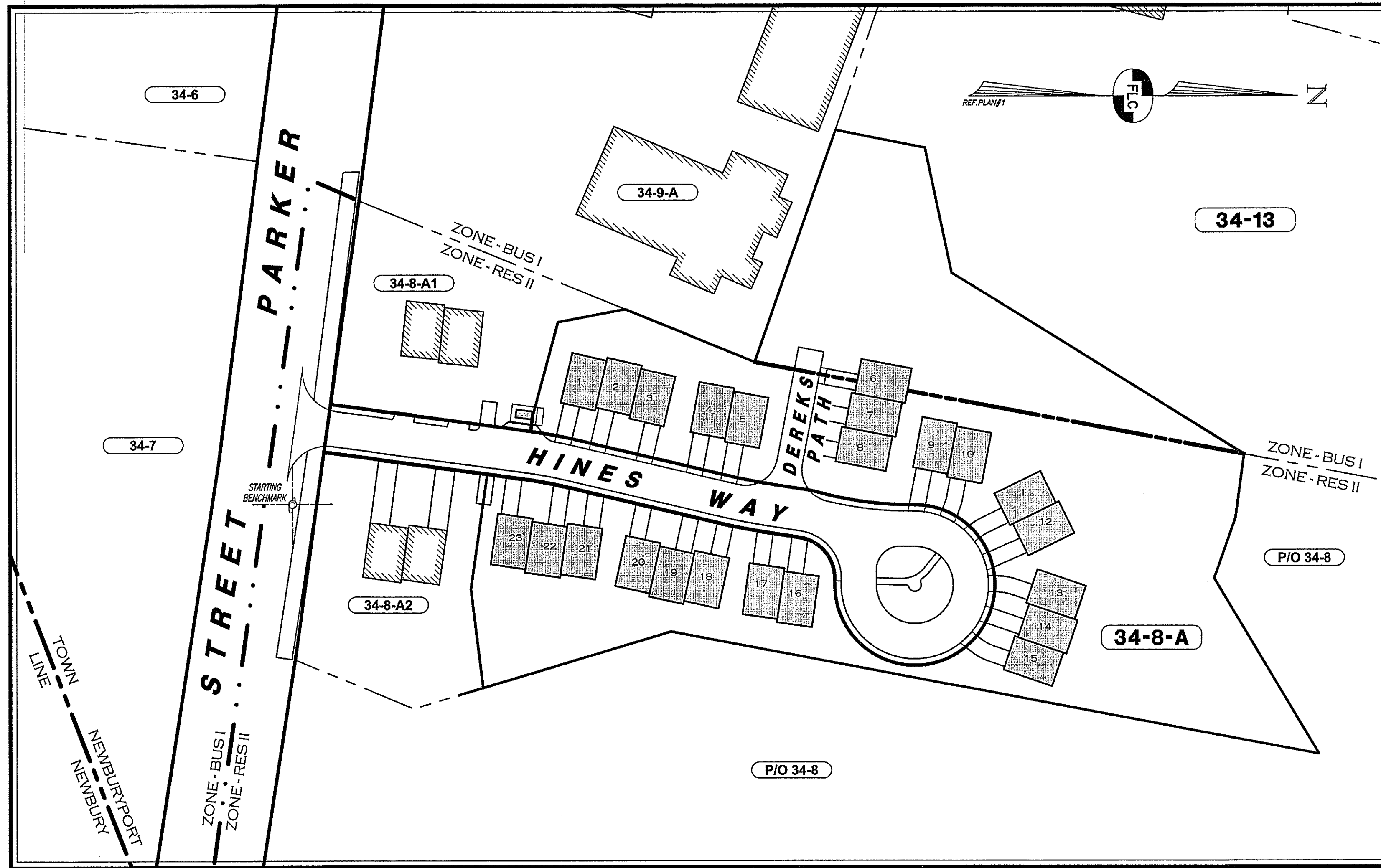
MAP 34 LOT 20  
143 STATE STREET TRUST  
ROBERT A. HOFFMAN, TRUSTEE  
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NEWBURYPORT, MA 01950  
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(143 STATE ST.)  
(UNITS 1-8)  
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### REFERENCE PLANS:

- "PLAN OF LAND - SHOWING DIVISION OF 34-8-A - PARKER STREET - NEWBURYPORT, MASSACHUSETTS - PREPARED FOR - PARKER 2 REALTY TRUST - 1 MASON LANE - SALISBURY, MA 01952 - SCALE 1"=40', DATED MARCH 2, 2016, BY BRIAN KNOWLES. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 452 PLAN #081 DATED MARCH 25, 2016.
- "PLAN OF DIVISION OF LAND - OF - ROBERT W.E. WALTERS - STATE & PARKER STS. - NEWBURYPORT, MASS., SCALE 1"=40', DATED APRIL 30, 1969, BY HAROLD F. MAC WILLIAMS. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 114 PLAN #009 DATED MAY 9, 1969.
- "PLAN OF DIVISION OF LAND OF - DONALD C. GRAVELLE - PARKER ST. - NEWBURYPORT, MASS., SCALE 1"=40', DATED JUNE 1970, BY HAROLD F. MAC WILLIAMS. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS AS PLAN #297 OF 1970 DATED AUGUST 20, 1970.
- "SITE PLAN - PARKER HILL CONDOMINIUM - PHASE 1 - OF - 2 PARKER STREET - NEWBURYPORT, MASSACHUSETTS - PREPARED FOR - PARKER 2 REALTY TRUST - 1 MASON LANE - SALISBURY, MA 01952, SCALE 1"=40', 2 SHEETS, DATED NOVEMBER 5, 2016, BY BRIAN KNOWLES. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 457 PLAN #022 DATED DECEMBER 16, 2016.
- "PLAN AND PROFILE OF - PROPOSED STATE HIGHWAY IN - NEWBURYPORT, 3 SHEETS - PLAN NO.0220-1 THRU 0220-3, SCALE 1"=40', DATED JUNE 9, 1917, BY THE OFFICE OF MASSACHUSETTS HIGHWAY COMMISSION. COUNTY OF ESSEX ENGINEER'S OFFICE RECORD #2211. COUNTY COMMISSIONERS DECREE #1128 DATED AUGUST 3, 1917. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 2372 PLAN #475.
- "PLAN OF LAND - IN - NEWBURYPORT, MA - J.J.F. REALTY TRUST - 149 STATE STREET - NEWBURYPORT, MA - MAP 34 LOT 14, SCALE 1"=10', DATED APRIL 7, 2008, BY GRIFFIN ENGINEERING GROUP, LLC. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 413 PLAN #045 DATED APRIL 11, 2008.
- "PLAN OF LAND - IN - NEWBURYPORT MASSACHUSETTS - OWNER - LABADINI REALTY CO., INC., SCALE 1"=20', DATED JUNE 20, 1972, BY PORT ENGINEERING ASSOCIATES, RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 123 PLAN #074 DATED AUGUST 25, 1972.
- "PLAN OF THE HASKELL FIELD - CORNER OF STATE AND PARKER STREETS - NEWBURYPORT, MASS (AS PER DESCRIPTION OF 1846) SCALE 1"=60', DATED JUNE 4, 1906, BY J.P. TITCOMB, C.E. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 1835 PLAN #1 DATED AUGUST 13, 1906.

### STARING BENCHMARK:

TOP OF FLAT NAIL FOUND  
IN UTILITY POLE (MECO#6)  
ELEV.=23.15'  
DATUM=NAVD 1988 PER REF.PLAN#1



### SHEET INDEX

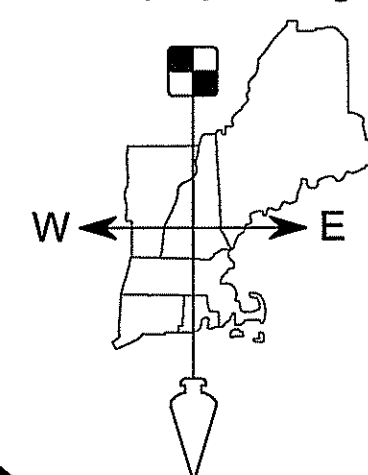
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	EX-1	EXISTING CONDITIONS PLAN
3	LR-1	LOT LINE ADJUSTMENT PLAN (ANR)
4	SP-1	SITE PLAN
5	GR-1	GRADING PLAN
6	UT-1	UTILITY PLAN
7	PP-1	PLAN AND PROFILE
8	PP-2	MISCELLANEOUS PLAN & PROFILES
9	LT-1	LIGHTING PLAN
10	LS-1	LANDSCAPING PLAN
11	DT-1	CONSTRUCTION DETAILS
12	DT-2	DRAINAGE DETAILS
13	DT-3	DRAINAGE & LANDSCAPING DETAILS
14	DT-4	EROSION CONTROL DETAILS
15	DT-5	WATER DETAILS
16	DT-6	WATER DETAILS
17	DT-7	SEWER DETAILS
18	DT-8	STORMTECH DETAILS

PREPARED FOR AND LAND OF:

**PARKER 2 REALTY TRUST**

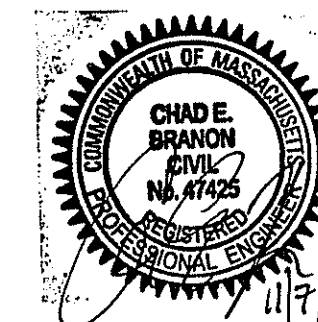
160 BRIDGE ROAD  
SALISBURY, MASSACHUSETTS 01952

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



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206 Elm Street, Milford, NH 03055  
Phone: (603)-672-5456 Fax: (603)-413-5456  
www.FieldstoneLandConsultants.com



CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK	APPLICATION FILED _____	"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD
THIS IS TO CERTIFY THAT ON _____ I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.	FINAL PLAN FILED _____	
CLERK _____ DATE _____	HEARING DATE _____	
	PLAN APPROVED _____	
	BOARD OF HEALTH _____	
	APPROVAL _____	DATE _____

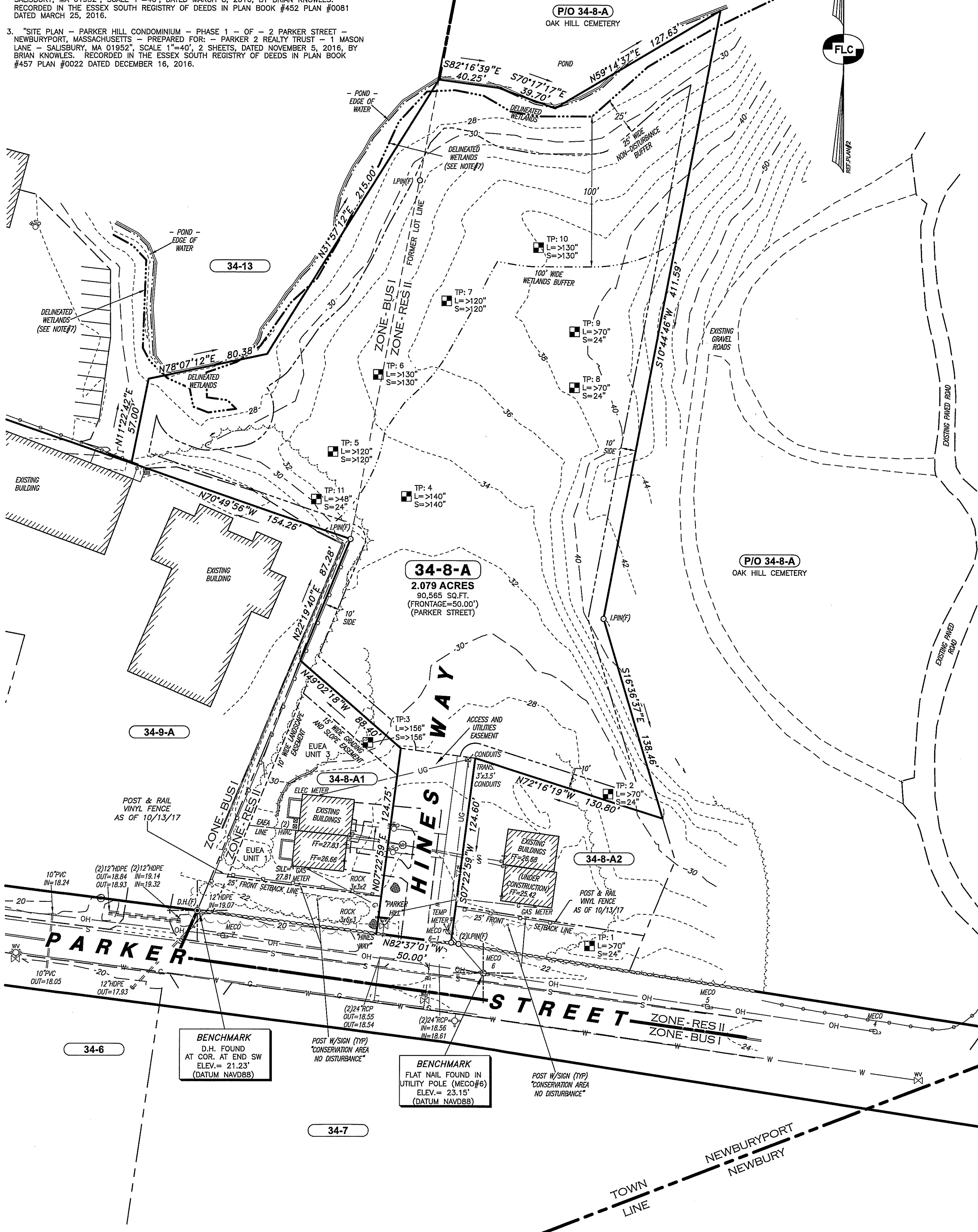
REV.	DATE	DESCRIPTION	C/O	DR	CK
B	11/07/17	REVISED PER CSI REVIEW	CSI	TJB	MDP
A	8/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB
FILE: 1486CV008.dwg	PROJ. NO. 1486.00	SHEET: CV-1	PAGE NO. 1 OF 18		



# REFERENCE PLANS:

1. "PLAN OF LAND - PARKER STREET - NEWBURYPORT, MASSACHUSETTS - PREPARED FOR: - PARKER 2 REALTY TRUST - 1 MASON LANE - SALISBURY, MA 01952", SCALE 1"=40', DATED JULY 20, 2015, BY BRIAN KNOWLES. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK #452 PLAN #0080 DATED MARCH 25, 2016.
2. "PLAN OF LAND - SHOWING DIVISION OF 34-8-A - PARKER STREET - NEWBURYPORT, MASSACHUSETTS - PREPARED FOR: - PARKER 2 REALTY TRUST - 1 MASON LANE - SALISBURY, MA 01952", SCALE 1"=40', 2 SHEETS, DATED NOVEMBER 5, 2016, BY BRIAN KNOWLES. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK #452 PLAN #0081 DATED MARCH 25, 2016.
3. "SITE PLAN - PARKER HILL CONDOMINIUM - PHASE 1 - OF - 2 PARKER STREET - NEWBURYPORT, MASSACHUSETTS - PREPARED FOR: - PARKER 2 REALTY TRUST - 1 MASON LANE - SALISBURY, MA 01952", SCALE 1"=40', 2 SHEETS, DATED NOVEMBER 5, 2016, BY BRIAN KNOWLES. RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK #457 PLAN #0022 DATED DECEMBER 16, 2016.

FOR REGISTRY USE ONLY



## LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- EDGE OF TREE LINE
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- WROUGHT IRON FENCE
- CHAIN-LINK FENCE
- STOCKADE FENCE
- THE COURSE LINE
- OVERHEAD UTILITY LINE
- GAS LINE
- WATER LINE
- SEWER LINE
- DRAIN LINE
- TAX MAP & LOT NUMBER

## ABUTTER INFORMATION

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PARKER 2 REALTY TRUST  
JOSEPH G. HILL, TRUSTEE  
160 BRIDGE ROAD  
SALISBURY, MA 01952  
BK.34796 PG.59 3/25/16  
(PARKER ST.)

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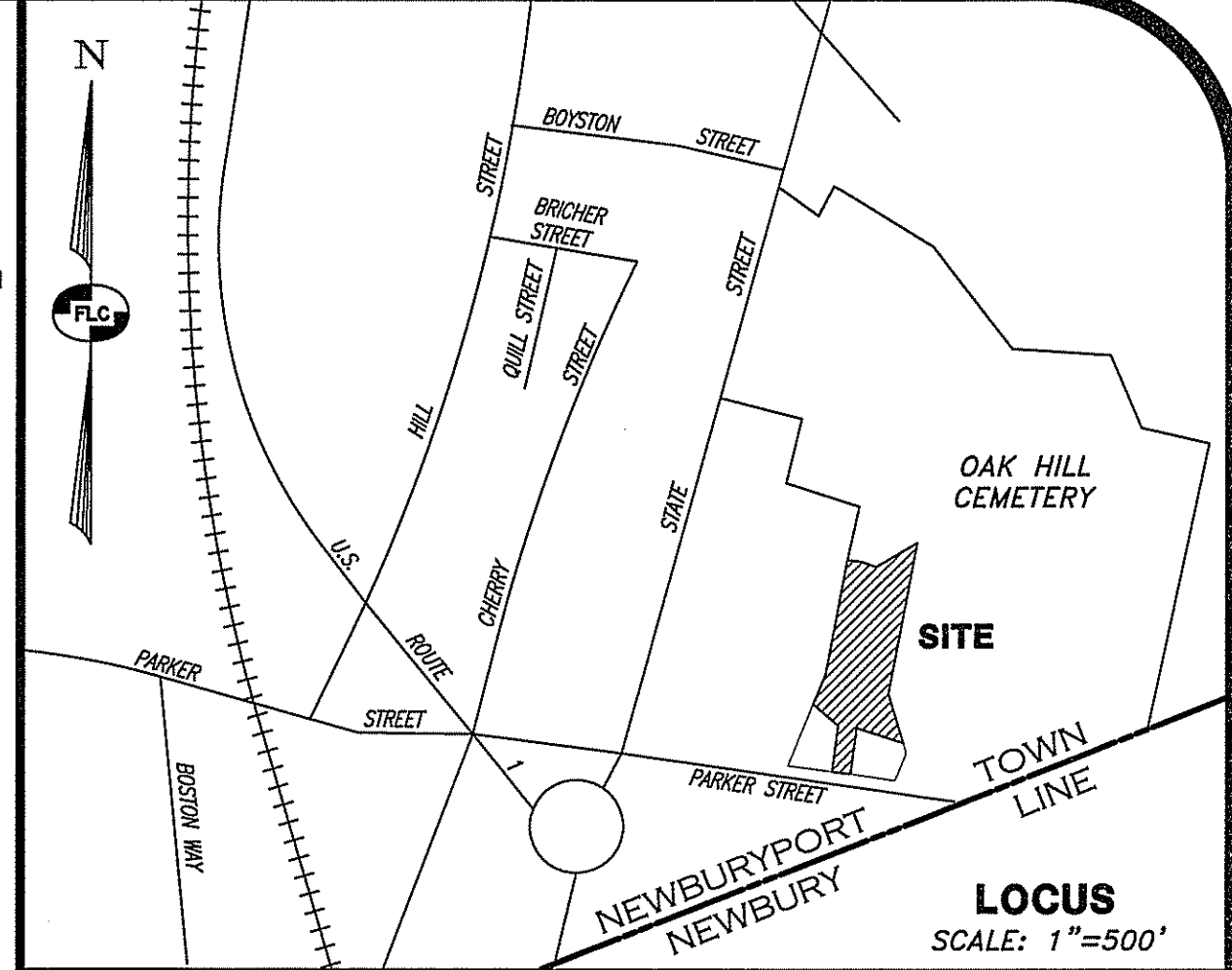
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NEIL A. TAGERMAN, TRUSTEE  
75 OAK STREET  
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MAP 34 LOT 6  
3 PARKER STREET NOMINEE TRUST  
KENNETH R. LABRECQUE, TRUSTEE  
P.O. BOX 162  
NEWBURYPORT, MA 01950  
BK.18930 PG.542 3/1/01  
(3 PARKER ST.)



## NOTES:

1. THE OWNER OF RECORD FOR TAX MAP LOT 38-8-A IS PARKER 2 REALTY TRUST - JOSEPH G. HILL, TRUSTEE. 160 BRIDGE ROAD, SALISBURY, MA 01952. DEED REFERENCE IS BK. 34796 PG. 059 DATED MARCH 25, 2016 IN THE ESSEX SOUTH REGISTRY OF DEEDS.
  2. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF TAX MAP LOT 34-8-A.
  3. THE EXISTING AREA OF TAX MAP LOT 38-8-A IS 90,565 SQ.FT. OR 2.079 ACRES WITH 50.00' OF FRONTAGE ALONG PARKER STREET.
  4. ZONING FOR LOT 34-8-A IS (R2) RESIDENTIAL II DISTRICT.
- | R2 ZONE: 2-FAMILY       | REQUIRED  | EXIST. 34-8-A |
|-------------------------|-----------|---------------|
| MIN LOT AREA            | 15,000 SF | 90,565 SF     |
| MIN LOT FRONTAGE        | 120 FT    | 50.00 FT      |
| MIN FRONT SETBACK       | 25 FT     | ---           |
| MIN SIDE SETBACK        | 20 FT     | ---           |
| MIN REAR SETBACK        | 25 FT     | ---           |
| MAX. BUILDING HEIGHT    | 35 FT     | ---           |
| MAXIMUM % LOT COVERAGE  | 25%       | ---           |
| OPEN SPACE FOR EACH LOT | 40%       | N/A           |
- THE DEMOLITION CONTROL OVERLAY DISTRICT (DCOD) IS LOCATED WITHIN THE R2 ZONE FOR THIS SITE.
5. THE ENTIRE SITE LIES OUTSIDE THE BOUNDARY OF THE 100 YEAR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEWBURYPORT, ESSEX COUNTY, MA, F.I.R.M. COMMUNITY PANEL NUMBER 25009001366, MAP REVISED DATE, JULY 16, 2014.
  6. HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #2. VERTICAL DATUM IS NAVD88 PER REFERENCE PLAN #3.
  7. JURISDICTIONAL WETLANDS SHOWN HEREON FOR THE NORTHWESTERLY PORTION OF LOT 34-8-A WERE DEVELOPED FROM REFERENCE PLAN #3. THE REFERENCE WETLAND DELINEATION WAS REVIEWED AND CONFIRMED BY CHRISTOPHER A. GUIDA, C.W.S. IN APRIL 2017.
  8. TAX MAP LOT 34-8-A IS SUBJECT TO AN ELECTRIC UTILITY EASEMENT GRANTED TO MASSACHUSETTS ELECTRIC COMPANY, RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS, BOOK #35237, PAGE 592, DATED AUGUST 23, 2016.

CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK	APPLICATION FILED _____	"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW" NEWBURYPORT PLANNING BOARD
	FINAL PLAN FILED _____	
	HEARING DATE _____	
	PLAN APPROVED _____	
BOARD OF HEALTH _____	APPROVAL _____	DATE _____
CLERK _____	DATE _____	

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A	8/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

**EXISTING CONDITIONS PLAN**  
**PARKER HILL**  
**DEFINITIVE SUBDIVISION**  
**TAX MAP PARCEL 34-8-A - 2 PARKER STREET**  
**NEWBURYPORT, MASSACHUSETTS**  
**PREPARED FOR AND LAND OF:**  
**PARKER 2 REALTY TRUST**  
**160 BRIDGE ROAD, SALISBURY, MA 01952**

SCALE: 1" = 40' AUGUST 14, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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# LEGEND:

EXISTING FEATURES	
	RIGHT-OF-WAY LINE
	BOUNDARY LINE
	ABUTTING LOT LINE
	BUILDING SETBACK LINE
	EDGE OF PAVED ROAD
	EDGE OF GRAVEL ROAD
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	10' CONTOUR INTERVAL
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	WROUGHT IRON FENCE
	CHAIN-LINK FENCE
	STOCKADE FENCE
	THE COURSE LINE
	OVERHEAD UTILITY LINE
	GAS LINE
	WATER LINE
	SEWER LINE
	DRAIN LINE
	TAX MAP & LOT NUMBER
	GRANITE BOUND FOUND
	CONCRETE BOUND FOUND
	CONCRETE BOUND PER REF. PLAN
	IRON PIN FOUND
	IRON PIN TO BE SET
	GRANITE BOUND TO BE SET
	UTILITY POLE & GUY
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MAN-HOLE (ROUND)
	TELEPHONE MANHOLE
	WATER HYDRANT
	WATER VALVE
	WATER SHUT-OFF
	GAS VALVE
	LANDSCAPED AREA

PROPOSED FEATURES	
	EDGE OF PAVEMENT
	VERTICAL GRANITE CURB (VGC)
	SLOPED GRANITE CURB (SGC)
	REINFORCED CONCRETE SIDEWALK AND CURB
	RETAINING WALL
	LIMITS OF CLEARING
	EROSION CONTROL STONE
	PAVEMENT AREA
	PAVED DRIVEWAY APRON
	CONCRETE DRIVEWAY APRON
	MISCELLANEOUS SIGN
	TRAFFIC SIGN
	STOP SIGN
	POLE MOUNTED LIGHT
	TRAFFIC FLOW (NOT PAINTED ARROW)
	BUILDING NUMBER
	UNIT NUMBER

## ABUTTER INFORMATION

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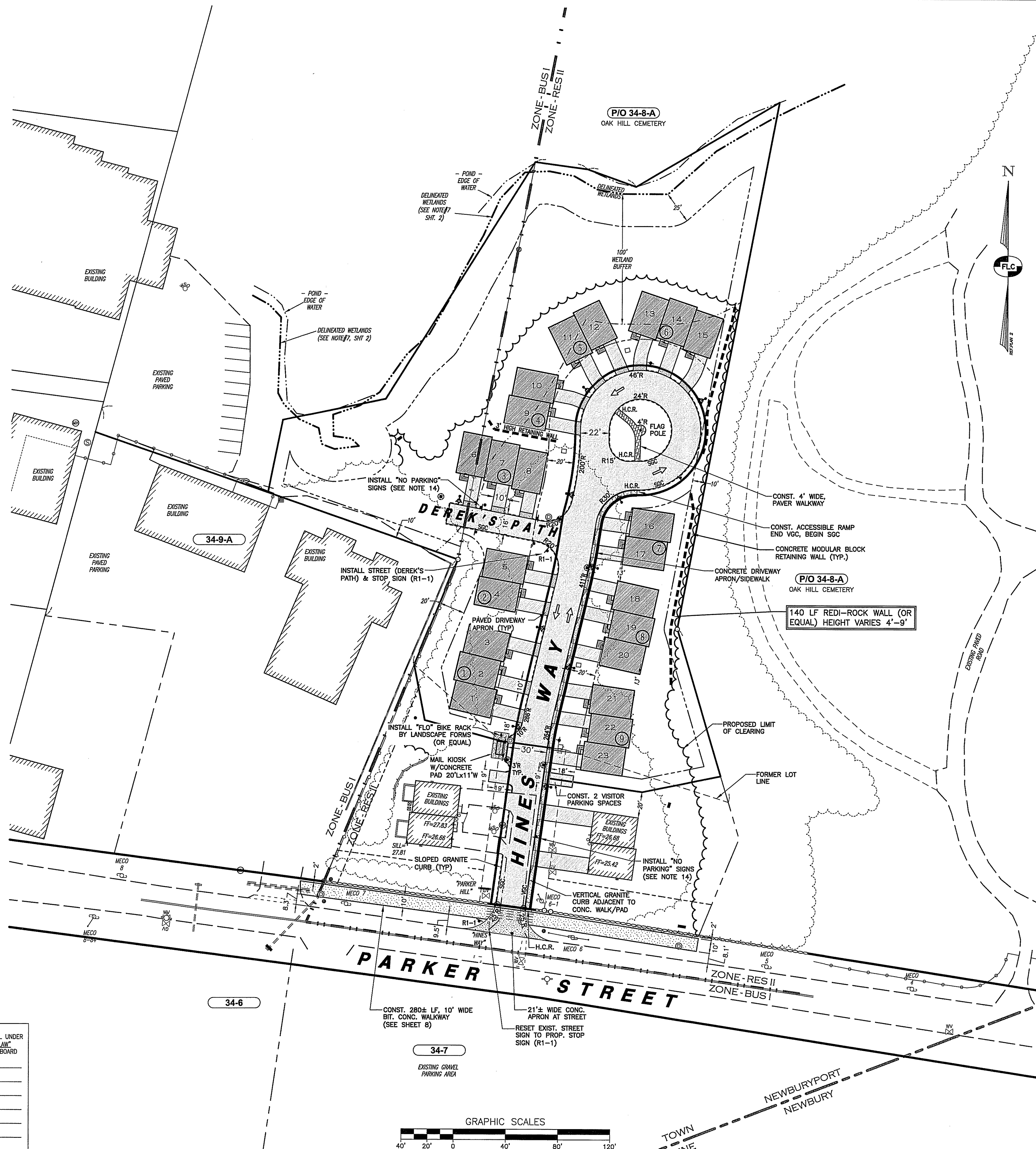
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THIS IS TO CERTIFY THAT ON _____ I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.	FINAL PLAN FILED _____	
CLERK _____ DATE _____	HEARING DATE _____	
	PLAN APPROVED _____	
	BOARD OF HEALTH _____	
	APPROVAL _____	DATE _____



## NOTES:

- THE OWNER OF RECORD FOR TAX MAP LOT 38-8-A IS PARKER 2 REALTY TRUST, 1 MASON LANE, SALISBURY, MA 01952. DEED REFERENCE IS BK. 34796 PG. 059 DATED MARCH 25, 2016 IN THE ESSEX SOUTH REGISTRY OF DEEDS.
- THE PURPOSE OF THIS PLAN IS TO DEPICT A CONCEPTUAL MULTI-FAMILY RESIDENTIAL DEVELOPMENT OVER TAX MAP LOT 34-8-A WITH ASSOCIATED IMPROVEMENTS AND LOT LINE ADJUSTMENTS WITH ADJACENT PROPERTIES.
- THE EXISTING AREA OF TAX MAP LOT 38-8-A IS 112,315 SQ. FT. OR 2.578 ACRES WITH 50.00' OF FRONTAGE ALONG PARKER STREET.
- ZONING FOR THE LOT 34-8-A IS (R2) RESIDENTIAL II -  
\*\* A MULTI-FAMILY DEVELOPMENT IS PROPOSED (OVER 20 UNITS):

DESCRIPTION	REQUIRED	EXISTING LOT 34-8-A	PROPOSED LOT 34-8-A
LOT AREA	20,000 SF	90,565 SF	112,315 SF
FRONTAGE	120 FT	50.00 FT	720.80 FT
FRONT	20 FT	>20 FT	>20 FT
SIDE A	10 FT	>10 FT	>10 FT
SIDE B	10 FT	>10 FT	>10 FT
REAR	20 FT	>20 FT	>20 FT
LOT COVERAGE	40%	0%	14.4%
OPEN SPACE	40%	95%	41%
BLDG. HEIGHT	35 FT	N/A	31.5 FT
SIDE/REAR ADJ. TO PUBLIC OPEN SPACE	10 FT	>10 FT	>10 FT

\*\* THIS PROJECT WAS GRANTED A VARIANCE ON JULY 11, 2017 TO PERMIT THE PROPOSED USE IN THE RESIDENTIAL DISTRICT.

THE DENSITY CALCULATION FOR MULTI-FAMILY IS 20,000 SF FOR THE FIRST 4 UNITS AND 4,000 SF FOR EACH ADDITIONAL UNIT THEREAFTER. THIS PROPERTY WOULD THEREFORE SUPPORT 27 UNITS AND THIS PROJECT PROPOSES 23 UNITS.

- THE ENTIRE SITE LIES OUTSIDE THE BOUNDARY OF THE 100 YEAR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEWBURYPORT, ESSEX COUNTY, MA, F.I.R.M. COMMUNITY PANEL NUMBER 2509001365, MAP REVISED DATE, JULY 16, 2014.
- HORIZONTAL ORIENTATION IS BASED ON REFERENCE PLAN #3. VERTICAL DATUM IS ASSUMED.
- TAX MAP LOT 34-8-A IS SUBJECT TO AN ELECTRIC UTILITY EASEMENT GRANTED TO MASSACHUSETTS ELECTRIC COMPANY, RECORDED IN THE ESSEX SOUTH REGISTRY OF DEEDS, BOOK #35237, PAGE 592, DATED AUGUST 23, 2016.
- THE PROPOSED SPUR ROAD ("T" ROAD) WHICH RUNS INTO THE B-1 DISTRICT SHALL NEVER BE EXTENDED.
- FIRE LANE SIGNS SHALL BE INSTALLED ON ONE SIDE OF THE PROPOSED ROAD AND SPUR ROAD ("T" ROAD) PER THE FIRE DEPARTMENT.
- SNOW STORAGE WILL BE PROVIDED ALONG THE ROADWAY.
- THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN ONE HUNDRED FEET OF THE PERIMETER OF THE SUBJECT PROPERTIES.
- THE PROJECT WILL REQUIRE THE EXPORT OF APPROXIMATELY 3,800 CUBIC YARDS OF EXCESS MATERIAL AND THE IMPORT OF APPROXIMATELY 1,800 CUBIC YARDS OF SELECT GRAVELS, FOR ROADWAY, DRIVEWAY, SIDEWALK AND UTILITY CONSTRUCTION.
- NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACES ON ANY LOT WITHOUT A PERMIT FROM THE HEALTH DEPARTMENT, IF SUCH PERMIT IS REQUIRED.
- NO PARKING SIGNS SHALL BE INSTALLED ON ONE SIDE OF HINES WAY AND BOTH SIDES OF DEREK'S PATH PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR BUILDING 3.
- THIS PROJECT REQUIRES A NPDES NOI TO BE FILED WITH THE EPA PRIOR TO CONSTRUCTION.

B	11/07/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	08/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB
	DATE	DESCRIPTION	C/O	DR	CK

## SITE PLAN PARKER HILL DEFINITIVE SUBDIVISION

TAX MAP PARCEL 34-8-A - 2 PARKER STREET  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR AND LAND OF:  
**PARKER 2 REALTY TRUST**  
160 BRIDGE ROAD, SALISBURY, MA 01952

SCALE: 1" = 40' AUGUST 14, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

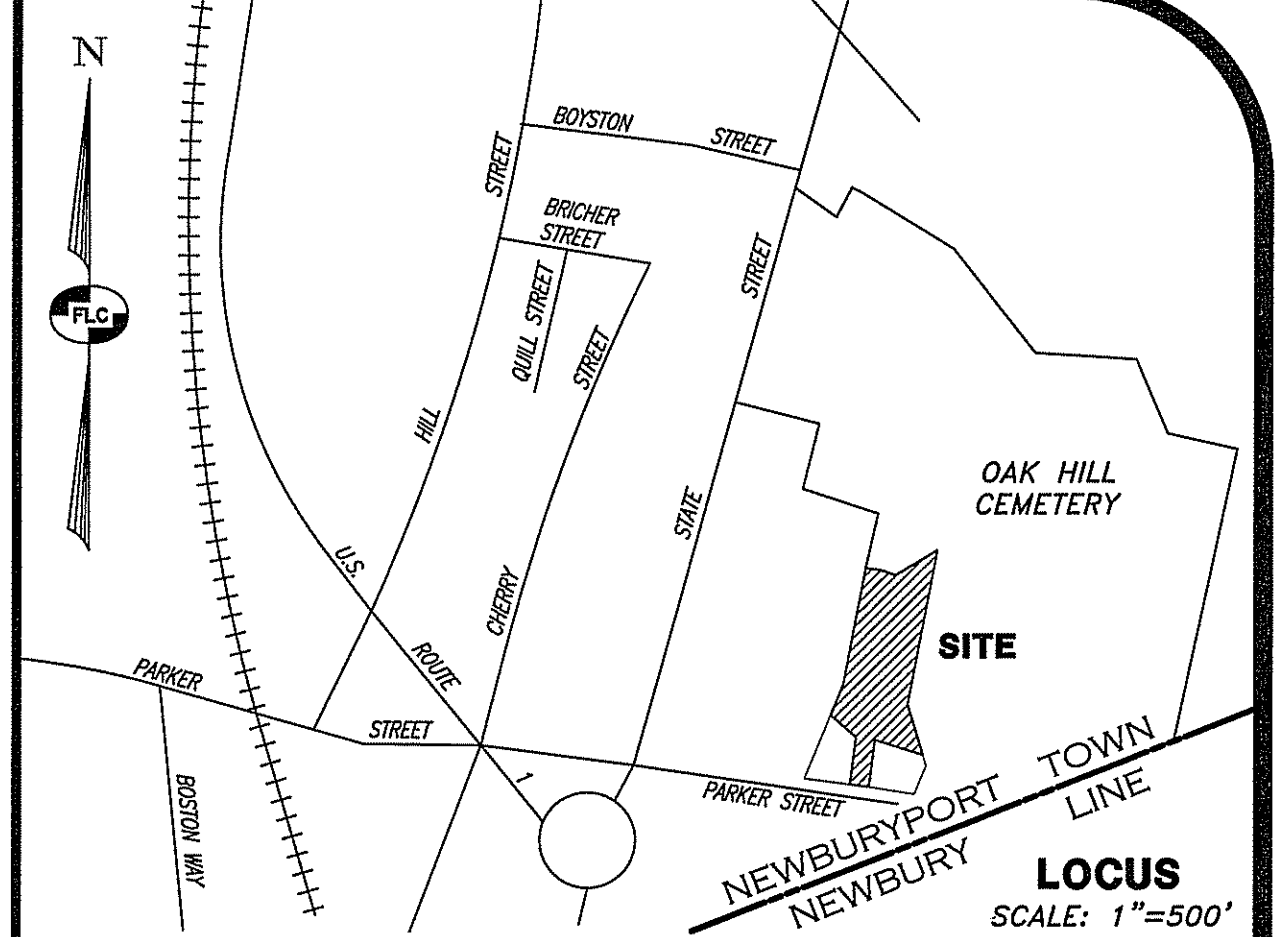
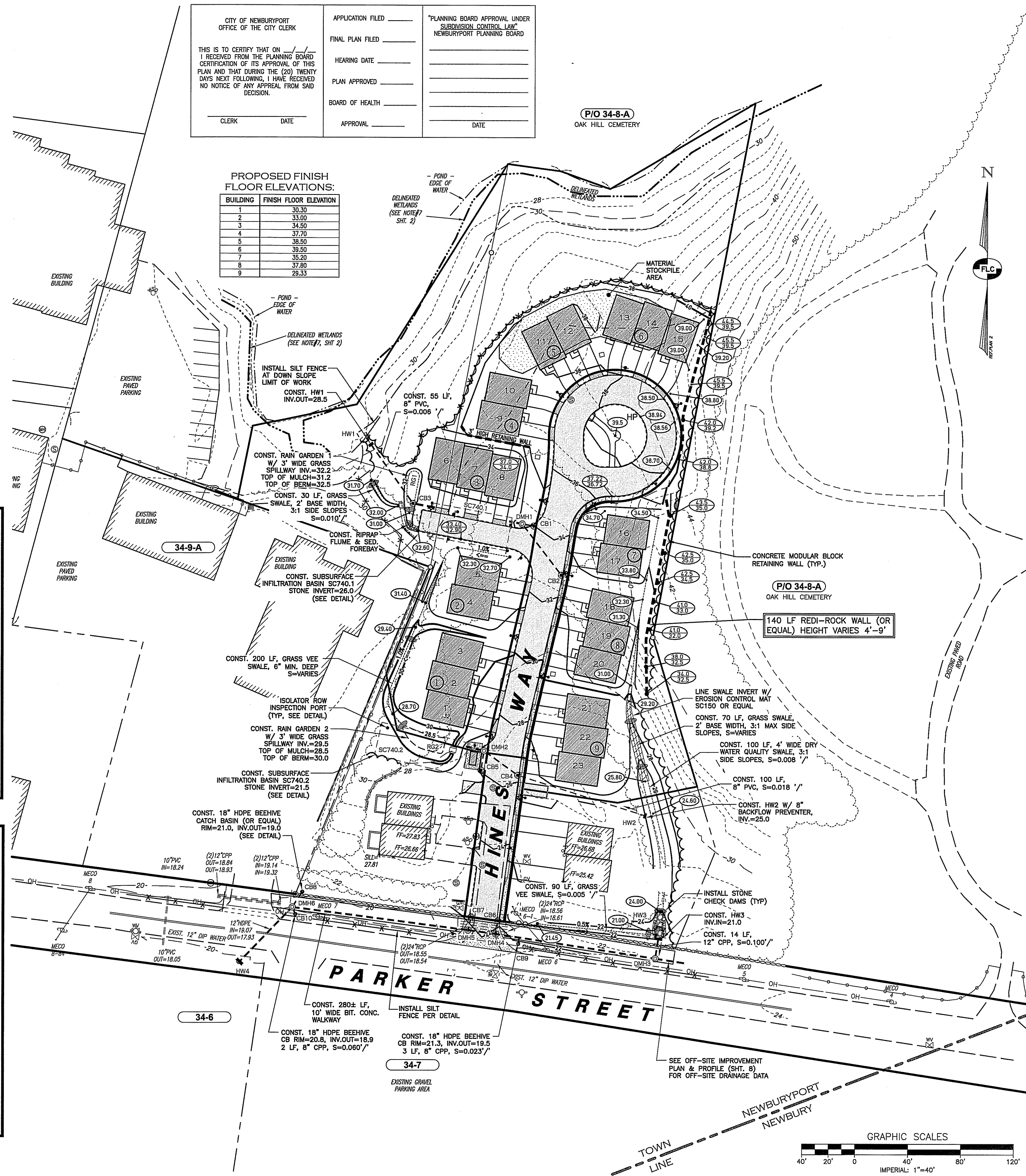
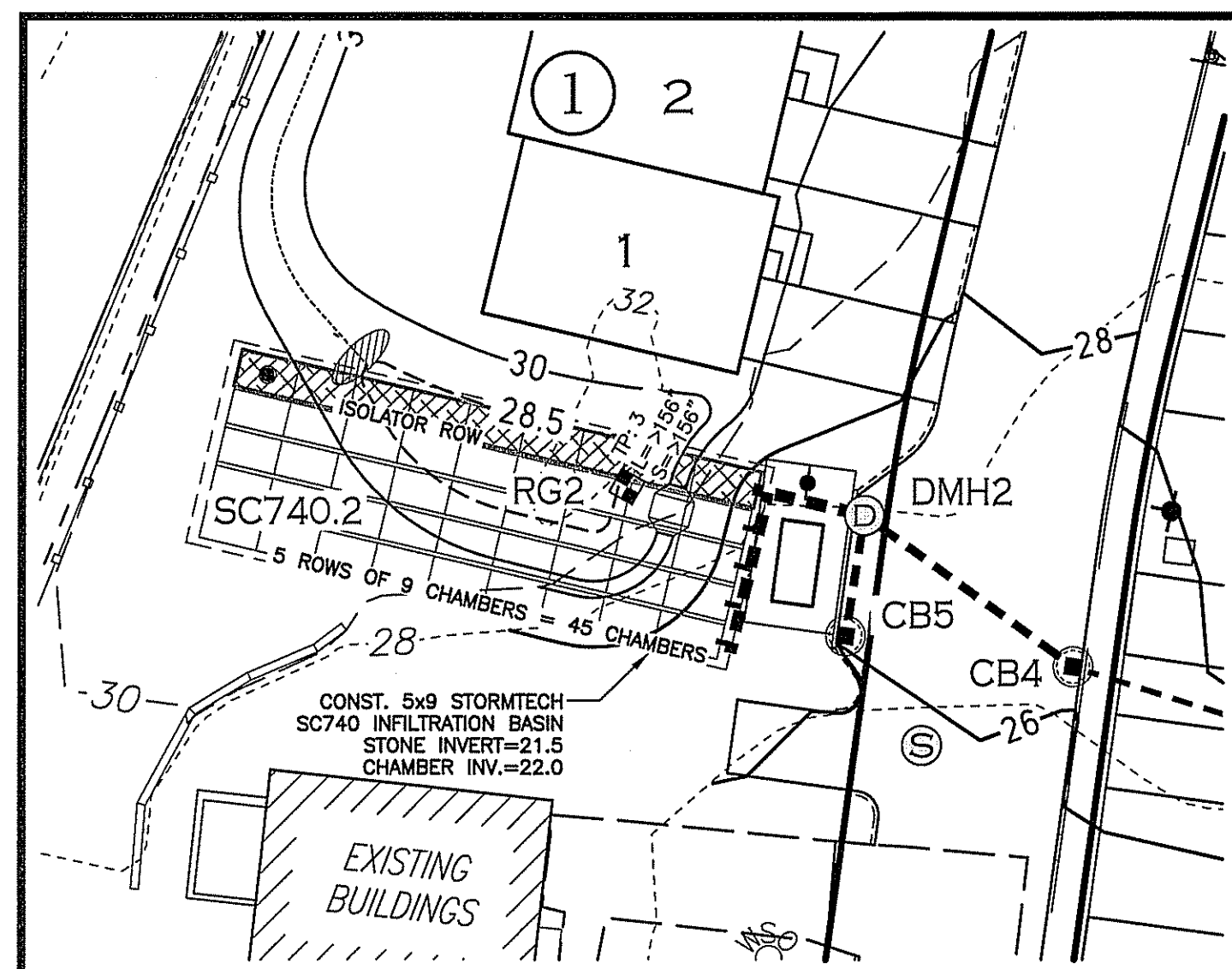
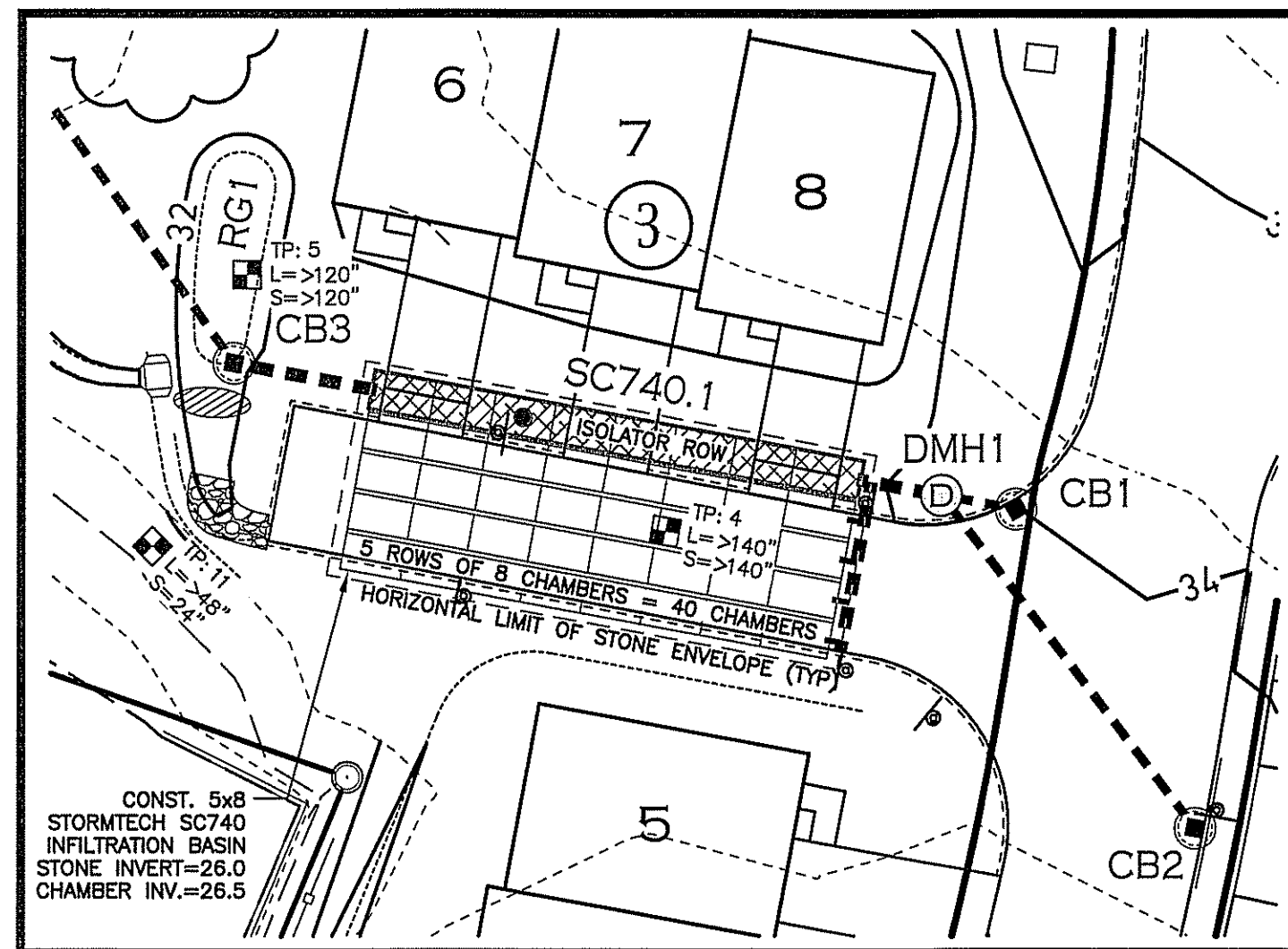
**FIELDSTONE**  
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055  
Phone: (603)-413-5456 Fax: (603)-413-5456  
www.FieldstoneLandConsultants.com



LEGEND:		EXISTING FEATURES	
	RIGHT-OF-WAY LINE		CONCRETE BOUND FOUND
	BOUNDARY LINE		CONCRETE BOUND FOUND
	ABUTTING LOT LINE		CONCRETE BOUND FOUND
	BUILDING SETBACK LINE		IRON PIN FOUND
	EDGE OF PAVED ROAD		IRON PIN TO BE SET
	EDGE OF GRAVEL ROAD		GRANITE BOUND TO BE SET
	EDGE OF TREE LINE		UTILITY POLE & GUY
	10' CONTOUR INTERVAL		CATCH BASIN
	2' CONTOUR INTERVAL		DRAIN MANHOLE
	WROUGHT IRON FENCE		SEWER MAN-HOLE (ROUND)
	CHAIN-LINK FENCE		TELEPHONE MANHOLE
	STOCKADE FENCE		WATER HYDRANT
	TIE COURSE LINE		WATER VALVE
	OVERHEAD UTILITY LINE		WATER SHUT-OFF
	GAS LINE		GAS VALVE
	WATER LINE		LANDSCAPED AREA
	SEWER LINE		TAX MAP & LOT NUMBER
	DRAIN LINE		

PROPOSED FEATURES		PROPOSED FEATURES	
	EDGE OF PAVEMENT		TEMPORARY SILT FENCE
	VERTICAL GRANITE CURB		PAVED AREA
	SLOPED GRANITE CURB		EROSION CONTROL STONE
	REINFORCED CONCRETE SIDEWALK AND CURB		STONE CHECK DAM
	RETAINING WALL		SPOT ELEVATION
	2 FT. CONTOUR		SPOT ELEVATION AT CURB
	10 FT. CONTOUR		WATER HYDRANT
	STORM WATER DRAINAGE		WATER GATE VALVE
	SWALE		BUILDING NUMBER
	LIMITS OF CLEARING		UNIT NUMBER
			DRAINAGE CATCH BASIN
			DRAINAGE HEADWALL
			DRAINAGE MANHOLE



1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF NEWBURYPORT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
5. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
6. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
7. ALL DRAINAGE STRUCTURES SHALL CONFORM TO MADOT STANDARDS. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO MASS DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
10. STUMPS ARE TO BE GROUND AND THE GRINDINGS STOCKPILED ON SITE. STUMP TAILINGS SHALL BE USED FOR EROSION CONTROL. EXCESS TAILINGS SHALL BE COMPACTED WITH SUITABLE MATERIAL IN NON STRUCTURAL FILL SLOPES. COVER WITH 4" OF LOAM AND SEED PER THE EROSION CONTROL NOTES.
11. EXPOSED OR DISTURBED AREAS DUE TO STRIPPING OF VEGETATION, SOIL REMOVAL, AND REGRADING SHALL BE PERMANENTLY STABILIZED WITHIN 6 MONTHS OF OCCUPANCY OF A STRUCTURE.
12. DURING CONSTRUCTION, TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT EXPOSED AREAS FROM SOIL EROSION. UNTIL A DISTURBED AREA IS PERMANENTLY STABILIZED, SEDIMENT RUNOFF WATER SHALL BE TRAPPED BY USING STAKED HAY BALES OR SEDIMENT TRAPS.

B	11/07/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	8/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

## GRADING PLAN PARKER HILL DEFINITIVE SUBDIVISION

TAX MAP PARCEL 34-8-A - 2 PARKER STREET  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR AND LAND OF:  
**PARKER 2 REALTY TRUST**  
160 BRIDGE ROAD, SALISBURY, MA 01952

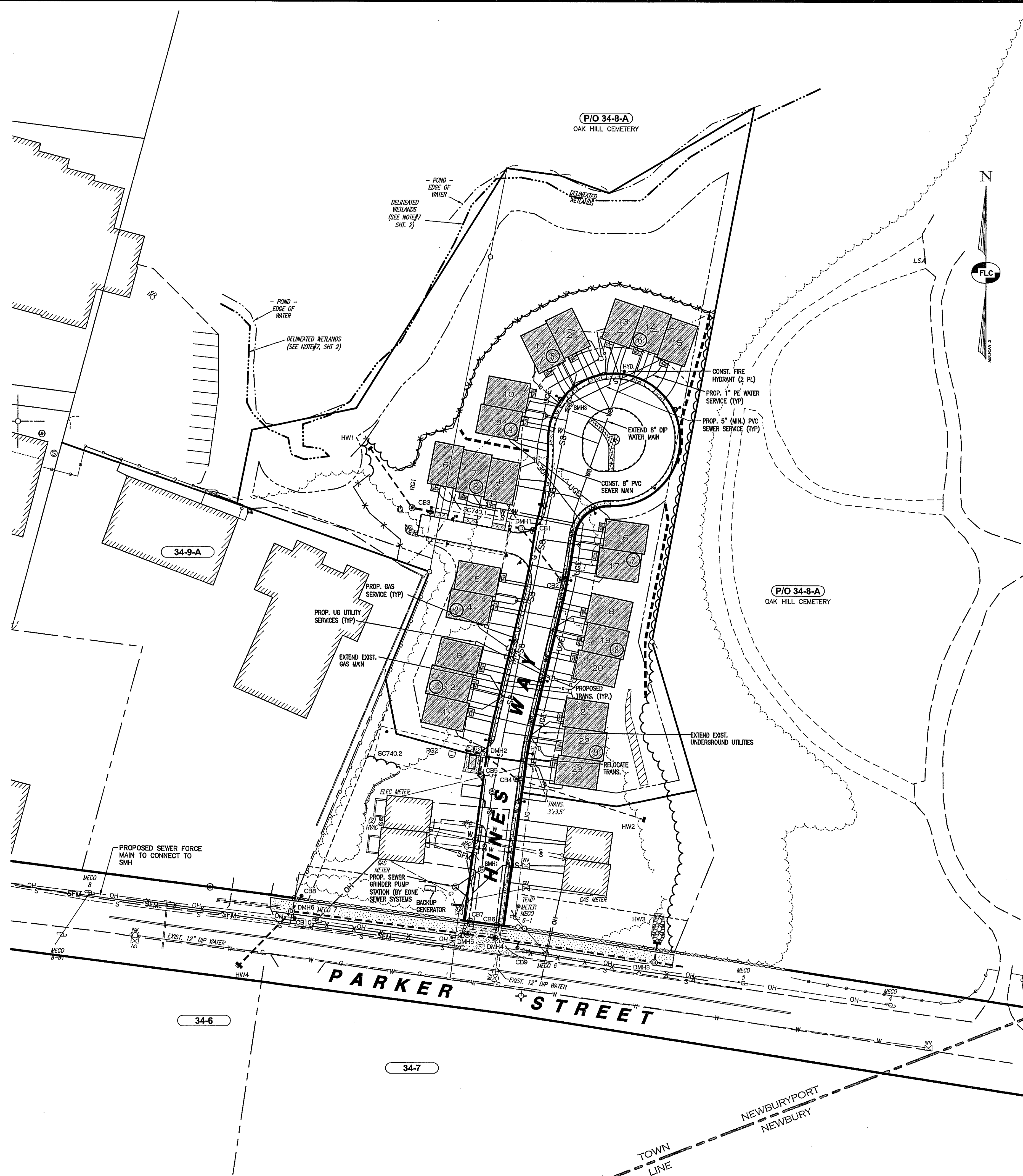
SCALE: 1" = 40' AUGUST 14, 2017

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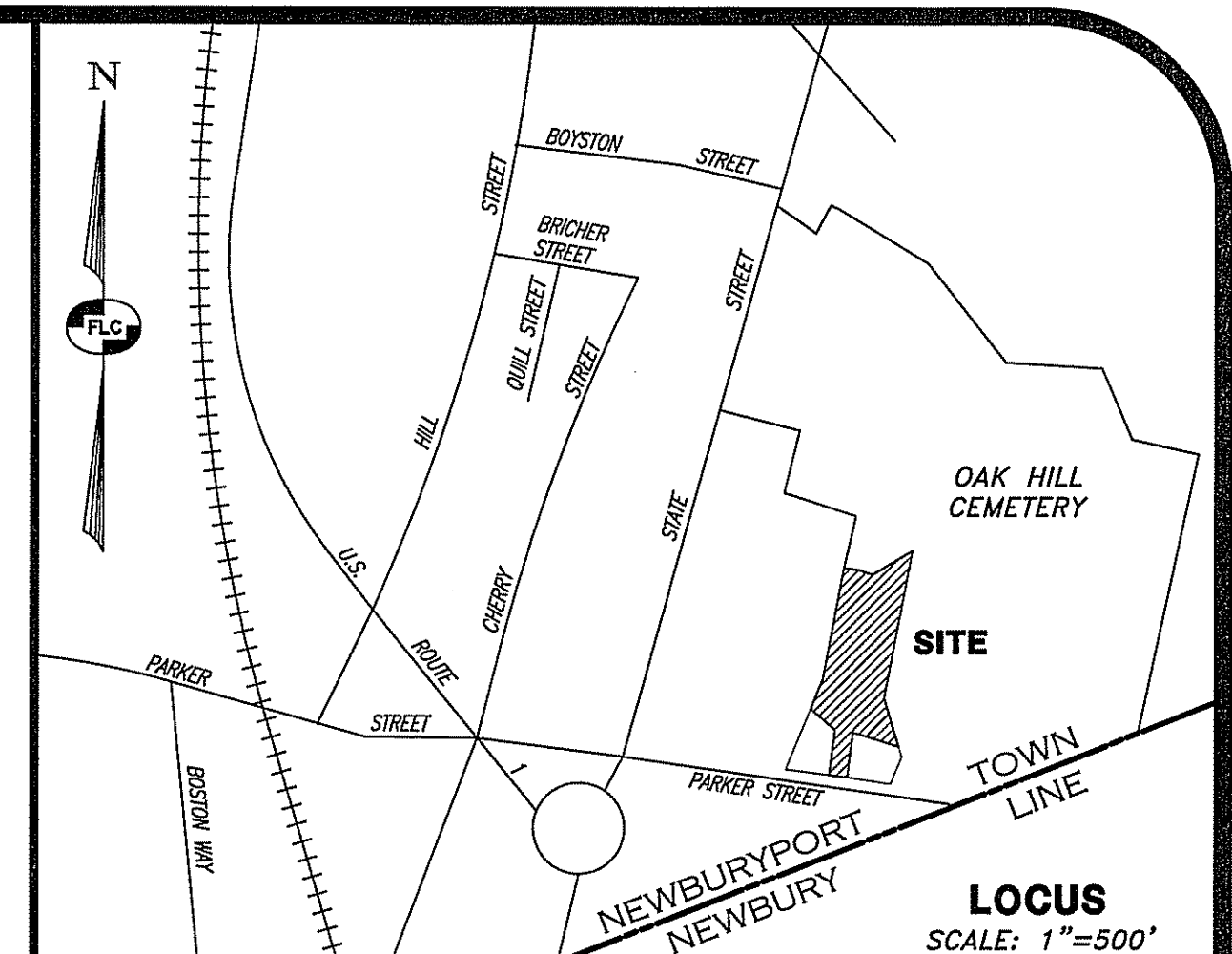
**FIELDSTONE**  
LAND CONSULTANTS, PLLC  
206 Elm Street, Milford, NH 03055  
Phone: (603)-413-5456 Fax: (603)-413-5456  
www.FieldstoneLandConsultants.com



1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF CITY OF NEWBURYPORT AND THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811).
4. ALL POWER WORK SHALL CONFORM TO EVERSOURCE STANDARDS.
5. ALL TELEPHONE WORK SHALL CONFORM TO FAIRPOINT COMMUNICATIONS SPECIFICATIONS.
6. STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH CITY OF NEWBURYPORT SPECIFICATIONS.
7. ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS. JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURERS INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
8. ALL DRAINAGE PIPES SHALL BE SMOOTH INTERIOR (HDPE) UNLESS OTHERWISE NOTED. CATCH BASINS SHALL HAVE 3 FOOT SUMPS UNLESS OTHERWISE NOTED.
9. SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS OF THE CITY OF NEWBURYPORT.
10. ALL WATER LINE, HYDRANT, VALVES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL SPECIFICATIONS.
11. SEWER SHALL BE SOLID WALL SDR-35 PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWER SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES WHENEVER SEWER MUST CROSS WATER MAINS. ALL SEWER SERVICES SHALL BE EQUIPPED WITH BACKFLOW PREVENTERS OUTSIDE THE BUILDINGS.
12. GAS LINES SHOWN SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATIONS OF THE PROPOSED GAS LINES WITH THE OWNER AND UTILITY COMPANY PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR SHALL COORDINATE THE SIZE, LOCATION AND ELEVATION OF ALL ROOF DRAINS AND SEWER SERVICE CONNECTIONS WITH THE OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
14. THE CONTRACTOR SHALL COORDINATE THE FINAL LOCATION OF THE UNDERGROUND TELEPHONE AND ELECTRICAL SERVICES WITH THE OWNER PRIOR TO CONSTRUCTION.
15. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
17. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NEWBURYPORT FIRE DEPARTMENT REGULATIONS.
18. ROOF DRAINAGE LAYOUT & DESIGN SHALL BE FINALIZED WITH THE OWNER AND ARCHITECT OF EACH BUILDING.
19. UNDERGROUND ELECTRICAL CONDUIT SHALL BE SCHEDULE 80 IN PAVED AREAS.
20. A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL SEPARATION SHALL MAINTAINED BETWEEN PROPOSED SEWER AND WATER MAINS AND UNDERGROUND ELECTRICAL CONDUITS. A MINIMUM OF SIX (6) INCHES OF VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN PROPOSED SEWER, WATER, GAS, UNDERGROUND UTILITIES AND PROPOSED DRAINAGE PIPES.



<p>CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK</p>	<p>APPLICATION FILED _____</p>	<p>"PLANNING BOARD APPROVAL UNDER SUBDIVISION CONTROL LAW"</p>
<p>THIS IS TO CERTIFY THAT ON ____/____/____ I RECEIVED FROM THE PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.</p>	<p>FINAL PLAN FILED _____</p>	<p>NEWBURYPORT PLANNING BOARD</p>
	<p>HEARING DATE _____</p>	
	<p>PLAN APPROVED _____</p>	
	<p>BOARD OF HEALTH _____</p>	
<p>_____ CLERK</p>	<p>_____ APPROVAL</p>	<p>_____ DATE</p>



**LEGEND:**

	RIGHT-OF-WAY LINE		G.B.(F)	GRANITE BOUND FOUND
	BOUNDARY LINE		C.B.(F)	CONCRETE BOUND FOUND
	ABUTTING LOT LINE		C.B.(F)	CONCRETE BOUND PER REF. PLAN
	BUILDING SETBACK LINE		I.PIN(F)	IRON PIN FOUND
	EDGE OF PAVED ROAD		I.PIN(TBS)	IRON PIN TO BE SET
	EDGE OF GRAVEL ROAD		G.B.(S)	GRANITE BOUND TO BE SET
	EDGE OF TREE LINE			UTILITY POLE & GUY
	90' 10' COUNTER INTERVAL			CATCH BASIN
	92' 2' COUNTER INTERVAL			DRAIN MANHOLE
	WROUGHT IRON FENCE			SEWER MAN-HOLE (ROUND)
	CHAIN-LINK FENCE			TELEPHONE MANHOLE
	STOCKADE FENCE			WATER HYDRANT
	THE CURSE LINE			WATER VALVE
	OVERHEAD UTILITY LINE			WATER SHUT-OFF
	GAS LINE			GAS VALVE
	WATER LINE			LANDSCAPED AREA
	SEWER LINE			
	DRAIN LINE			

**D-75** TAX MAP & LOT NUMBER

**PROPOSED FEATURES**

	EDGE OF PAVEMENT		SWALE
	VERTICAL GRANITE CURB		TEMPORARY SILT FENCE
	SLOPED GRANITE CURB		EROSION CONTROL STRIKE
	REINFORCED CONCRETE SIDEWALK AND CURB		PAVEMENT AREA
	RETAINING WALL		PILE MOUNTED LIGHT
	LIMITS OF CLEARING		BUILDING NUMBER
	GAS LINE		UNIT NUMBER
	WATER LINE		CB1
	UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION		HW1
	SEWER LINE		MH1
	STORM WATER DRAINAGE		SMH1
			S

**GRAPHIC SCALES**

IMPERIAL: 1"=40'

40' 20' 0 40' 80' 120'

B	11/07/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	4/26/17	M. WEST WETLANDS LOCATION, SETBACK & BUFFER		XXX	XXX
	DATE	DESCRIPTION	C/O	DR	CK

# UTILITY PLAN *PARKER HILL* *DEFINITIVE SUBDIVISION*

**TAX MAP PARCEL 34-8-A - 2 PARKER STREET  
NEWBURYPORT, MASSACHUSETTS**

**PREPARED FOR AND LAND OF:  
PARKER 2 REALTY TRUST**

**160 BRIDGE ROAD, SALISBURY, MA 01952**

SCALE: 1" = 40' AUGUST 14, 2017

**Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs**





# OFF-SITE CENTER LINE DATA

Station	Northing	Easting	Bearing	Distance
0+00.000	5006.305	4896.867		
2+60.454	4972.836	5155.162	PC S 82°37'01" E 280.454'	
Radius:	3981.127	5026.658	Radius Length: 1000.000'	
Pt:	4971.223	5167.606	2+73.003 Tangent: 12.548'	
Arc Len:	25.095'		Delta: 01°26'16" Right Degree: 05°43'46"	
Chord Len:	25.094'		Chord Brg: S 81°53'52" E	
Radial-In:	S 07°22'59" W	Radial-Out:	S 08°49'16" W	
Tangential-In, Tangential-Out				
2+85.550	4969.299	5180.006	PT S 81°10'44" E 344.451'	
3+30.000	4916.478	5520.383		

# HINES WAY CENTER LINE DATA

Station	Northing	Easting	Bearing	Distance
0+00.000	4947.827	5138.236		
1+59.047	5105.428	5159.636	PC N 07°43'57" E 158.047'	
Radius:	5068.427	5432.135	Radius Length: 275.000'	
Pt:	5118.755	5161.445	1+72.496 Tangent: 13.448'	
Arc Len:	26.877'		Delta: 05°35'59" Right Degree: 20°50'05"	
Chord Len:	26.868'		Chord Brg: N 10°31'57" E	
Radial-In:	S 82°16'03" E	Radial-Out:	S 78°40'04" W	
Tangential-In, Tangential-Out				
1+85.924	5131.842	5164.547	PT N 13°19'56" E 97.927'	
2+83.851	5227.129	5187.128	PC N 13°19'56" E 97.927'	
Radius:	5319.369	4797.909	Radius Length: 400.000'	
Pt:	5241.733	5190.589	2+98.859 Tangent: 15.008'	
Arc Len:	30.002'		Delta: 04°17'51" Left Degree: 14°19'26"	
Chord Len:	29.995'		Chord Brg: N 11°11'01" E	
Radial-In:	N 76°40'04" W	Radial-Out:	N 80°57'54" W	
Tangential-In, Tangential-Out				
3+13.853	5256.554	5192.946	PT N 09°02'08" E 20.977'	
3+34.830	5277.271	5196.240	PC N 09°02'08" E 20.977'	
Radius:	5270.833	5236.731	Radius Length: 41.000'	
Pt:	5313.761	5202.042	3+71.779 Tangent: 36.949'	
Arc Len:	60.145'		Delta: 84°02'59" Right Degree: 139°44'43"	
Chord Len:	54.885'		Chord Brg: N 51°03'35" W	
Radial-In:	S 80°57'54" E	Radial-Out:	S 03°05'04" W	
Tangential-In, Tangential-Out				
3+94.974	5311.773	5238.937	PT	
3+94.974	5311.773	5238.937	PC	
Radius:	5346.723	5240.821	Radius Length: 35.000'	
Pt:	5313.541	5206.125	4+27.834 Tangent: 32.860'	
Arc Len:	167.141'		Delta: 27°36'47" Left Degree: 163°42'08"	
Chord Len:	47.912'		Chord Brg: N 43°43'19" W	
Radial-In:	N 03°05'04" E	Radial-Out:	N 89°28'17" E	
Tangential-In, Tangential-Out				
5+62.115	5346.400	5205.822	PT	
5+62.115	5346.400	5205.822	PC	
Radius:	5344.268	4974.832	Radius Length: 231.000'	
Pt:	5313.744	5206.124	5+94.772 Tangent: 32.857'	
Arc Len:	64.885'		Delta: 16°05'37" Right Degree: 24°48'12"	
Chord Len:	64.871'		Chord Brg: S 07°31'00" W	
Radial-In:	S 89°28'17" W	Radial-Out:	N 74°28'06" W	
Tangential-In				
6+27.000	5282.284	5197.361	PT	

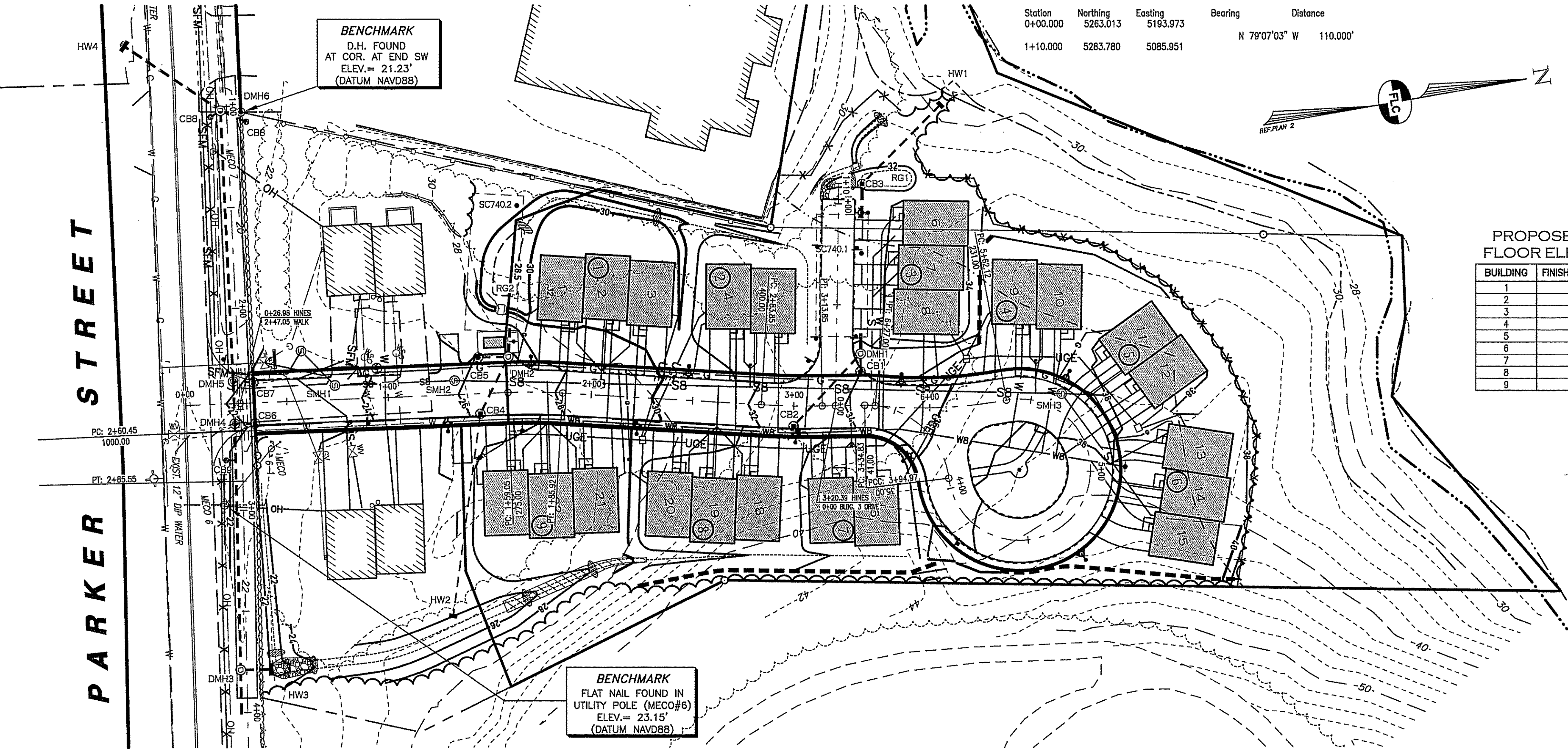
# DEREK'S PATH CENTER LINE DATA

Station	Northing	Easting	Bearing	Distance
0+00.000	5263.013	5193.973		
1+10.000	5283.780	5085.951	N 79°07'03" W 110.000'	

# PROPOSED FINISH FLOOR ELEVATIONS:

BUILDING	FINISH FLOOR ELEVATION
1	30.30
2	33.00
3	34.50
4	37.70
5	38.50
6	36.50
7	35.20
8	37.80
9	28.33

PARKER STREET

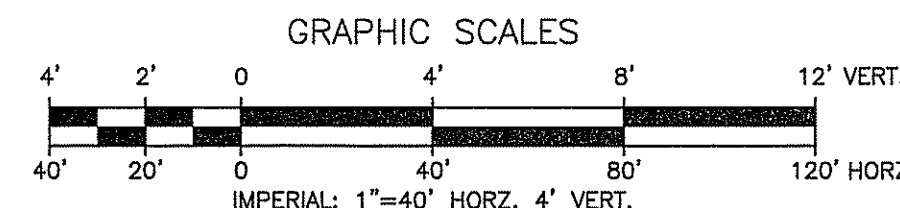
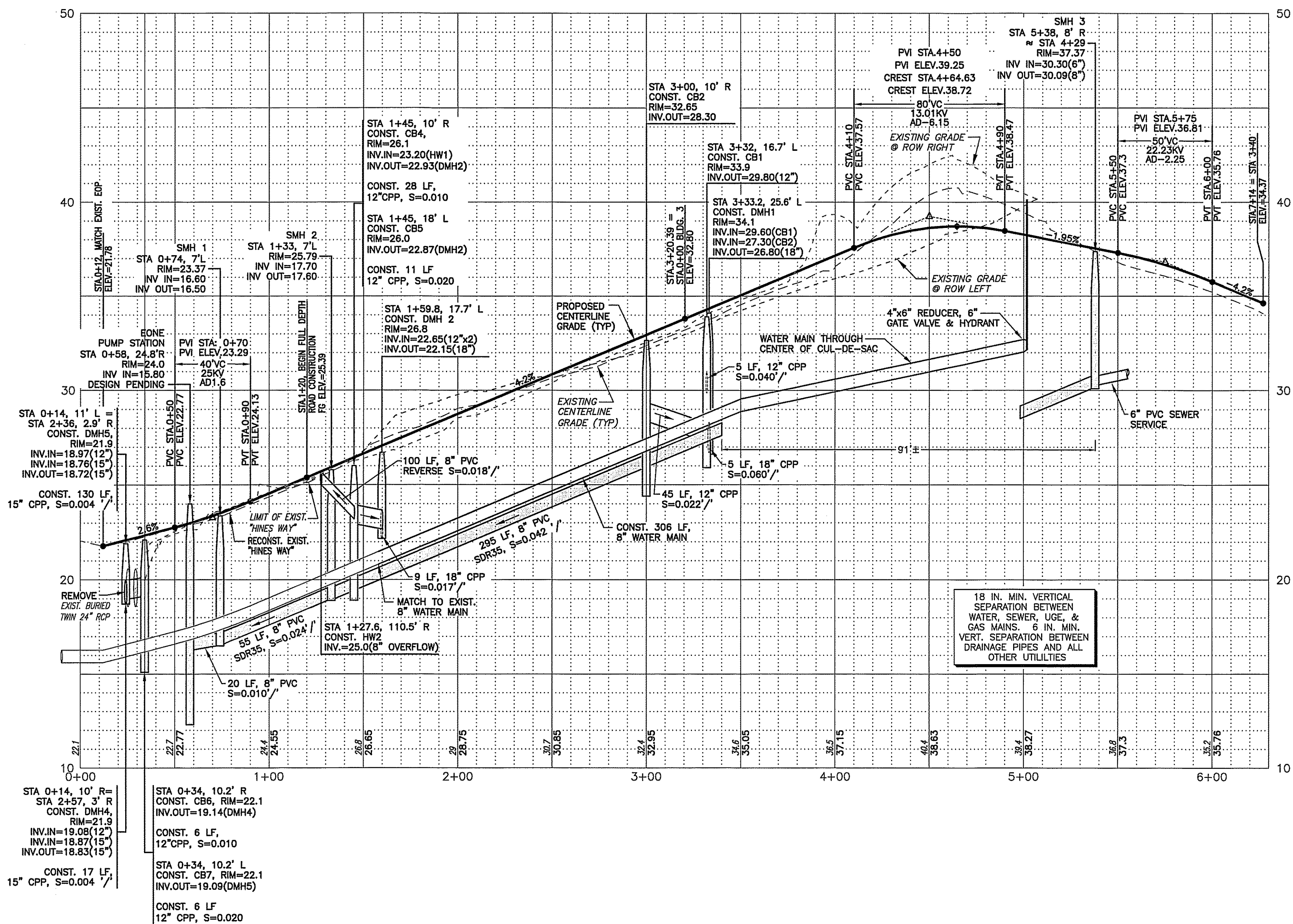


# LEGEND:

—	RIGHT-OF-WAY LINE	□ C.B.(f)	GRANITE BOUND FOUND
—	BOUNDARY LINE	□ C.B.(f)	CONCRETE BOUND FOUND
—	ABUTTING LOT LINE	□ C.B.(f)	CONCRETE BOUND PER REF. PLAN
—	BUILDING SETBACK LINE	● I.PIN(f)	IRON PIN FOUND
—	EDGE OF PAVED ROAD	● I.PIN(TBS)	IRON PIN TO BE SET
—	EDGE OF GRAVEL ROAD	■ G.B.(S)	GRANITE BOUND TO BE SET
—	EDGE OF TREE LINE		UTILITY POLE & GUY
—	10' CONTOUR INTERVAL	⊙	CATCH BASIN
—	2' CONTOUR INTERVAL	⊙	DRAIN MANHOLE
—	WROUGHT IRON FENCE	⊙	SEWER MAN-HOLE (ROUND)
—	CHAIN-LINK FENCE	⊙	TELEPHONE MANHOLE
—	STOCKADE FENCE	⊙	WATER HYDRANT
—	THE COURSE LINE	⊙	WATER VALVE
—	OVERHEAD UTILITY LINE	⊙	WATER SHUT-OFF
—	GAS LINE	⊙	GAS VALVE
—	WATER LINE	⊙	LANDSCAPED AREA
—	SEWER LINE		
—	DRAIN LINE		
D-75	TAX MAP & LOT NUMBER		

# PROPOSED FEATURES

—	EDGE OF PAVEMENT	—	TEMPORARY SILT FENCE
—	VERTICAL GRANITE CURB	—	PAVED AREA
—	SLOPED GRANITE CURB	—	EROSION CONTROL STONE
—	REINFORCED CONCRETE SIDEWALK AND CURB	—	STONE CHECK DAM
—	RETAINING WALL	—	SPOT ELEVATION
—	26	—	2 FT. CONTOUR
—	30	—	10 FT. CONTOUR
—	STORM WATER DRAINAGE	—	WATER HYDRANT
—	SHALE	—	WATER GATE VALVE
—	LIMITS OF CLEARING	—	BUILDING NUMBER
—		—	UNIT NUMBER
—		—	DRAINAGE CATCH BASIN
—		—	DRAINAGE HEADWALL
—		—	DRAINAGE MANHOLE



DATE	DESCRIPTION	C/O	DR	CK
11/07/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
4/26/17	M. WEST WETLANDS LOCATION, SETBACK & BUFFER	XXX	XXX	XXX

# HINES WAY PLAN & PROFILE PARKER HILL DEFINITIVE SUBDIVISION

TAX MAP PARCEL 34-8-A - 2 PARKER STREET  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR AND LAND OF:  
**PARKER 2 REALTY TRUST**  
160 BRIDGE ROAD, SALISBURY, MA 01952

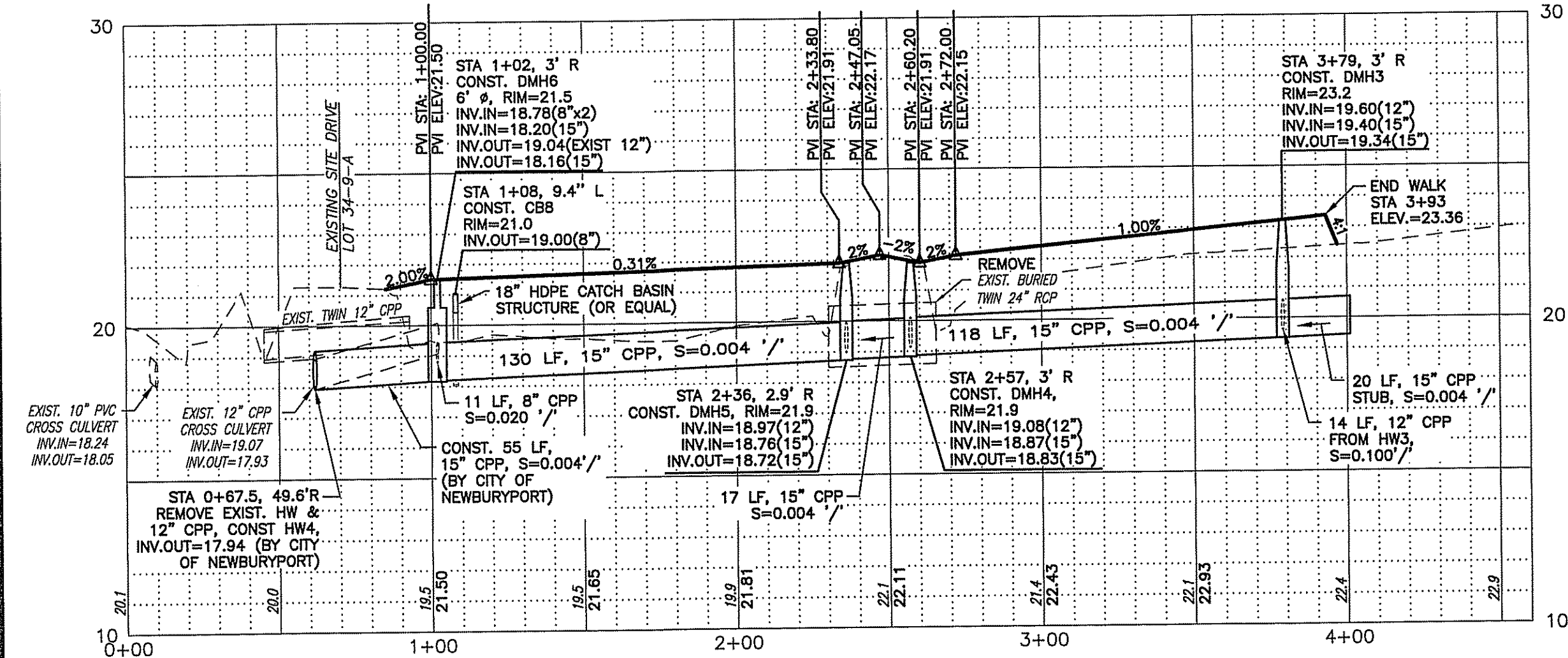
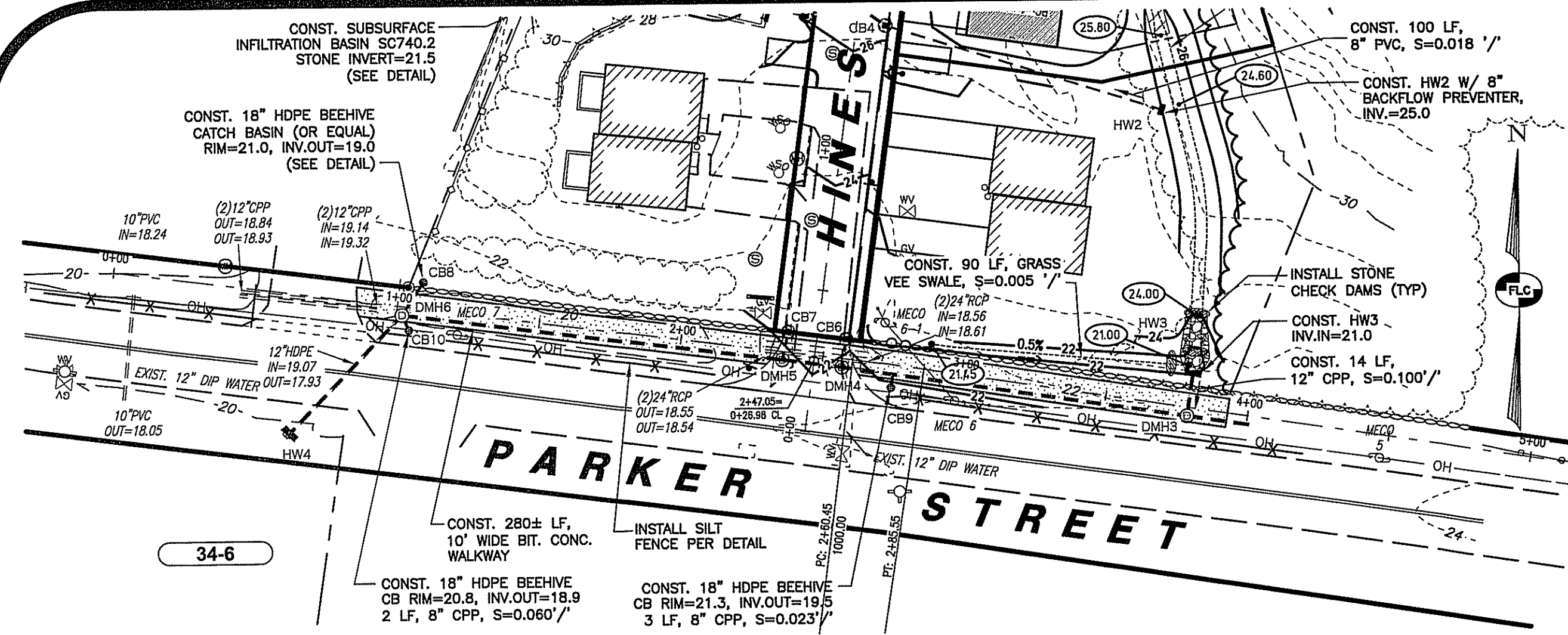
SCALE: 1" = 40' HORZ, 4' VERT. AUGUST 14, 2017

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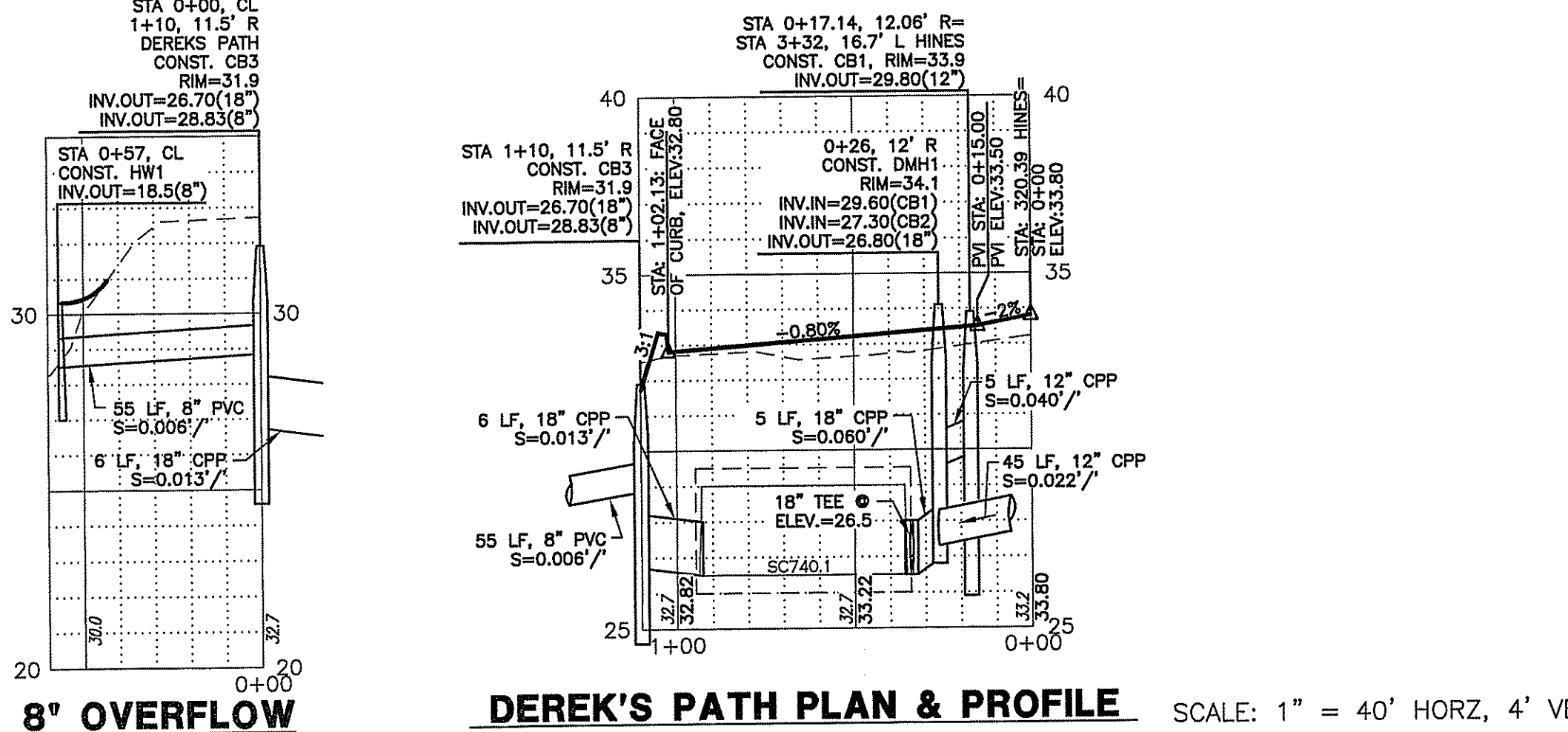
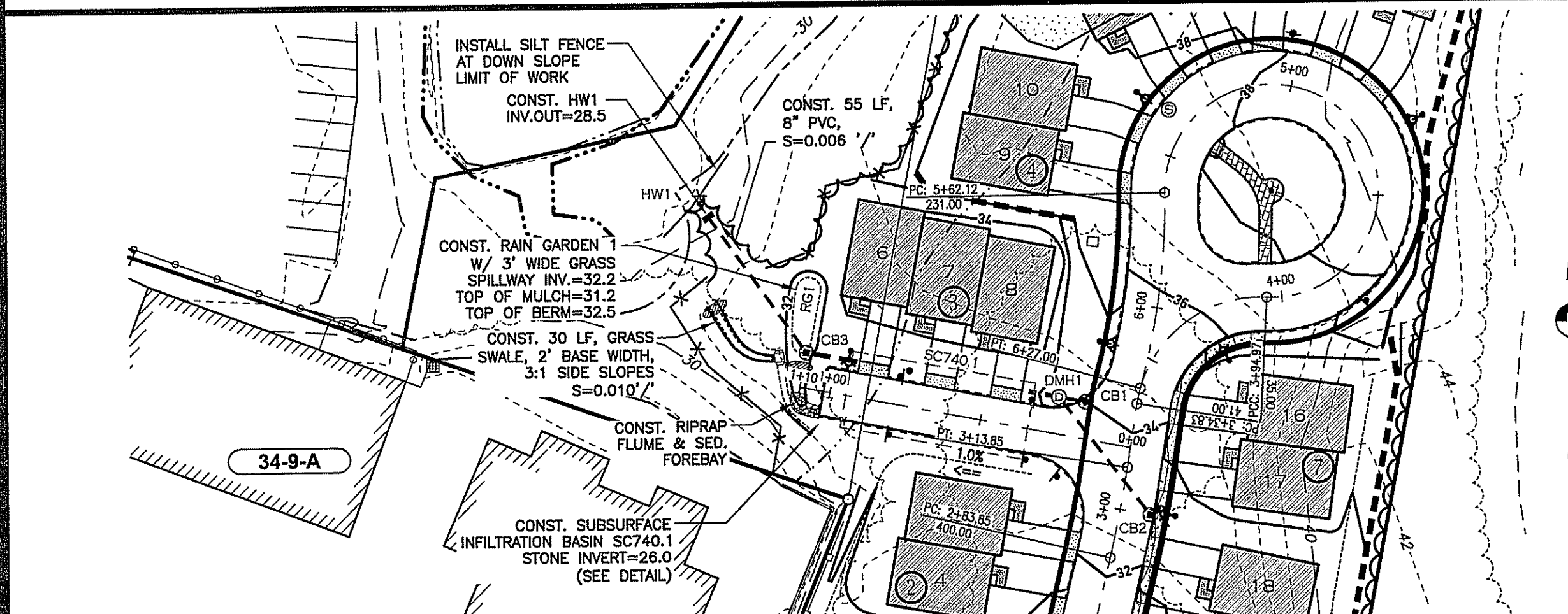
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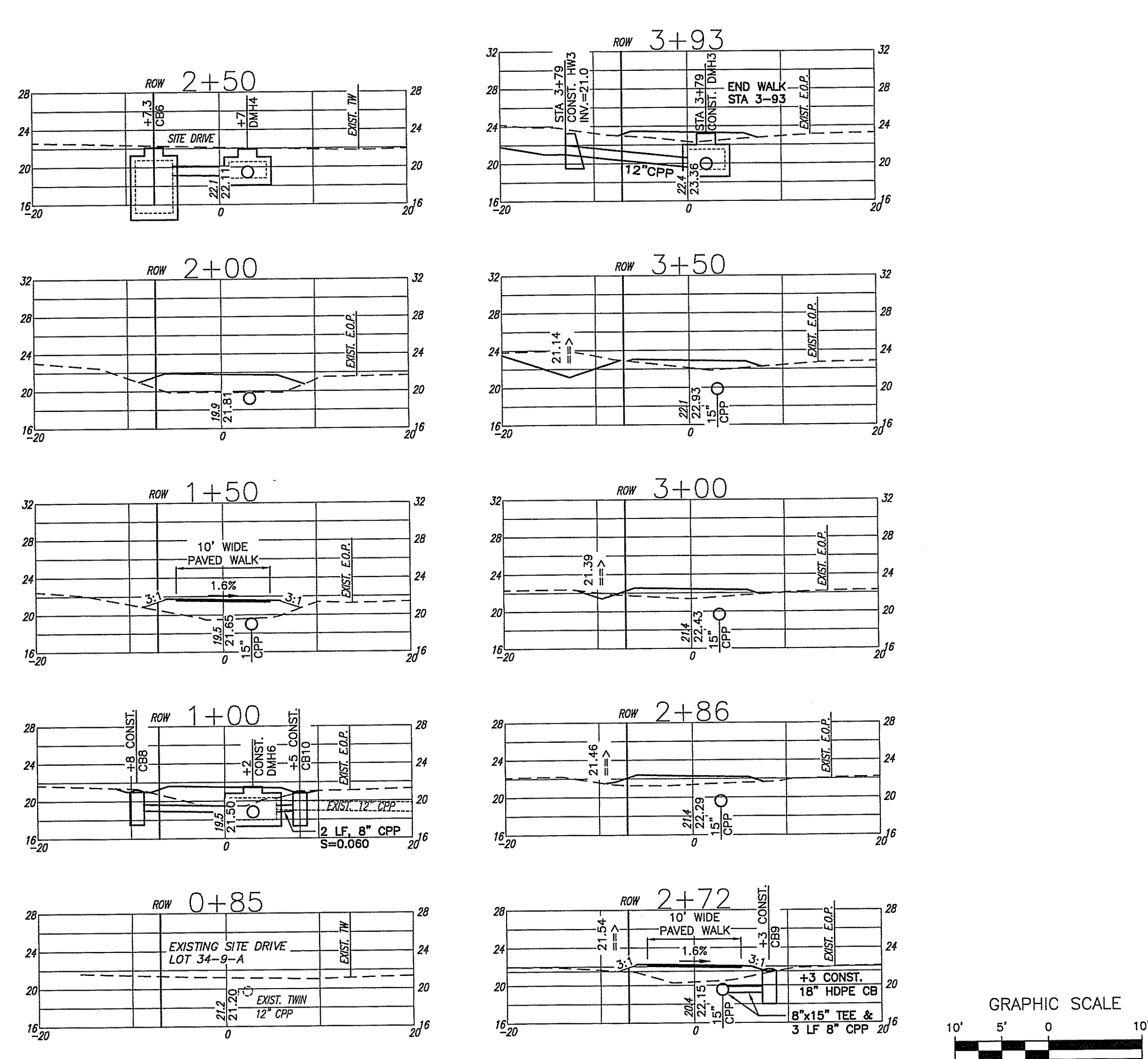




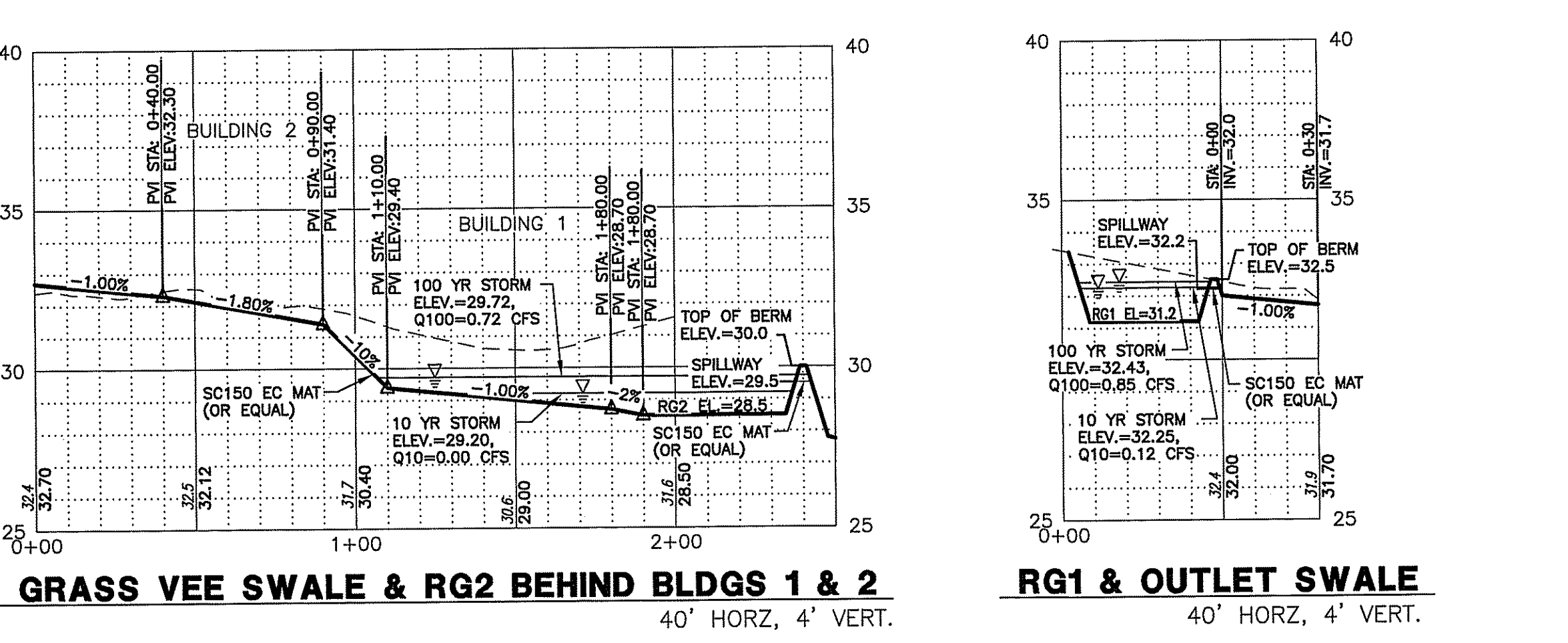
OFF-SITE IMPROVEMENT PLAN & PROFILE SCALE: 1" = 40' HORZ, 4' VERT.



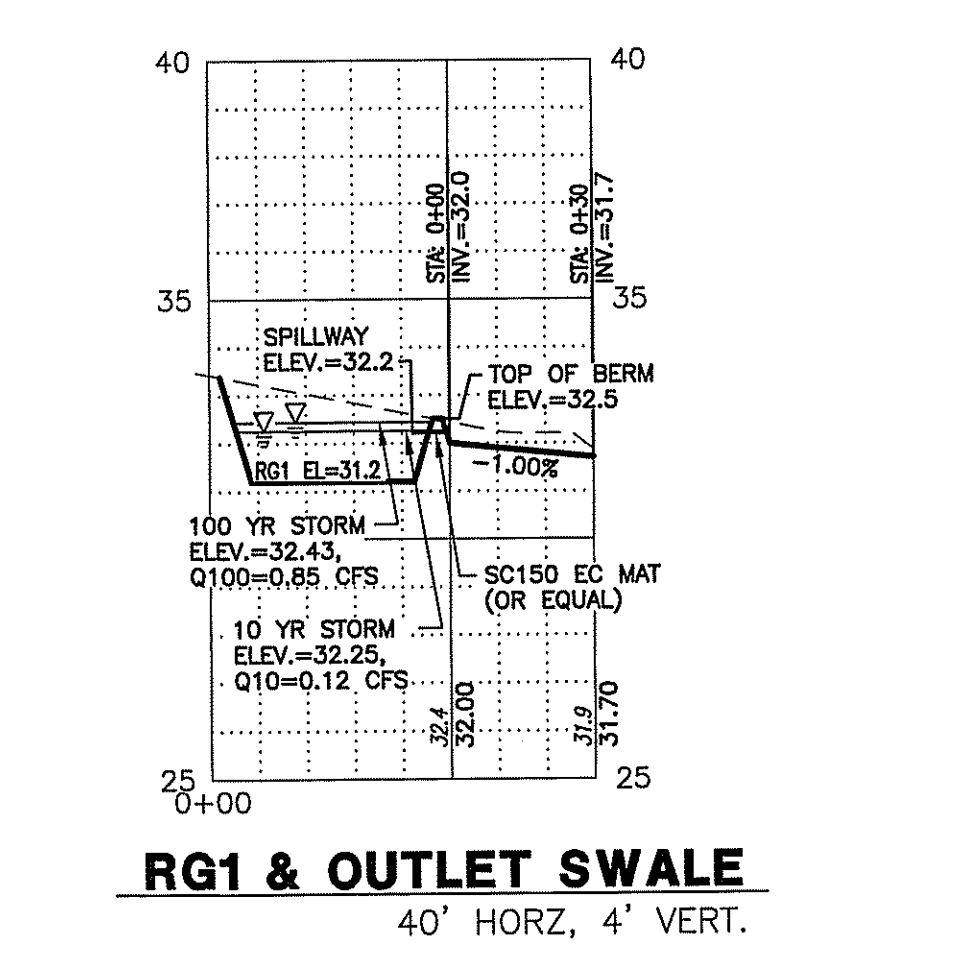
DEREK'S PATH PLAN & PROFILE SCALE: 1" = 40' HORZ, 4' VERT.



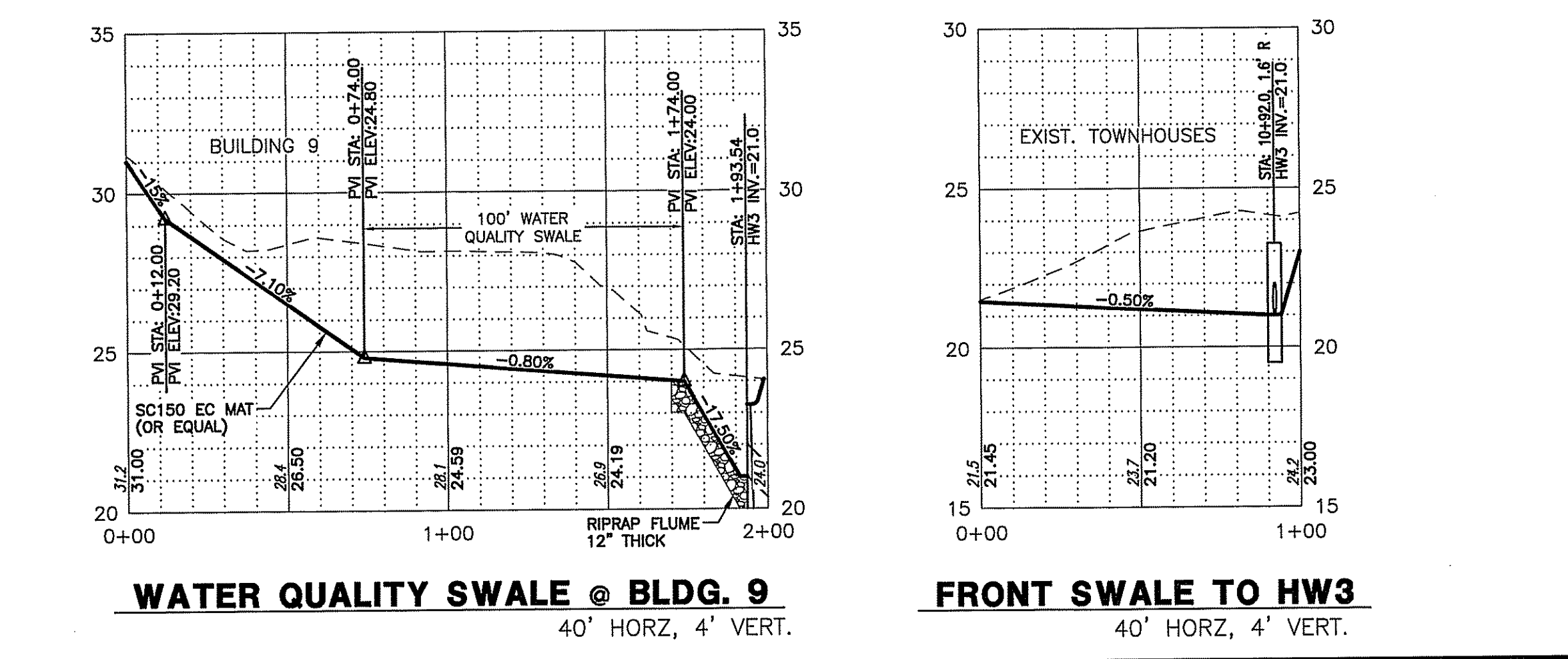
OFF-SITE IMPROVEMENT CROSS SECTIONS SCALE: 1" = 10' HORZ, 10' VERT.



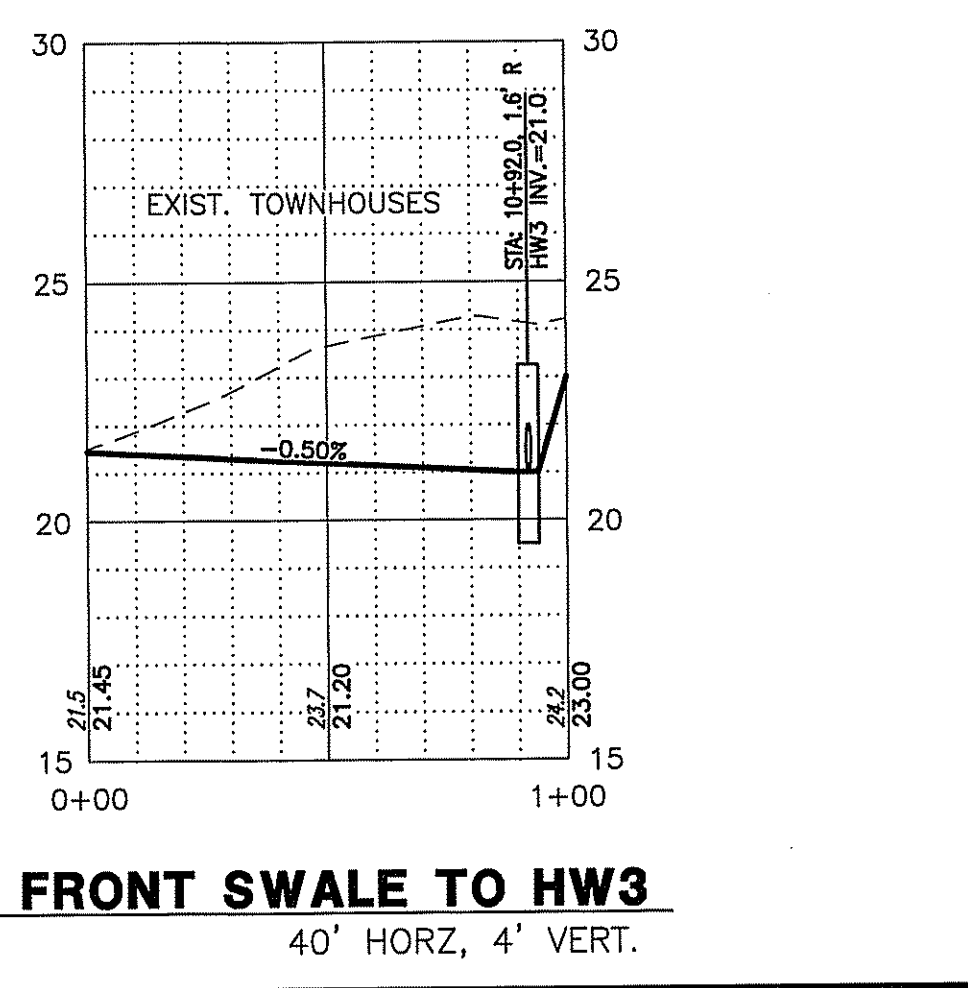
GRASS VEE SWALE & RG2 BEHIND BLDGS 1 & 2 SCALE: 1" = 40' HORZ, 4' VERT.



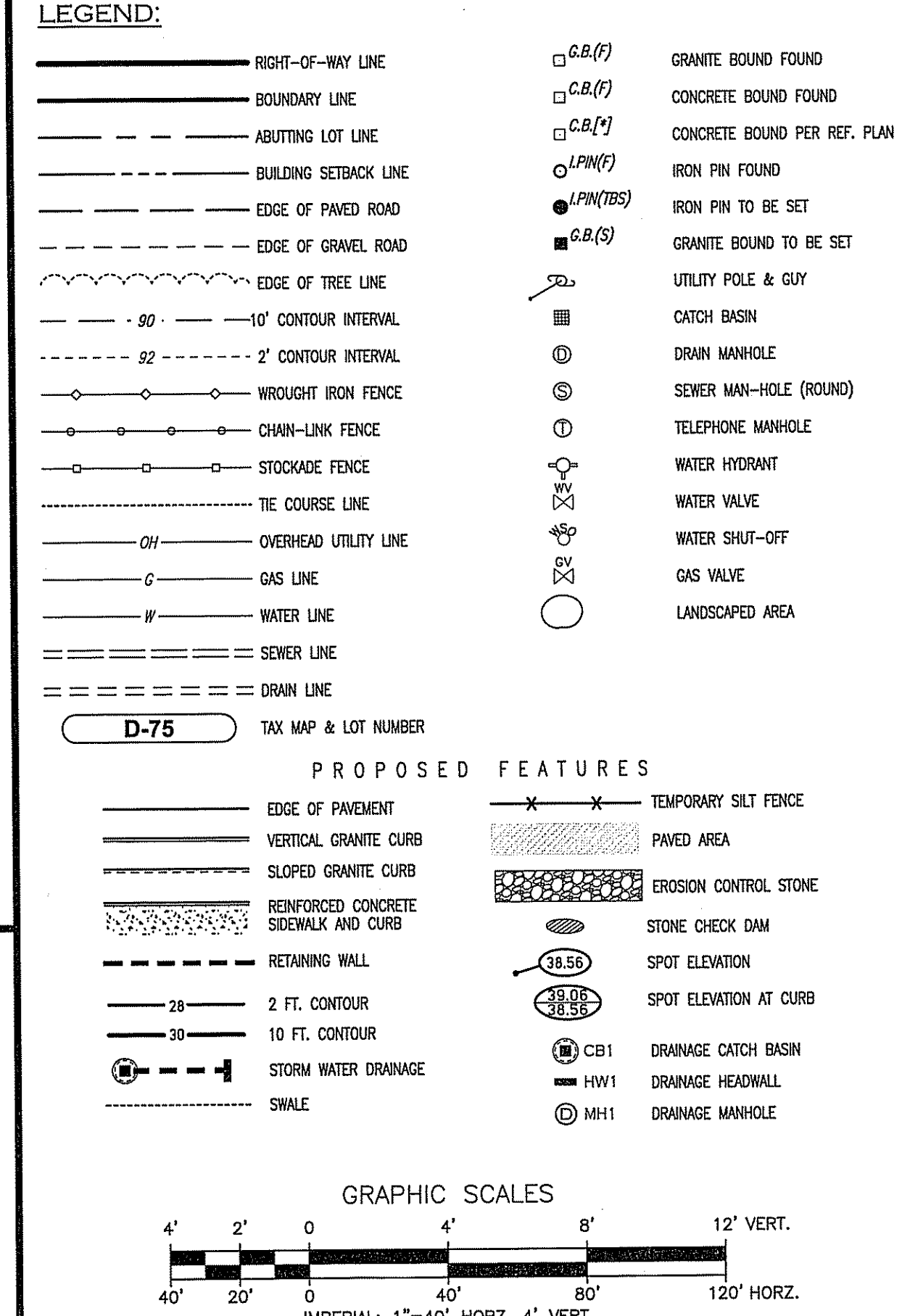
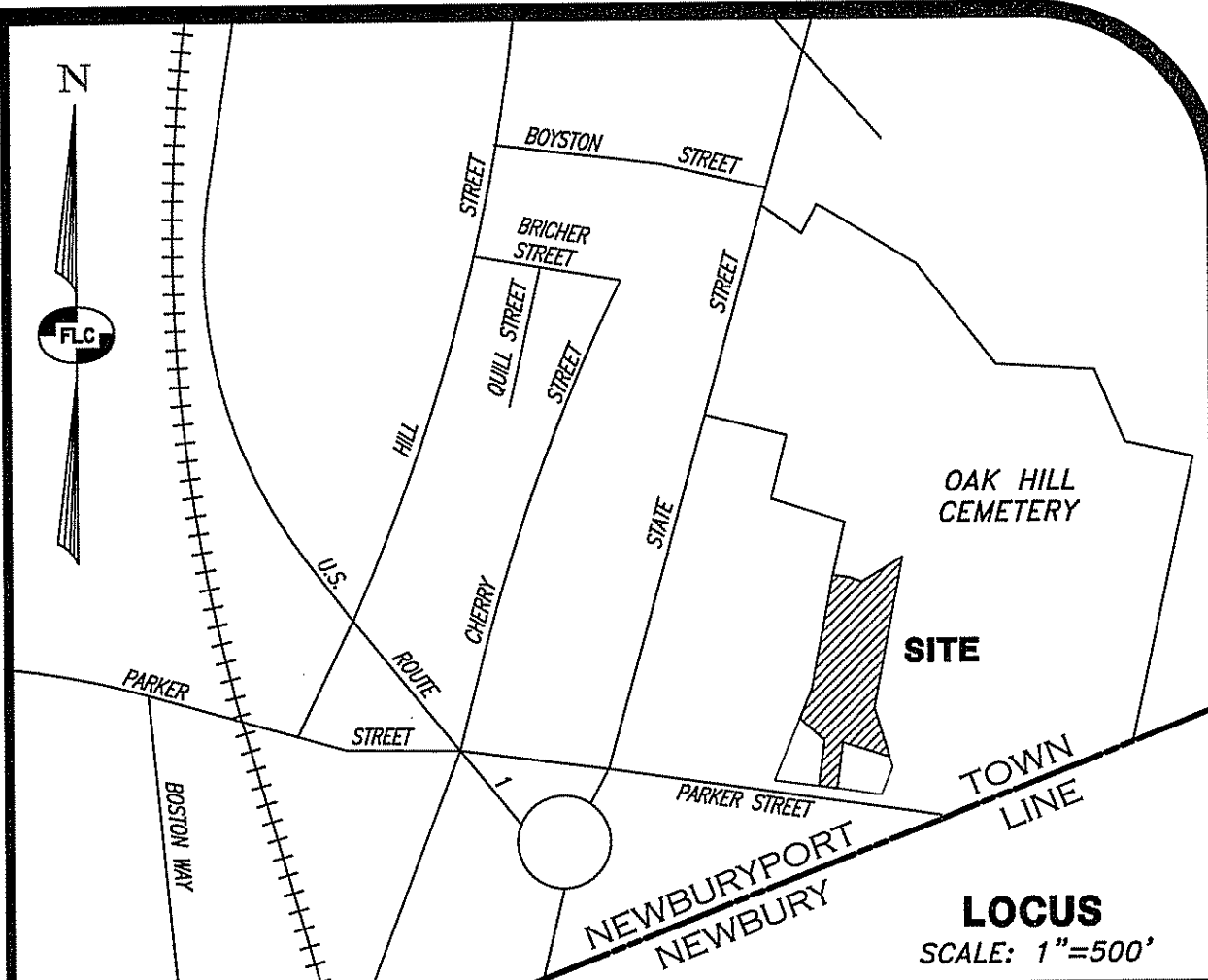
RG1 & OUTLET SWALE SCALE: 1" = 40' HORZ, 4' VERT.



WATER QUALITY SWALE @ BLDG. 9 SCALE: 1" = 40' HORZ, 4' VERT.



FRONT SWALE TO HW3 SCALE: 1" = 40' HORZ, 4' VERT.



B	11/07/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	4/26/17	M. WEST WETLANDS LOCATION, SETBACK & BUFFER	XXX	XXX	XXX
DATE		DESCRIPTION	C/O	DR	CK

**MISCELLANEOUS PLAN & PROFILES**

**PARKER HILL**

**DEFINITIVE SUBDIVISION**

**TAX MAP PARCEL 34-8-A - 2 PARKER STREET**

**NEWBURYPORT, MASSACHUSETTS**

**PREPARED FOR AND LAND OF:**

**PARKER 2 REALTY TRUST**

**160 BRIDGE ROAD, SALISBURY, MA 01952**

SCALE: 1" = 40' HORZ, 4' VERT. AUGUST 14, 2017

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FILE: 1486SP00B.dwg PROJ. NO. 1486.00 SHEET: GR-1 PAGE NO. 8 OF 18



Housing: Two interlocking die-cast aluminum housings. Heavy gauge .083" spun aluminum shade with rolled edge, finished white inside. Die castings are milled grade, copper free (c 0.3% copper content) A360.0 aluminum alloy.

Arm: Fabricated from .125" wall aluminum extrusion formed into a continuous smooth radius, laminating and welded into a one piece die-cast aluminum flange. Flange fits a 3/4" O.D. pole top and is secured by six (6) socket head stainless steel set screws. Pressed into stainless steel flange.

Enclosure: Lamp enclosure/optical system comprises an assembly of two pure anodized aluminum asymmetrical main beam reflectors with clear impact resistant acrylic lens with optical feature lead to a heavy gauge .083" spun aluminum shade with rolled edge, finished white inside and rigidly fastened to the luminaire housing. Fasteners are stainless steel.

Electrical: 28.5 W LED luminaire, 20°C start temperature. Integral 120V - 277V electronic LED driver, dimming not available. Standard LED color temperature is 4000K with a >80 CRI. Available in 3000K (add 07P, add suffix 10) to order. Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

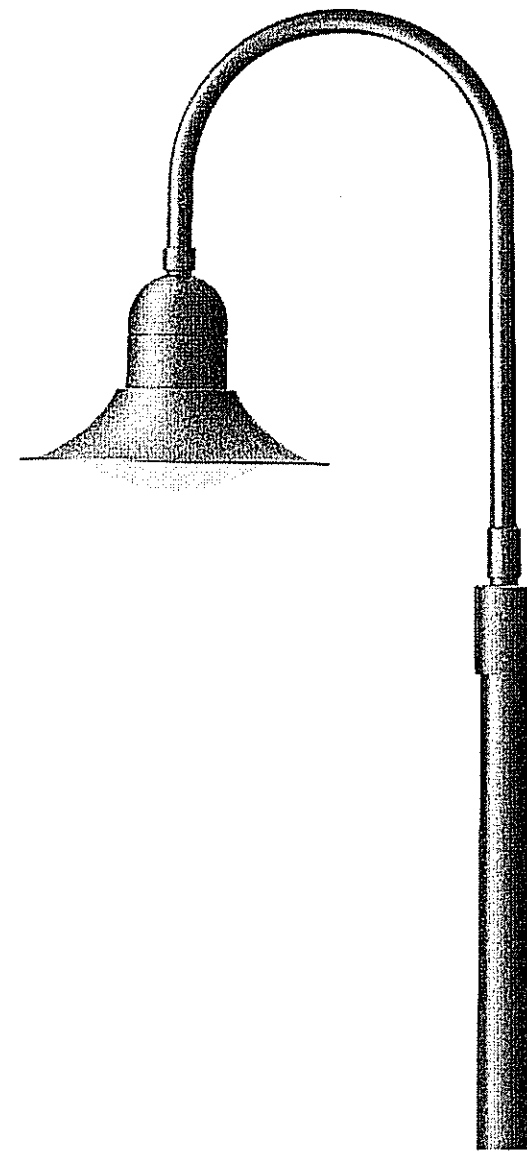
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK), White (WHT), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations. Protection class: IP65.

Weight: 23.1 lbs.  
Effective Projection Area (EPA): 1.7 f²

Luminaire Lumens: 1227  
Tested in accordance with LM-79-08

Type:  
BEGA Product:  
Project:  
Voltage:  
Color:  
Options:  
Modified:



Single pole-top luminaires

7910 LED 28.5W LED L2-2 10% 40% 82%

Recommended for use with 1 1/2" poles.  
BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 958-9474 www.bega-us.com  
©copyright BEGA-US 2014 Updated 05/14

#### SINGLE POLE-TOP LUMINAIRES (OR EQUAL)

#### 0908HR 3" - 5" Tapered round hinged pole

Shaft: Extruded from all new seamless 6063 aluminum alloy tubing, heat treated to a T-6 condition.

Anchor base: Round cast aluminum A356 alloy, heat treated to a T-6 condition. Anchor base and shaft continuously welded at the outside top and inside bottom of the anchor base casting.

Pole base: To be round hinged two piece casting. Hinge Pole shaft to be welded to upper base casting which is secured to lower base casting by three (3) stainless steel bolts. Bolts to be fastened to cast-in stainless threaded inserts in lower casting. Cast round two piece base cover supplied with pole.

Anchor bolts: Four (4) 1/4" x 17" galvanized steel anchor bolts supplied with double nuts and flat washers. Maximum bolt projection 3/4". For luminaires requiring threaded inserts and pole cap - specify: 1D (single); 2D (2@ 180°); 3D (3 @ 120°).

GCO or GFI: Standard GCO/GFI location is opposite the hinge. Height above base for ballast in luminaires is 18". For single luminaires with a pole base mounted (PBM) ballast the minimum height is 24" and 42" minimum for double PBM luminaires.

Weight: 42.0 lbs.

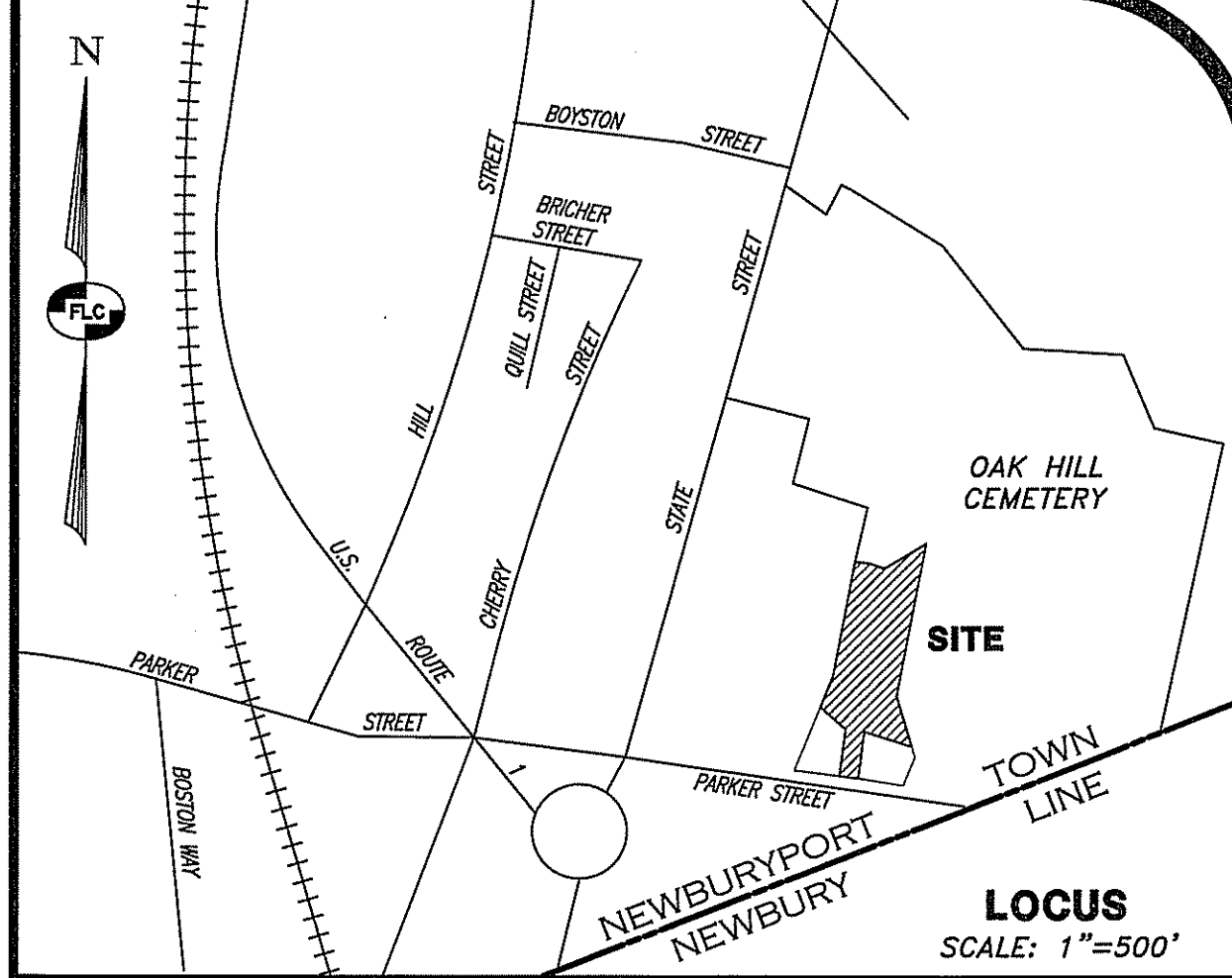
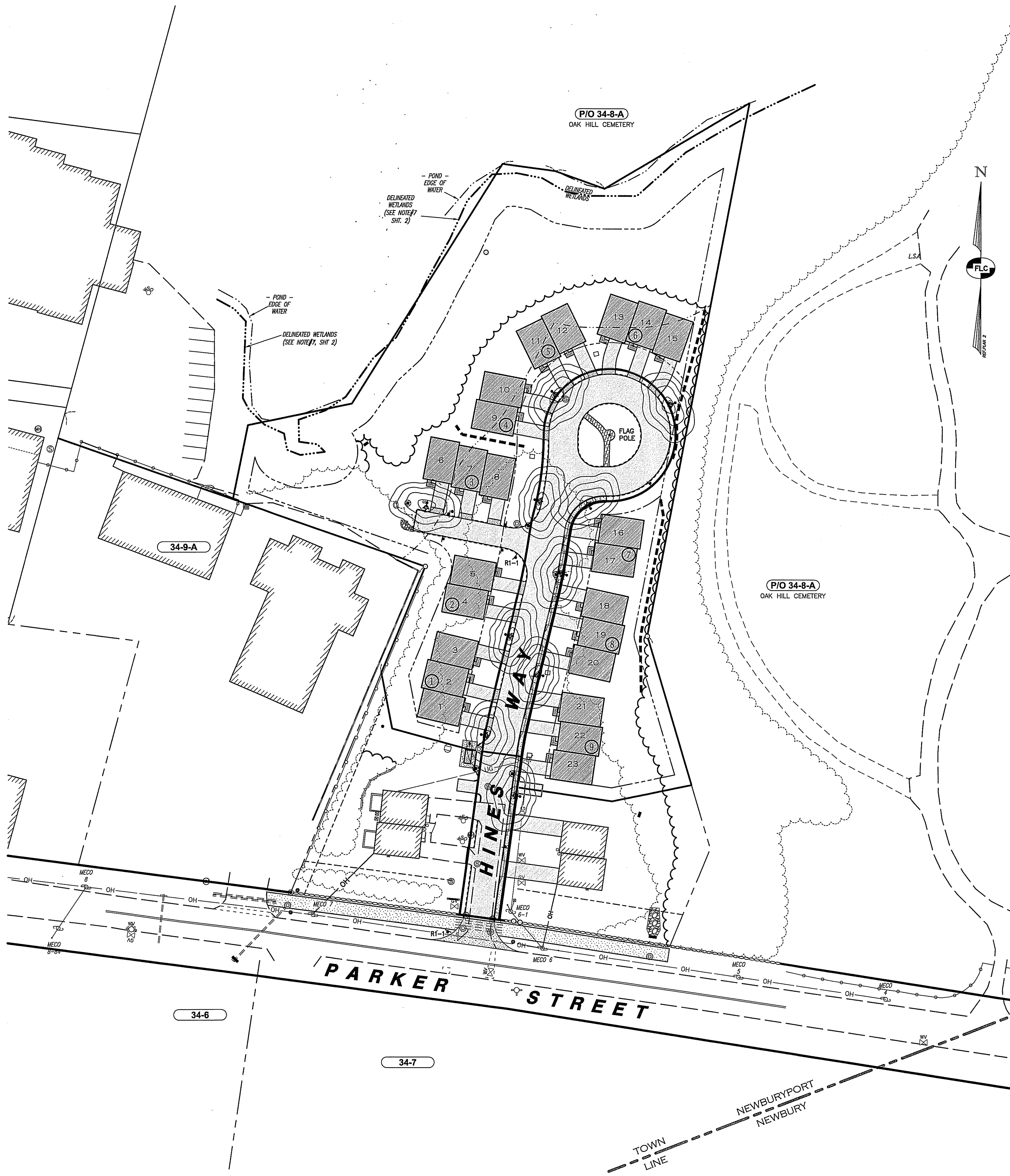
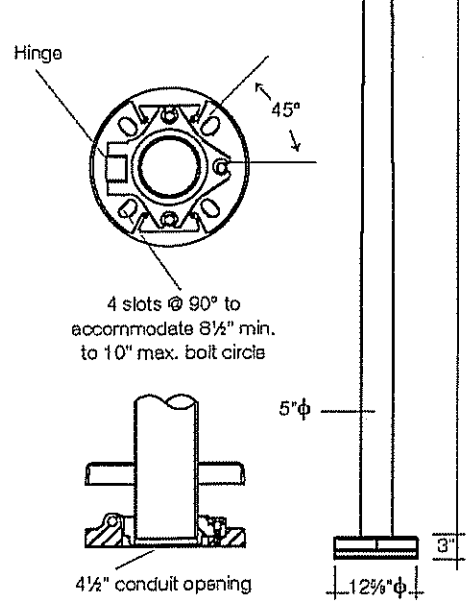
Disclaimer

BEGA-US warrants the specific anchor bolts and pole combination according to the product number(s) and description(s) indicated on this submittal sheet. Structural changes to the pole requested by the customer, including changes to pole length, may affect the compatibility of the anchor bolts and corresponding poles. BEGA-US is not responsible for the incompatibility of the anchor bolts and poles resulting from such structural changes without review by the BEGA-US engineering department. This includes, but is not limited to, any labor charges, charges for replacement materials and shipping.

Pole wind load rating:  
MPH: 20 30 40 50 60 70 80 90 100 110 120  
EPA: 18 13.2 10.0 7.7 4.9  
Note: Data above assumes grade level installation and a maximum luminaire weight of 50 lbs.

BEGA-US 1000 BEGA Way, Carpinteria, CA 93013 (P) 805-684-0533 (F) 805-684-6682  
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#### LIGHT POLE DETAIL (OR EQUAL)



LEGEND:	
RIGHT-OF-WAY LINE	GRANITE BOUND FOUND
BOUNDARY LINE	CONCRETE BOUND FOUND
ADJOINING LOT LINE	CONCRETE BOUND PER REF. PLAN
BUILDING SETBACK LINE	IRON PIN FOUND
EDGE OF PAVED ROAD	IRON PIN TO BE SET
EDGE OF GRAVEL ROAD	GRANITE BOUND TO BE SET
EDGE OF TREE LINE	UTILITY POLE & GUY
10' CONTOUR INTERVAL	CATCH BASIN
2' CONTOUR INTERVAL	DRAIN MANHOLE
WROUGHT IRON FENCE	SEWER MAN-HOLE (ROUND)
CHAIN-LINK FENCE	TELEPHONE MANHOLE
STOCKADE FENCE	WATER HYDRANT
TIE COURSE LINE	WATER VALVE
OVERHEAD UTILITY LINE	WATER SHUT-OFF
GAS LINE	GAS VALVE
WATER LINE	LANDSCAPED AREA
SEWER LINE	
DRAIN LINE	
D-75	TAX MAP & LOT NUMBER

PROPOSED FEATURES	
EDGE OF PAVEMENT	SWALE
VERTICAL GRANITE CURB	TEMPORARY SILT FENCE
SLOPED GRANITE CURB	EROSION CONTROL SLOPE
REINFORCED CONCRETE SIDEWALK AND CURB	PAVEMENT AREA
RETAINING WALL	POLE MOUNTED LIGHT
LIMITS OF CLEARING	BUILDING NUMBER
GAS LINE	1 UNIT NUMBER
WATER LINE	CB1 DRAINAGE CATCH BASIN
UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION	HW1 DRAINAGE HEADWALL
SEWER LINE	MH1 DRAINAGE MANHOLE
STORM WATER DRAINAGE	SMH1 SEWER MANHOLE

B	11/07/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	4/26/17	M. WEST WETLANDS LOCATION, SETBACK & BUFFER	XXX	XXX	XXX
DATE		DESCRIPTION	C/O	DR	CK

**LIGHTING PLAN**  
**PARKER HILL**  
**DEFINITIVE SUBDIVISION**  
**TAX MAP PARCEL 34-8-A - 2 PARKER STREET**  
**NEWBURYPORT, MASSACHUSETTS**  
**PREPARED FOR AND LAND OF:**  
**PARKER 2 REALTY TRUST**  
**160 BRIDGE ROAD, SALISBURY, MA 01952**

SCALE: 1" = 40' AUGUST 14, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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PLANT SYMBOLS	PLANTING LIST:		
	SYM. SCIENTIFIC NAME (COMMON NAME)	QUANTITY	SIZE
ACE	ACER x FREEMANII 'ARMSTRONG' ARMSTRONG MAPLE)	17	2.5-3" CAL.
BET	BETULA NIGRA (HERITAGE RIVER BIRCH)	12	12-14' CLUMP
MS	MAGNOLIA x SOULANGEANA (SAUCER MAGNOLIA)	11	8-10'
PP	PICEA PUNGENS 'HOOPSII' (HOOPS SPRUCE)	17	8-10'
AC	ABIES CONCOLOR (WHITE FIR)	10	8-10'
CA	CLETHRA ALNIFOLIA (DWARF SUMMER SWEET)	10	3 GAL
JGO	JUNIPERUS CHINENSIS (GREY OWL JUNIPER)	18	7/3 GAL
SYR	SYRINGA PATULA (MISS KIM LILAC)	34	3 GAL
HYD	HYDRANGEA PANICULATA (ENDLESS SUMMER HYDRANGEA)	10	7/3 GAL
JC	JUNIPERUS CHINENSIS (BLUE POINT JUNIPER)	4	3'-4'
PJ	PIERIS JAPONICA 'MOUNTAIN FIRE' (COMPACT ANDROMEDA)	8	1/3 GAL
IG	ILEX GLABRA COMPACTA (DWARF INKBERRY)	7	8/3 GAL
HS	HELIOTRICHON SEMPERVIRENS (BLUE OAT GRASS)	74	3 GAL
MSY	MISCANTHUS SINENSIS 'YAKUSHIMA' (DWARF MAIDEN GRASS)	9	3/3 GAL
LZ	MISCANTHUS SINENSIS 'LITTLE ZEBRA' (DWARF ZEBRA GRASS)	3	1/3 GAL
	MIX PERENNIALS	9	87/1 GAL

#### MISCELLANEOUS:

GENERAL LAWN SEED (BLUE SEAL LAWN MIX 11-A) OR EQUAL

RESTORATION SEED MIX: ERNMX-181: NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (OR EQUAL), ERNST SEEDS, 8884 Mercer Pike, Meadville PA 16335 (800) 873-3321

DETENTION SEED MIXTURE: ERNMX-126: RETENTION FLOOR MIX (OR EQUAL), ERNST SEEDS, 8884 Mercer Pike, Meadville PA 16335 (800) 873-3321

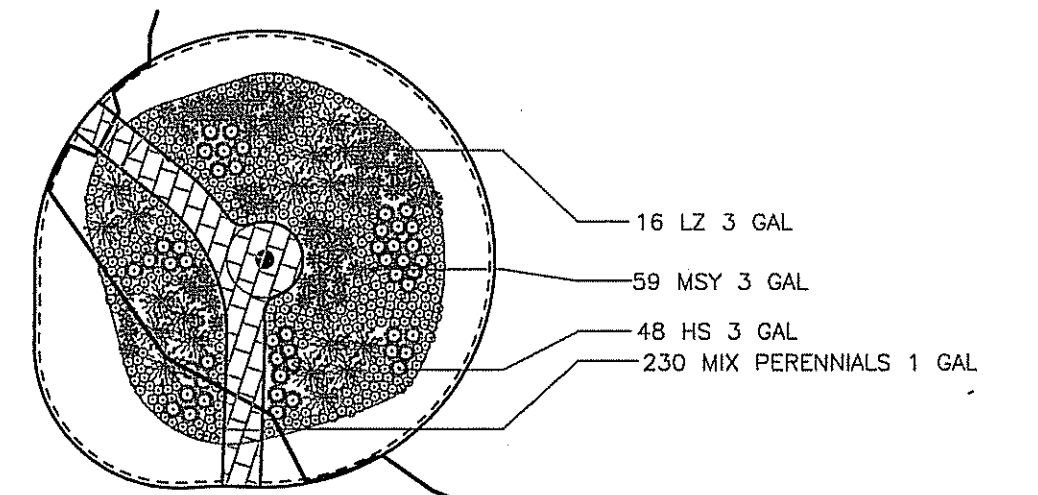
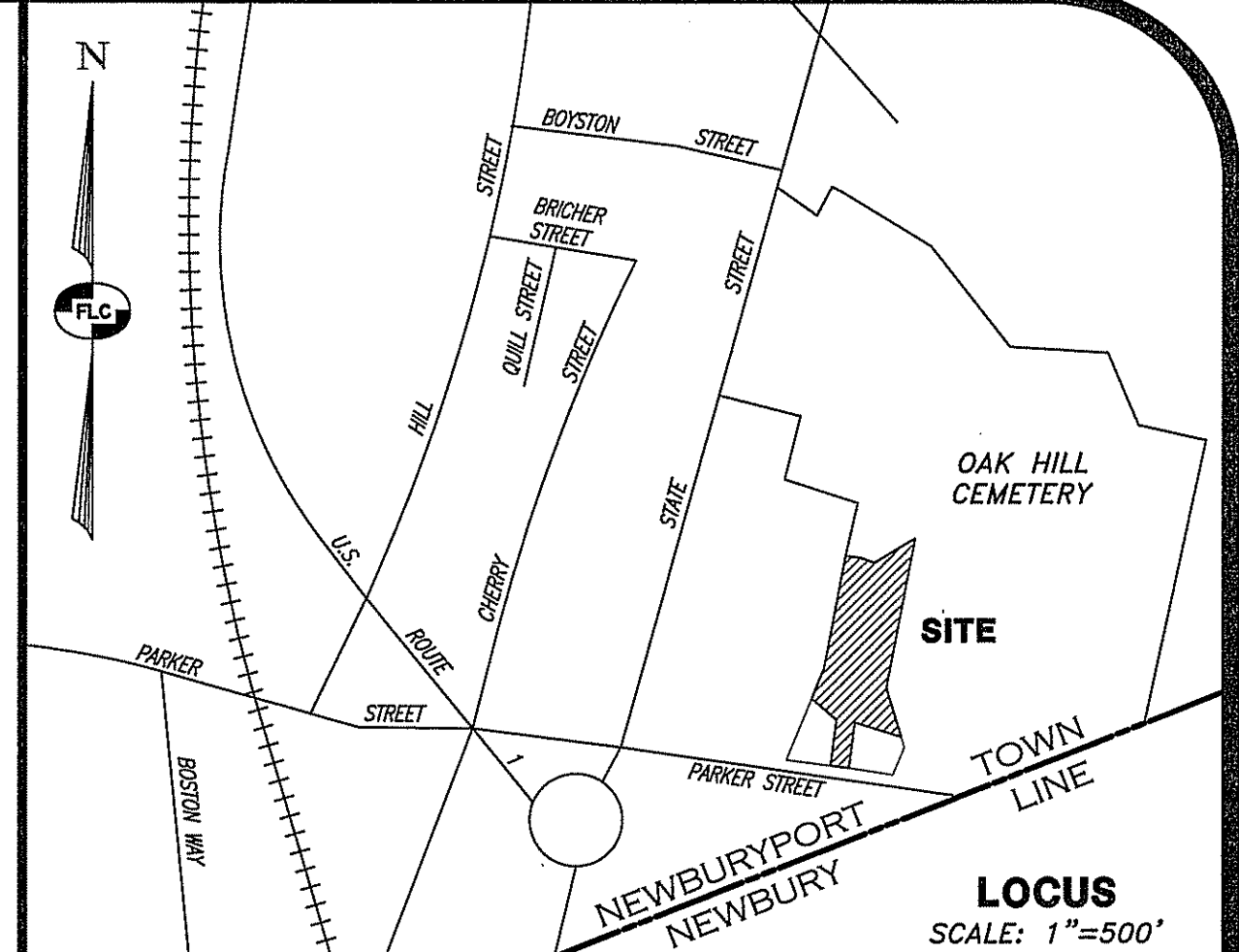
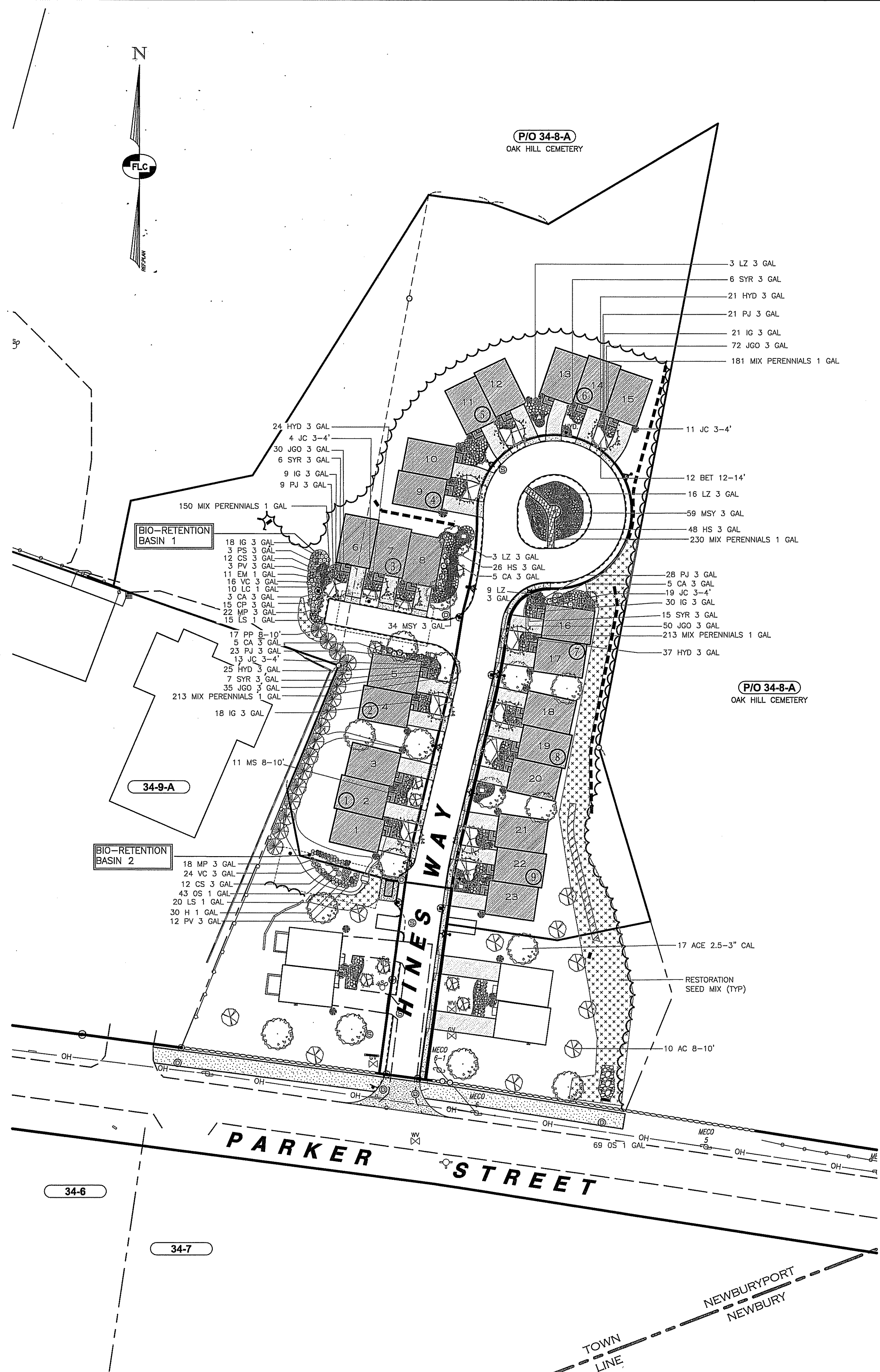
PREMIUM BLEND PINE/HEMLOCK BARK MULCH

#### PLANT SYMBOLS PLANTING LIST: BIORETENTION AREAS

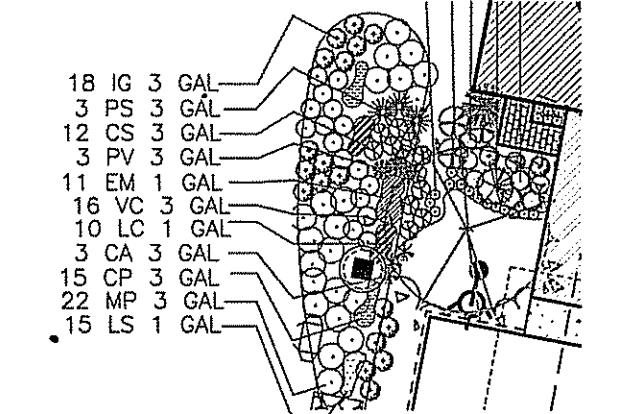
CS	CONNUS SERICEA (SILVER DOGWOOD)	24	3 GAL
VC	VACCINIUM CORYMBOSUM (HIGH BUSH BLUEBERRY)	40	3 GAL
IG	ILEX GLABRA COMPACTA (DWARF INKBERRY)	18	3 GAL
MP	MYRICA PENSYLVANICA (BAYBERRY)	40	3 GAL

#### FLOWERS/GRASSES

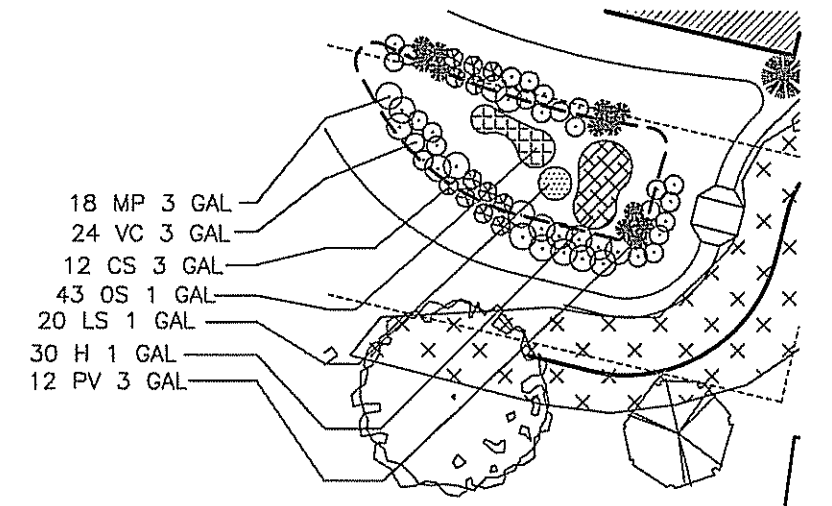
LC	LOBELIA CARDINALIS (CARDINAL FLOWER)	10	1 GAL
CP	CALTHA PALUSTRIS (MARSH MARIGOLD)	15	3 GAL
PS	PSCHIZACHYRIUM SCOPARIUM (LITTLE BLUE STEM)	3	3 GAL
PV	PANICUM VIRGATUM (DWARF SWITCH GRASS)	15	3 GAL
LS	LOBELIA SILPHITICA (GREAT BLUE LOBELIA)	35	1 GAL
OS	ONOCLEA SENSIBILIS (SENSITIVE FERN)	4	3/1 GAL
H	HEMERACALLIS SP. (DAYLILY)	30	1 GAL
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' (FEATHER REED GRASS)	3	3 GAL
EM	EUPATORIUM MACULATUM SPOTTED JOE PYE WEED	1	1/1 GAL



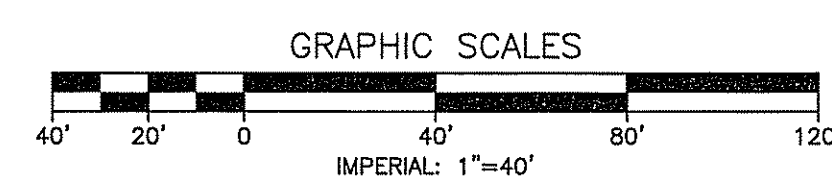
#### CUL-DE-SAC DETAIL



#### RAIN GARDEN 1 DETAIL



#### RAIN GARDEN 2 DETAIL



B	11/07/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	08/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB
	DATE	DESCRIPTION	C/O	DR	CK

## LANDSCAPING PLAN PARKER HILL DEFINITIVE SUBDIVISION

TAX MAP PARCEL 34-8-A - 2 PARKER STREET  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR AND LAND OF:  
**PARKER 2 REALTY TRUST**  
160 BRIDGE ROAD, SALISBURY, MA 01952

SCALE: 1" = 40' AUGUST 14, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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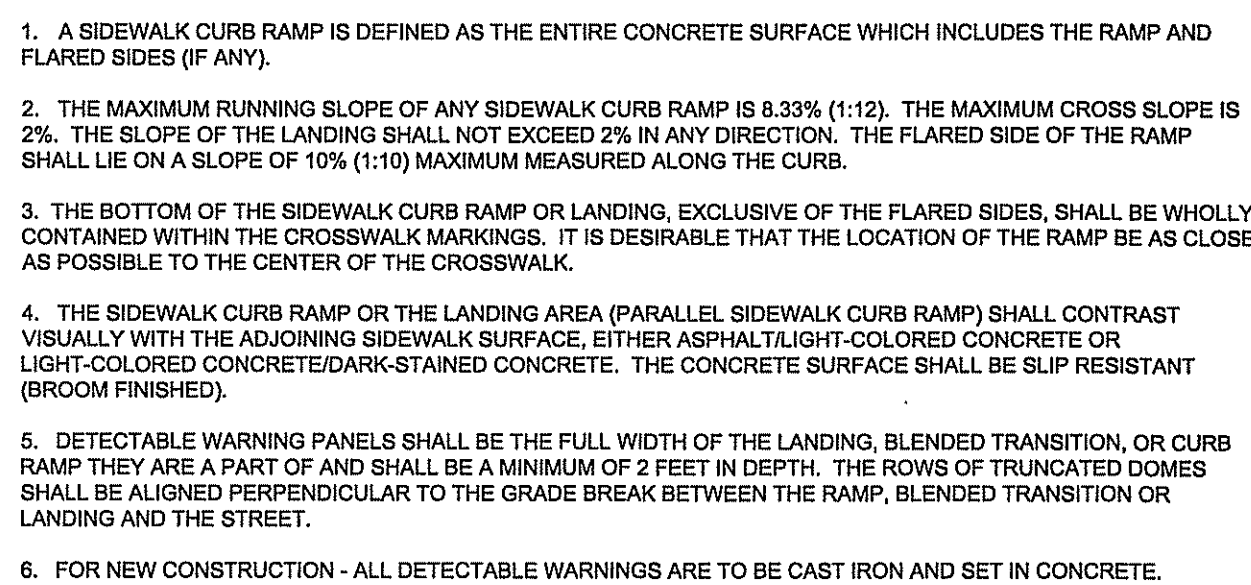


1. REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER ROAD FOUNDATION MATERIAL WITHIN 3' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO THE DIRECTOR OF PUBLIC WORKS. TO BE AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM 1557).
2. ALL MATERIALS AND CONSTRUCTION SHALL MEET AND BE COMPLETED IN STRICT ACCORDANCE WITH THE CITY OF NEWBURYPORT'S CURRENT ROAD AND DRAINAGE SPECIFICATIONS.
3. SHOULD UNDERDRAIN PIPE BE REQUIRED IN CUT SECTIONS, THE PIPE SHALL DISCHARGE THROUGH A MORTARED RUBBLE AND MASONRY ENDWALL OR INTO A CATCH BASIN/DRAIN MANHOLE.
4. WHERE ROAD GRADE IS 5% OR GREATER, ROAD SWALE SHALL BE LINED WITH MINIMUM 4 LAYERS, 6" OF STONE, 6" WIDE WITH 6" GRAVEL BASE OR EROSION CONTROL FABRIC).
5. ALL UTILITY POLES AND TRANSFORMER SLABS SHALL BE LOCATED AT THE RIGHT OF WAY LINE.

1
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2



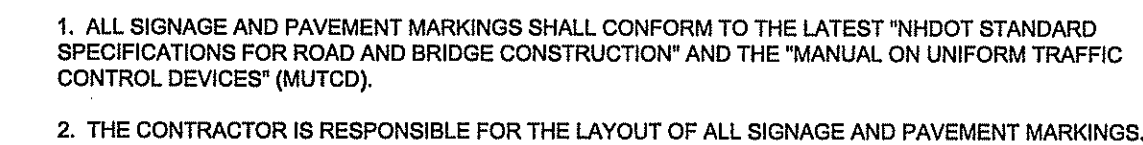
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7



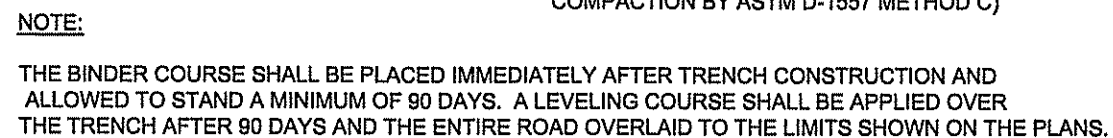
8
PT 4



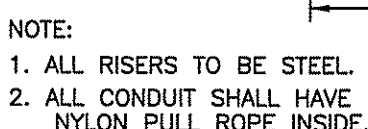
TRAFFIC SIGNS - ON SITE



10
11



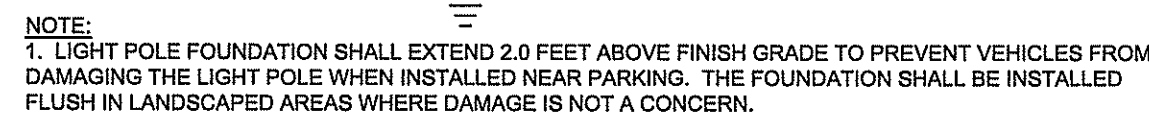
11



12
DT 1



13
DT 1



## 2. LIGHT POLE AND FIXTURES BY OTHERS.



14

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF NEWBURYPORT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, THE DESIGNER/ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT "DISGASF" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
5. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
6. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
7. ALL DRAINAGE STRUCTURES SHALL CONFORM TO MDOT STANDARDS. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO MASS DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

## GENERAL CONSTRUCTION NOTES

**NOTE:**  
ALL EARTH MATERIALS SHALL MEET MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS STANDARD  
SPECIFICATIONS FOR HIGHWAY AND BRIDGES.

B	11/07/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	08/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

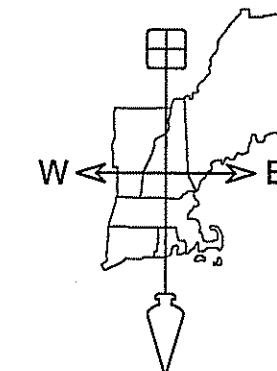
**CONSTRUCTION DETAILS**  
***PARKER HILL***  
***DEFINITIVE SUBDIVISION***

**TAX MAP PARCEL 34-8A - 2 PARKER STREET  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR AND LAND OF (34-8-A),  
PARKER 2 REALTY TRUST  
160 BRIDGE ROAD, SALISBURY, MA 01952**

SCALE: AS SHOWN

AUGUST 14, 2017

**Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs**



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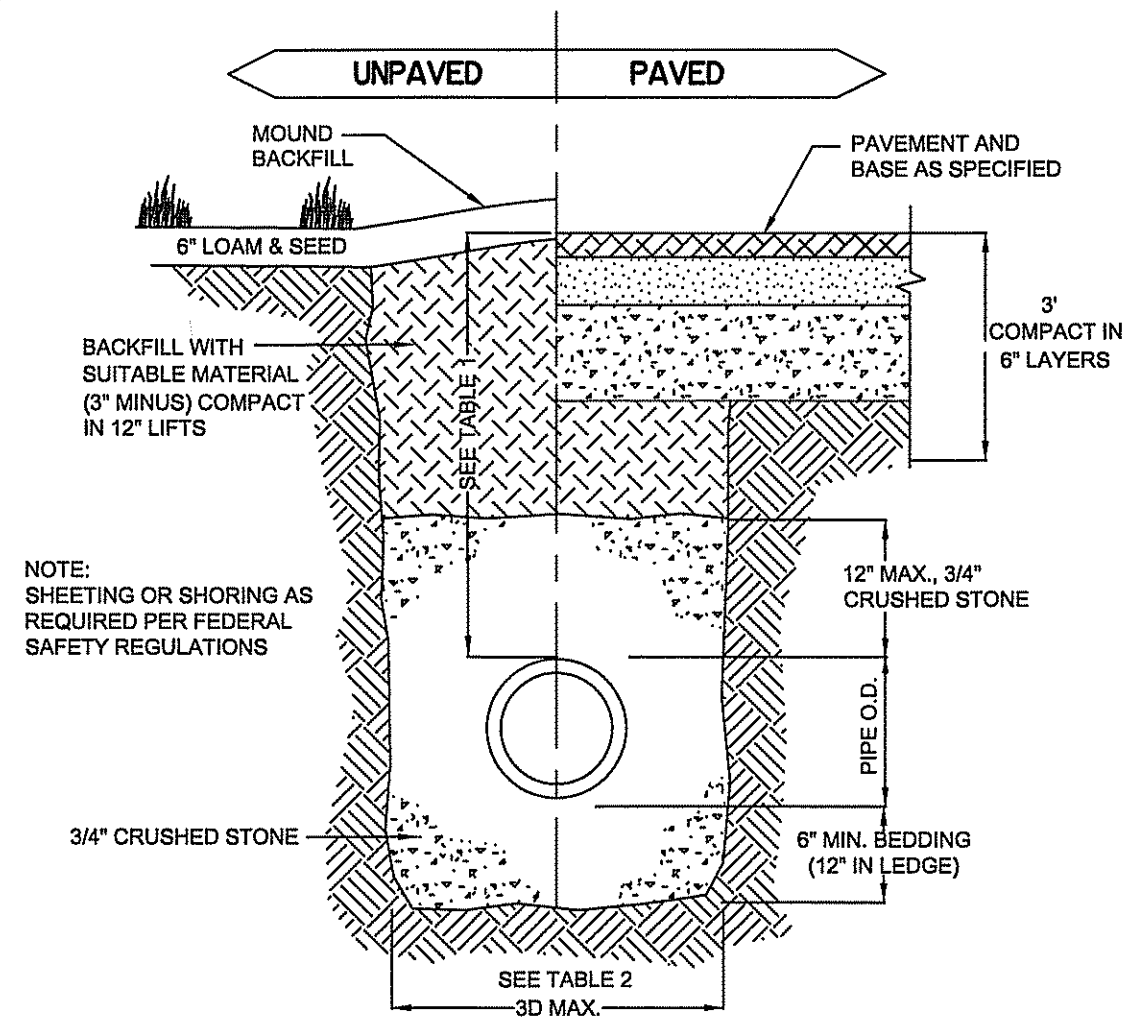
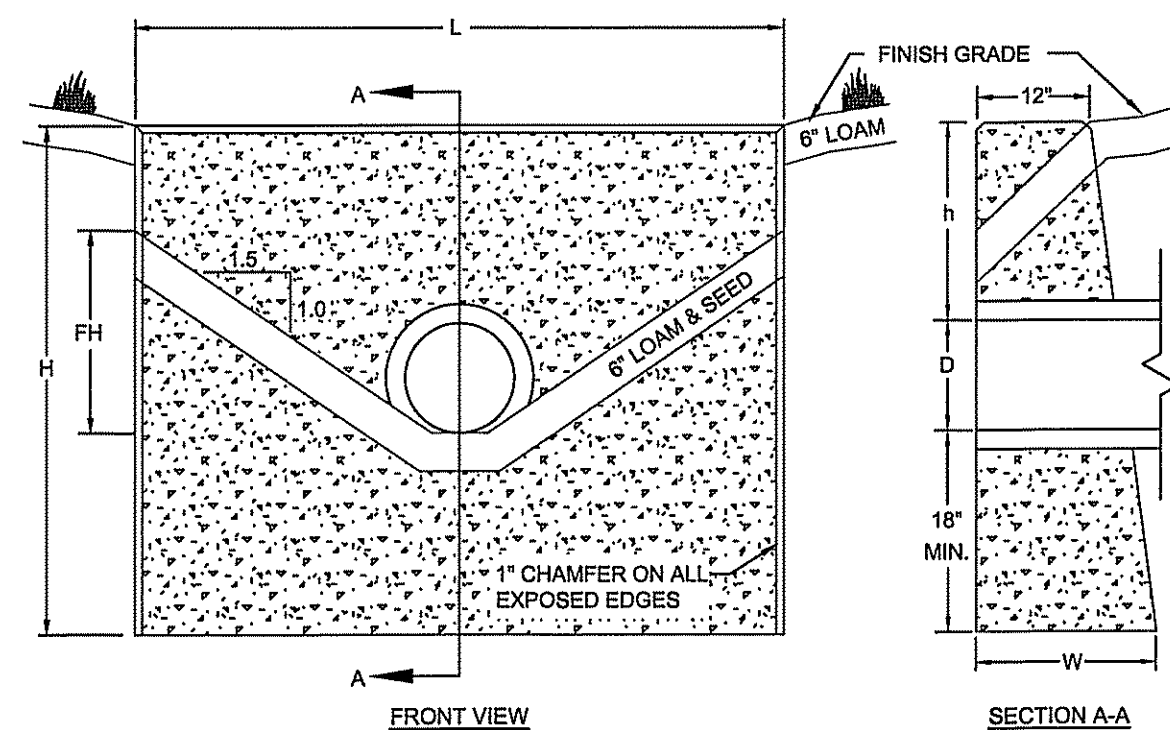


TABLE 1 (RECOMMENDED COVER)		
LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	2 FT.
GRAVEL ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

TABLE 2 (RECOMMENDED TRENCH WIDTH)		
INSIDE DIAMETER	TOTAL WIDTH	
12" TO 24"	OVER 24"	
	I.D. + 24"	2 x I.D.

DRAINAGE TRENCH (TYPICAL)

SCALE: N.T.S.  
1  
DT-2

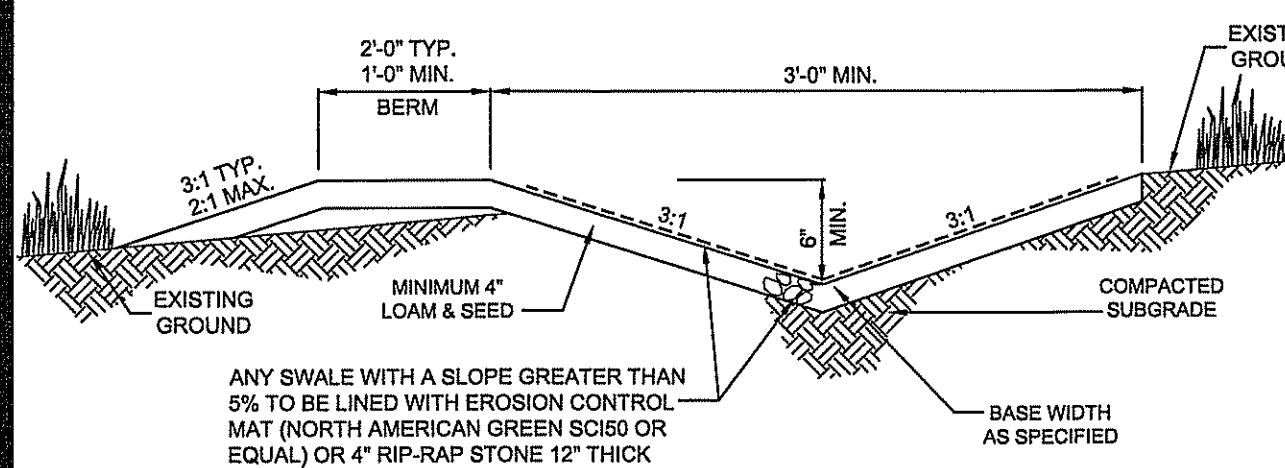


CULVERT DIAM.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	TOP HEIGHT	HEADWALL BOTTOM
D	L	H	FH	h	W
FEET & INCHES					
12	4'-3"	3'-6"	1'-1"	1'-3"	1'-11.25"
15	6'-0"	4'-3"	1'-7"	1'-6"	2'-0.75"
18	7'-0"	4'-6"	1'-10"	1'-6"	2'-1.50"
24	9'-0"	5'-0"	2'-4"	1'-6"	2'-3.00"
30	11'-0"	5'-6"	2'-10"	1'-6"	2'-4.50"
36	13'-0"	6'-0"	3'-4"	1'-6"	2'-6.00"
48	17'-9"	7'-3"	4'-7"	1'-9"	2'-9.75"

HEADWALL SHALL BE STEEL REINFORCED AND CONFORM TO MASSHIGHWAY STANDARD SPECIFICATIONS

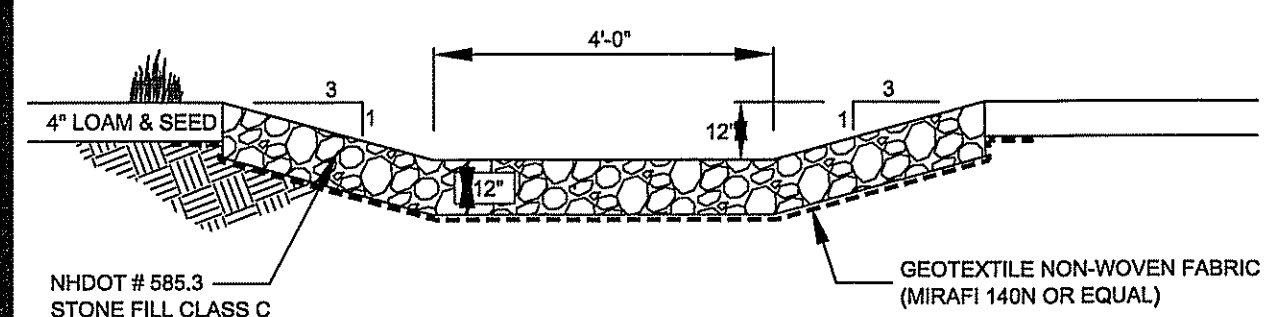
HEADWALL - PRECAST CONCRETE (OR EQUAL)

SCALE: N.T.S.  
2  
DT-2



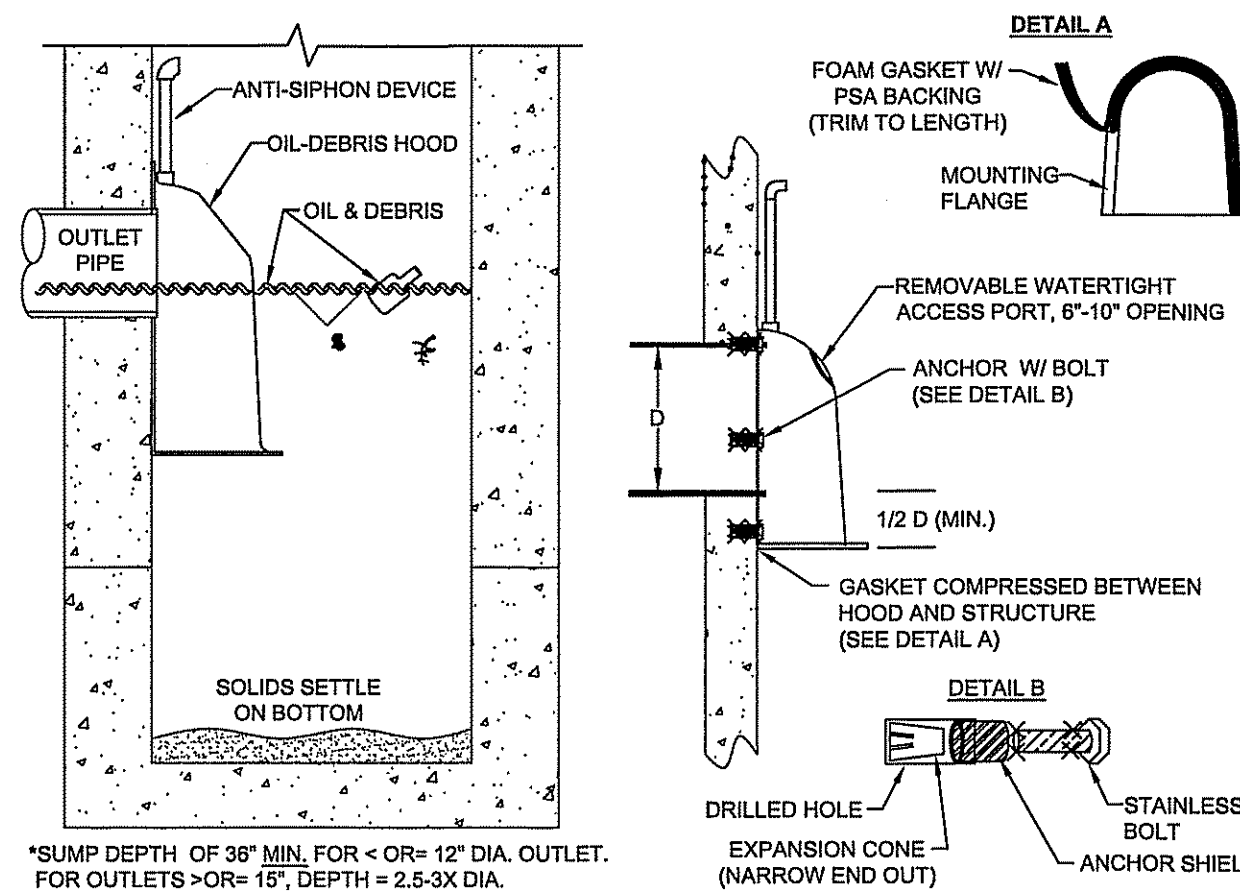
TYPICAL SWALE DETAIL

3  
DT-2



RIPRAP SPILLWAY DETAIL

SCALE: N.T.S.  
4  
DT-2



\*SUMP DEPTH OF 36" MIN. FOR < OR = 12" DIA. OUTLET. FOR OUTLETS > OR = 15", DEPTH = 2.5X DIA.

STRUCTURE OUTLET HOLE SIZE  
11.9" O.D. OR LESS  
12.0"-17.9" O.D.  
18.0"-23.9" O.D.  
24.0"-29.9" O.D.  
30.0"-47.9" O.D.  
48.0"-95.9" O.D.

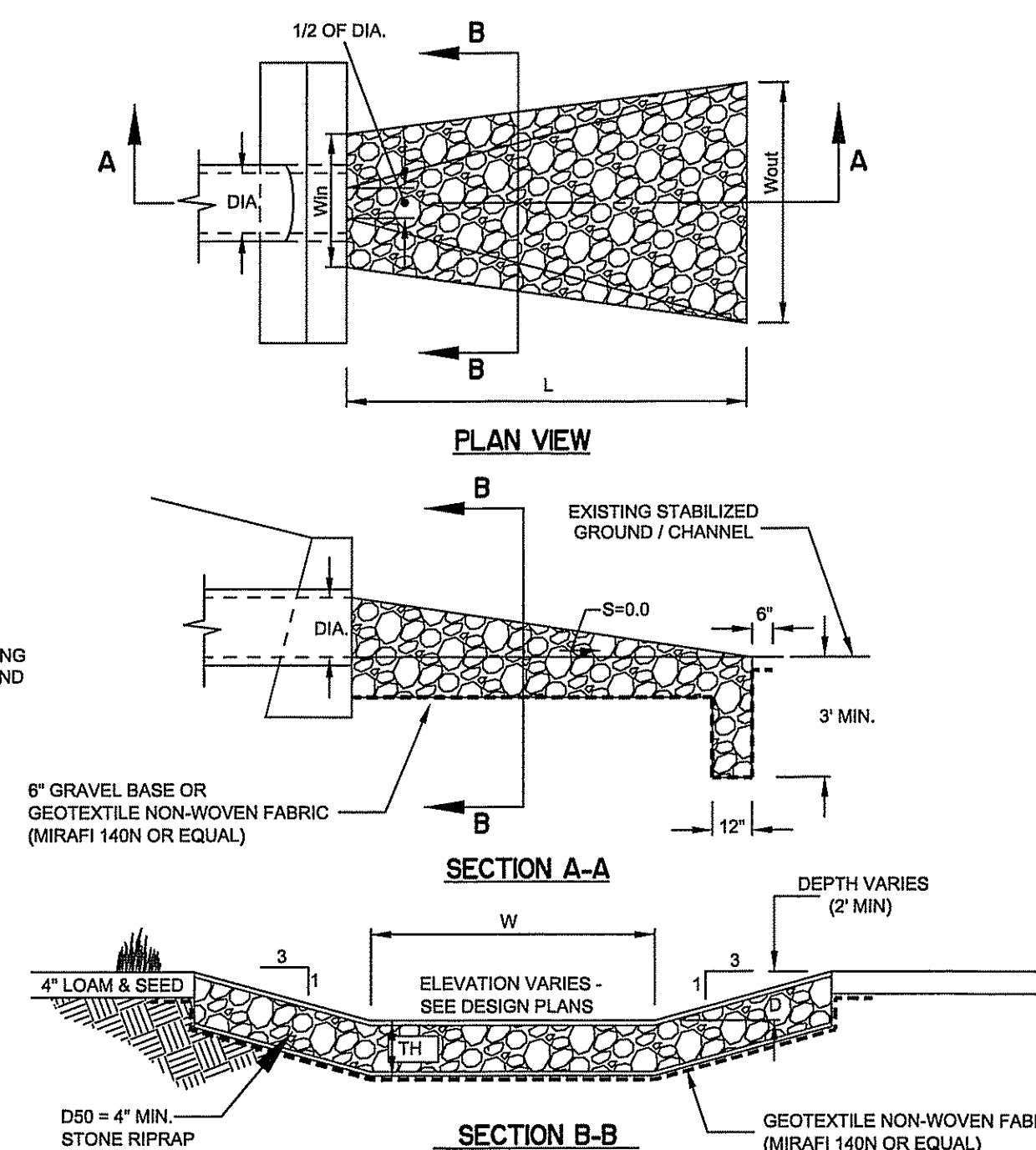
F: FLAT WALL STRUCTURE  
R: ROUND WALL STRUCTURE

NOTES:

- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES < 12" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND THE PIPE SHALL BE TRIMMED FLUSH TO WALL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC., LYME, CT OR EQUAL.

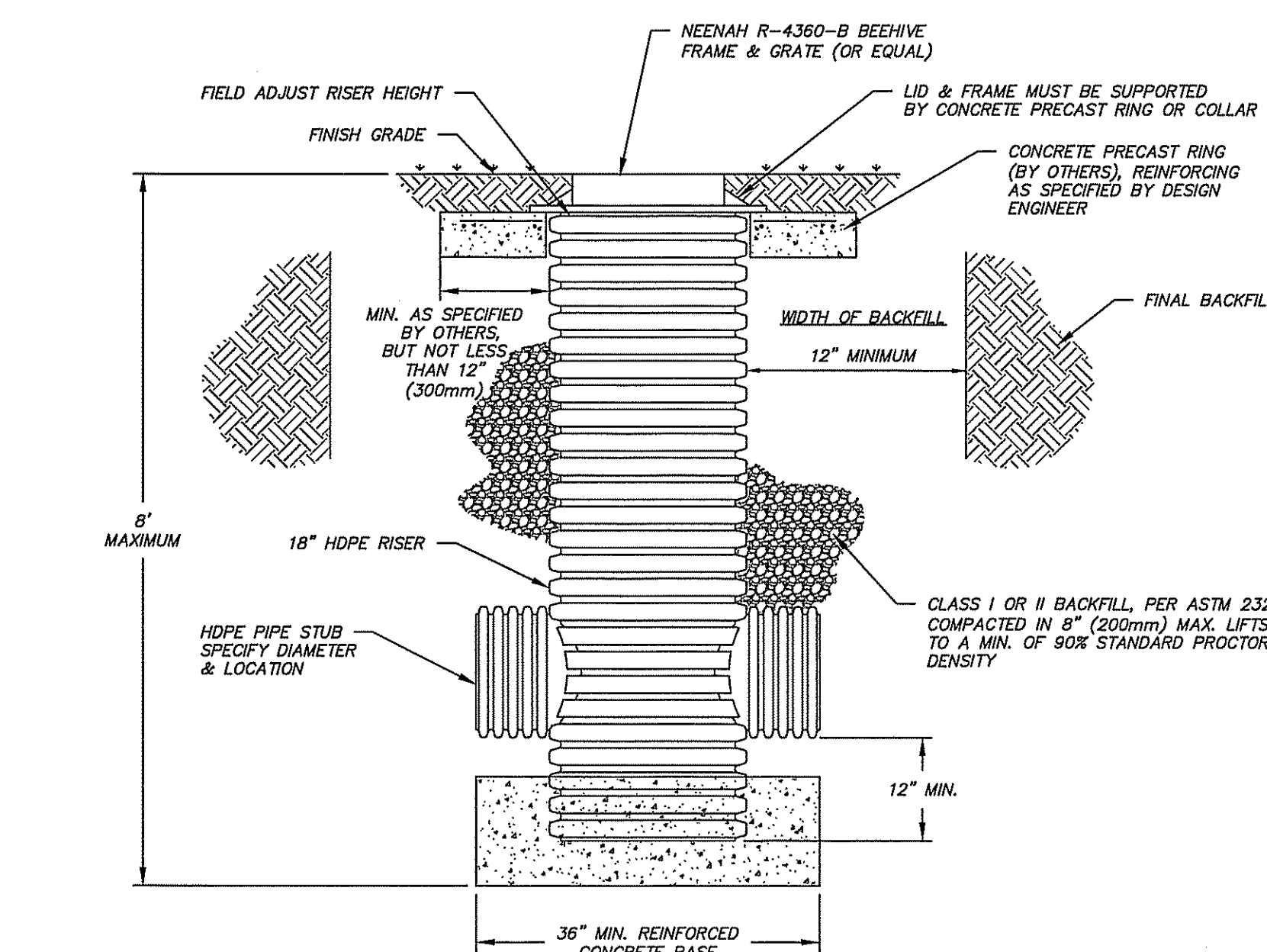
OIL-DEBRIS HOOD

(OR APPROVED EQUAL)  
5  
DT-2



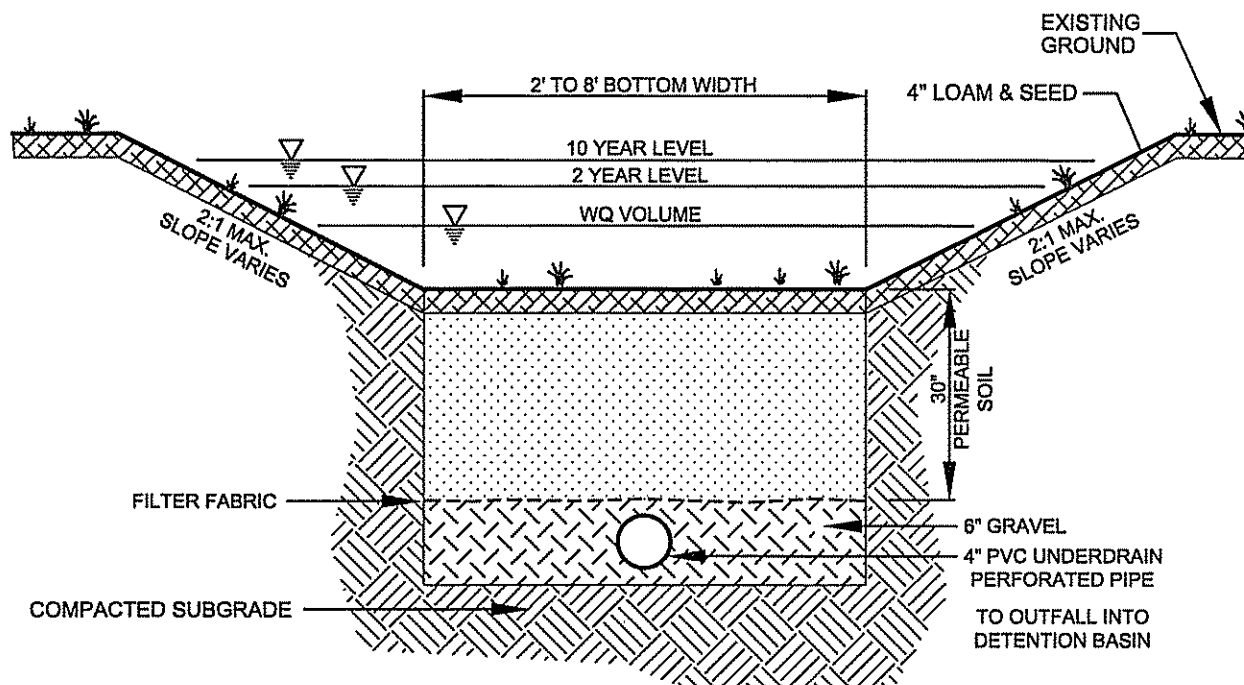
RIP-RAP OUTLET PROTECTION

SCALE: N.T.S.  
6  
DT-2



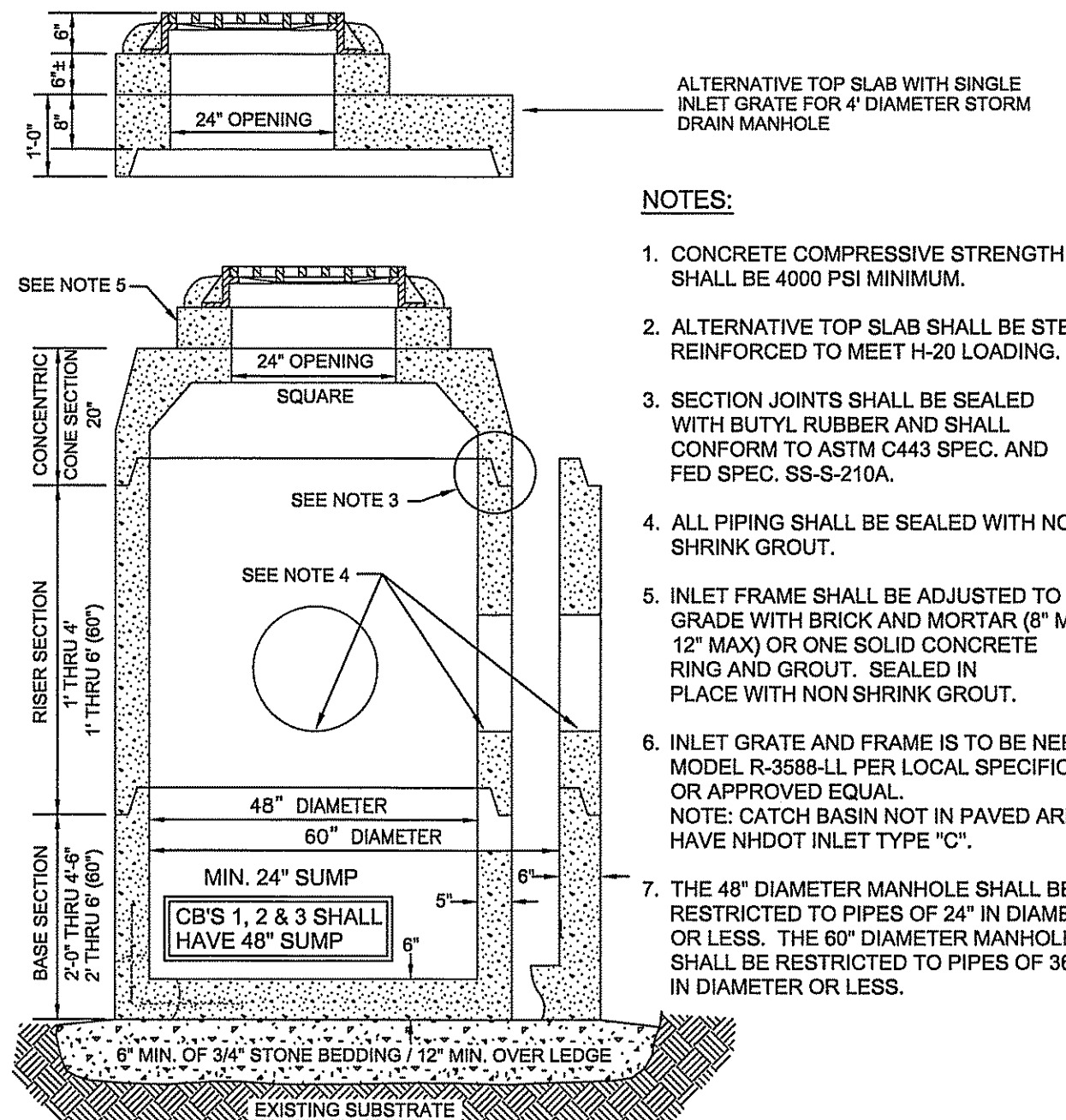
HDPE CATCH BASIN

(OR APPROVED EQUAL)  
7  
DT-2



WATER QUALITY SWALE (DRY SWALE)

SCALE: N.T.S.  
9  
DT-2



CATCH BASIN

SCALE: N.T.S.  
10  
DT-2

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- THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
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- ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
- ALL DRAINAGE STRUCTURES SHALL CONFORM TO MADOT STANDARDS. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO MASS DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
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- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

GENERAL CONSTRUCTION NOTES

NOTE:  
ALL EARTH MATERIALS SHALL MEET MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES.

B	10/20/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	08/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

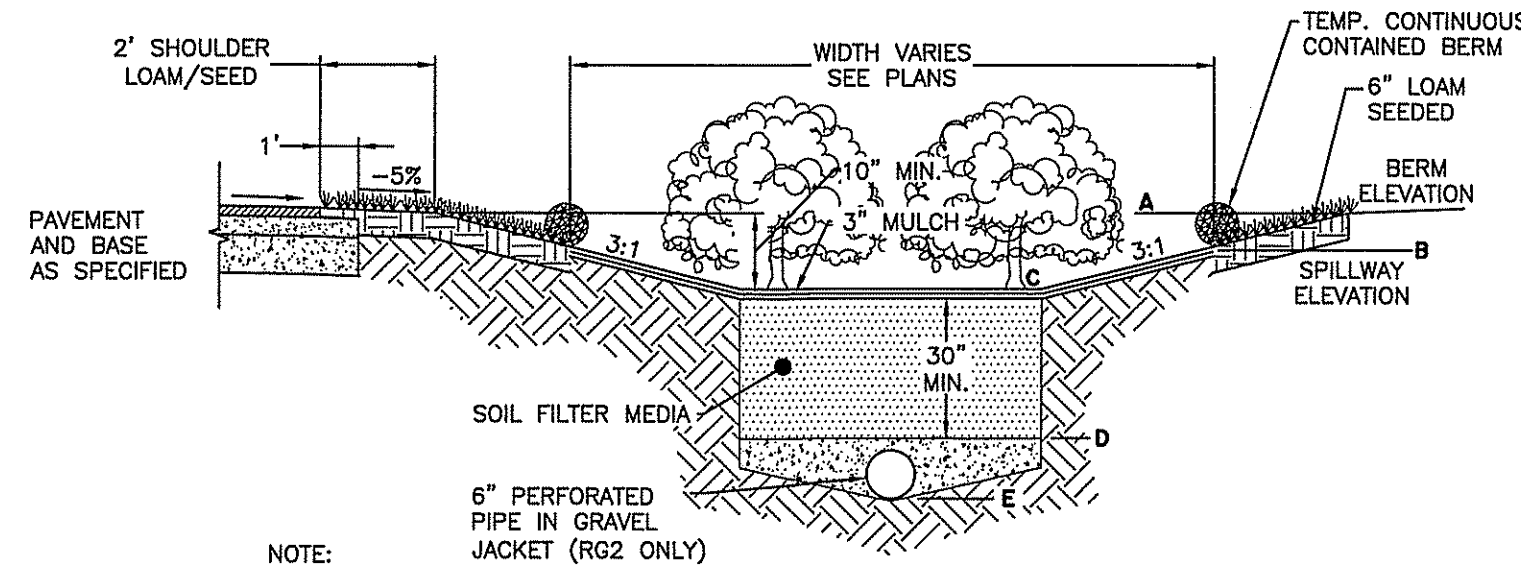
**DRAINAGE DETAILS**  
**PARKER HILL**  
**DEFINITIVE SUBDIVISION**  
**TAX MAP PARCEL 34-8A - 2 PARKER STREET**  
**NEWBURYPORT, MASSACHUSETTS**  
**PREPARED FOR AND LAND OF (34-8-A):**  
**PARKER 2 REALTY TRUST**  
**160 BRIDGE ROAD, SALISBURY, MA 01952**

SCALE: AS SHOWN  
AUGUST 14, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

**FIELDSTONE**  
**LAND CONSULTANTS, PLLC**  
206 Elm Street, Milford, NH 03055  
Phone: (603)-413-5456 Fax: (603)-413-5456  
www.FieldstoneLandConsultants.com





NOTE:

- DO NOT PLACE RAIN GARDEN SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING DRAINAGE AREA(S) HAVE BEEN FULLY STABILIZED.
- TO PREVENT DEGRADATION OF INFILTRATION FUNCTION:
  - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
  - DO NOT COMPACT THE EXCAVATION.
  - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAIN GARDEN AREA DURING ANY STAGE OF CONSTRUCTION.

RAIN GARDEN FILTER MEDIA			
COMPONENT MATERIAL	% OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	% BY WEIGHT PASSING STANDARD SIEVE
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5

RAIN GARDEN INVERT INFORMATION					
GARDEN #	ELEVATION				
	A	B	C	D	E
1	32.5	32.2	31.2	27.2	NA
2	30.0	28.5	28.5	25.0	NA

\*\* SEE LANDSCAPE PLAN FOR PLANTINGS

SCALE: N.T.S.

RAIN GARDEN TYPICAL SECTION

9  
DT-1

#### GENERAL SPECIFICATIONS:

- THE CONTRACTOR SHALL AT HIS EXPENSE FURNISH ALL THE MATERIALS, SUPPLIES, MACHINERY, EQUIPMENT, TOOL, SUPERINTENDENT, LABOR, INSURANCE, & OTHER ACCESSORIES AND SERVICES NECESSARY TO COMPLETE THE SAID PROJECT WITHIN THE UNIT COSTS STATED WITHIN THE BID PRICE.
- THE WORK TO BE DONE UNDER THIS CONTRACT IS AS SHOWN AND DESCRIBED ON THE DRAWINGS. EACH BIDDER SHALL MAKE A CAREFUL EXAMINATION OF THE PLANS AND SPECIFICATIONS (THE PLAN SHALL DICTATE QUANTITIES) AND ACQUAINT THEMSELVES WITH ALL CONDITIONS BEFORE MAKING THEIR PROPOSAL. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ERRORS IN THEIR PROPOSAL RESULTING FROM HIS FAILURE TO MAKE SUCH AN EXAMINATION. ALL BIDDERS SHALL VISIT THE SITE AND INFORM THEMSELVES OF ALL CONDITIONS.
- THE BIDS SHALL BE BASED ON MATERIALS AND EQUIPMENT COMPLYING WITH THE DRAWINGS AND THE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT PRICE FOR FURNISHING AND INSTALLING MATERIALS CONFORMING TO THE BID ITEMS. UNDER NO CIRCUMSTANCES MAY A SPECIES 'HYBRID' BE SUBSTITUTED OR SIZE CHANGED WITHOUT WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH EXISTING UTILITIES AS WATER MAINS, SEWER SYSTEMS, GAS MAINS, ELECTRICAL CONDUITS, TELEPHONE LINES AND ANY OTHER UTILITIES AND IF ANY DAMAGE OR DESTRUCTION MAY OCCUR TO THESE UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT AT HIS EXPENSE.
- THE CONTRACTOR SHALL MAKE PAYMENT FOR ALL DAMAGES TO BUILDINGS, STRUCTURES, TREES, SHRUBS AND/OR ANY OTHER PROPERTY OUTSIDE THE CONSTRUCTION AREA OR LOCATED WITHIN THOSE LIMITS BUT NOT DESIGNATED FOR REMOVAL OR RECONSTRUCTED PROVIDING SUCH DAMAGE SHALL RESULT FROM ACCIDENT CAUSED BY NEGLIGENCE FOR WHICH THE CONTRACTOR SHALL BE LEGALLY LIABLE.
- IF ADDITIONAL LABOR AND/OR MATERIALS IS REQUESTED OR REQUIRED, THE CONTRACTOR SHALL SUBMIT A PRICE TO THE OWNER. IF THE OWNER APPROVES THE PRICE THE CONTRACTOR SHALL PREPARE A CHANGE ORDER FOR APPROVAL AND SIGNATURE. THE CONTRACTOR SHALL NOT PROCEED WITHOUT A WRITTEN AUTHORIZATION FROM THE OWNER FOR THE ADDITIONAL WORK. IF THE CONTRACTOR PROCEEDS WITH THE ADDITIONAL WORK WITHOUT AUTHORIZATION THEY SHALL FORFEIT ANY CLAIM FOR ADDITIONAL COMPENSATION.
- THE LANDSCAPE ARCHITECT (L.A.) SHALL RESERVE THE RIGHT TO INSPECT THE PROJECT WORK AT ANY TIME DEEMED NECESSARY TO INSURE THAT THE SPECIFICATIONS AND PLANS AND ANY OTHER CONTRACT DOCUMENTS ARE BEING FOLLOWED.
- THE L.A. SHALL HAVE THE RIGHT TO REJECT ANY PLANT ON-SITE BASED UPON CONDITION, SIZE, OR INCORRECT SPECIES OR HYBRID. THE L.A. MUST BE CONTACTED PRIOR TO INSTALL, TO INSPECT MATERIALS DELIVERED TO THE SITE AND TO INSURE THAT SOIL AMENDMENTS, BARK MULCH, ROOF BALLUST, ETC. ARE TO THE WRITTEN SPECIFICATIONS.
- ALL SEEDS AREAS SHALL RECEIVE A MINIMUM 6" TOPSOIL BLANKET (BY SITE CONTRACTOR) W/SITE PREPARATION, RAKING AND GENERAL CLEAN UP PRIOR TO APPLICATION. OPERATIONS SHALL INCLUDE A PRE-EMERGENCE TYPE HERBICIDE, 12-25-12 GRANULAR FERTILIZER @ 10 LBS/1000 SF, AND FELLETTIZED LIMESTONE @25 LBS/1000 SF POWER RAKED INTO THE TOP 2" OF SOIL PRIOR TO HYDRO-SEEDING. RATIOS & APPLICATION RATES MAY CHANGE BASED UPON THE REQUIRED SOIL ANALYSIS.
- THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A THICK, WEED FREE LAWN. SEED SHALL BE SPREAD @4 LBS /1000 SF. LAWN GERMINATION SHALL BE 95% FREE OF NOXIOUS WEEDS FOR ACCEPTANCE. DEFINE DIFFERENCES IN SEED MIXES (IF APPLICABLE) WITH IRRIGATION FLAGGING UNTIL 2ND MOWING. SITE REVIEW BY L.A. IS REQUIRED.
- REVIEW OF THE INSTALLED IRRIGATION SYSTEM BY THE DESIGNER IS REQUIRED PRIOR TO RELEASE OF FINAL PAYMENT.
- HYDROSEEDING OPERATIONS SHALL BE A ONE PART PROCESS WITH A PAPER FIBER MULCH; A TACKIFIER SHALL BE APPLIED ON ALL SLOPES GREATER THAN 3:1, EXCELSOR DRAINAGE MAT SHALL BE APPLIED TO ALL 2:1 SLOPES AND DRAINAGE SWALES PER PLAN.
- THE CONTRACTOR SHALL MAINTAIN, FROM ACCEPTANCE DATE, THE LAWN AREAS THROUGH THE FIRST MOWING. THE CONTRACTOR IS NOT RESPONSIBLE FOR THE FIRST MOWING.
- ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH A.L.C.G. SPECIFICATIONS AND PER PLAN DETAILS. PER DETAILS DECIDUOUS TREES SHALL BE GUYED IN A TRIPOD FASHION USING PLASTIC CINCH TIES & 2" X 2" X 8' HARDWOOD STAKES; TREES AND SHRUBS SHALL HAVE APPROPRIATE SOIL MIXTURES, FERTILIZER AND SOIL RETENTION GRANULES.
- IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL (VERIFY WITH LANDSCAPE ARCHITECT) PLACED AT THE BASE OF THE PLANT FIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL PLANTING MIXTURE SHALL BE USED TO BACKFILL AS PER SPEC # 22.
- THE LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT TO REJECT AND HAVE GROUND REMOVED ANY PLANT MATERIAL NOT OF PROPER SIZE OR OF WEAK QUALITY, I.E. THIN, NO LOWER BRANCHING, ETC. CONTRACTOR MUST SUBMIT SHIPPING LISTS (BILLING INVOICES) FOR VERIFICATION, PRIOR TO INSTALLATION.

#### GENERAL PLANTING NOTES

SCALE: N.T.S.

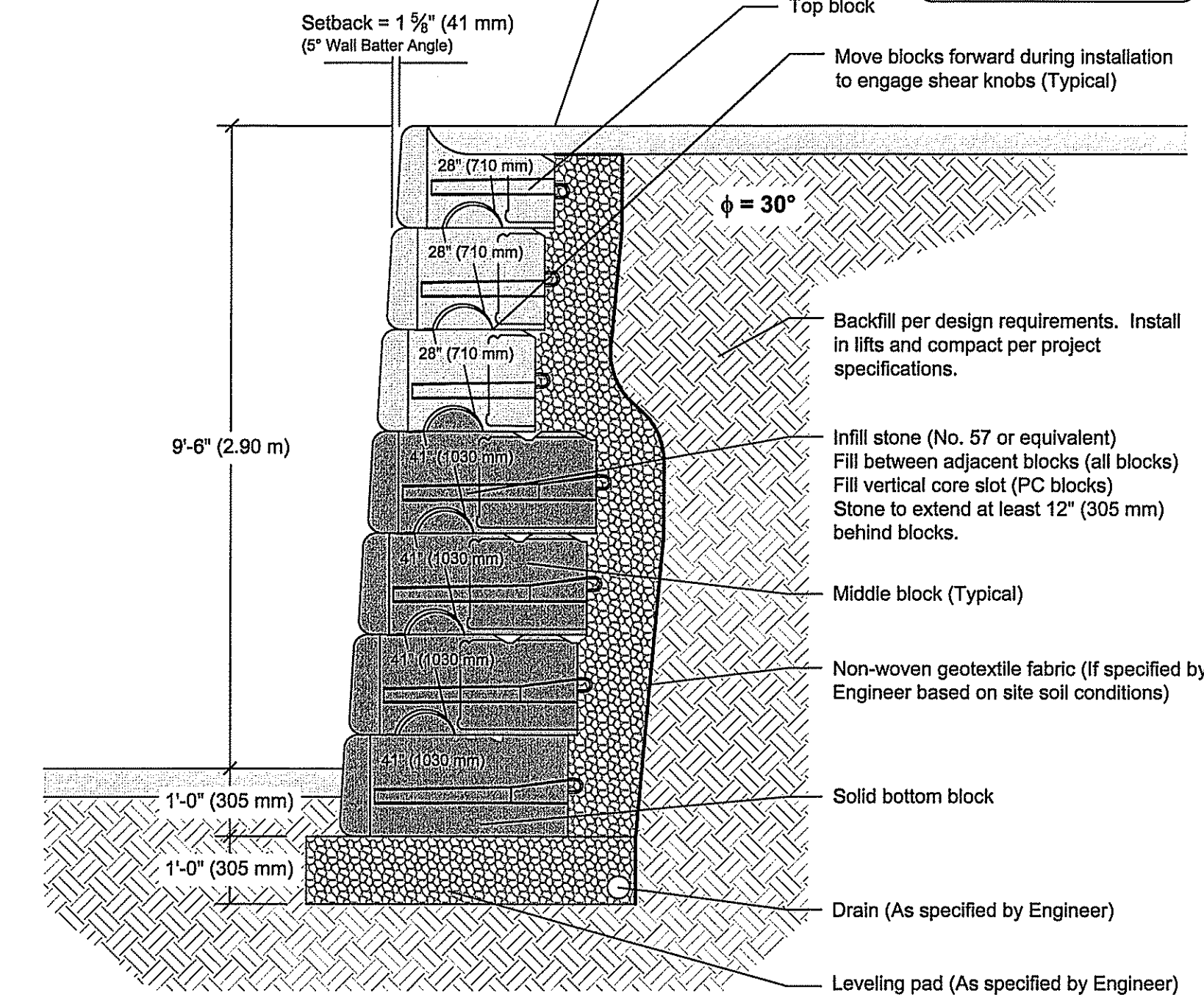
3

DT-3

#### 7 BLOCK HIGH SECTION

(3) 28" (710 mm) Blocks

(4) 41" (1030 mm) Blocks



This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site. Final wall design must address both internal and external drainage and all modes of wall stability.

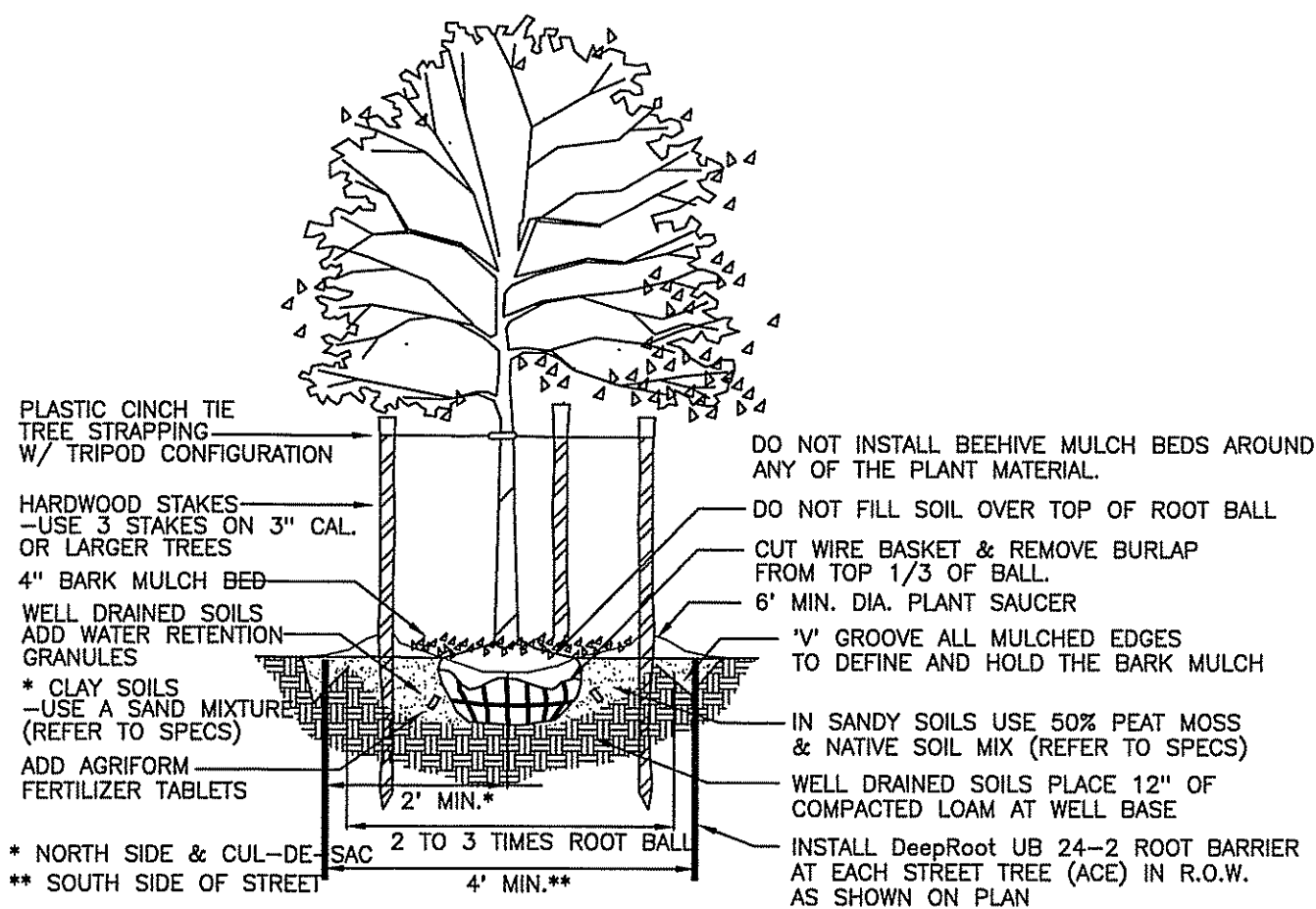
\*\*DESIGN BY OTHERS\*\*

SCALE: N.T.S.

TYPICAL SECTION SEGMENTAL RETAINING WALL

2

DT-3



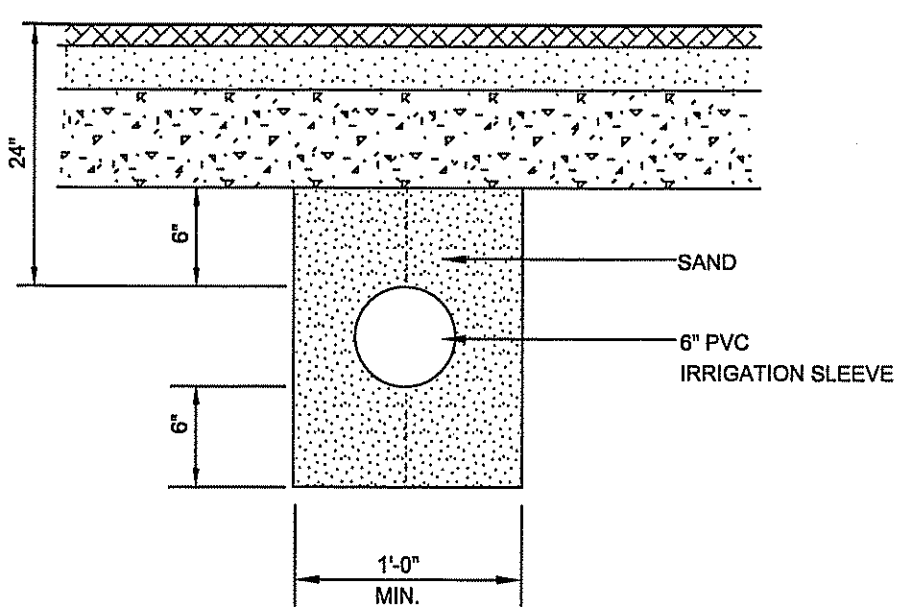
NOTE: ALL PYRAMIDAL EVERGREENS & DECIDUOUS TREES SHALL BE PLANTED W/ ROOTS HORMONE ENHANCER.

SCALE: N.T.S.

DECIDUOUS TREE PLANTING DETAIL

4

DT-3



SCALE: N.T.S.

IRRIGATION SLEEVE

5

DT-3

17. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW A HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTY DOES NOT COVER LOSS DUE MECHANICAL DAMAGE, I.E. SNOW STORAGE. CONTRACTOR SHOULD PROTECT SUSCEPTIBLE SPECIES FROM INSECT INFESTATION. USE A LIQUID SYSTEMIC APPLICATION ON BIRCH, ETC.

18. PLANT BEDS AND SAUCERS VARY IN DIA. (REFER TO DWG). TREES AND SHRUBS SHALL RECEIVE A 4" COVERING OF PINE/HEMLOCK BARK MULCH; SAUCER DIAMETERS PER DRAWING & DETAILS. DECIDUOUS TREES SHALL HAVE A 6" DIA. SAUCER (TYP.), EVERGREEN TREES SHALL HAVE A SAUCER 2" MIN. BEYOND ITS OUTER BRANCHES. ALL EDGES SHALL HAVE A 'V' GROOVE.

20. ALL B&B MATERIAL WHICH ARE ENCASED IN WIRE BASKETS SHALL HAVE THE WIRES CUT LOOSE AND THE TOP THIRD REMOVED PRIOR TO BACKFILL OPERATION.

21. IF ROAD BASE IS ENCOUNTERED IN ANY PLANT BED AREAS, I.E. PARKING ISLANDS, IT SHALL BE REMOVED AND SUITABLE AMENDED SOIL INSTALLED PER DRAWINGS AND SPECIFICATIONS.

22. SOIL PLANTING MIXTURE SHALL BE A 6% TO 10% ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, & 30% PEATMOSS (OR INCORPORATE ALL GRO OR A SIMILAR DEHYDRATED COMPOST MATERIAL). IF PLANTING IN SAND, GRAVEL OR OTHER WELL DRAINED SOILS, A 50% PEATMOSS TO EXCAVATED SOIL, OTHER SOIL AMENDMENTS SHALL INCLUDE: AGRIFORM TABLETS, HYDRO-GEL OR EQUAL, AND ROOTS GROWTH ENHANCER TO ALL TREES AND SHRUBS LISTED, PER MANUFACTURERS SPECIFICATIONS. ALL PLANT MATERIAL PITS WILL RECEIVE A MIN. 20% IN VOLUME MIX OF ALL-GRO SOIL AMENDMENT. SUBMITTAL REQUIRED. 'ROOTS' STEP 1 CAN BE SUBSTITUTED FOR THE INDIVIDUAL SUPPLEMENTS. INSTALL PER MANUFACTURER'S SPECS.

23. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR TOPSOIL SPREADING BUT SHALL COORDINATE WITH THE SITE CONTRACTOR ADHERENCE TO THE MOUND GRADES, PLANT BED SOIL DEPTHS AND SOIL TYPE PER DWGS & SPEC. LANDSCAPE CONTRACTOR SHALL POWER RAKE-OUT FOR SEED.

24. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A SOIL ANALYSIS OF THE TOPSOIL PLANTING MIXTURE. ANALYSIS TO SHOW SOIL CLASSIFICATION (MIN. SANDY LOAM) AND NUTRIENTS.

25. THE CONTRACTOR SHALL PROTECT ALL B&B MATERIALS LEFT ABOVE GRADE PRIOR TO INSTALLATION FROM DRYING OUT. ALL PLANTS SHALL BE STORED, COVERED IN MULCH, AND IRRIGATED UNTIL PLANTED. ANY PLANT LEFT ON THE GROUND AND WHOSE OUTER BALL SURFACE DRIES OUT, SHALL BE REJECTED BY THE LANDSCAPE ARCHITECT. PLANTS SHOULD BE STORED IN SHADE AND OFF PAVEMENT.

26. THE CONTRACTOR SHALL ALERT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES EXIST BETWEEN THE PLAN, THE MATERIAL LIST, AND AS-BUILT SITE CONDITIONS.

27. INSTALLER SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO PLANTING, TO REVIEW PLANT LOCATIONS AND BEDLINE CONFIGURATIONS. IF CONTRACTOR INSTALLS WITHOUT THE PLACEMENT APPROVAL OF THE L.A., SAID ARCHITECT SHALL HAVE THE RIGHT TO RELOCATE ANY INSTALLED PLANTS AT THE CONTRACTOR'S EXPENSE.

28. THE INSTALLER SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION TO REVIEW ALL MATERIALS. ANY PLANTS OF POOR CONDITION, IMPROPER SIZE, OR SPECIES WILL BE REJECTED.

29. UPON ONE YEAR REVIEW, CONTRACTOR SHALL REMOVE ALL GUYS & STAKES AND/OR STRAIGHTEN ANY TREES THAT HAVE SHIFTED. ANY WEAK OR BARE SPOTS IN LAWN SHALL BE RESEED.

31. ALL BEDLINES SHALL HAVE A DEEP 'V' GROOVE TO DEFINE LAWN TO MULCH EDGE. NO 'BEEHIVE' MOUNDING OF MULCH IS ALLOWED, ALSO KEEP MULCH AWAY FROM BASE OF PERENNIALS.

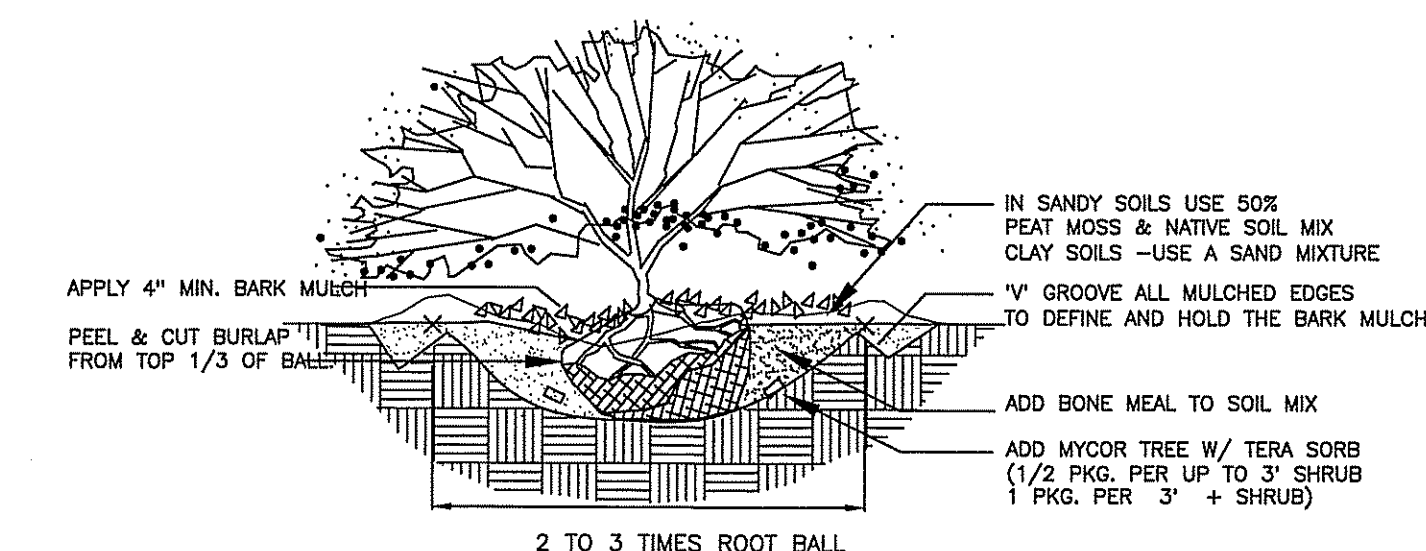
32. DO NOT PLANT MATERIALS TOO CLOSE TO THE EDGE OF BEDLINES. REFER TO DRAWINGS FOR CENTER OF PLANT TO BEDLINE. AT A MINIMUM NO OUTER BRANCHING OF A SHRUB OR PERENNIAL SHALL BE CLOSER THAN TWO FEET FROM THE BEDLINES. IF THE AS-BUILT DOES NOT COMPLY CONTRACTOR SHALL ADJUST THE PLANT LOCATION OR BEDLINE AT HIS EXPENSE.

33. ANY ITEMS NOT COMPLETED TO THE SPECIFICATIONS WILL BE REQUIRED AT CONTRACTORS EXPENSE PRIOR TO FINAL APPROVALS AND PAYMENT. THE CONTRACTOR IS TO BID THE WORK ACCORDING TO THE SPECIFICATIONS AND NOT TO WHAT THEY MAY DO UNDER THEIR STANDARD PRACTICES. SPECIAL ATTENTION WILL BE PAID TO SOILS, AMENDMENTS, GUY STAKES, BEDLINE & SAUCER CONFIGURATIONS, SEED MIXTURES, ETC.

SCALE: N.T.S.

3

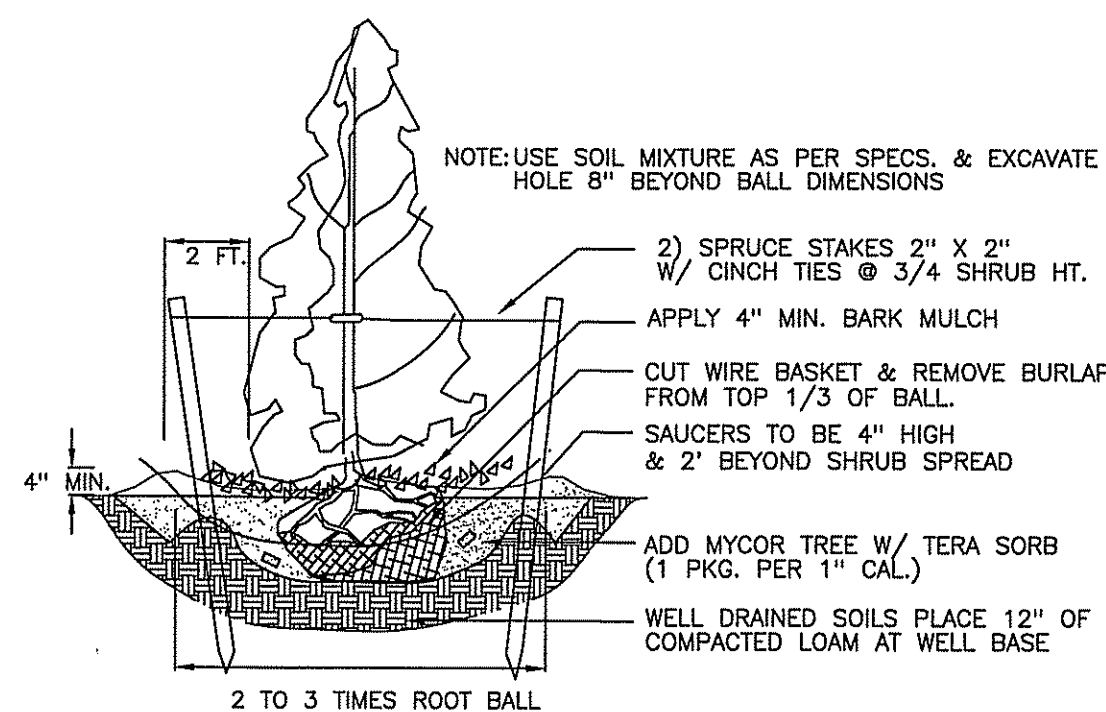
DT-3



SCALE: N.T.S.

6

DT-3



NOTE: ALL PYRAMIDAL EVERGREENS & DECIDUOUS TREES SHALL BE PLANTED W/ MYCOR TREE TRANSPLANT.

SCALE: N.T.S.

EVERGREEN TREE PLANTING DETAIL

7

DT-3

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B	10/20/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	08/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

#### DRAINAGE & LANDSCAPING DETAILS

## PARKER HILL DEFINITIVE SUBDIVISION

TAX MAP PARCEL 34-8A - 2 PARKER STREET

NEWBURYPORT, MASSACHUSETTS

PREPARED FOR AND LAND OF (34-8-A):

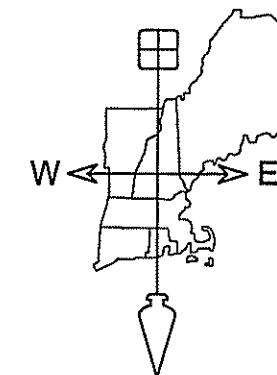
PARKER 2 REALTY TRUST

160 BRIDGE ROAD, SALISBURY, MA 01952

SCALE: AS SHOWN

AUGUST 14, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



**FIELDSTONE**  
LAND CONSULTANTS, PLLC

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www.FieldstoneLandConsultants.com



EROSION CONTROL (GENERAL CONSTRUCTION)

1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
4. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
5. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
6. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
7. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
8. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURED:
  - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - C. A MINIMUM OF 5-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
  - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
9. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL). UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC160, OR APPROVED EQUAL.
10. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
11. ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 4 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

PERMANENT SEED (LAWN AREAS) POUNDS / 1,000 SQUARE FEET

CREeping RED FESCUE	0.92 LBS
PERENNIAL RYEGRASS	1.15 LBS
KENTUCKY BLUEGRASS	0.58 LBS
REDTOP	0.12 LBS

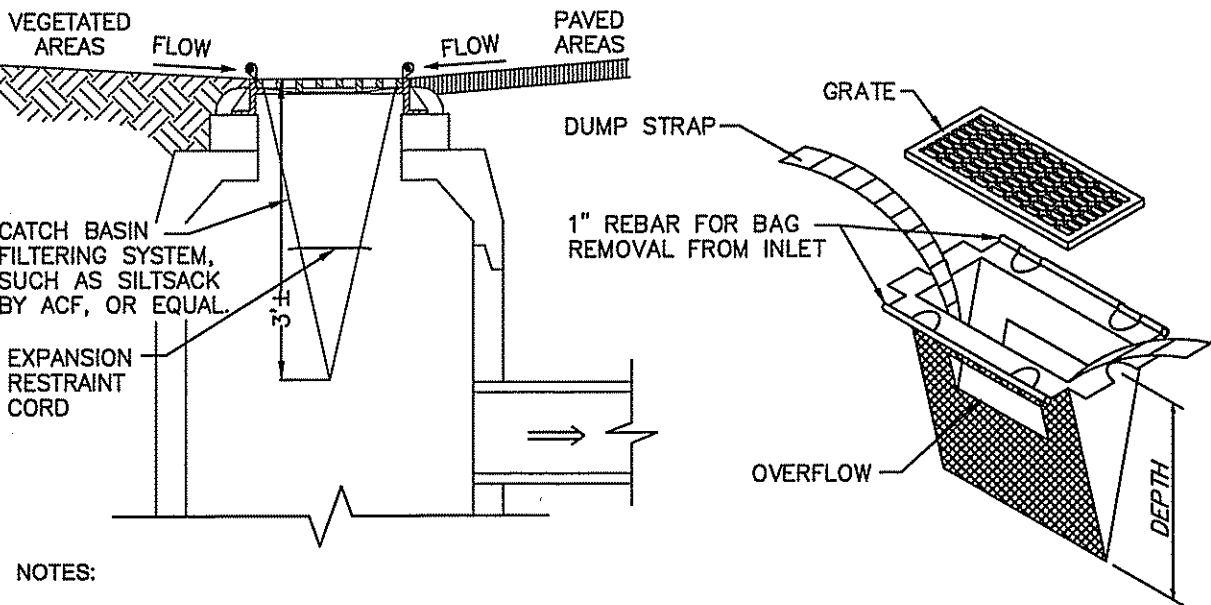
\*\*APPLICATION RATE TOTALS 2.8 LBS PER 1,000 SF\*\*

2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
- CAUTION SHOULD BE TAKE WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
3. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
4. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE.
5. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
6. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.

EROSION CONTROL (WINTER CONSTRUCTION)

1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

EROSION CONTROL NOTES



NOTES:

1. INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
2. TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
3. THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
4. THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURERS RECOMMENDATIONS.
5. REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAYING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

SILT SACK SEDIMENT FILTER

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

ROUTINE INSPECTIONS

1. THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMP'S DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE BUT ARE NOT LIMITED TO:

1. CLEANING OF CATCH BASINS TWICE A YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
2. CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE A YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
3. IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED ON WEEKLY INSPECTIONS.
4. REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES, WATTLES AND / OR HAY BALE BARRIERS.
5. REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE / DETENTION BASINS.
6. RECONSTRUCTING THE STABILIZED CONSTRUCTION ENTRANCE IF NOT WORKING PROPERLY.
7. TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORM WATER MANAGEMENT AREA.

GOOD HOUSEKEEPING PRACTICES

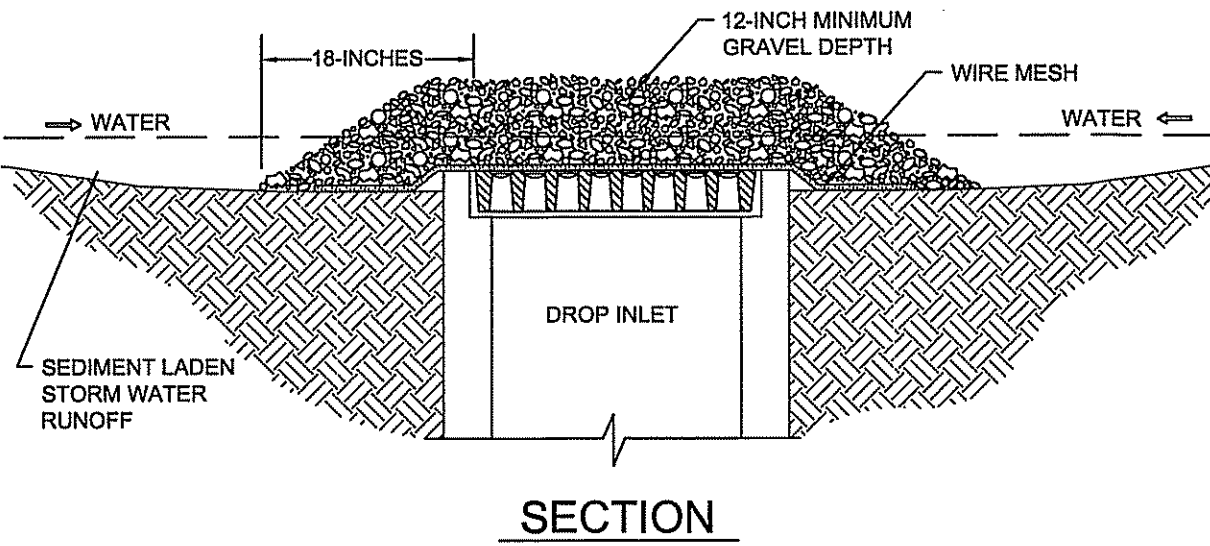
THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING THE CONSTRUCTION OF THE PROJECT:

- A. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT TO DO THE JOB.
- B. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS, AND IS POSSIBLE UNDER A ROOF OR ENCLOSURE.
- C. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURERS LABELS.
- D. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
- E. MANUFACTURERS RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
- F. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND PRACTICES

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. MATERIALS AND EQUIPMENT WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

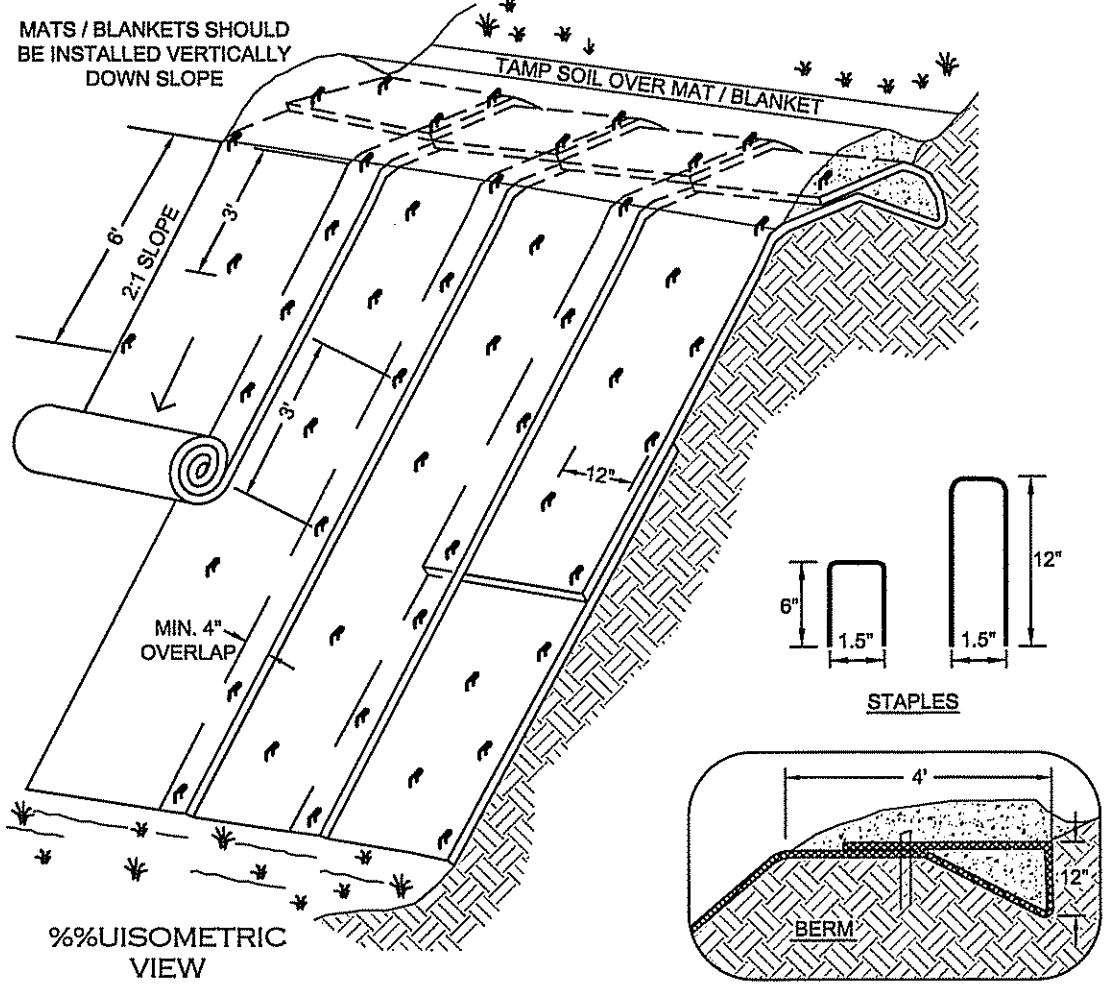
SITE MAINTENANCE AND INSPECTION PROGRAM



NOTE:

1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS (LESS THAN 5%).
2. THIS TYPE OF BARRIER HAS NO OVERFLOW PROVISION, WILL RESULT IN PONDING IF THE SEDIMENT IS NOT REMOVED REGULARLY AND SHOULD THEREFORE NOT BE USED WHEN OVERFLOW MAY ENDANGER DOWN SLOPE AREAS.
3. THE WIRE MESH SHOULD BE PLACED OVER THE DROP INLET SO THAT THE ENTIRE OPENING AND A MINIMUM OF 12-INCHES AROUND THE OPENING ARE COVERED BY THE MESH.
4. THE WIRE MESH SHOULD BE HARDWARE CLOTH OR WIRE WITH OPENINGS UP TO ONE HALF INCH.
5. THE GRAVEL FILTER SHOULD BE CLEAN COARSE AGGREGATE.
6. THE GRAVEL SHOULD EXTEND AT LEAST 18-INCHES ON ALL SIDES OF THE DRAIN OPENING AND SHALL BE AT LEAST 12-INCHES IN DEPTH.
7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE STRUCTURE, CLEANED AND REPLACED.

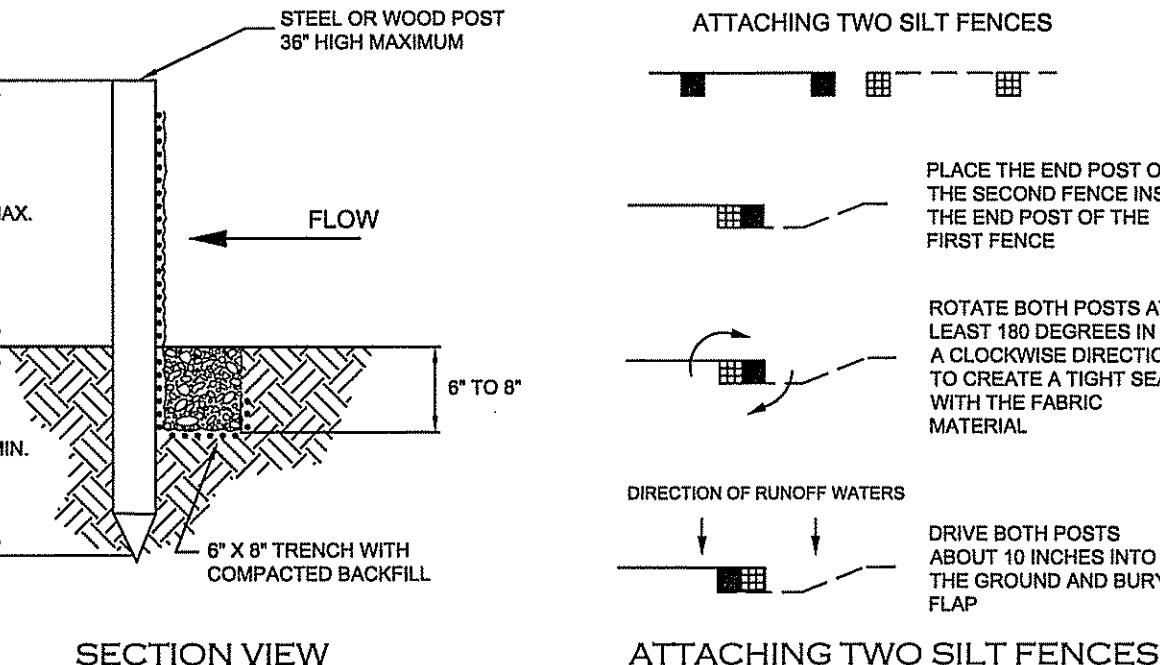
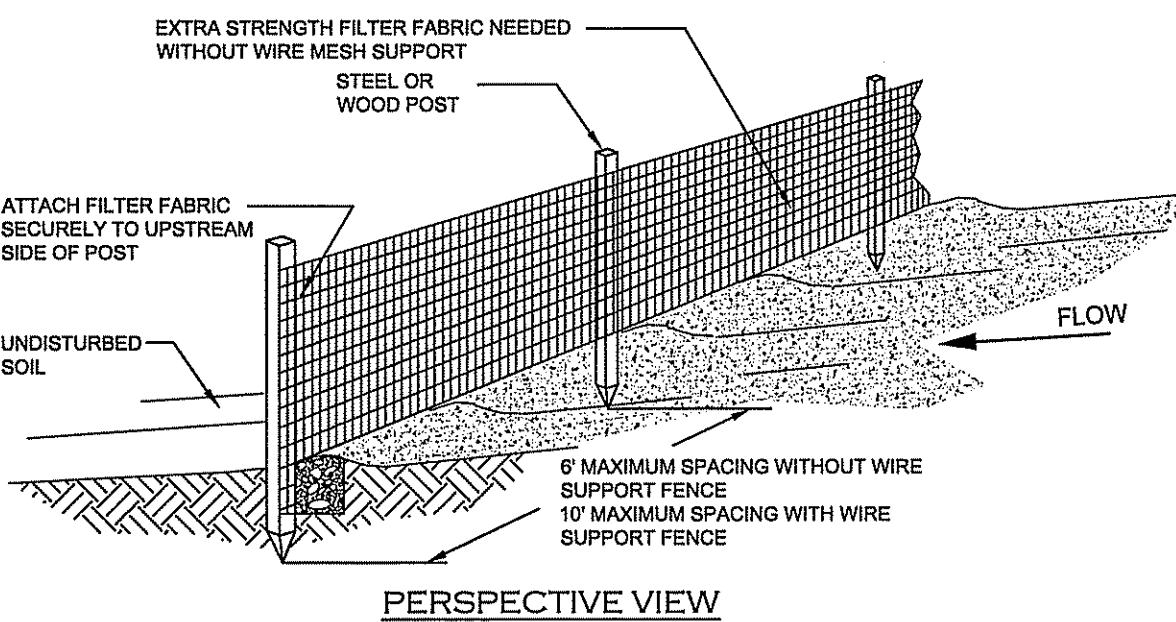
GRAVEL & WIRE MESH SEDIMENT BARRIER



NOTES:

1. DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES: DEVICE SHOULD BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
2. INSTALL STRAWCOCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN SC160 OR EQUAL ON ALL SLOPES EXCEEDING 3' HORIZ : 1' VERT.
3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 6 INCH.
4. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
5. APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
6. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY USING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
7. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
8. IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
9. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE RESEEDING, RESEEDING AND REMULCHED AS DIRECTED.

EROSION BLANKETS - SLOPE INSTALLATION

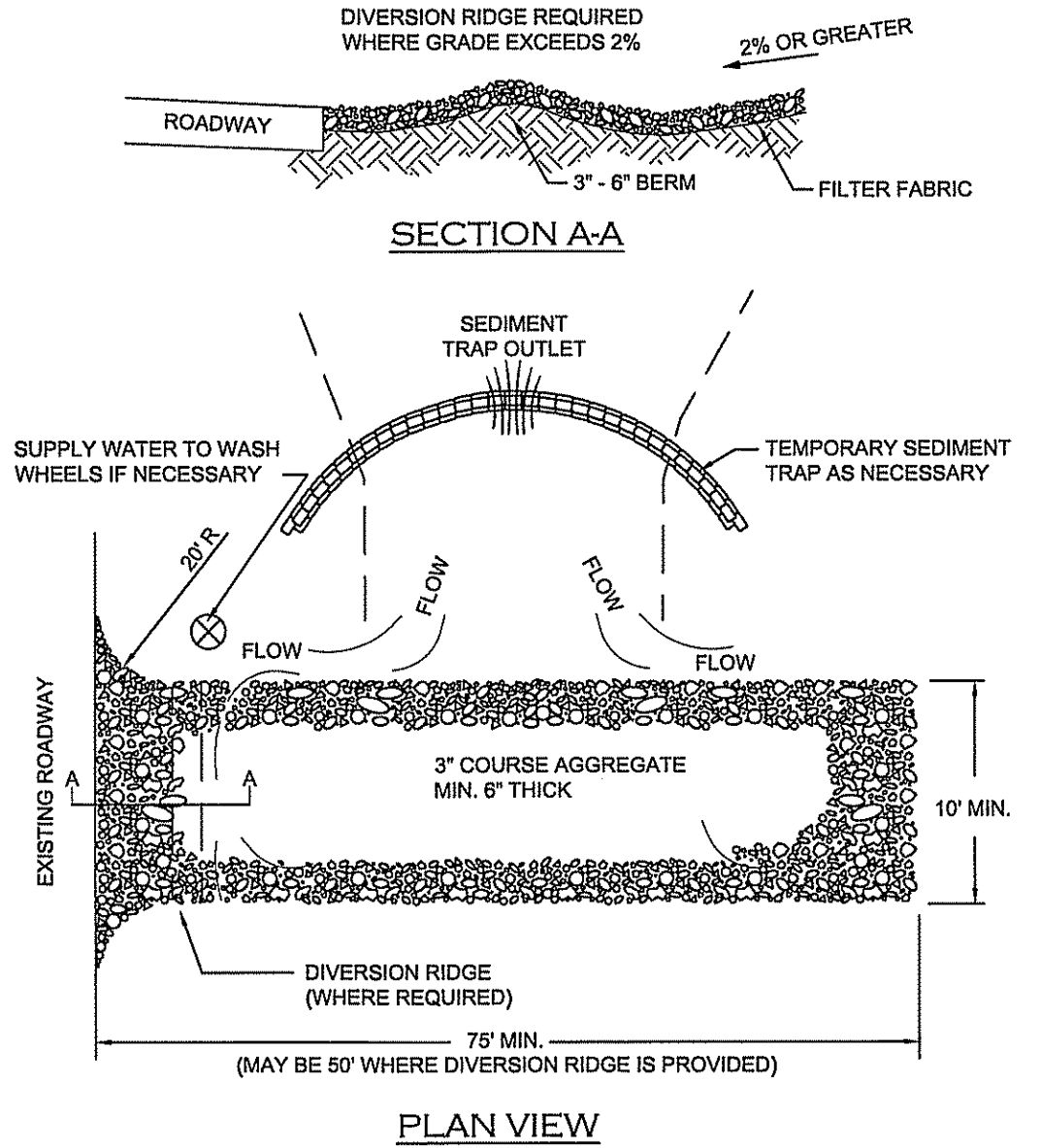


SECTION VIEW

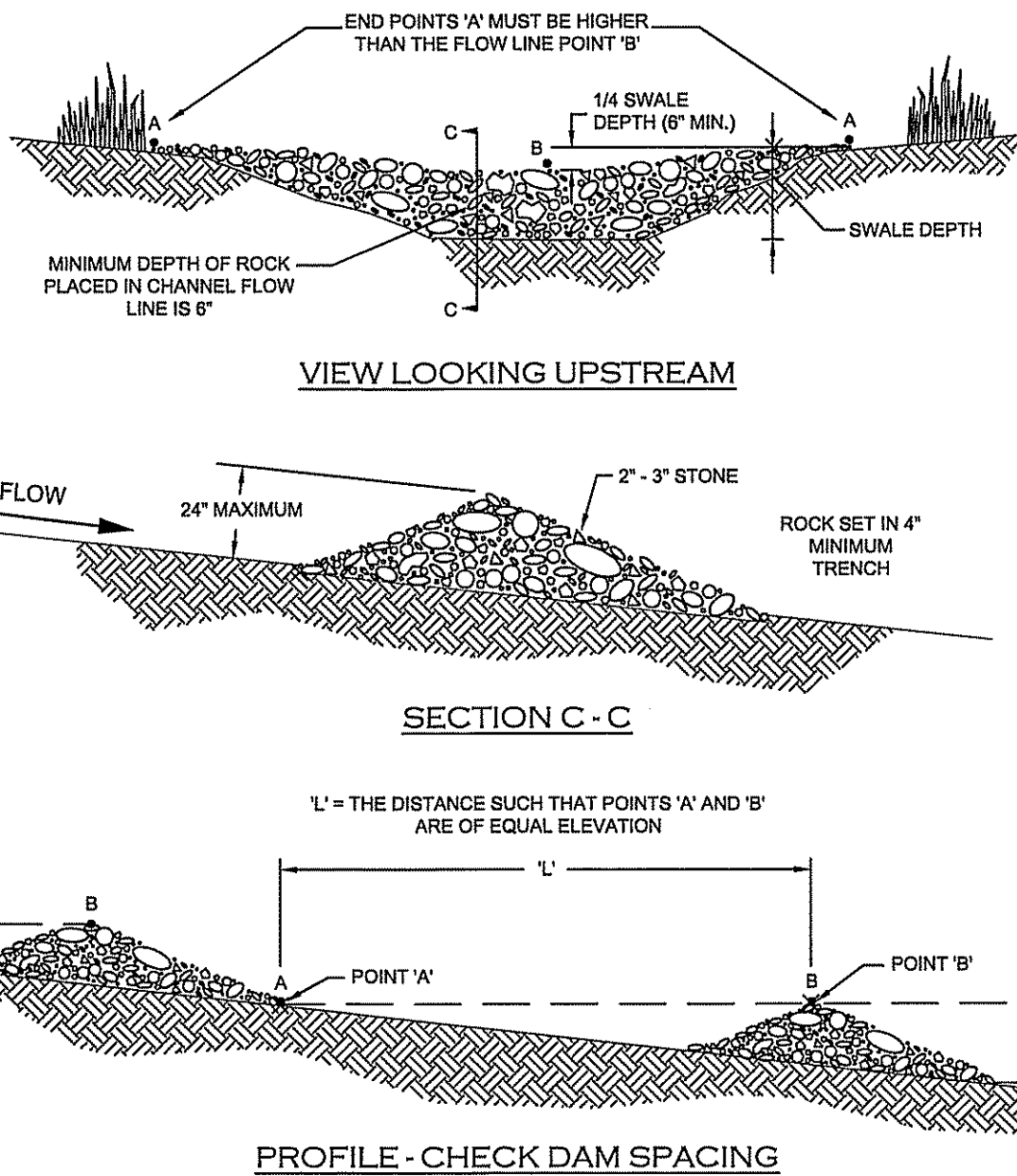
NOTES:

1. SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
2. SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
3. IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
4. SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
5. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
6. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
7. SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE



GRAVEL CONSTRUCTION EXIT



NOTES:

1. STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
3. STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
4. STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPSLOPE FACE IS RECOMMENDED FOR BETTER FILTERING.
5. WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
6. STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
3. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AND THE ENTRANCE OF THE PROJECT SITE.
4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
5. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
6. THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
7. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
8. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
9. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
10. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
11. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT. SEE NOTES ERO-03.

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF NEWBURYPORT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING OR NOT SHOWN UTILITIES. THE CONTRACTOR SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4877 IN NH, 1-888-344-7233 IN MA).
5. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
6. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
7. ALL DRAINAGE STRUCTURES SHALL CONFORM TO MA02D STANDARDS. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO MASS DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

GENERAL CONSTRUCTION NOTES

NOTE:  
ALL EARTH MATERIALS SHALL MEET MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES.

B	10/20/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	08/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

EROSION CONTROL DETAILS

PARKER HILL  
DEFINITIVE SUBDIVISION

TAX MAP PARCEL 34-8A - 2 PARKER STREET  
NEWBURYPORT, MASSACHUSETTS

PREPARED FOR AND LAND OF (34-8-A),  
PARKER 2 REALTY TRUST  
160 BRIDGE ROAD, SALISBURY, MA 01952

SCALE: AS SHOWN

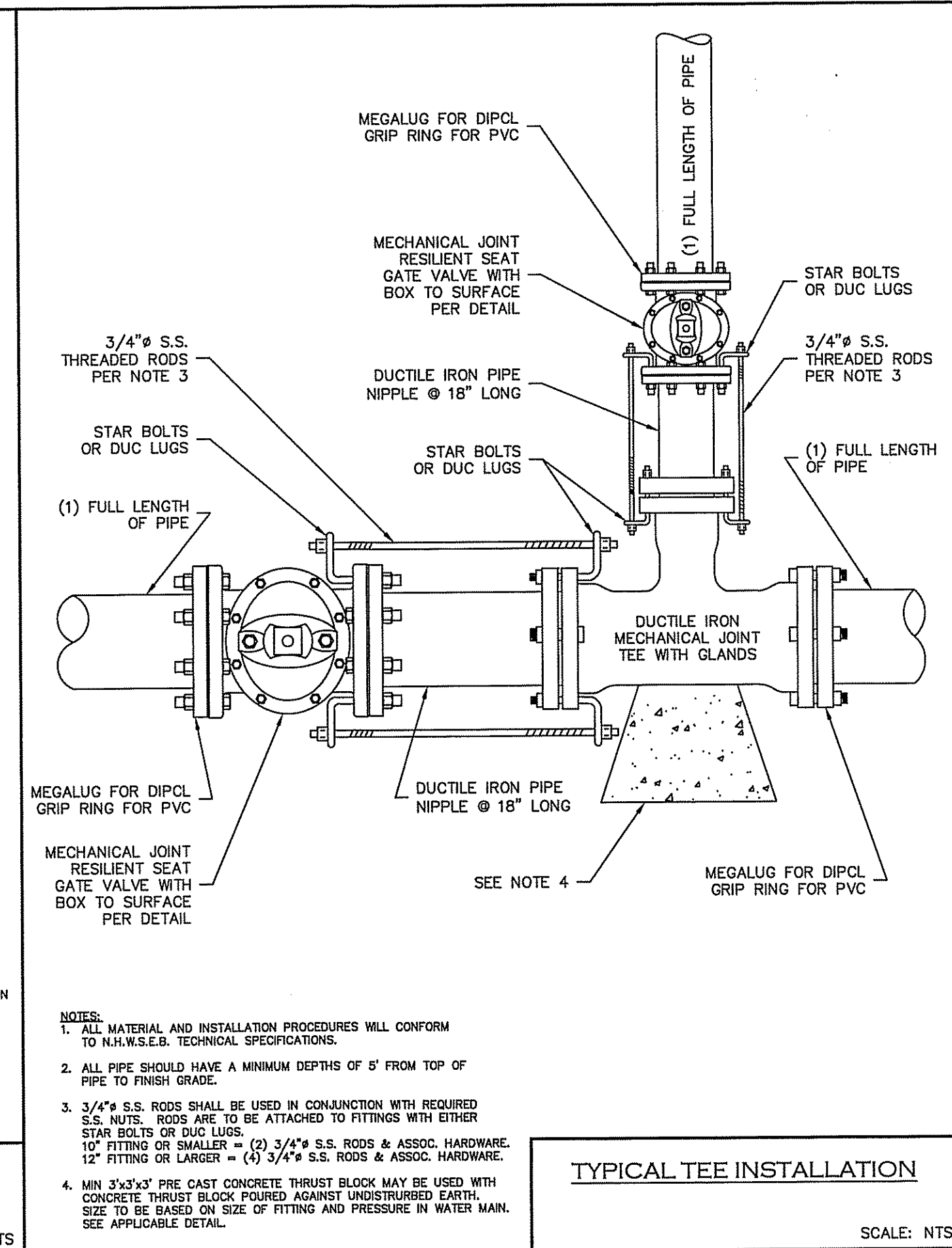
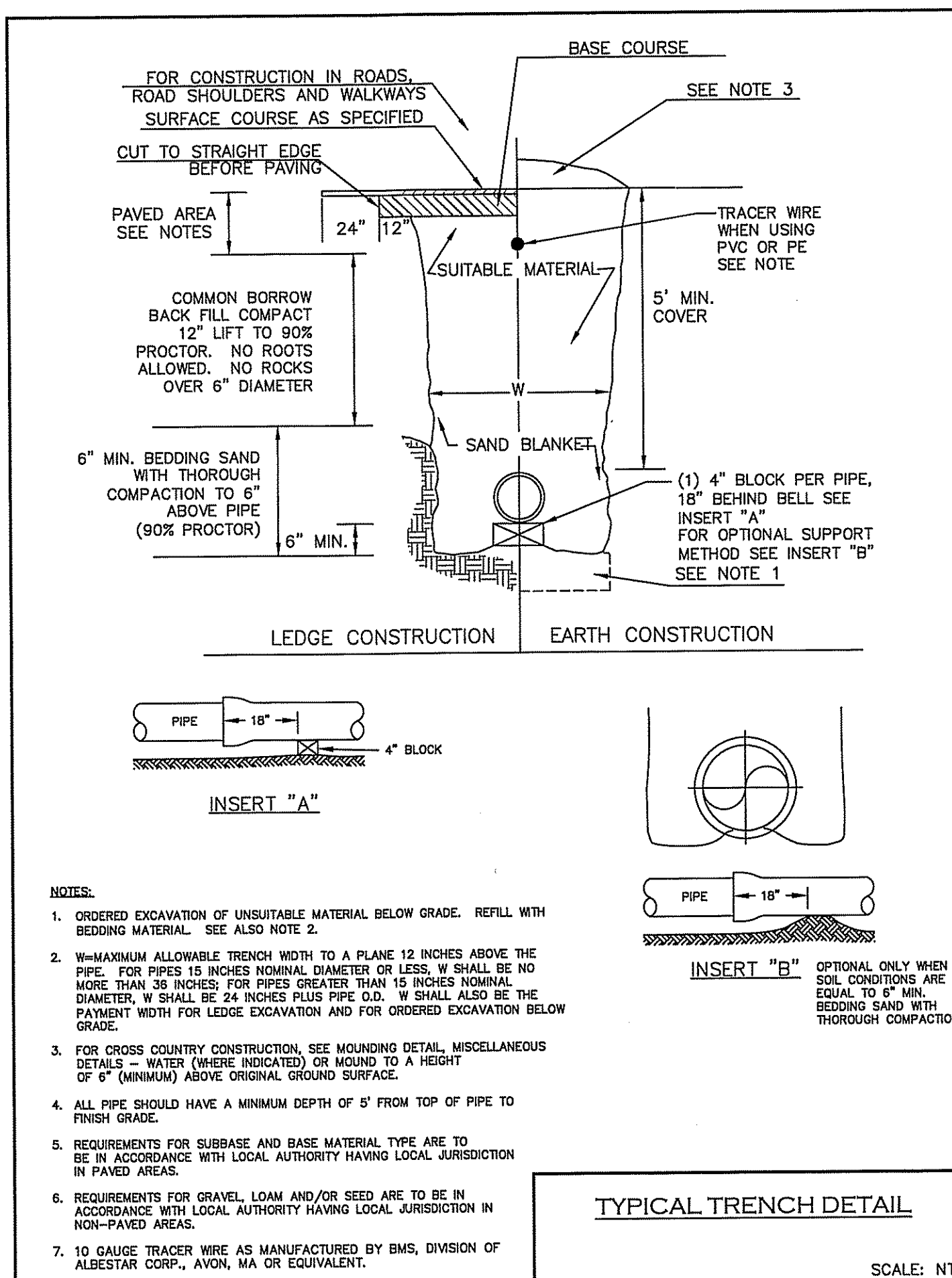
AUGUST 14, 2017

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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**BEARING AREA REQUIRED, SQUARE FEET**

TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	4" AND LESS DEGREE BEND				6" AND 8" DEGREE BEND				10" AND 12" DEGREE BEND			
	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
LOOSE SAND OR MEDIUM CLAY - 2,000	1.0	2.0	2.7	4.0	1.5	3.0	6.0	10.0	3.0	6.2	12.0	22.0
PACKED GRAVEL AND SAND - 4,000	1.0	1.0	1.5	2.0	1.0	1.5	3.0	5.0	1.5	3.1	6.0	11.0
ROCK - 10,000	1.0	1.0	1.0	1.0	1.0	1.0	1.2	2.0	1.0	1.3	2.4	4.4

**BEARING AREA REQUIRED, SQUARE FEET**

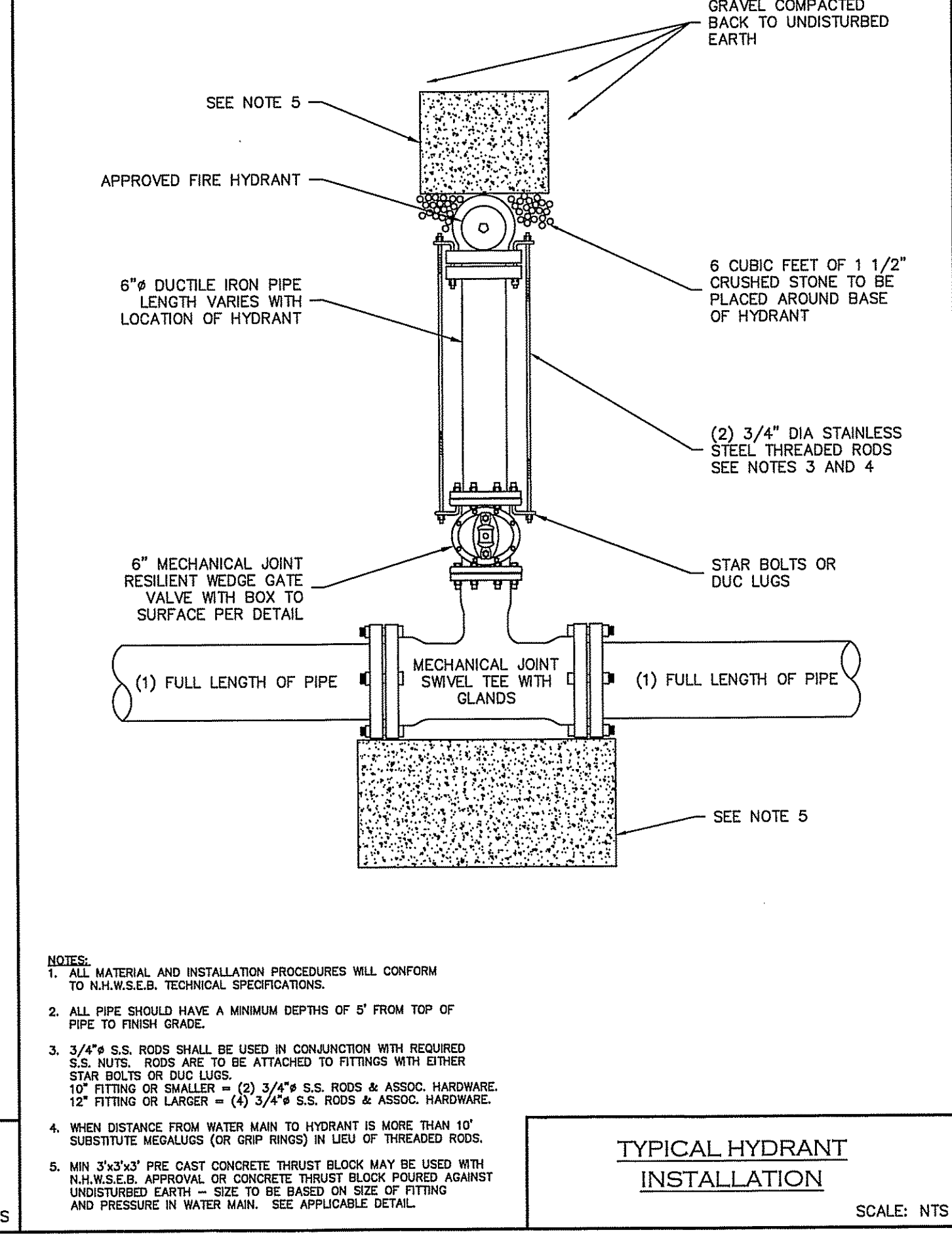
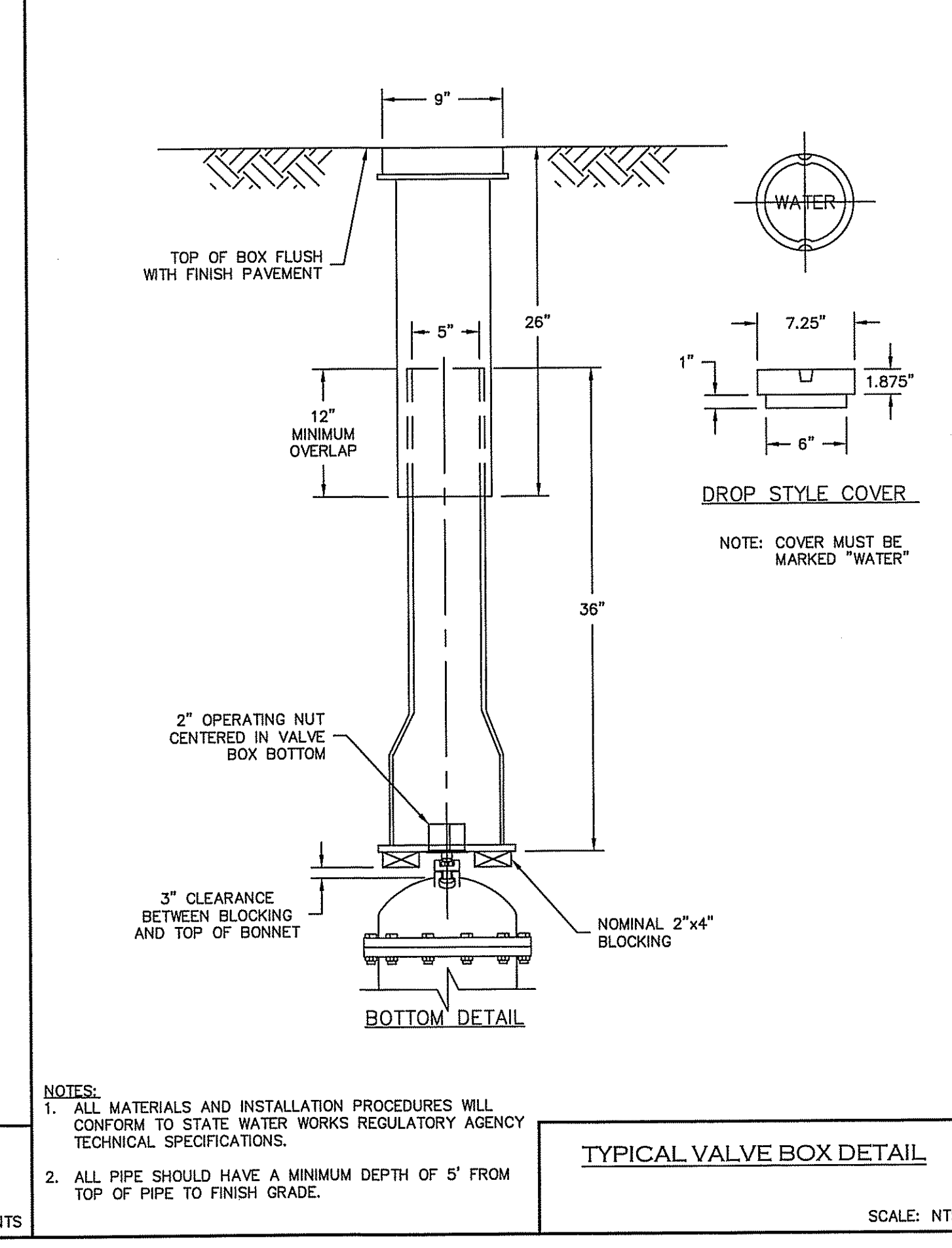
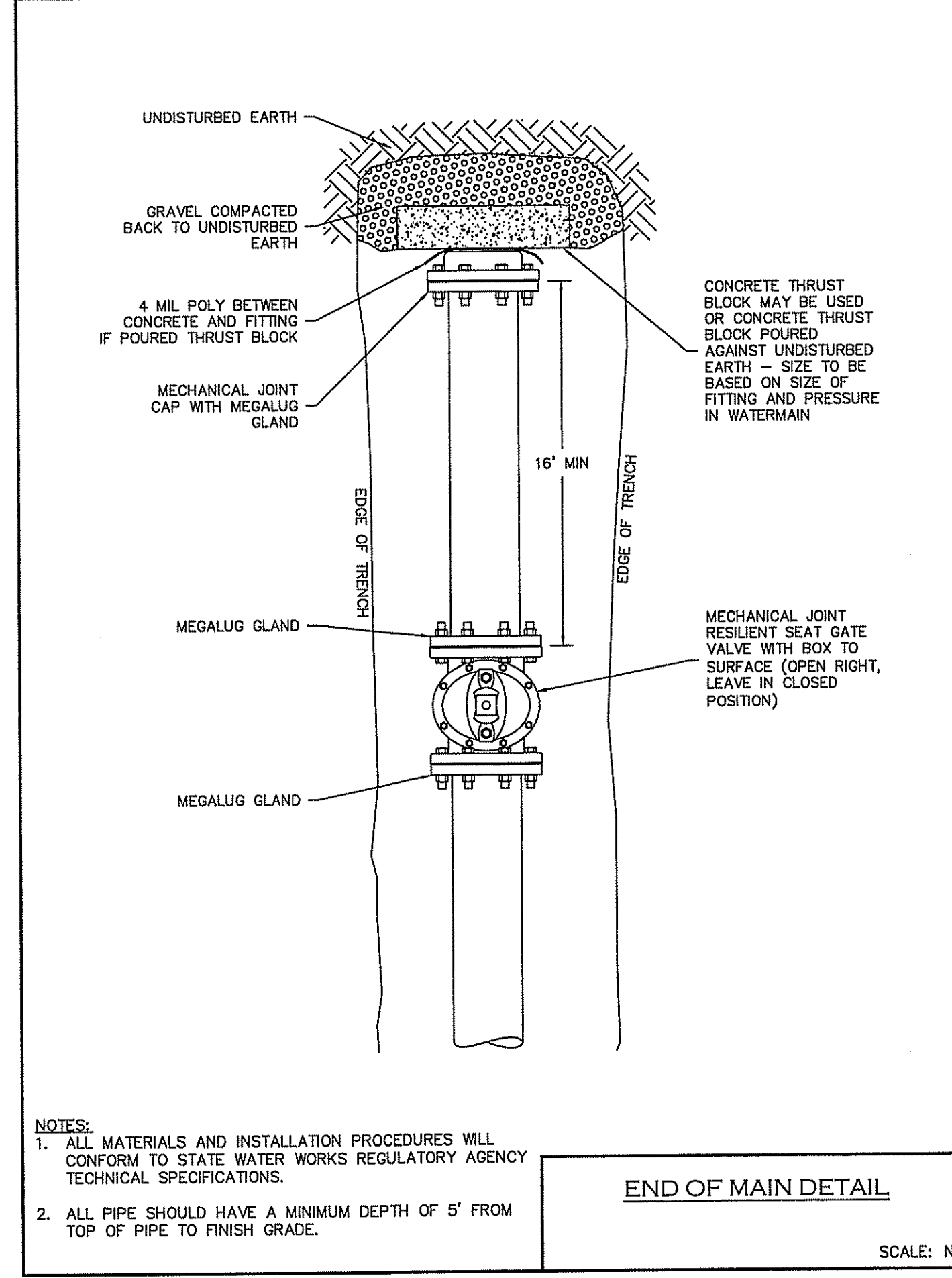
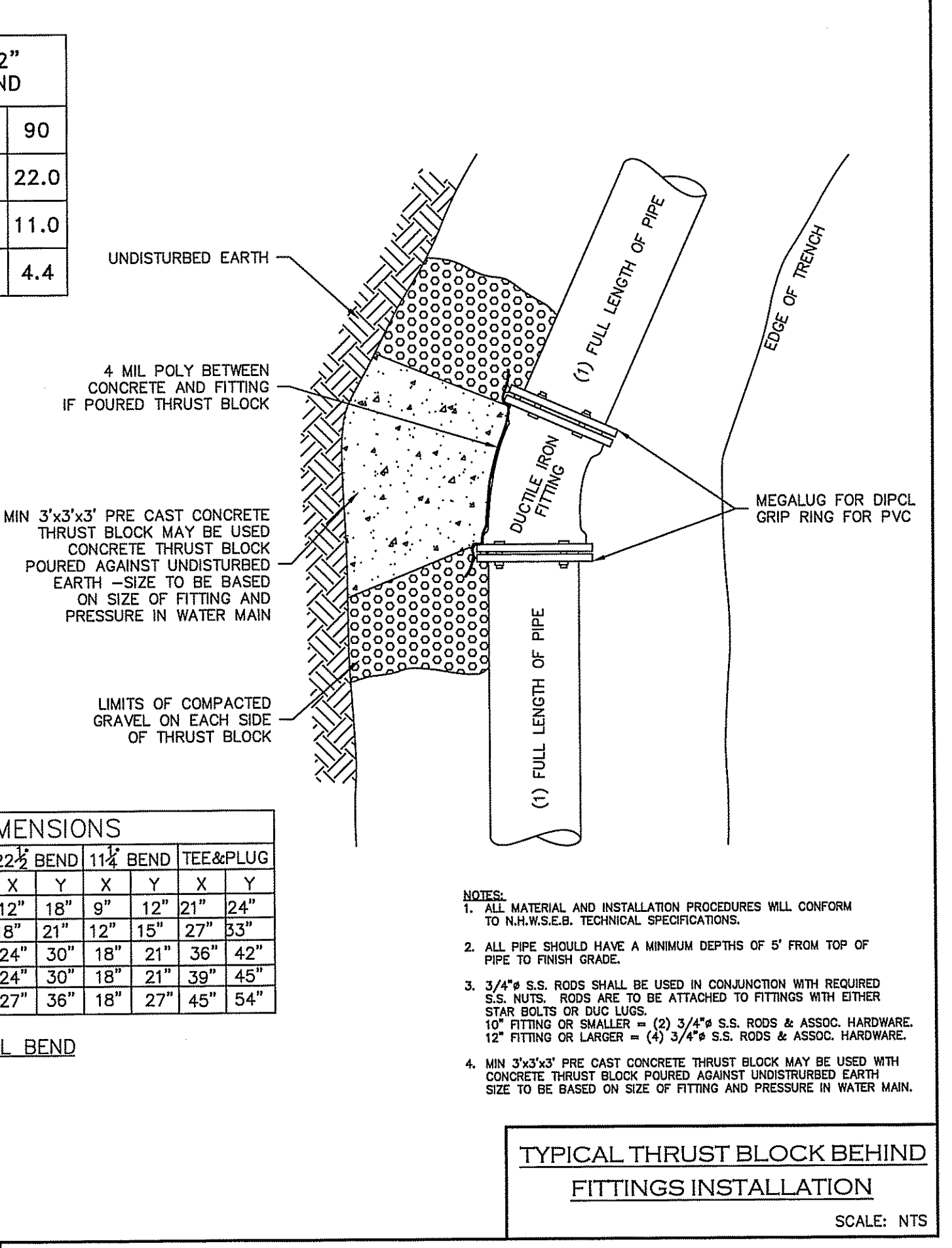
TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	14" AND 16" DEGREE BEND OR DEFLECTION				18" AND 20" DEGREE BEND OR DEFLECTION			
	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
LOOSE SAND OR MEDIUM CLAY - 2,000	6.0	12.0	22.5	40.0	9.5	19.0	37.0	67.0
PACKED GRAVEL AND SAND - 4,000	3.0	6.0	11.3	20.0	4.8	9.5	18.5	33.5
ROCK - 10,000	1.2	2.4	4.5	8.0	2.0	3.8	7.4	13.5

**NOTE:** THRUST BLOCKING FOR TEES SHALL HAVE THE SAME BEARING AREA AS 90° BEND OF THE PIPE SIZE OF THE OUTLET. DEAD ENDS SHALL HAVE THE SAME BEARING AREA AS 90° BENDS.

**TABLE OF DIMENSIONS**

PIPE SIZE	90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND		TEE & PLUG	
	X	Y	X	Y	X	Y	X	Y	X	Y
6"	33"	21"	18"	21"	12"	18"	9"	12"	21"	24"
8"	45"	27"	24"	27"	18"	21"	12"	15"	27"	33"
10"	60"	36"	36"	36"	24"	30"	18"	21"	36"	42"
12"	66"	39"	36"	42"	24"	30"	18"	21"	39"	45"
14"	72"	45"	42"	48"	27"	36"	18"	27"	45"	54"

**PLAN** **SECTION A-A** **HORIZONTAL BEND**



**NOTE:**  
ALL EARTH MATERIALS SHALL MEET MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES.

REV.	DATE	DESCRIPTION	C/S	DR	CK
B	10/20/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
A	08/22/17	OFF SITE WETLANDS LOCATION & BUFFER	WEI	NRC	CEB

**WATER DETAILS**  
**PARKER HILL**  
**DEFINITIVE SUBDIVISION**  
**TAX MAP PARCEL 34-8A - 2 PARKER STREET**  
**NEWBURYPORT, MASSACHUSETTS**  
**PREPARED FOR AND LAND OF (34-8-A):**  
**PARKER 2 REALTY TRUST**  
**160 BRIDGE ROAD, SALISBURY, MA 01952**

SCALE: AS SHOWN      AUGUST 14, 2017

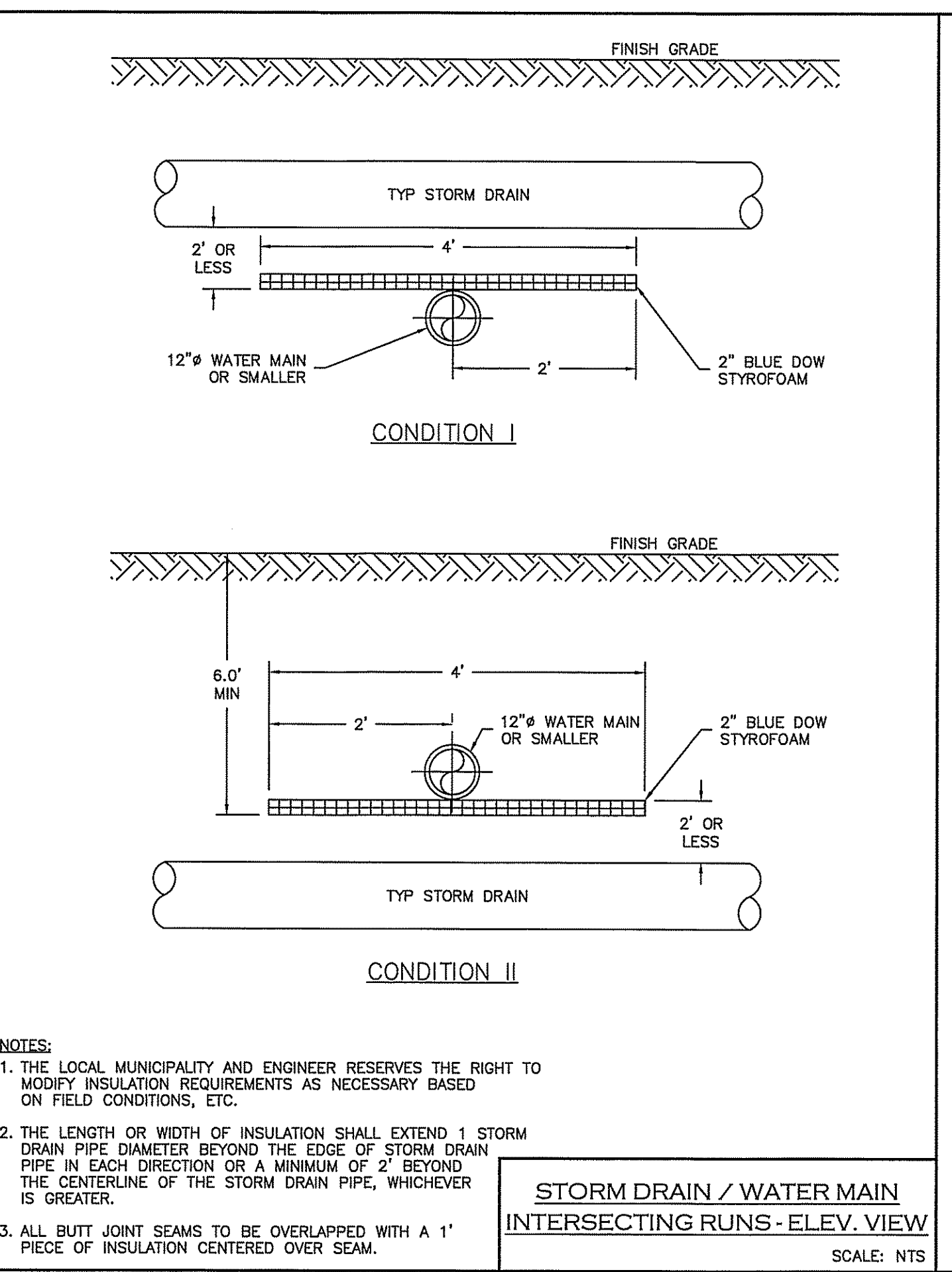
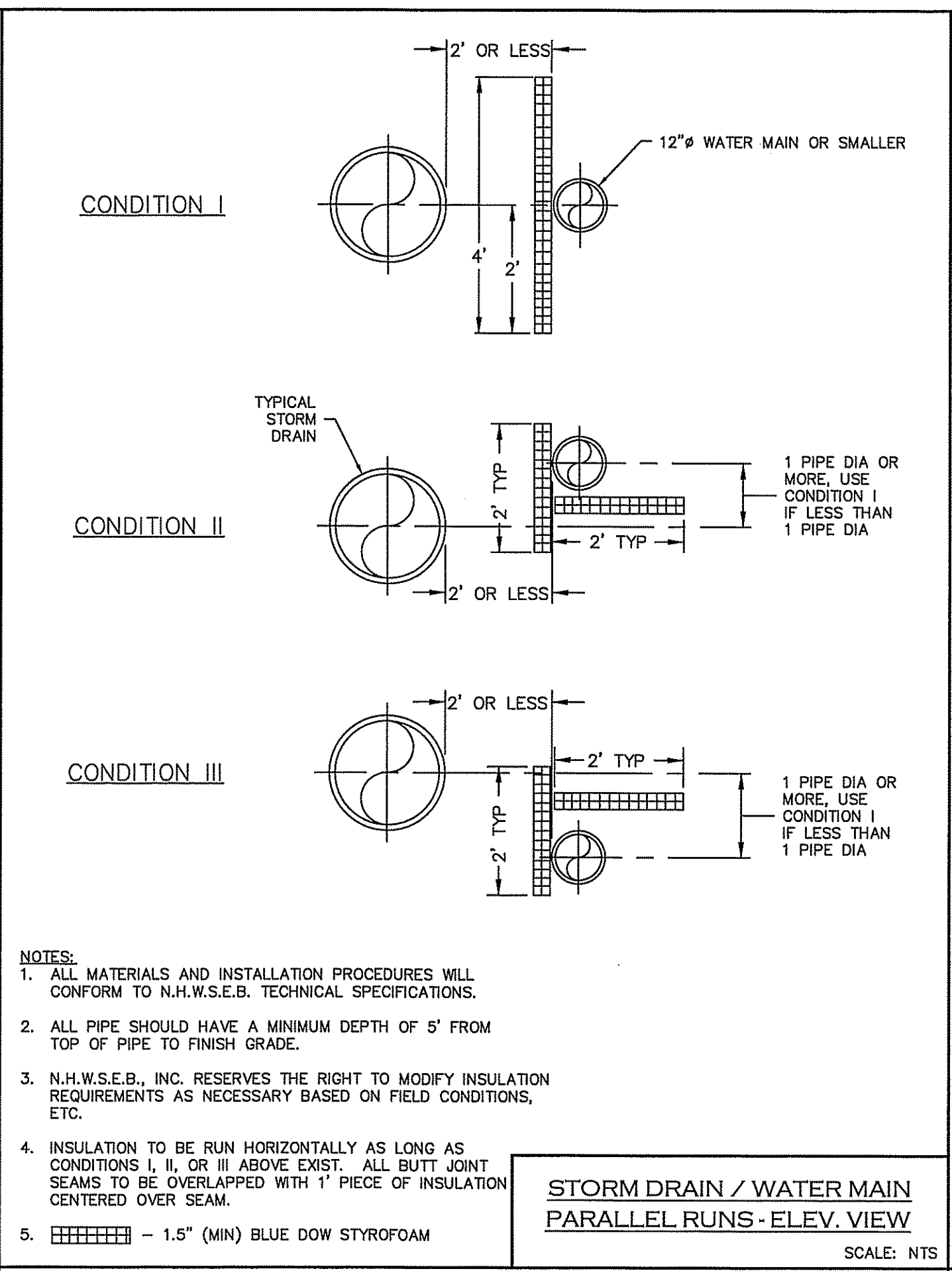
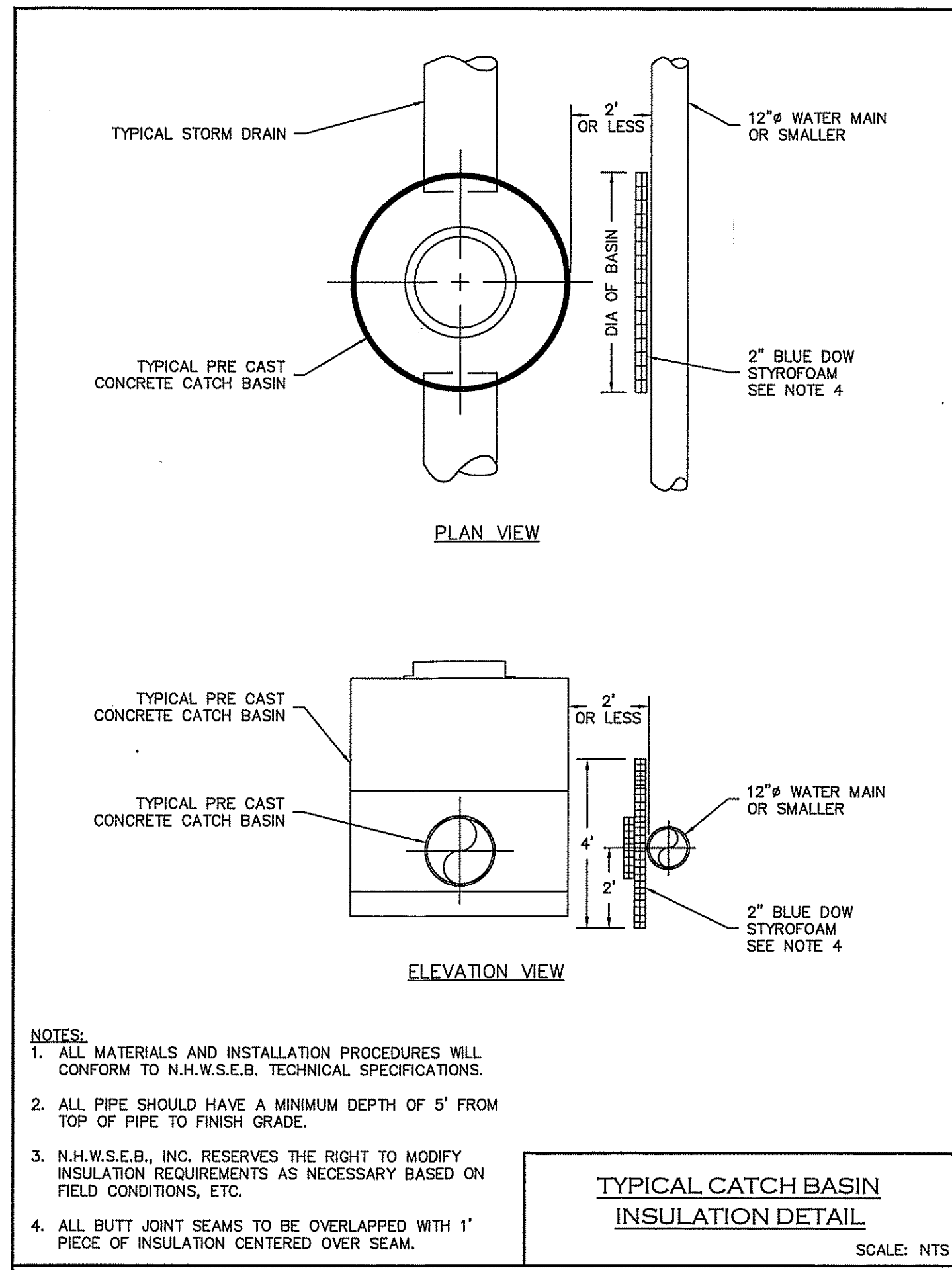
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FILE: 1486DT008.dwg      PROJ. NO. 1486.00      SHEET: DT-5      PAGE NO. 15 OF 18

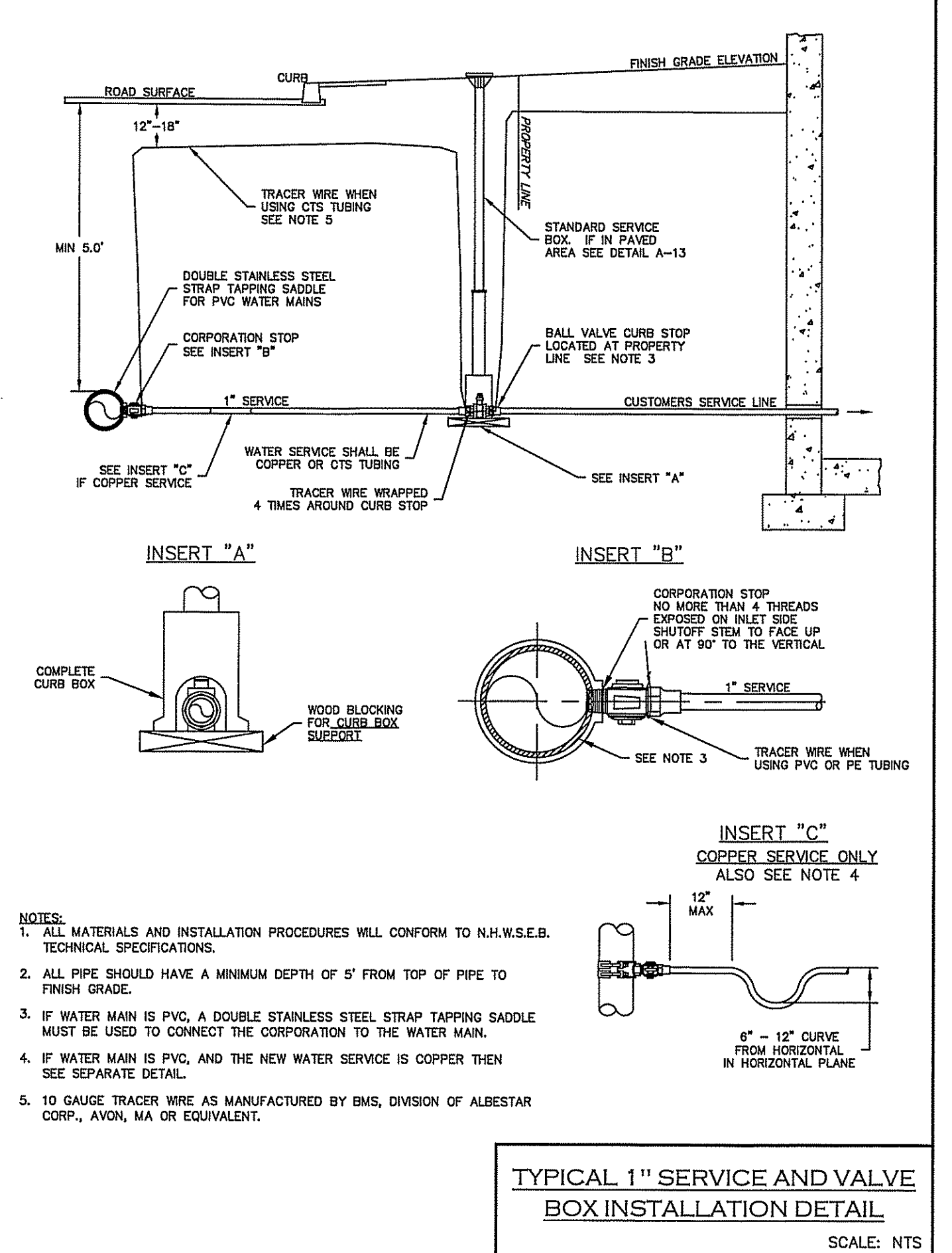
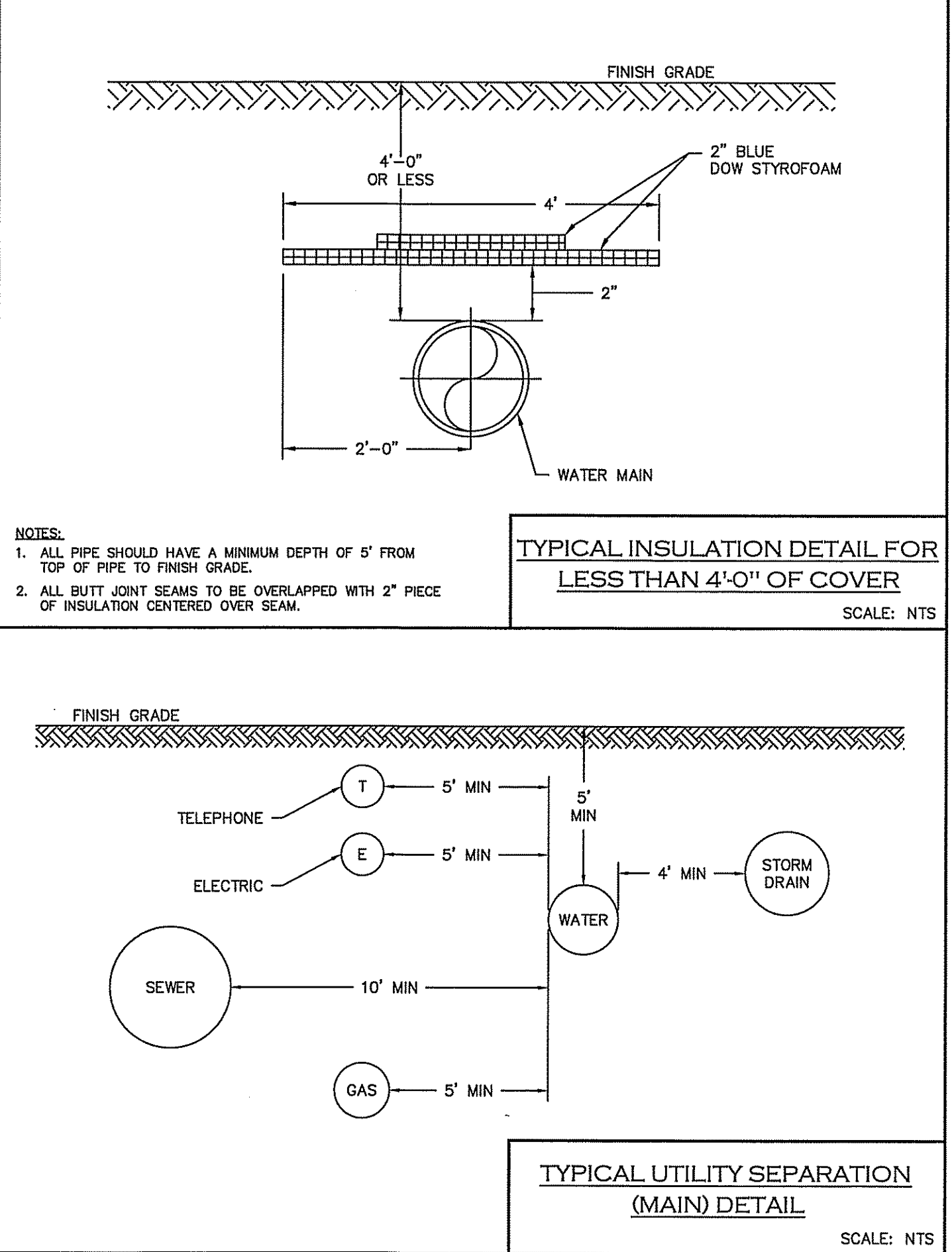
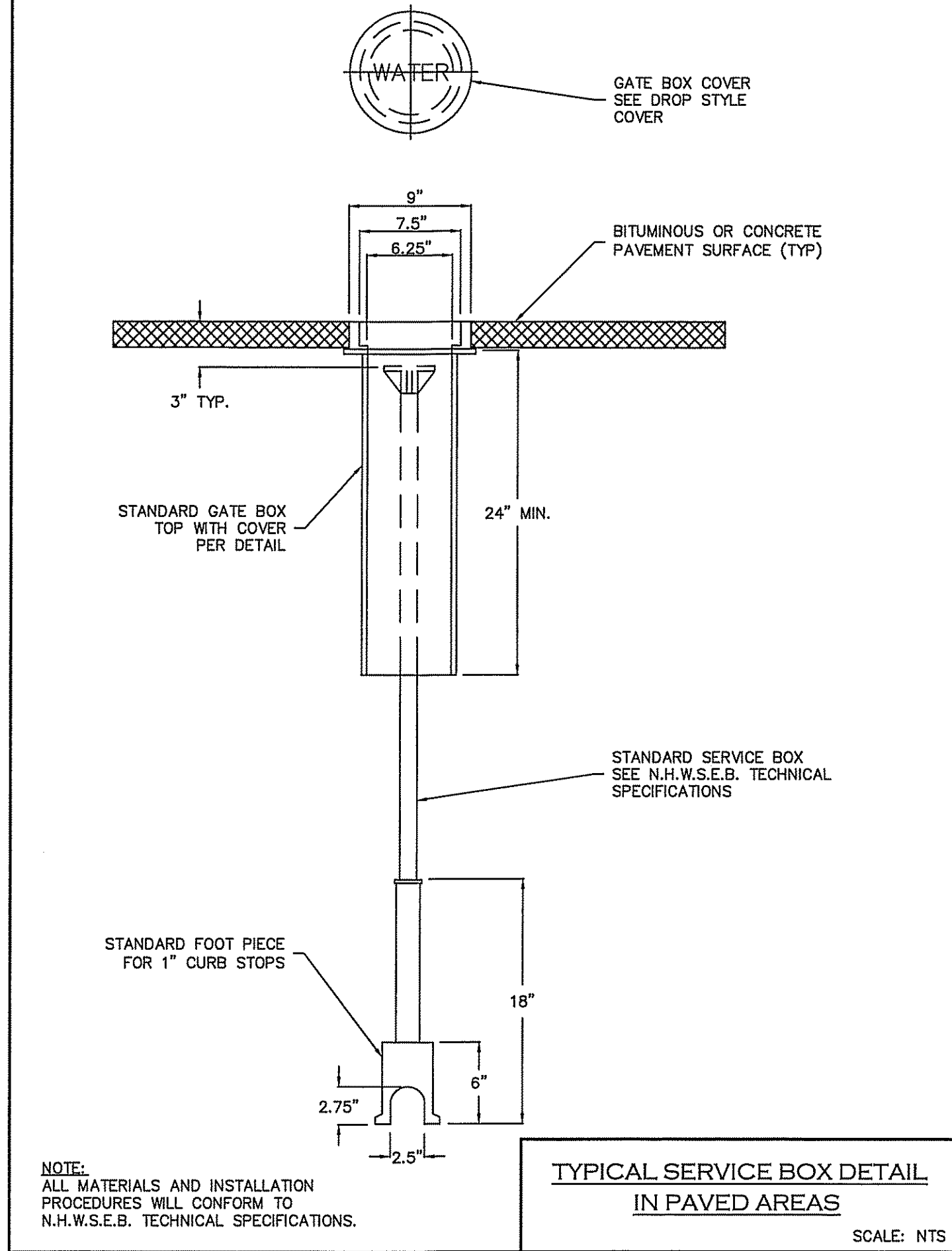




**NOTES:**

1. All distribution material including; mains, fittings, and valves to meet applicable state and local specifications and American Water Works Association (AWWA) standards, as applicable.
2. All installation of material to conform to applicable Local Specifications and AWWA standards for potable water systems.
3. All valves, tees, bends, fire hydrants, and their related joints to be properly restrained using approved "M-ego-Lug", "Grip-Ring", or equal, retainer kits.
4. All water main and related appurtenances to be an approved manufacturer in accordance with current AWWA standards. All water main and appurtenances to be approved AWWA Ductile Iron Pipe (class 52) for the water main. All water main and service lines to be installed with a minimum of 60" of cover, and shall be properly sand bedded and backfilled with suitable material.
5. Gate valves shall be installed at locations shown on the Project Plans. All gate valves AND Fire Hydrants shall be AWWA approved and installed per local specifications.
6. As needed, separation of water mains and sewer shall be in accordance with local and state standards. On parallel installation, water mains shall be laid at least ten feet horizontally from any existing or proposed sewer. If less than ten feet, water main shall be laid in a separate trench, or on an undisturbed earth shelf located on one side of the sewer at such an elevation that the bottom of the water main is at least 18 inches above the top of the sewer with at least three feet horizontal separation. At crossings there shall be a minimum vertical distance of 18 inches between the water main and sewer.
7. All water main shall be, flushed, pressure tested, and disinfected, in accordance with the latest provisions of AWWA C-600 and C-651, per local specifications, prior to acceptance. Written certification of testing and bacteriological test results shall be provided by an approved third party contractor.
8. An As-built Plan shall be provided showing the constructed locations and any field adjustments. Field adjustments must be approved by the Engineer and the City of Newburyport.

**WATER SYSTEM SPECIFICATIONS**



**NOTE:**  
ALL EARTH MATERIALS SHALL MEET MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES.

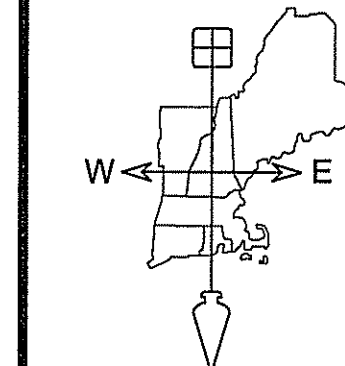
**WATER DETAILS**  
**PARKER HILL**  
**DEFINITIVE SUBDIVISION**  
**TAX MAP PARCEL 34-8A - 2 PARKER STREET**  
**NEWBURYPORT, MASSACHUSETTS**  
**PREPARED FOR AND LAND OF (34-8-A):**  
**PARKER 2 REALTY TRUST**  
**160 BRIDGE ROAD, SALISBURY, MA 01952**

SCALE: AS SHOWN  
AUGUST 14, 2017

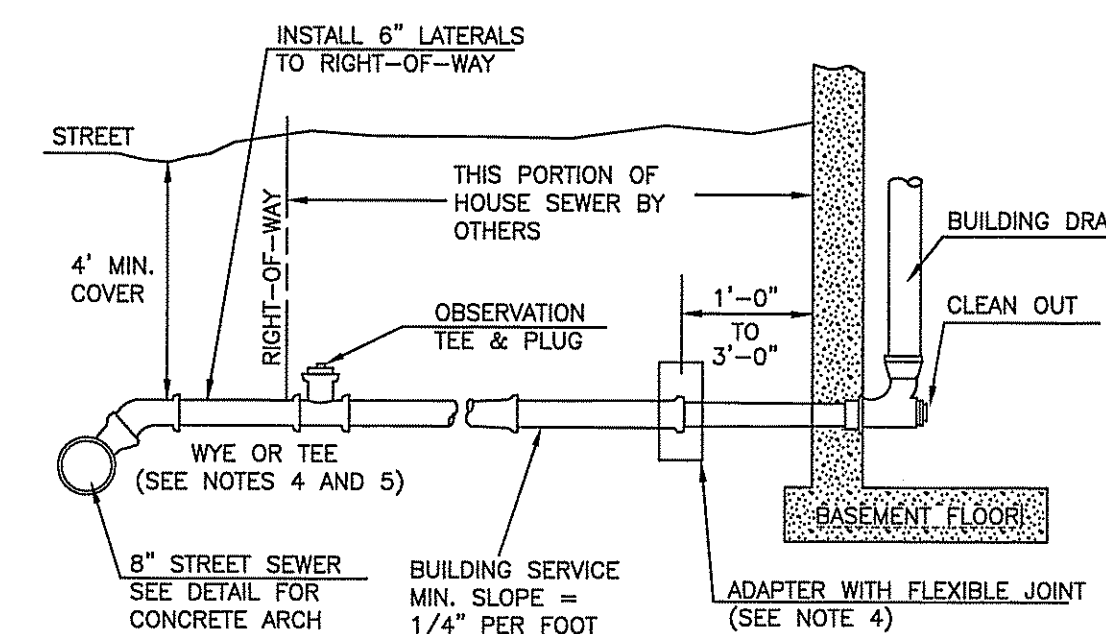
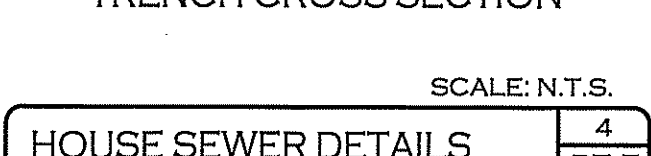
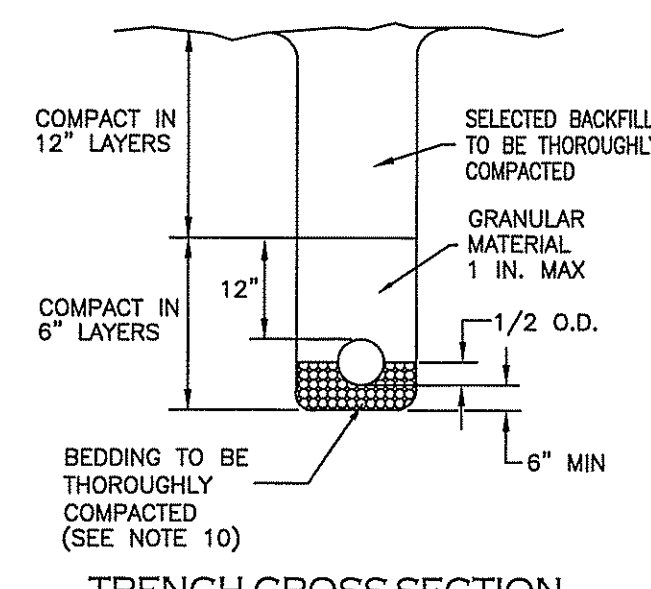
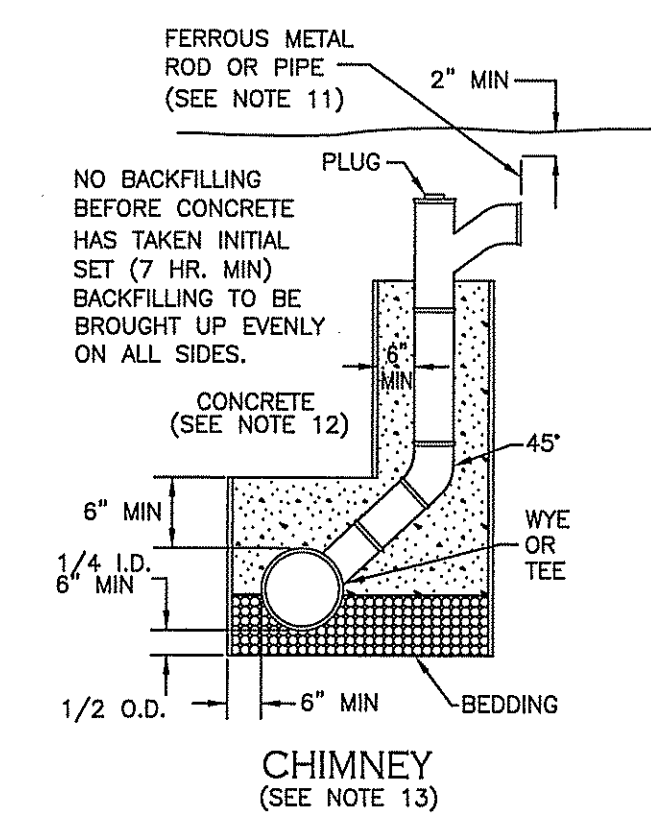
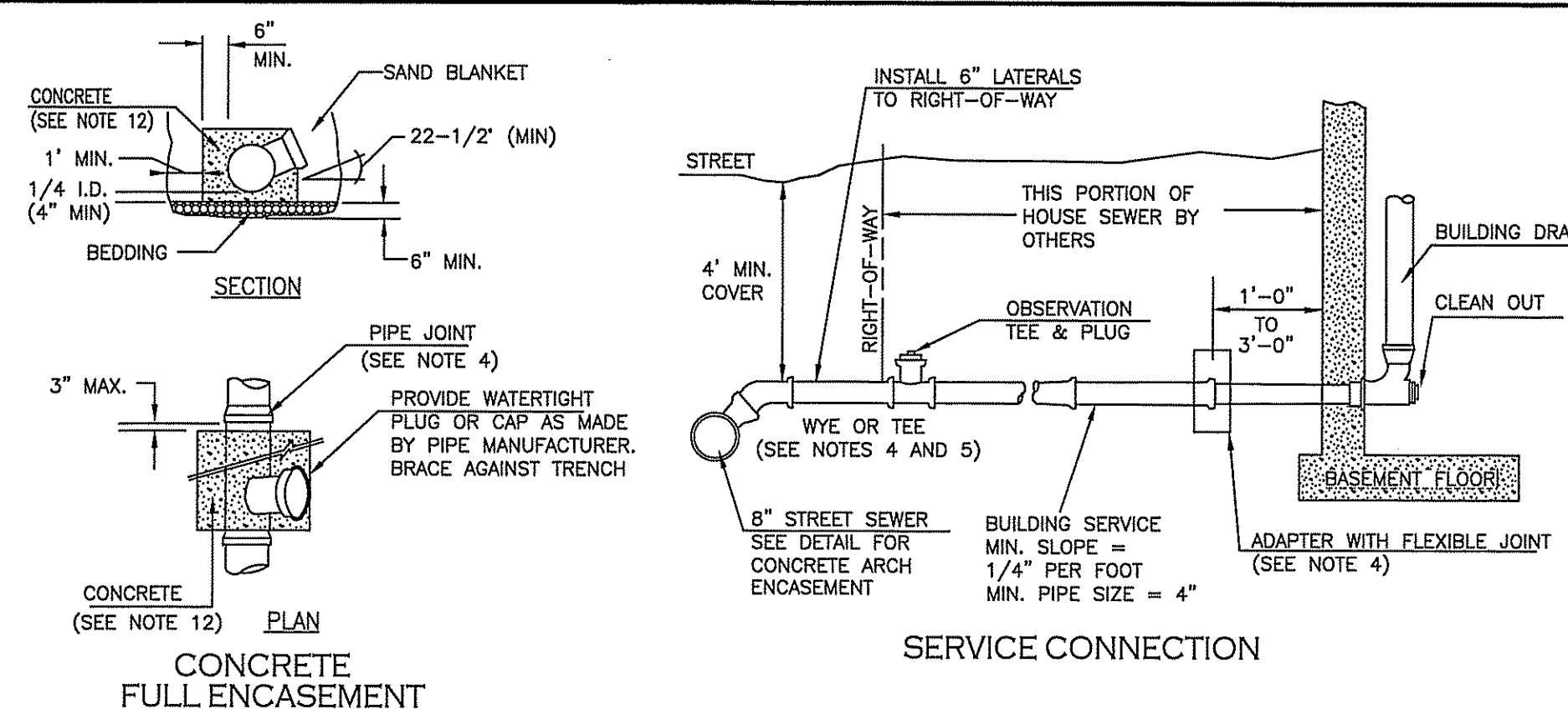
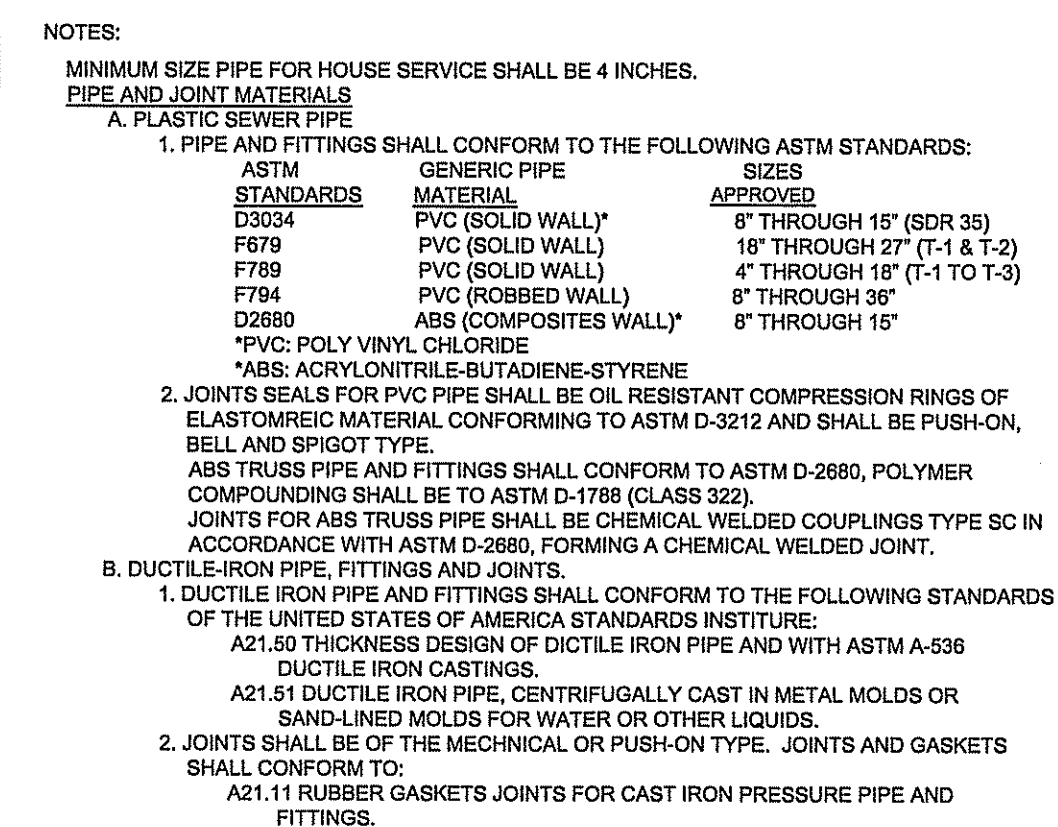
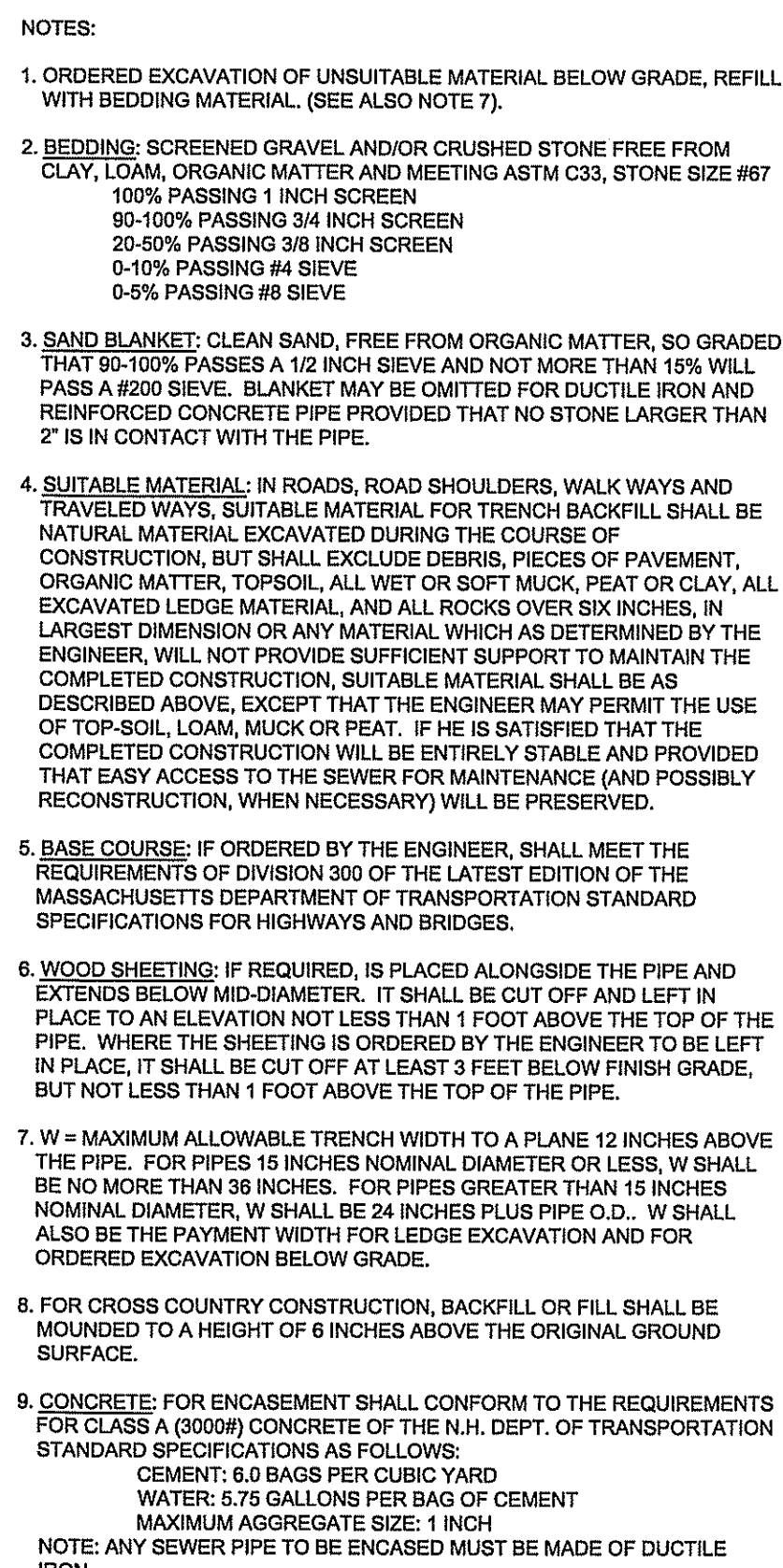
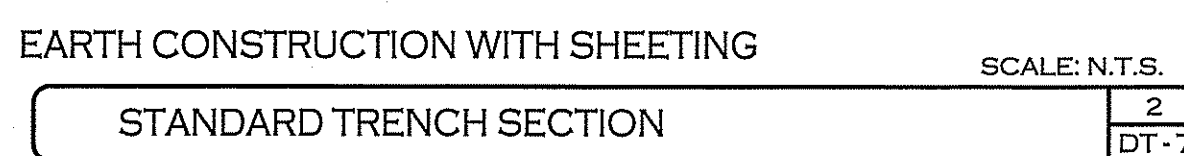
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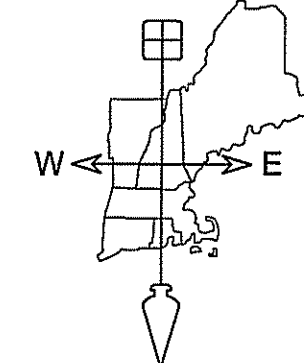
**NOTE:**  
ALL EARTH MATERIALS SHALL MEET MASSACHUSETTS  
DEPARTMENT OF PUBLIC WORKS STANDARD  
SPECIFICATIONS FOR HIGHWAY AND BRIDGES.

B	10/20/17	ADDRESS CITY STAFF REVIEW	CSI	NRC	CEB
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REV.	DATE	DESCRIPTION	C/O	DR	CK

**TAX MAP PARCEL 34-8A - 2 PARKER STREET**  
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SCALE: AS SHOWN

**Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs**

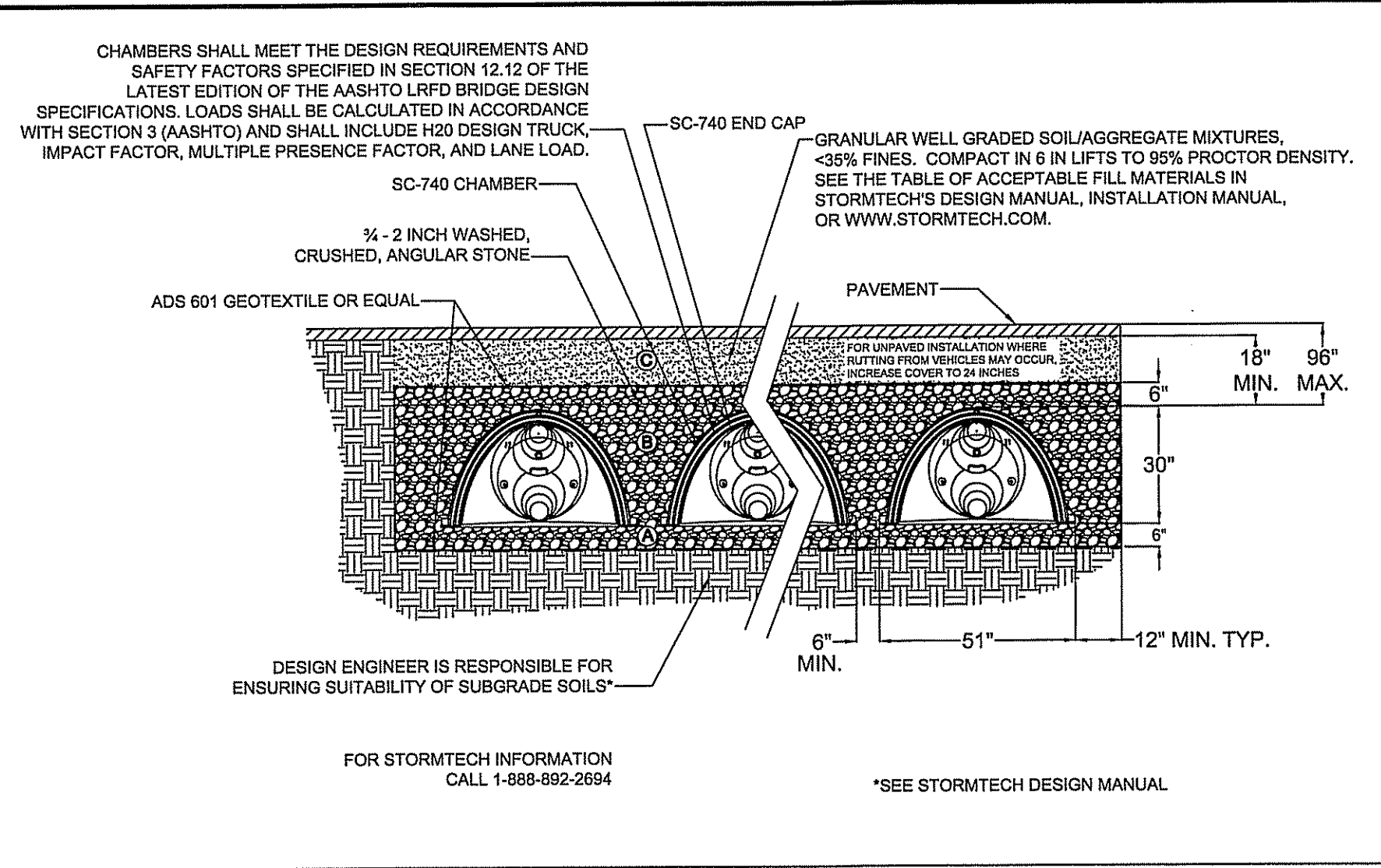


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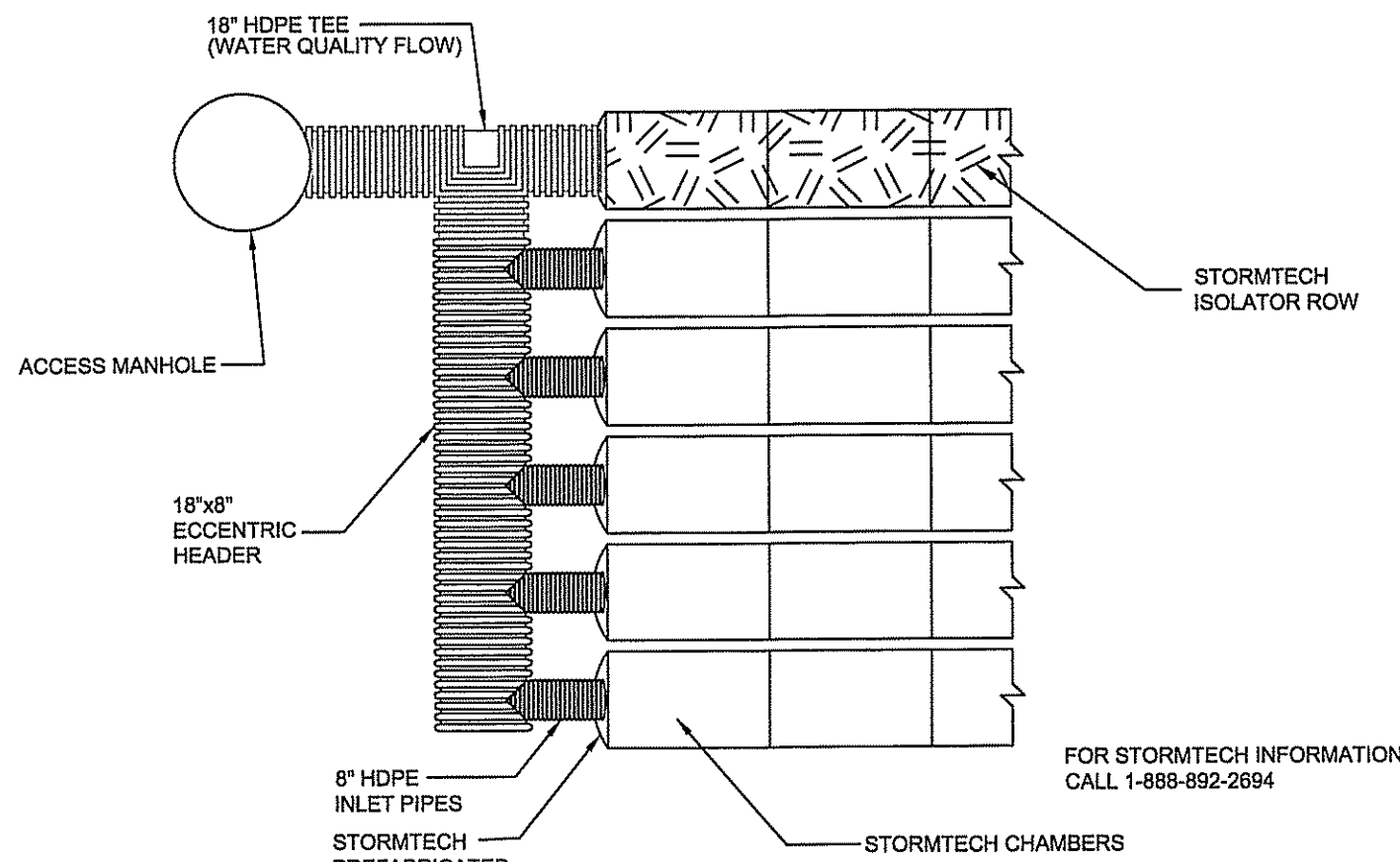
## SC-740 TYPICAL CROSS SECTION

### ACCEPTABLE FILL MATERIALS STORMTECH SC-740 CHAMBER SYSTEMS

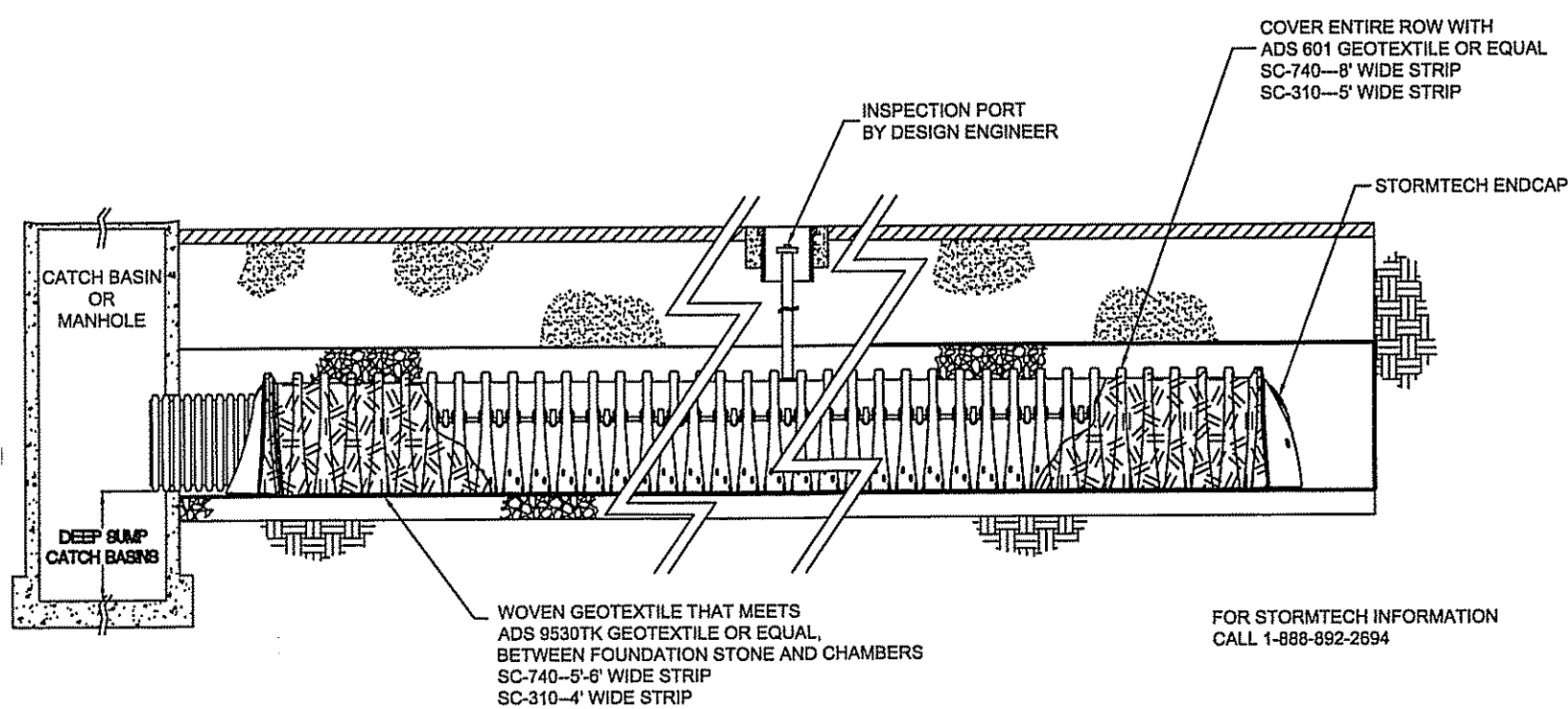
MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
FILL MATERIAL FROM 18" TO GRADE ABOVE CHAMBERS	ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
③ FILL MATERIAL FOR 6" TO 18" ELEVATION ABOVE CHAMBERS (24" FOR UNPAVED INSTALLATIONS)	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 88, 9, 10	A-1 A-2 A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
③ EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
④ FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

## STORMTECH ACCEPTABLE FILL MATERIALS



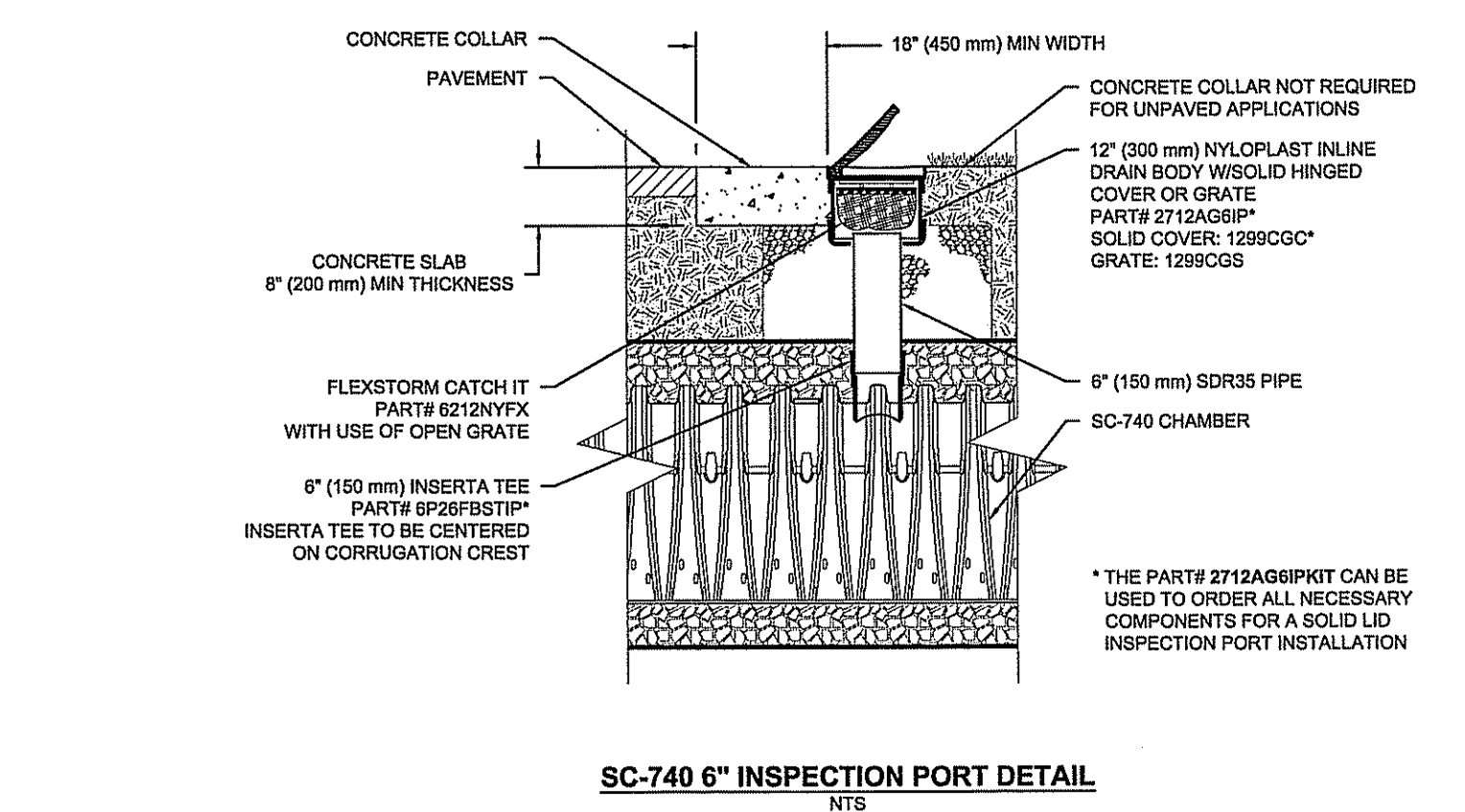
## STORMTECH ISOLATOR ROW MANIFOLD DETAIL



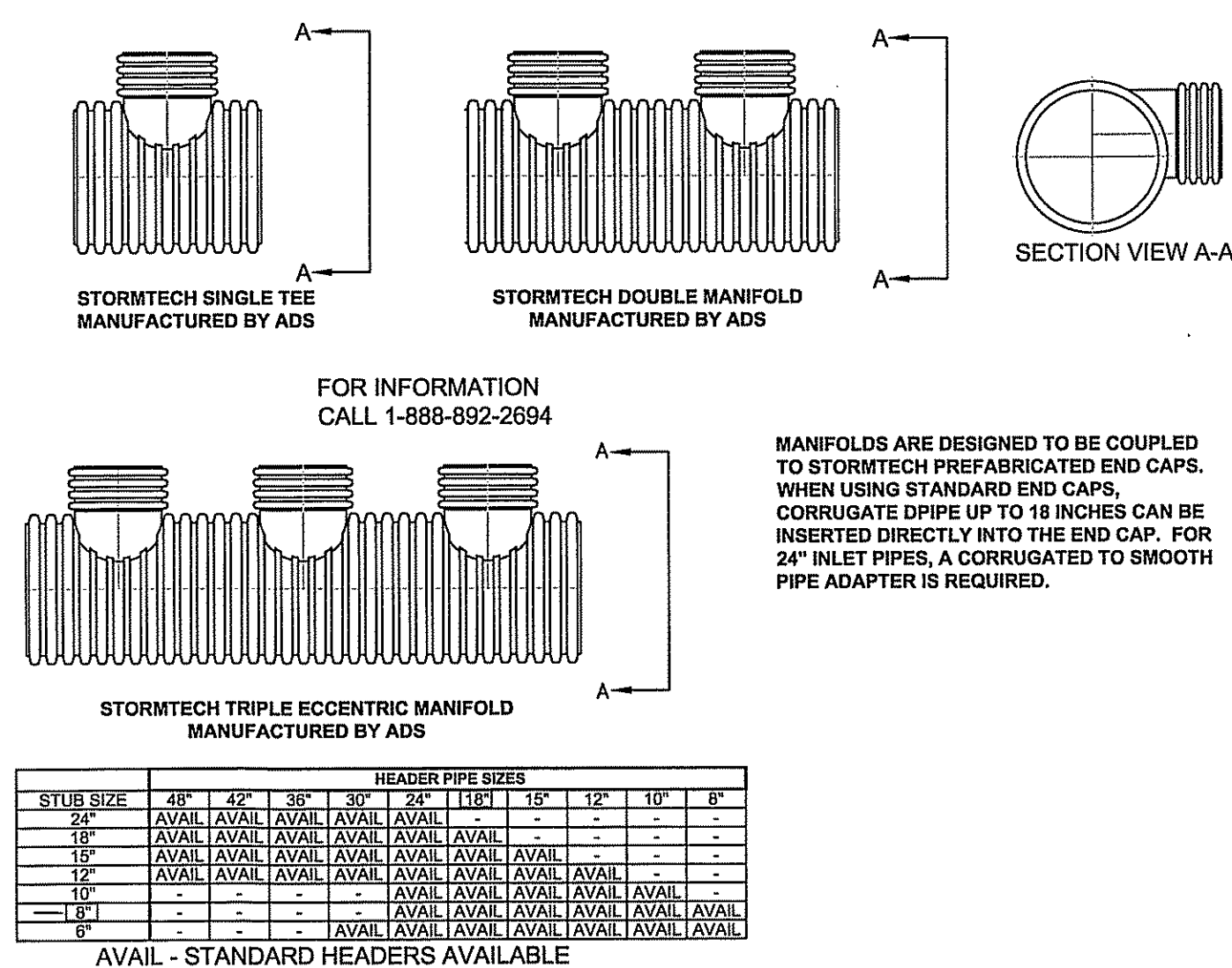
## STORMTECH ISOLATOR ROW DETAIL

## STORMTECH UNDERDRAIN DETAIL (NA)

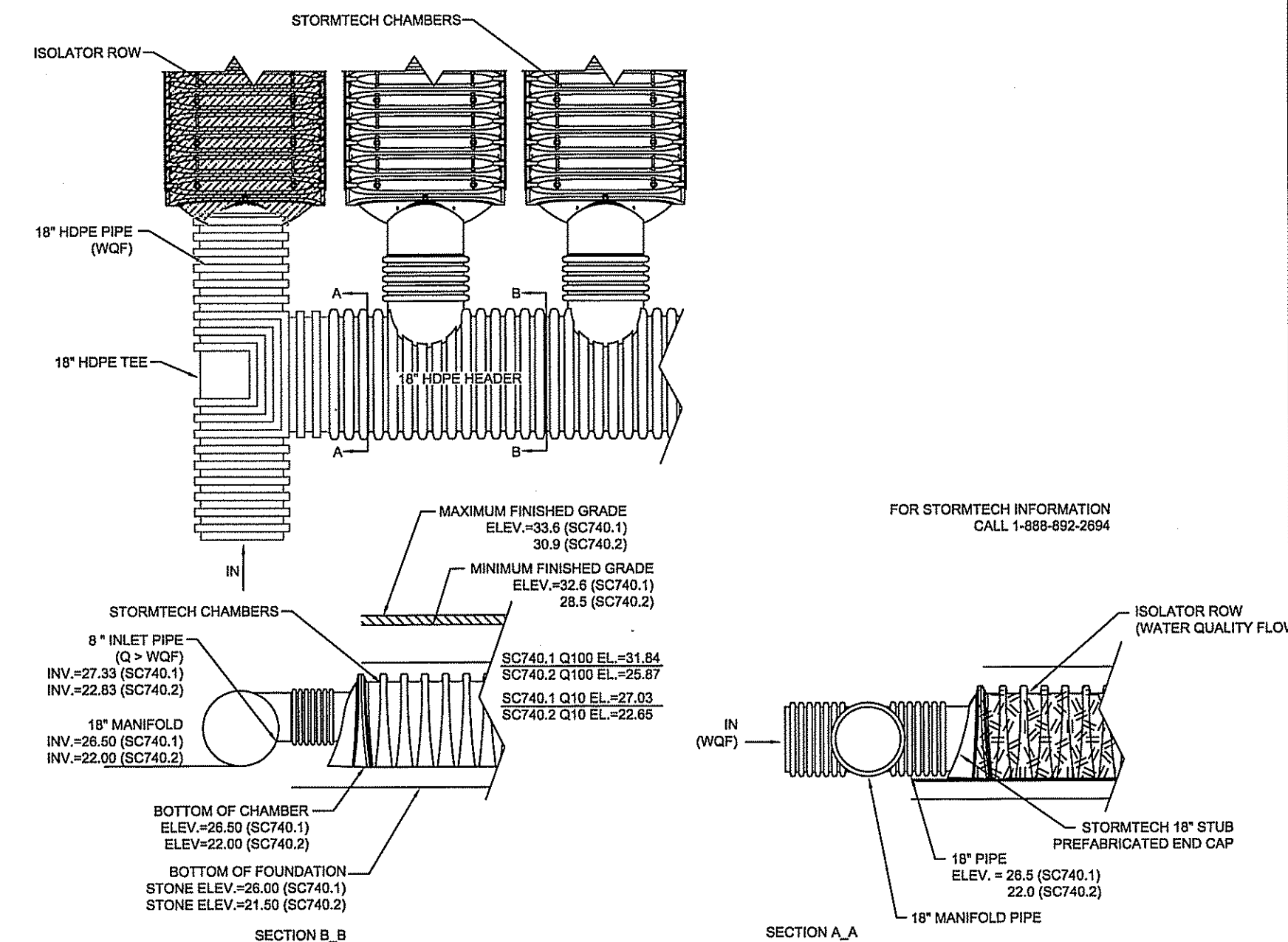
- NOTES:
1. ALL DESIGN SPECIFICATIONS FOR STORMTECH CHAMBERS SHALL BE IN ACCORDANCE WITH THE STORMTECH DESIGN MANUAL.
  2. THE INSTALLATION OF STORMTECH CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
  3. THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1-888-892-2694 OR VISIT [WWW.STORMTECH.COM](http://WWW.STORMTECH.COM) TO RECEIVE A COPY OF THE LATEST STORMTECH INSTALLATION INSTRUCTIONS.
  4. CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND SAFETY FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS.



## STORMTECH INSPECTION PORT DETAIL

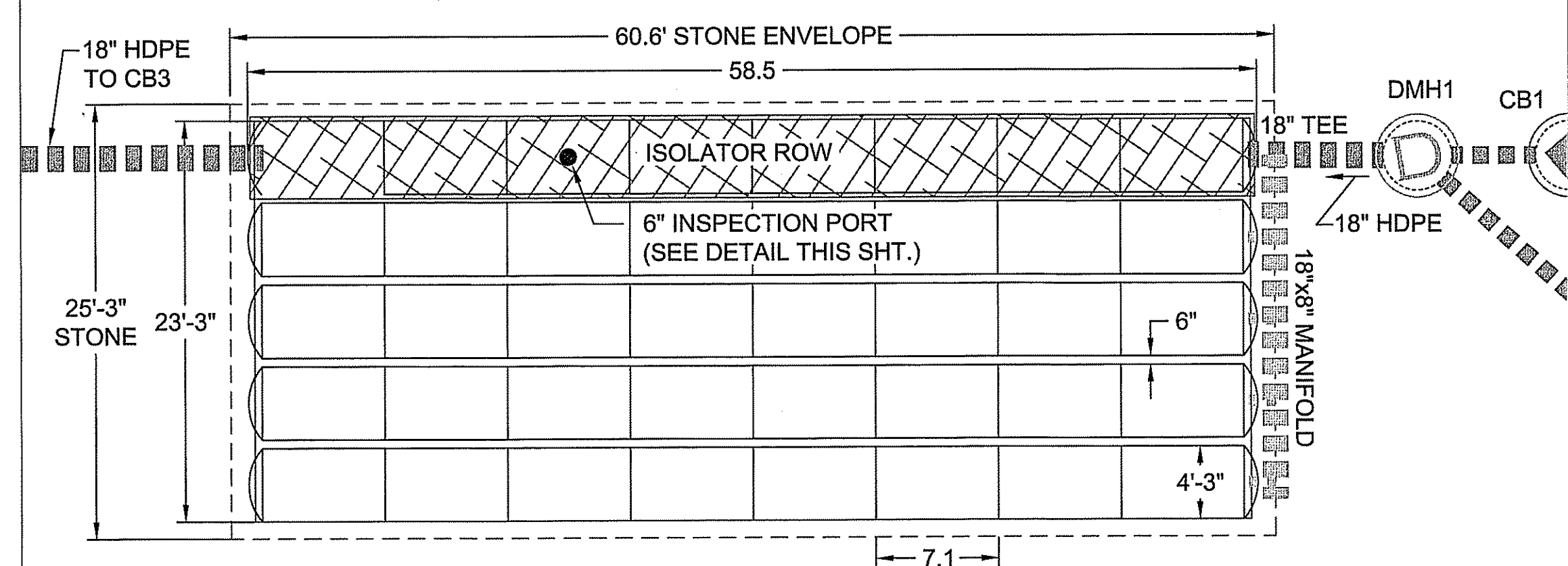


## ADS MANIFOLD DETAILS

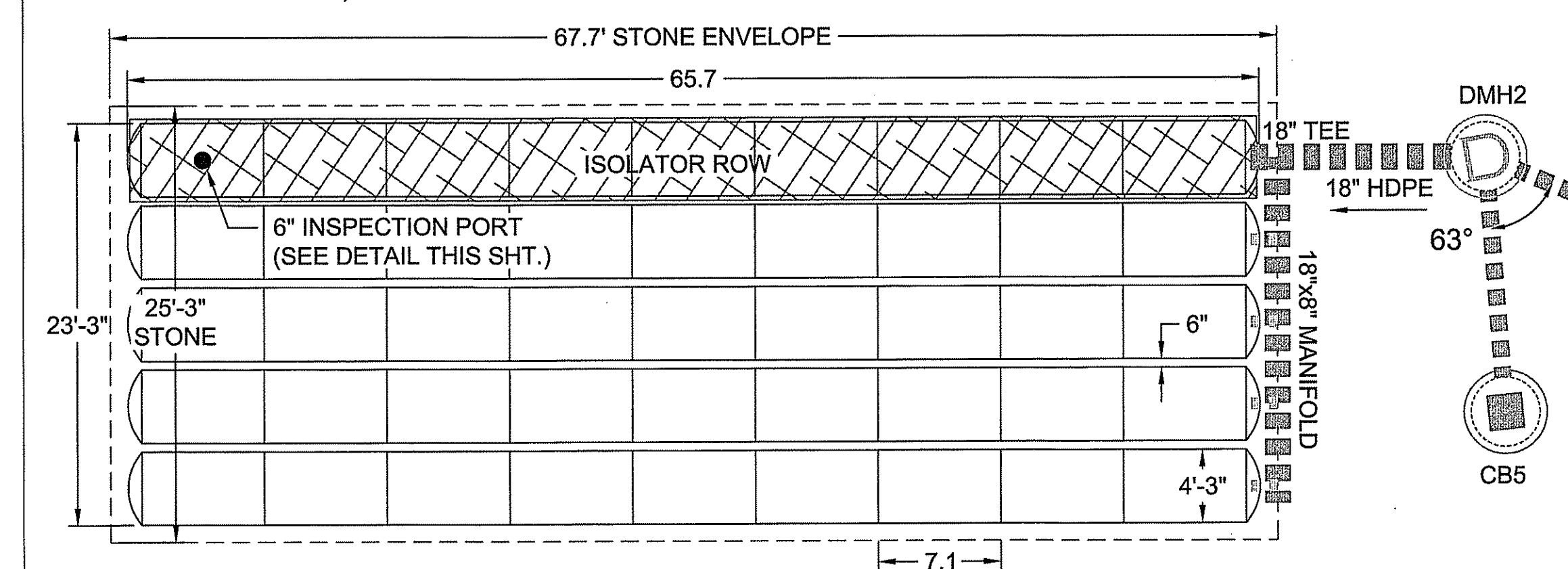


## STORMTECH ELEVATIONS

SC740.1  
5 ROWS OF 8 CHAMBERS = 40 CHAMBERS  
STONE INV. = 26.00, CHAMBER INV. = 26.50

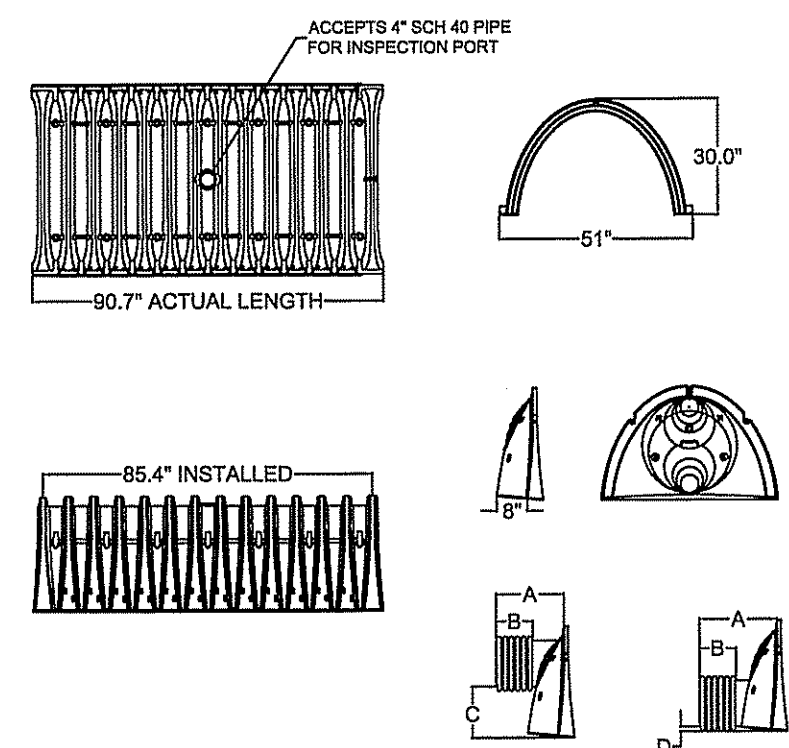


SC740.2  
5 ROWS OF 9 CHAMBERS = 45 CHAMBERS  
STONE INV. = 21.50, CHAMBER INV. = 22.00



CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND SAFETY FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS. LOADS SHALL BE CALCULATED IN ACCORDANCE WITH SECTION 3 AND SHALL INCLUDE H20 DESIGN TRUCK, IMPACT FACTOR, MULTIPLE PRESENCE, AND LANE LOAD.

## STORMTECH SC-740 CHAMBER LAYOUT



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W x H x INSTALLED LENGTH) -

CHAMBER STORAGE -

MINIMUM INSTALLED STORAGE -

WEIGHT -

PART #	CHAMBER	PIPE SIZE	A	B	C	D
SC740P100T	SC 740	8 in (203 mm)	10.00 in (257 mm)	3.45 in (88 mm)	14.50 in (368 mm)	N/A
SC740P100B	SC 740	8 in (203 mm)	10.00 in (257 mm)	3.45 in (88 mm)	N/A	0.00 in (0 mm)
SC740P12T	SC 740	12 in (305 mm)	14.70 in (373 mm)	7.70 in (195 mm)	12.50 in (318 mm)	N/A
SC740P12B	SC 740	12 in (305 mm)	14.70 in (373 mm)	7.70 in (195 mm)	N/A	1.20 in (30 mm)
SC740P16T	SC 740	16 in (407 mm)	18.00 in (457 mm)	10.30 in (263 mm)	16.00 in (407 mm)	N/A
SC740P16B	SC 740	16 in (407 mm)	18.00 in (457 mm)	10.30 in (263 mm)	N/A	1.20 in (30 mm)
SC740P18T	SC 740	18 in (457 mm)	18.00 in (457 mm)	10.72 in (272 mm)	14.00 in (355 mm)	N/A
SC740P18B	SC 740	18 in (457 mm)	18.00 in (457 mm)	10.72 in (272 mm)	N/A	1.60 in (41 mm)
SC740P24B	SC 740	24 in (609 mm)	18.00 in (457 mm)	14.40 in (366 mm)	N/A	0.10 in (3 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL.

ALL STUBS, EXCEPT FOR THE SCH40P100T, ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION, CONTACT STORMTECH AT 1-888-892-2694.

\* FOR THE SCH40P100T, THE 2" STUB LIES BELOW THE BOTTOM OF THE END CAP. APPROXIMATELY 1" OF INSIDE MATERIAL SHOULD BE REMOVED FROM BELOW THE 12 STUBS SO THAT THE FITTING SETS LEVEL.

## TECHNICAL DETAILS



**SUBSURFACE INFILTRATION DETAILS**

**PARKER HILL**

**DEFINITIVE SUBDIVISION**

**TAX MAP PARCEL 34-8A - 2 PARKER STREET**

**NEWBURYPORT, MASSACHUSETTS**

**PREPARED FOR AND LAND OF (34-8-A),**

**PARKER 2 REALTY TRUST**

**160 BRIDGE ROAD, SALISBURY, MA 01952**

This drawing was prepared to support the design engineer for the proposed conversion. It is the ultimate responsibility of the design engineer to assure that the stormwater system's design is in full compliance with all applicable laws and regulations. It is the design engineer's responsibility to ensure that the StormTech products are designed in accordance with StormTech's minimum requirements. StormTech LLC does not approve plans, siting, or system designs. The designing engineer is responsible for all design decisions.

REVISIONS	DATE

**STORMTECH LLC**  
20 BEAVER RD, SUITE 104  
WETHERSFIELD, CT 06109  
TEL: 888-892-2694  
FAX: 866-328-8401  
WWW.STORMTECH.COM

## STORMTECH DETAILS

**SUBSURFACE INFILTRATION BASINS**

**SC740.1 & SC70.2**

STORMTECH SC-740 CHAMBER DETAIL SHEET			
SAVED AS		1486.00_SC-740_DT	
DRAWN BY		NRC	CHECKED BY CEB
SCALE		N.T.S.	SHEET: DT-7
DATE		11/07/2017	
PROJECT NO.		1486.00	PAGE NO.: 18 OF 18