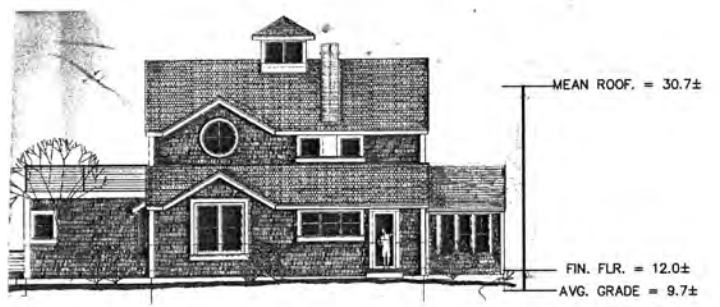


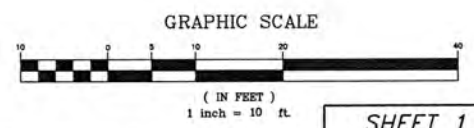
SITE PLAN
SCALE: 1"=10'

ZONING PARAMETER	REQUIRED	EXISTING	PROPOSED
LOT AREA (S.F.)	12,000	9500*	9500*
STREET FRONTAGE (FT.)	120	120	120
BUILDING HEIGHT (FT.)	35	<35	<35
MAX LOT COVERAGE (BLDGS) %	20	16	17
MIN OPEN SPACE %	25	84	83
MAX. # OF STORIES	2	2	2
MIN. STREET SETBACK (FT.)	20	9.6±	9.6±
MIN. SIDE SETBACK (FT.)	20	5.0±	5.0±
MIN. REAR SETBACK (FT.)	20	33.8±	33.8±

* TOTAL LOT AREA IS 9,600 S.F., APPROXIMATELY 100 S.F. LIES WITHIN THE TOWN OF NEWBURY AND 9,500 S.F. IN NEWBURYPORT.



PROPOSED BUILDING SOUTH ELEVATION
SCALE: 1"=10'



SHEET 1 OF 1

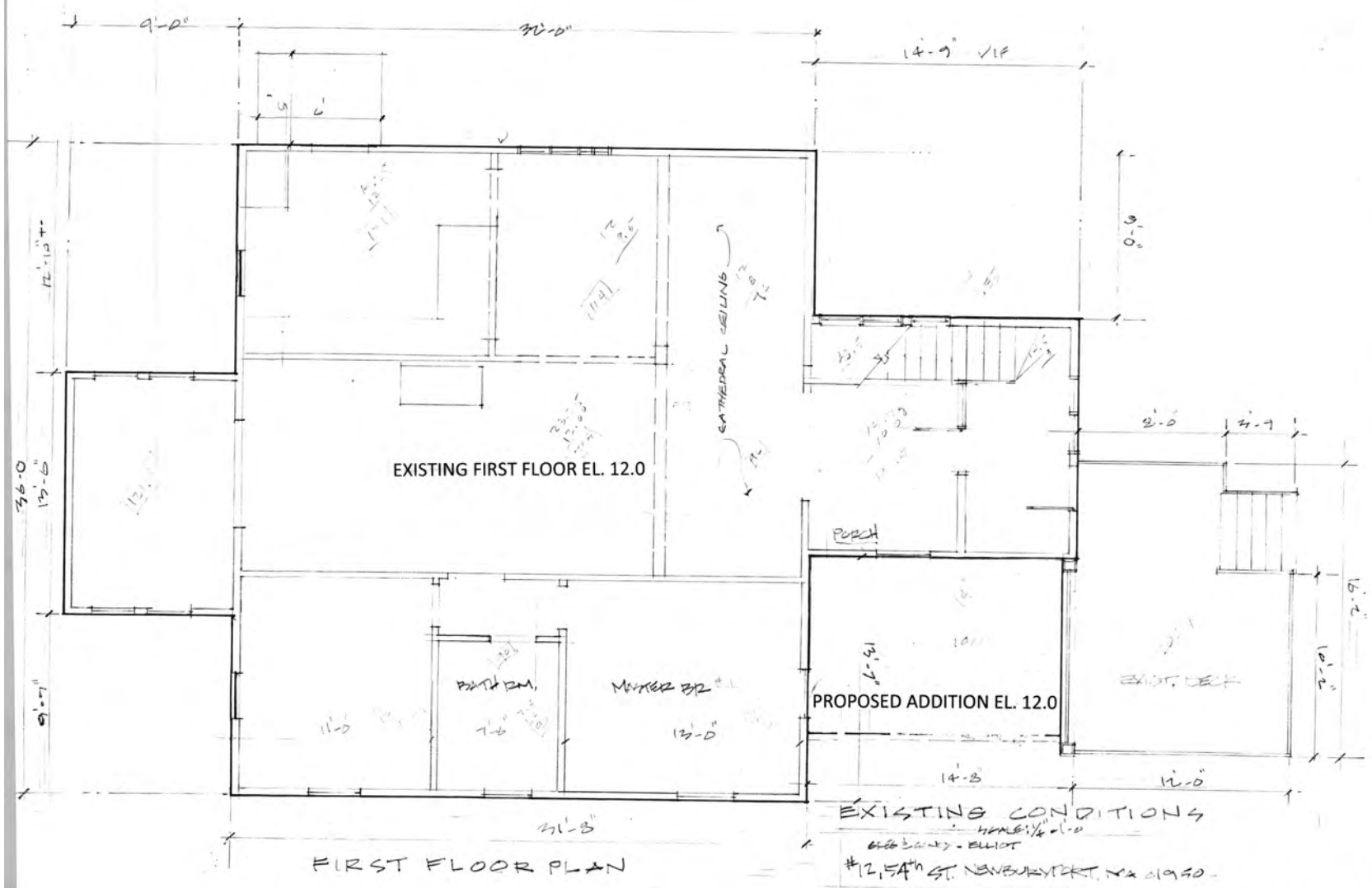
PLAN REFERENCES:
1) LOTS NO. 170 AND 171 IN BLOCK LETTERED "C" AS SHOWN ON PLAN ENTITLED "PLAN OF SECTIONS ONE AND TWO OF LANDS OF PLUM ISLAND BEACH COMPANY", DATED MAY 1920 BY ROWLAND H. BARNES AND HENRY F. BEAL, CIVIL ENGINEERS, RECORDED WITH ESSEX SOUTH DISTRICT REGISTRY OF DEEDS, PLAN BOOK 34, PLAN 22.

LOCUS DEED REFERENCE:
E.S.D.R.D. BK. 26901 PG. 413

PLAN OF LAND
IN
NEWBURYPORT, MASSACHUSETTS
12 54th STREET, PLUM ISLAND
ASSESSORS MAP-76, LOT-4
AS PREPARED FOR:
GREGORY D. ELLIOT & CANDACE D. McMAHON
12-54TH STREET, NEWBURYPORT, MA

JOHN HARGREAVES, PE/PLS
DATE: 8-28-2019

GA CONSULTANTS, INC., PROFESSIONAL ENGINEERS
10 STATE STREET, NEWBURYPORT, MA 01950 978-502-5197



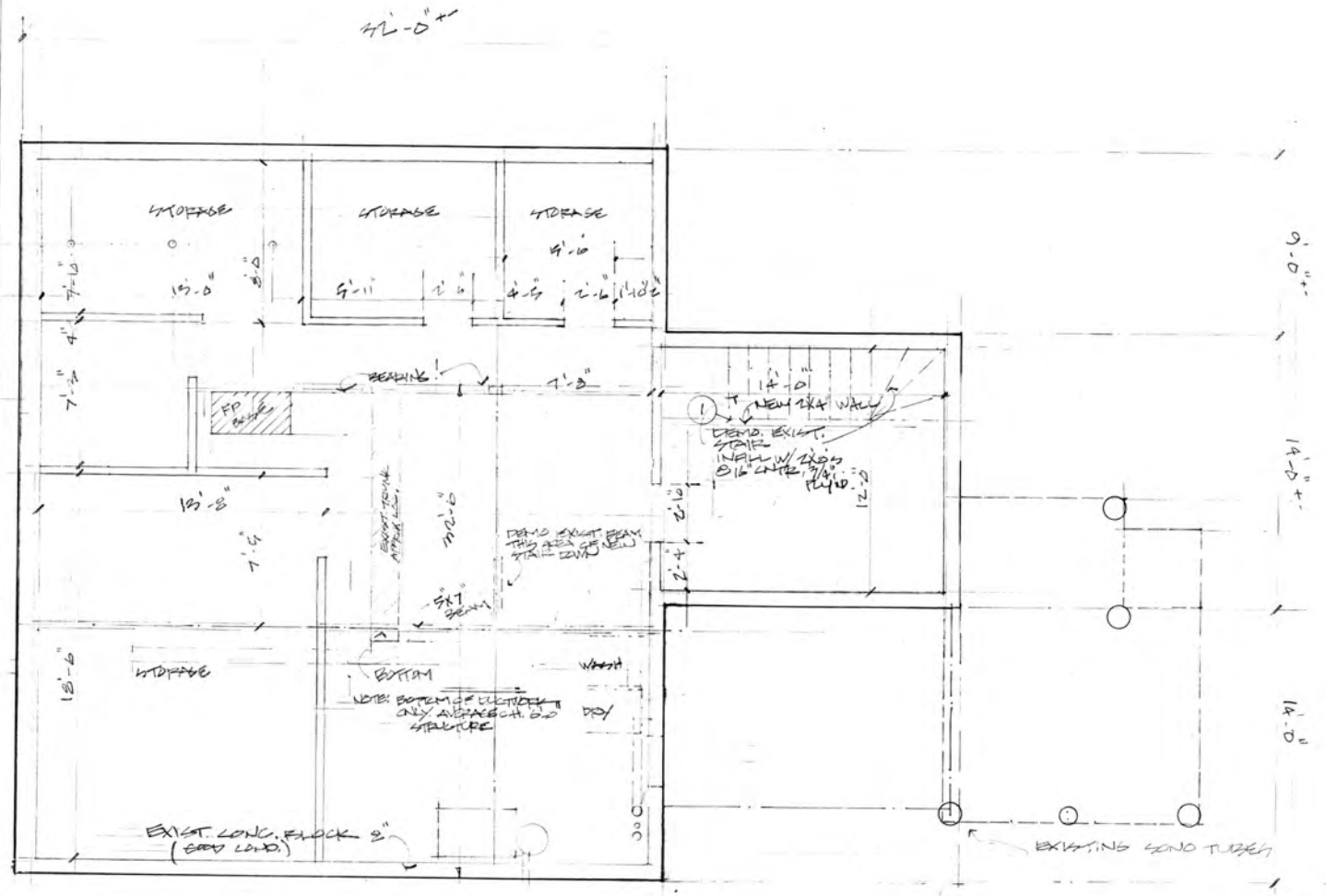
FIRST FLOOR PLAN

EXISTING CONDITIONS

#12, 54th ST. NEWBURYPORT, MA 01950

JOHN SAVA ARCHITECTS, LLC, 191 INN ST. NEWBURYPORT, MA 01950

SCHEMATIC DESIGN



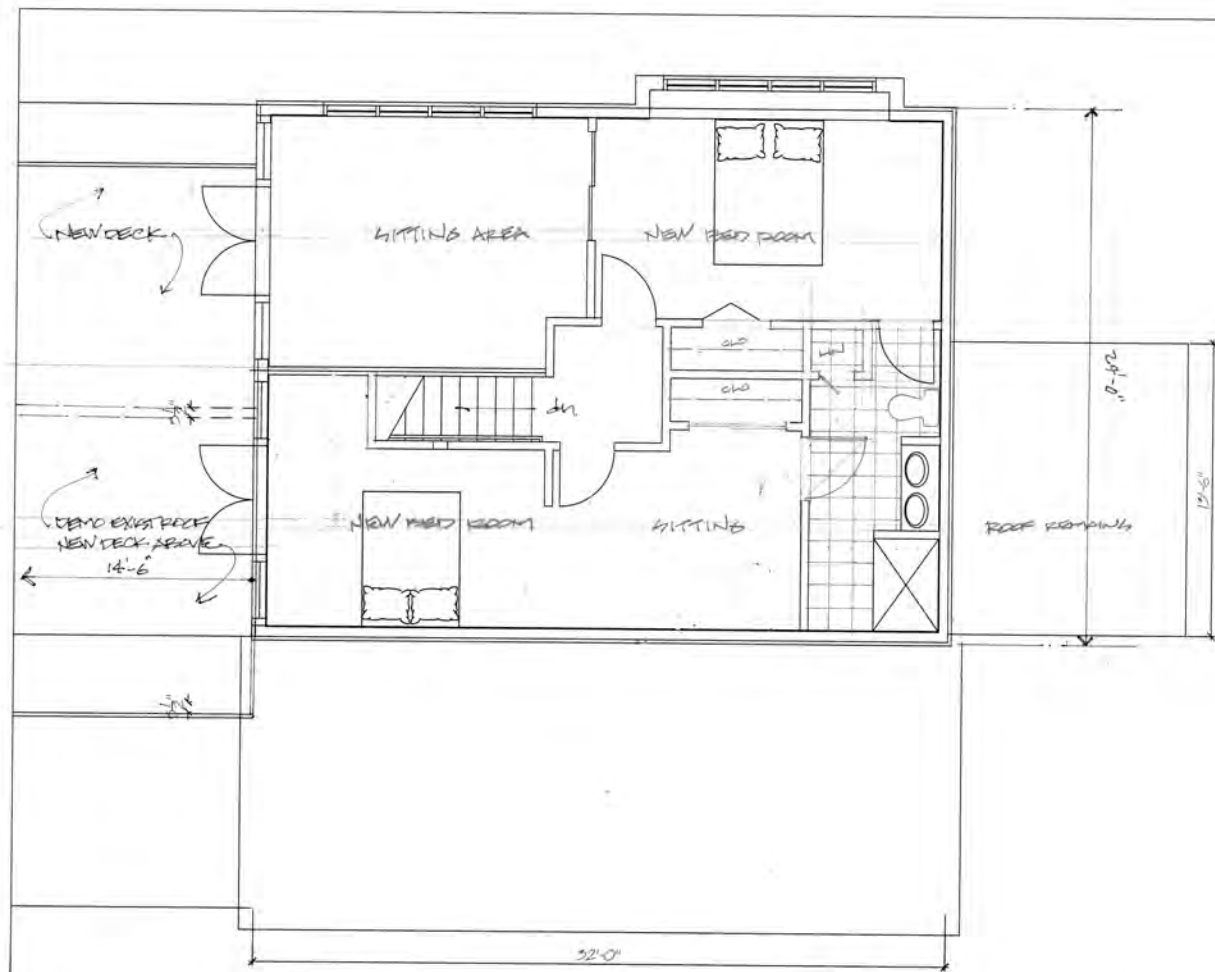
BASEMENT PLAN

SCALE: 1/4" = 1'-0"

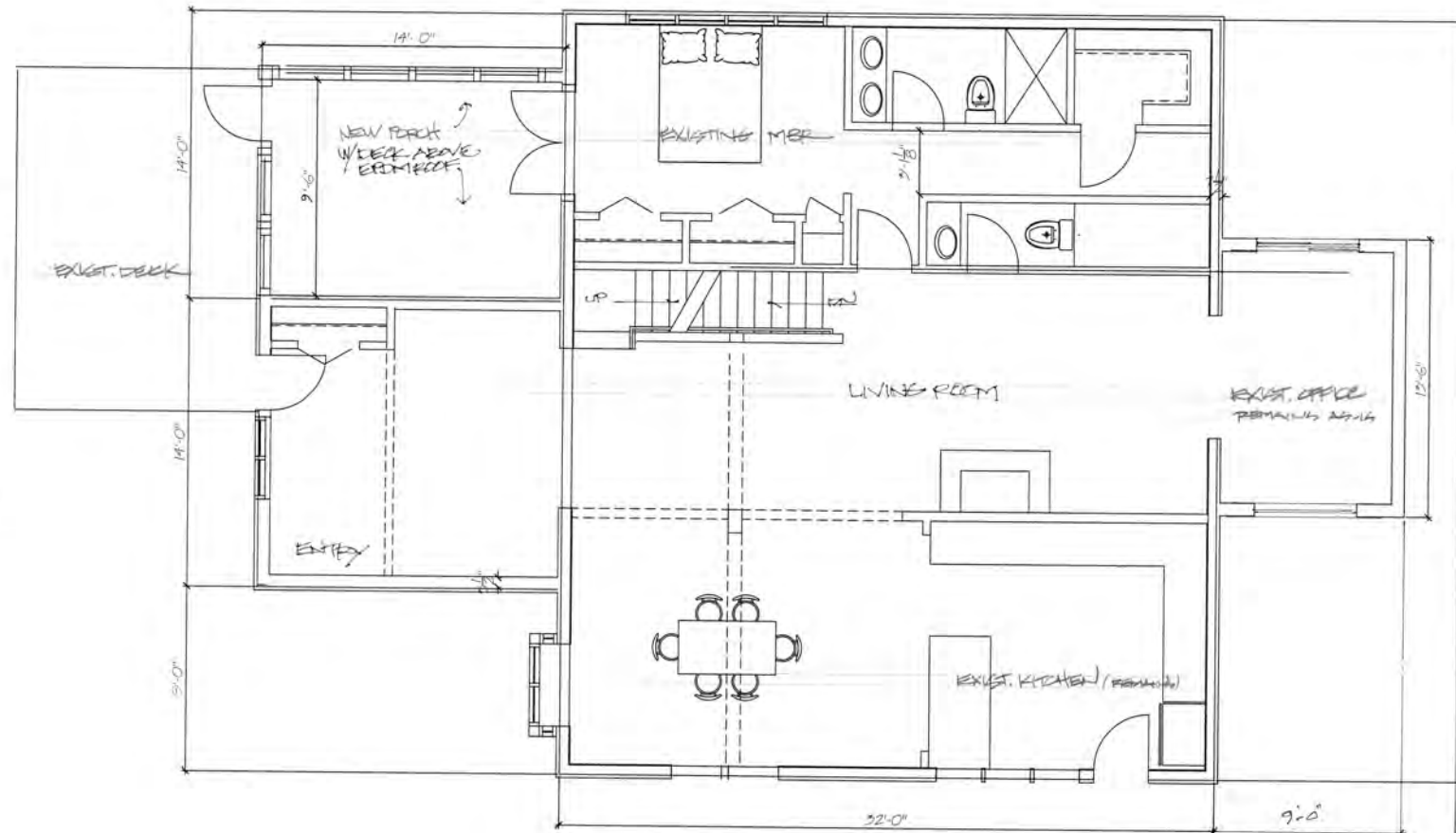
191 Inn Street
Newburyport
Massachusetts 01950
johnsavaarchitects.com
JOHN SAVA ARCHITECTS, LLC
tel 978 417 9324
john@johnsavaarchitects.com
John S. Sava, Principal
AIA, NCARB

Addition for: Gregory Elliot and Candace McMahon
12, 54th Street, Newburyport, Ma 01950
EXISTING CONDITIONS

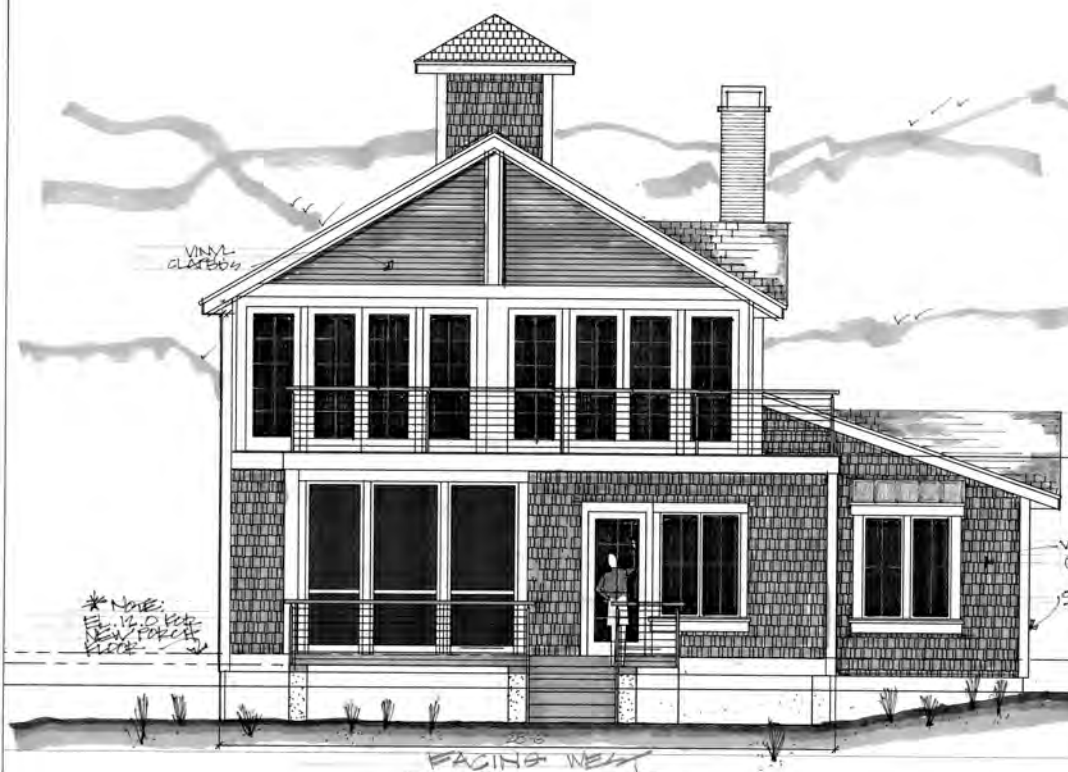
9/23/19



SECOND FLOOR PLAN



FIRST FLOOR PLAN

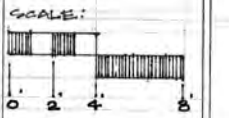


FACING WEST



FACING SOUTH

SCHEMATIC DESIGN



No.	Description	Date
1	PLANS FOR WORK	1/23/19

RESIDENCE
12 56 th Street
Newburyport, MA

FLOOR PLANS & EXTERIOR ELEVATIONS

Project Number 1002
Date February 23, 2019

A1.0

Scale 1/4" = 1'-0"

19L Inn Street
 Newburyport
 Massachusetts 01950
 johnsavaarchitect.com

JOHN SAVA ARCHITECTS, LL

tel (978) 417 9324
 john@johnsavaarchitects.com
 John S. Sava, Principal
 AIA, NCARB

General Notes:
 GENERAL CONTRACTOR SHALL MAKE ALL
 SUB-CONTRACTORS AND SUPPLIERS AWARE
 OF THE REQUIREMENTS OF THESE NOTES.

ALL WORK SHALL BE PERFORMED IN COM-
 PLIANCE WITH ALL APPLICABLE LOCAL,
 STATE AND NATIONAL BUILDING, LIFE
 SAFETY, ELECTRICAL AND PLUMBING CODE.

ELECTRICAL CONTRACTOR SHALL BE RESPO-
 NSIBLE FOR SECURING ALL PERMITS NECESS-
 ARY FOR COMPLETION OF WORK THROUGH-
 OUT THE CONTRACT DOCUMENTS.

GENERAL CONTRACTOR SHALL LAYOUT IN
 THE FIELD THE ENTIRE WORK TO BE PER-
 FORMED TO VERIFY ALL EXISTING CONDIT-
 IONS AND LOCATIONS BEFORE PROCEEDING
 WITH WORK.

GENERAL CONTRACTOR SHALL BE RESPONS-
 IBLE FOR THE CO-ORDINATION OF DIMEN-
 SIONAL REQUIREMENTS BETWEEN THE WOR-
 K OF REQUIRED TRADES / SUB-CONTRACTORS.
 FOR WORK.

ANY DISCREPANCIES FOUND IN THE PLANS,
 DIMENSIONS, EXISTING CONDITIONS OR AN
 APPARENT ERROR IN THE CLASSIFYING OR
 SPECIFICATION OF A PRODUCT, MATERIAL
 OR METHOD OF ASSEMBLY IS TO BE
 BROUGHT TO THE ATTENTION OF THE GEN-
 ERAL CONTRACTOR IMMEDIATELY.

REGARDLESS OF WHETHER OR NOT AN ITEM
 IS SHOWN OR SPECIFIED, THE GENERAL CON-
 TRACTOR SHALL PROVIDE SAID ITEM IF IT IS
 NECESSARY FOR THE PROPER INSTALLATION
 OR FUNCTION OF AN ITEM SHOWN OR SPECI-
 FIED. SUPPLIERS AND SUBCONTRACTORS
 SHALL INFORM THE GENERAL CONTRACTOR
 OF THEIR REQUIREMENTS FOR THE WORK &
 OTHER TRADES, WHICH MAY NOT BE INDI-
 CATED, PRIOR TO SUBMITTAL OF FINAL BID.

DRAWINGS SHALL NOT BE SCALED FOR
 DIMENSIONS AND/OR SIZES. DRAWINGS MAY
 HAVE BEEN REPRODUCED AT A SCALE DI-
 FFERENT THAN ORIGINALLY DRAWN.

Gregory Elliot & Candace McMahon
 12,54 th St. Newburyport, Ma 01950

REVISIONS:

- Date:
- Date:
- Date:
- Date:

ISSUE DATES:

- Date: 9/23/19
- Date:
- Date:
- Date:

Drawing Title:

PROPOSED NORTH AND
 EAST ELEVATIONS

Drawing Sheet Number:

A-2.0



northoly



West Elevation



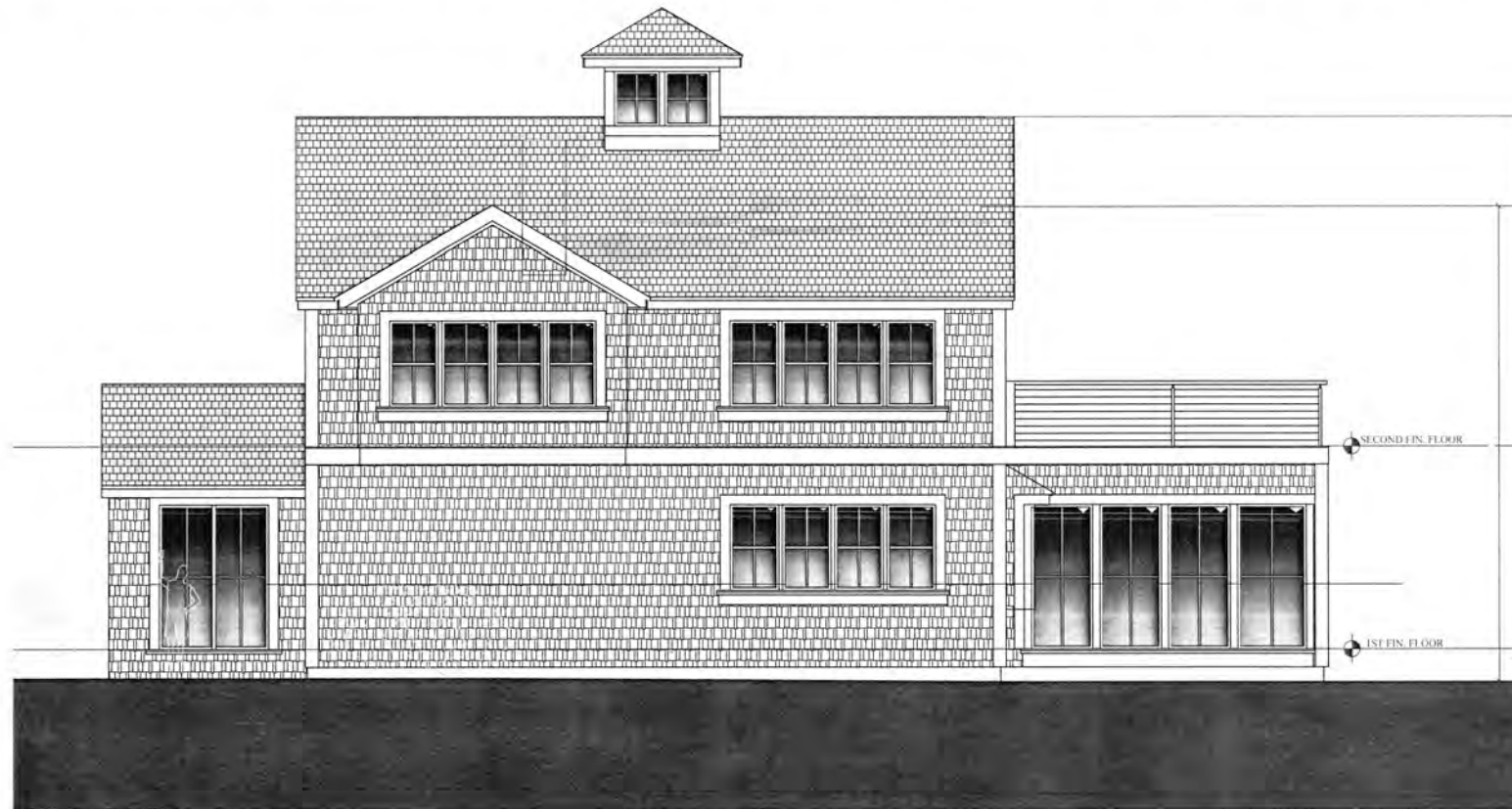
northoly



Westly

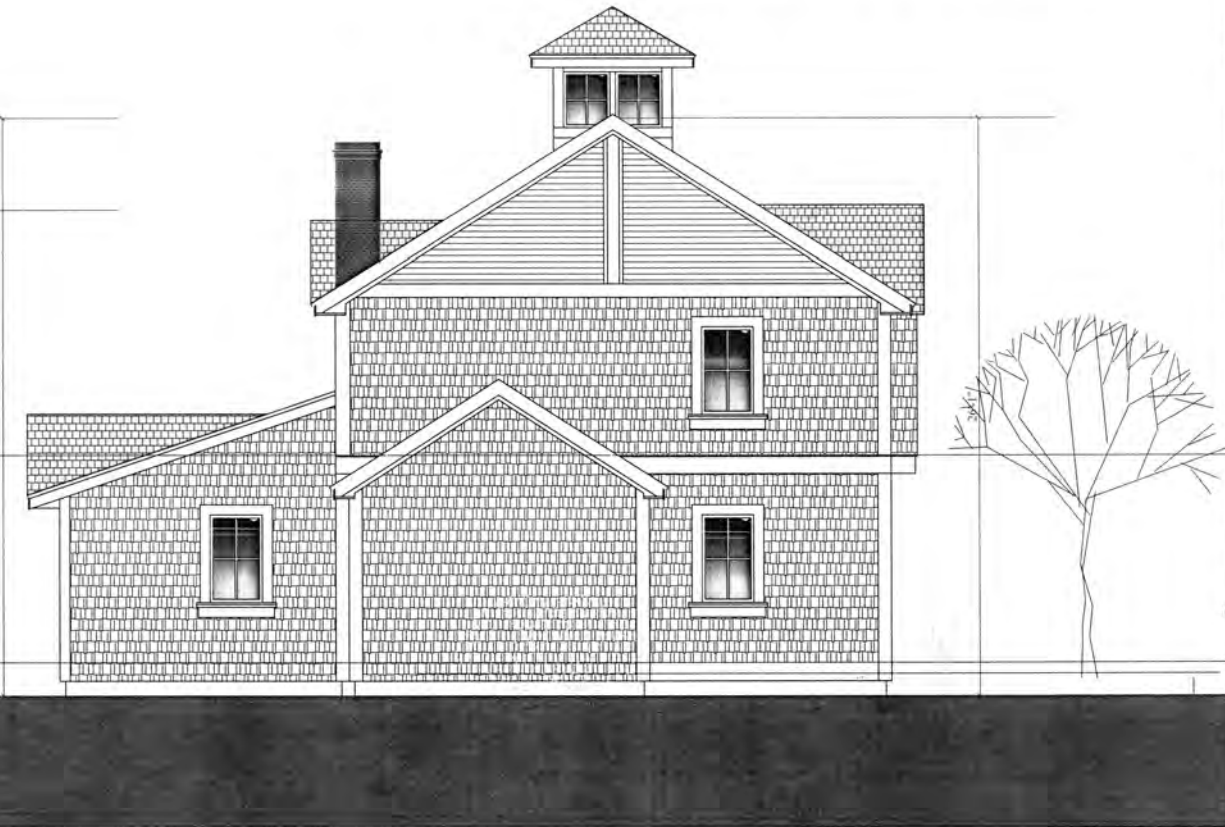


north



NORTH ELEVATION

Scale 1/4" = 1'-0"

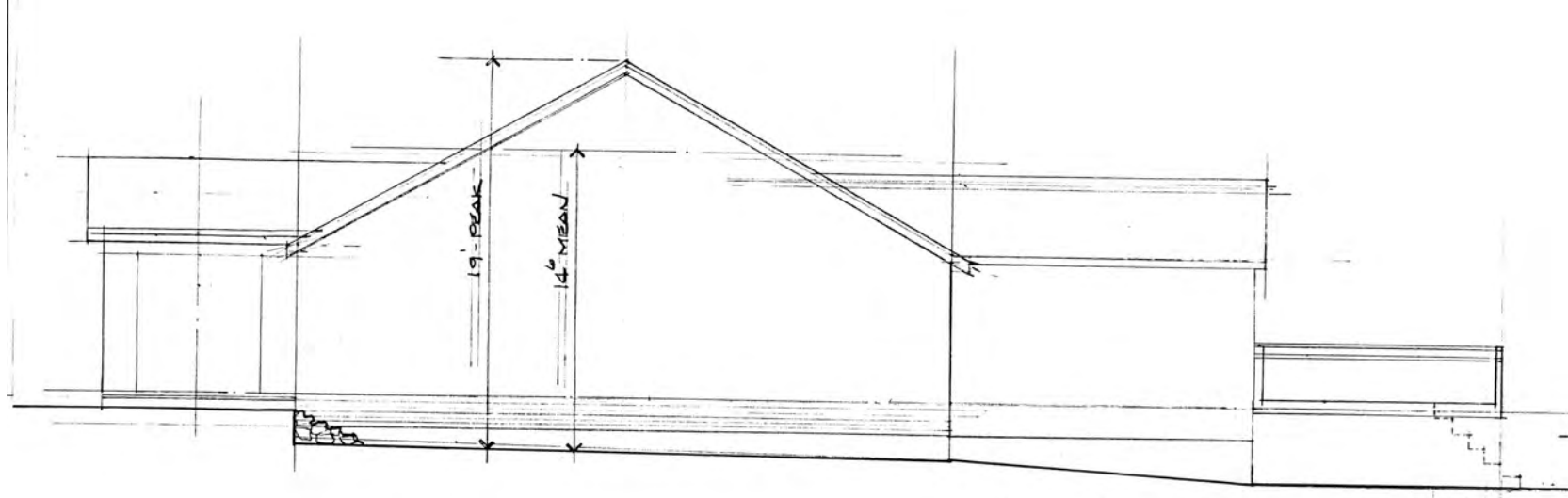


EAST ELEVATION

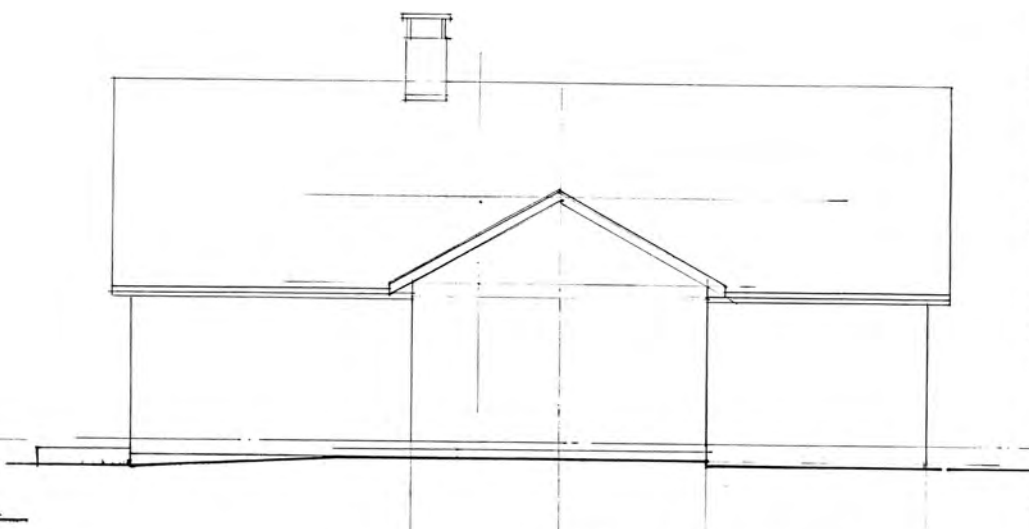
Scale 1/4" = 1'-0"

19 Inn Street
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 www.savaarchitects.com
SAVA. ARCHITECTS
 tel 978 462 8288
 cell 978 417 9324
 savaarchitects@verizon.net
 John S. Sava, AIA principal

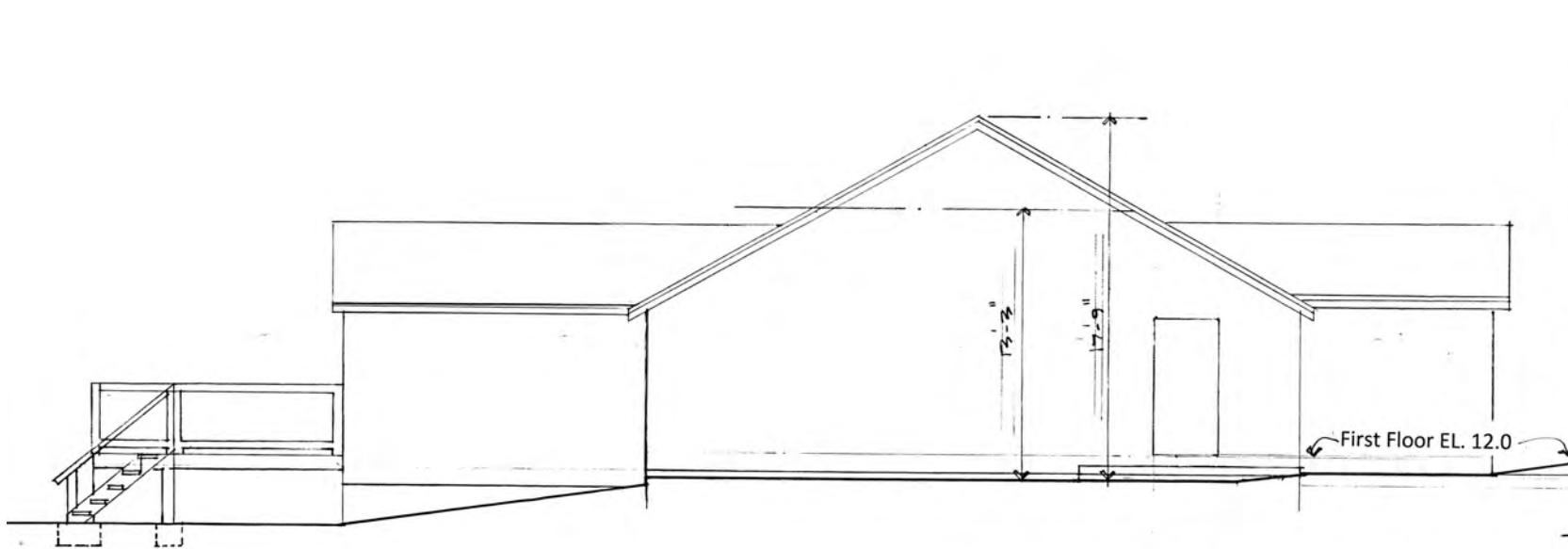
Addition for:
 Elliott Gregory & Candace McMahon
 12,54th St. Newburyport, Ma 01950



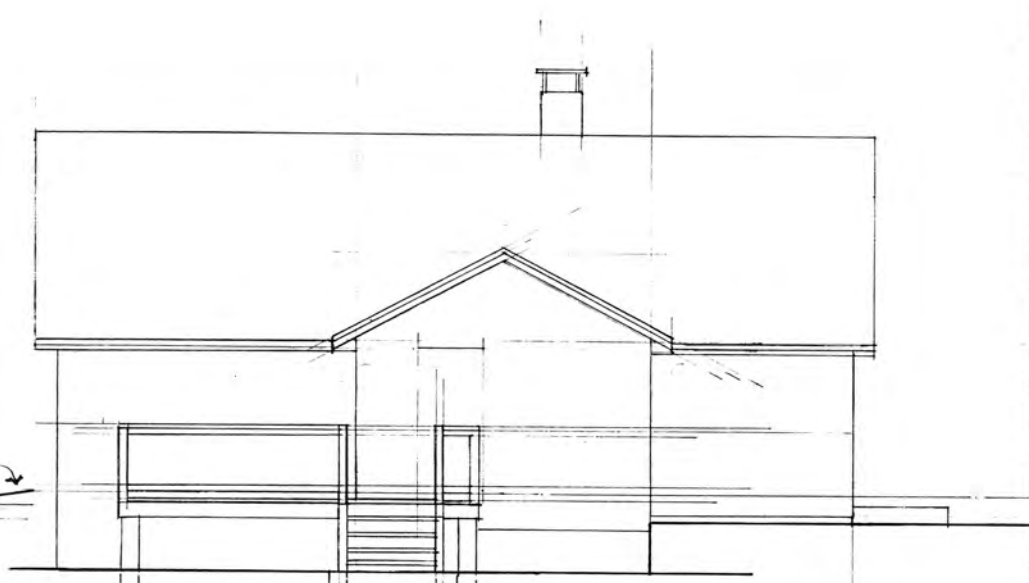
#12,54th ST. NORTH ELEVATION
 EXISTING CONDITIONS



#12,54th ST. EAST ELEVATION
 EXISTING CONDITIONS



#12,54th ST. SOUTH ELEVATION
 EXISTING CONDITIONS



#12,54th ST. WEST ELEVATION
 EXISTING CONDITIONS

Drawing Title:
 AS- BUILT CONDITIONS

REVISIONS:
 Date:
 Date:
 Date:
 Date:

ISSUE DATES
 Date: 9/23/19
 Date:
 Date:

Drawing Sheet Number: