

MASTER DEVELOPMENT PLAN

WATERFRONT WEST - NEWBURYPORT, MA

CONSULTANTS		
OWNER'S LEGAL COUNSEL GOULSTON & STORRS 400 ATLANTIC AVENUE BOSTON, MA 02110 (617) 482-1776	CIVIL ENGINEER RJ O'CONNELL & ASSOCIATES, INC. 80 MONTVALE AVENUE STONEHAM, MA 02180 (781) 279-0180	ARCHITECT DUMONT JANKS 129 KINGSTON STREET BOSTON, MA 02111 (781) 439-7420
SURVEYOR FELDMAN LAND SURVEYORS 112 SHAWMUT AVENUE BOSTON, MA 02118 (617) 357-9740	TRAFFIC VANASSE & ASSOCIATES 35 NEW ENGLAND BUSINESS CENTER DRIVE - SUITE 140 ANDOVER, MA 01810 (978) 474-8800	



DRAWING INDEX			
DRAWING DATE	LAST REVISION	DRAWING	DRAWING DESCRIPTION
07/25/2019	-		COVER SHEET
07/25/2019	-	L-100	MASTER DEVELOPMENT PLAN
03/07/2017	-	1 OF 2	EXISTING CONDITIONS PLAN (PREPARED BY FELDMAN)
03/07/2017	-	2 OF 2	EXISTING CONDITIONS PLAN (PREPARED BY FELDMAN)
07/25/2019	-	C-1	CONCEPTUAL SITE PLAN
07/25/2019	-	C-2	GRADING AND DRAINAGE PLAN
07/25/2019	-	C-3	UTILITY PLAN
07/25/2019	-	C-4	PEDESTRIAN/BICYCLE CIRCULATION PLAN
07/25/2019	-	FT-1	FIRE TRUCK TURNING PLAN
07/25/2019	-	MT-1	MARINE TRUCK TURNING PLAN
07/15/2019	-	L-101	CONCEPTUAL PHASING PLAN
07/15/2019	-	L-102	AMENITIES AND SITE FEATURES PLAN
07/25/2019	-	EXH-1	PUBLIC OPEN SPACE PLAN
07/25/2019	-	EXH-2	HEIGHT DIAGRAM
07/25/2019	-	N-1	GENERAL NOTES

PREPARED BY:

**RJO'CONNELL &
ASSOCIATES, Inc.**
CIVIL ENGINEERS, SURVEYORS &
LAND PLANNERS
80 MONTVALE AVENUE
STONEHAM, MA 02180
PHONE: 781-279-0180
FAX: 781-279-0173

PREPARED FOR:

NEWBURYPORT MANAGER LLC
c/o NEW ENGLAND
DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116

**ISSUED FOR MASTER PLAN
DEVELOPMENT
07/25/2019**

<input type="checkbox"/> NOTICE OF INTENT
<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION
<input type="checkbox"/> ISSUED FOR REVIEW
<input checked="" type="checkbox"/> ISSUED FOR PERMIT
<input type="checkbox"/> ISSUED FOR BID/PRICING
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DRAWING NUMBER:

C-0

PROJECT NUMBER:

16025



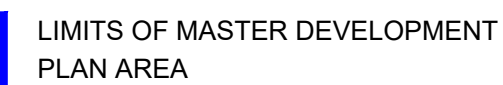
- OVERALL DEVELOPMENT CRITERIA:**
DEVELOPMENT AREA: ≈5.7 ACRES

ANTICIPATED BUILDING PROGRAM

(EXCLUSIVE OF EXISTING MARINA):

- RETAIL / SERVICE: 10,000 S.F.

- RESIDENTIAL: 215 UNITS
- HOTEL: 100 UNITS



■■■■■ PERMISSIBLE BUILDING AREAS

PERMITTED USES

- RESIDENTIAL
- INSTITUTIONAL / GOVERNMENT / MEDICAL
- BUSINESS
- FOOD SERVICE
- INDUSTRIAL / INFRASTRUCTURE
- MARINA / ACCESSORY
- OPEN SPACE / RECREATIONAL
- HOTEL / INN

NOTE: FOR COMPLETE LIST OF PERMITTED USES,
SEE WATERFRONT WEST OVERLAY DISTRICT
SECTION XXIV-C - USES.

THE ALLOWED HEIGHT RANGES ARE DESCRIBED IN
SECTION XXIV-D(1)(E) OF THE ZONING ORDINANCE

PARKING SCHEDULE

REQUIRED PARKING SHALL BE AS SET FORTH BELOW, AND GENERALLY
CONSISTENT WITH THE FOLLOWING IN THE AGGREGATE:

0 15 30 60
GRAPHIC SCALE = FEET

Seal:

Designed by:	DJ
Drawn by:	NC
Checked by:	RD
Scale:	1" = 40'-0"
Date:	7/22/2019

Prepared for:

**NEW ENGLAND
DEVELOPMENT**

75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:

DUMONTJANKS

129 KINGSTON ST. FL 1
BOSTON, MA 02111

P: 617.275.2355

Project Name:

WATERFRONT WEST

Drawing Name:

MASTER
DEVELOPMENT PLAN

Drawing No.: **L-100**
Project No.: 031502

03/07/2017	REVISED LIMITS OF LOCUS
02/13/2017	REVISED (SEE NOTE #13)
11/18/2016	REVISED LIMITS OF LOCUS, ADDED ADDITIONAL PAVEMENT WIDTHS
11/04/2016	REFORMATTED PLAN, ADDED R.O.W. & PAVEMENT WIDTHS
11/01/2016	PLOTTED FLOOD ZONE BY ELEVATION
09/06/2016	REVISED LIMITS OF LOCUS
08/10/2016	ADDED RESOURCE FLAGS, APPROXIMATE SEAWARD EDGE OF SALT MARSH & MEAN LOW WATER BY ELEVATION
08/08/2016	ADDED WDUZ & CHAPTER 91 LINES (SEE NOTE #13)

EXISTING CONDITIONS PLAN
MERRIMAC STREET
NEWBURYPORT, MASS.

FELDMAN LAND SURVEYORS JUNE 28, 2016
152 HAMPDEN STREET PHONE: (617)357-9740
BOSTON, MASS. 02119 www.feldmansurveyors.com

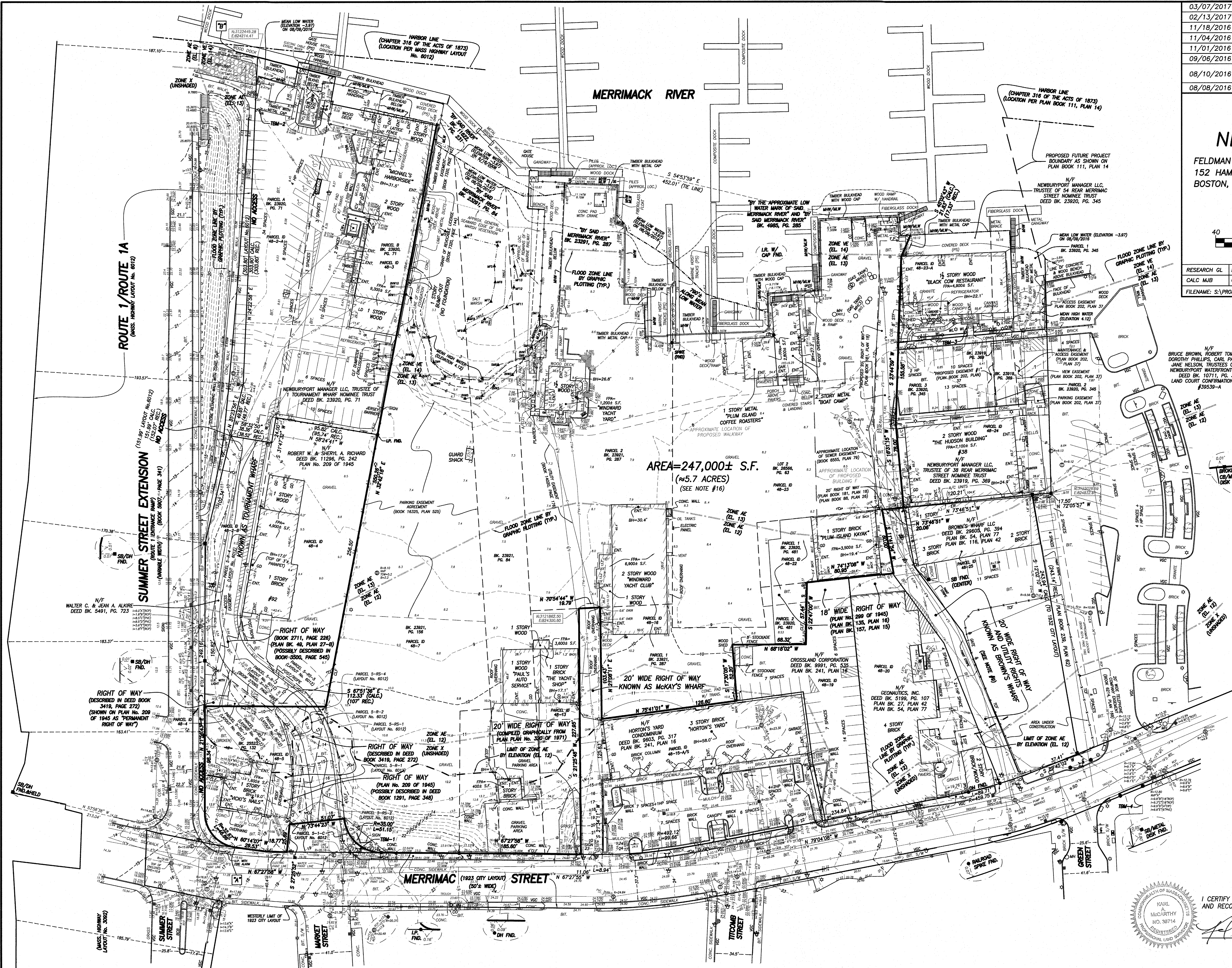
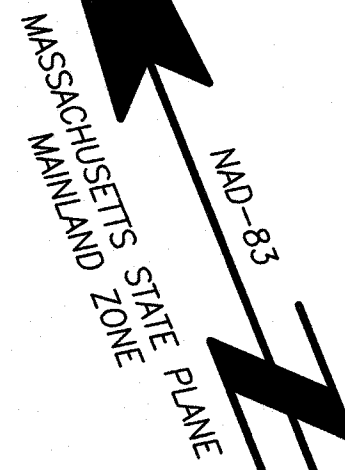
FELDMAN
LAND SURVEYORS



SCALE: 1"=40'

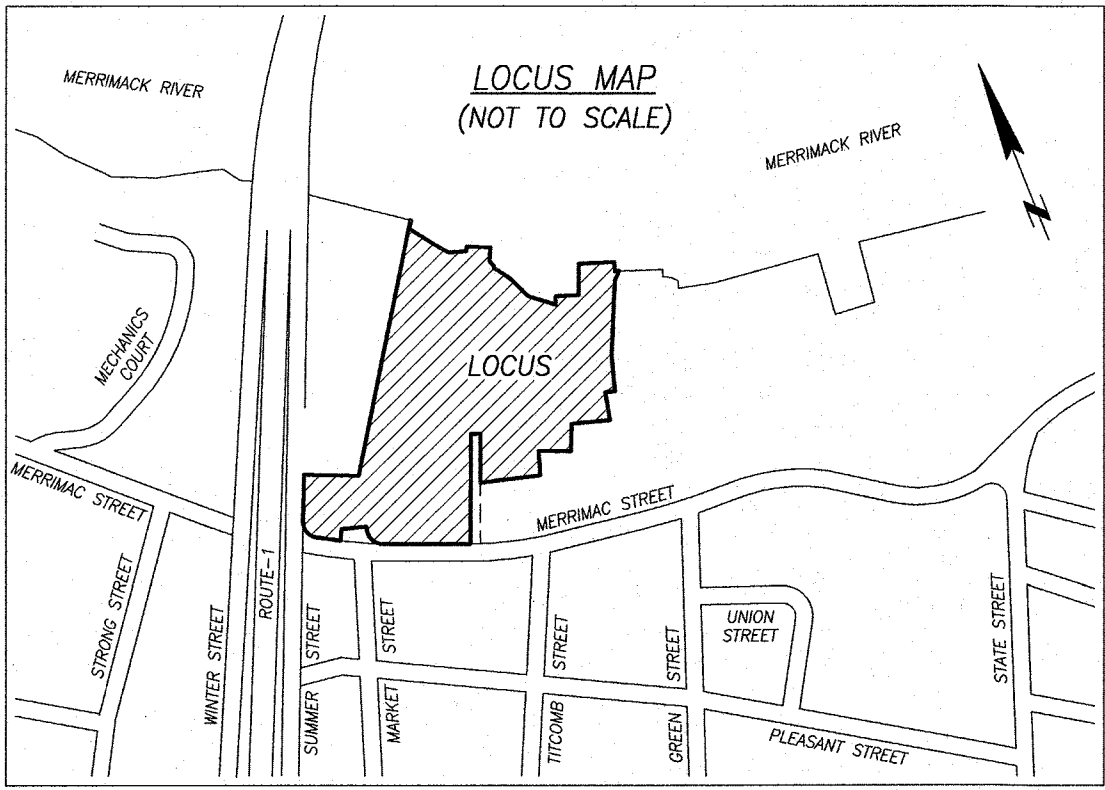
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CALC: MJB	CADD GL/MJB	FIELD CHECKED MJB	CRD FILE 15200	JOB NO. 15200
FILENAME: S:\PROJECTS\15200\15200.DWG\15200-EC-3.dwg				

N/F
BRUCE BROWN, ROBERT TOMMASINO,
DOROTHY PHILLIPS, CARL PANUCCI &
JANE NELSON, TRUSTEES OF THE
NEWBURYPORT WATERFRONT TRUST
DEED BK. 10711, PG. 370
LAND COURT CONFIRMATION CASE
#39539-A



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND RECORD PLANS AND DEEDS.

Karl McCarthy
03-07-2017



ZONING CLASSIFICATION: "WATERFRONT MIXED USE" ("WMU")

REFER TO SECTION XVIII-C, WATERFRONT ZONING DISTRICTS-ALLOWABLE USES AND DENSITY REQUIREMENTS, SECTION V, USE REGULATIONS, AND SECTION VI, DIMENSIONAL CONTROLS, OF THE ZONING ORDINANCE OF THE CITY OF NEWBURYPORT.

REFERENCES

ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT DEEDS

BOOK	5199, PAGE 107
	9603, 317
	9991, 535
	10467, 359
	10711, 370
	11296, 242 (LOCUS)
	13923, 152
	23919, 369 (LOCUS)
	23920, 71 (LOCUS)
	23290, 345 (LOCUS)
	23290, 481 (LOCUS)
	23921, 84 (LOCUS)
	23921, 156 (LOCUS)
	23921, 287 (LOCUS)
	25523, 132 (LOCUS)
	26515, 591
	26566, 63 (LOCUS)

PLANS
PLAN No. 209 OF 1945
299 OF 1945
444 OF 1946
320 OF 1971

PLAN BOOK	27, PLAN 42
	49, 27-B
	54, 77
	88, 26
	111, 14
	116, 42
	124, 04
	135, 16
	157, 15
	174, 37
	174, 38
	177, 46
	181, 18
	184, 44
	202, 37
	226, 70
	239, 62
	241, 16

COUNTY ENGINEERING DEPARTMENT
PLAN ENTITLED "RELOCATION OF MERRIMACK STREET
IN THE CITY OF NEWBURYPORT MASS." DATED
JUNE 1923, BY MORSE & CHASE, ENGINEERS

MASSACHUSETTS LAND COURT
LCC 39539-A (CONFIRMATION)

MASSACHUSETTS HIGHWAY DEPARTMENT
LAYOUT No. 6012
3092

GENERAL NOTES:

1) BENCH MARK INFORMATION:

BENCH MARK USED:

TIDAL BENCHMARK F1 DESCRIBED BY NATIONAL GEODETIC SURVEY 1966 "AT NEWBURYPORT, ALONG GREEN STREET, BETWEEN MERRIMACK STREET AND PLEASANT STREET, DIRECTLY BEHIND THE CITY HALL, SET VERTICALLY IN THE SOUTH FACE AT THE SOUTHWEST CORNER OF THE POLICE STATION AND DISTRICT COURT A TWO-STORIED BRICK BUILDING, 54 FEET WEST OF THE WEST CURB OF GREEN STREET, 1.5 FEET EAST OF THE SOUTHWEST CORNER OF THE BUILDING, AND ABOUT 1.7 FEET ABOVE THE LEVEL OF THE SIDEWALK."
ELEVATION = 25.85

TEMPORARY BENCH MARKS SET:

TBM-1 X-CUT SET ON THE LEFT REAR HYDRANT BOLT ON THE NORTH SIDE OF MERRIMACK STREET NEAR THE ENTRANCE TO MICHAEL'S HARBORSIDE RESTAURANT AS SHOWN ON THIS PLAN. ELEVATION = 22.58

TBM-2 SPIKE SET 1 FOOT UP IN THE SOUTHEAST FACE OF UTILITY POLE #14-8 NEAR THE NORTHWESTERLY CORNER OF MICHAEL'S HARBORSIDE RESTAURANT PARKING LOT AS SHOWN ON THIS PLAN. ELEVATION = 9.75

TBM-3 LEFT OUTER CORNER OF THE LOWEST GRANITE STEP AT THE ENTRANCE TO THE BLACK COW RESTAURANT AS SHOWN ON THIS PLAN. ELEVATION = 8.87

TBM-4 LEFT OUTER CORNER OF THE LOWEST GRANITE STEP AT THE SOUTHEAST CORNER OF THE INTERSECTION OF MERRIMACK STREET AND GREEN STREET. ELEVATION = 15.28

2) ELEVATIONS REFER TO NAVD-88.

3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.

4) COORDINATES SHOWN HEREON REFER TO MASSACHUSETTS STATE PLANE MAINLAND ZONE COORDINATE SYSTEM (NAD-83).

5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE FOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLAN, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY TWO HOURS PRIOR TO EXCAVATION.

6) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

7) TO THE BEST OF OUR KNOWLEDGE MEAN HIGH WATER AND MEAN LOW WATER RUN ALONG THE FACE OF THE BULKHEAD EXCEPT AS SHOWN.

8) THE DOCKS, FLOATS AND GANGWAYS ARE SHOWN HEREON AS LOCATED BETWEEN 08/28/2008 AND 06/28/2016.

9) APPROXIMATE LOCATION OF 20' WIDE RIGHT OF WAY AND UTILITY RIGHTS KNOWN AS BROWN'S WHARF PLOTTED GRAPHICALLY FROM PLAN BOOK 27, PLAN 42 & PLAN No. 299 OF 1945.

10) PARCEL IDS SHOWN HEREON REFER TO THE CITY OF NEWBURYPORT'S GIS WEBSITE DESIGNATIONS.

11) PARCEL 48-13, AS SHOWN HEREON, HAS RIGHTS IN A WAY, AS REFERENCED IN DEED BOOK 23921, PAGE 84, WHICH MAY BE THE RIGHT OF WAY KNOWN AS MCKAY'S WHARF. PARCEL 48-16, AS SHOWN HEREON, HAS RIGHTS IN SAID RIGHT OF WAY AS REFERENCED IN DEED BOOK 23921, PAGE 287.

12) BY GRAPHIC PLOTTING ONLY, THE PARCELS SHOWN HEREON LIE WITHIN A ZONE "VE" (EL. 14), AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT WITH ADDITIONAL HAZARDS DUE TO STORM-INDUCED VELOCITY WAVE ACTION; ZONE "AE" (EL. 12 & 13), AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT; AND ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR ESSEX COUNTY, MASSACHUSETTS, MAP NUMBERS 25009C0128F, HAVING AN EFFECTIVE DATE OF JULY 3, 2012, & 25009C0136G, HAVING AN EFFECTIVE DATE OF JULY 16, 2014, CITY OF NEWBURYPORT, COMMUNITY NUMBER 250097, PANEL NUMBERS 0128F & 0136G.

13) THE HISTORIC LOW WATER MARK, HISTORIC HIGH WATER LINE & INFERRED HISTORIC HIGH WATER LINE AND THE PURPORTED WATER DEPENDENT USE ZONE (WDUZ) THAT WERE PROVIDED BY RJ O'CONNELL & ASSOCIATES, INC. HAVE BEEN REMOVED FROM THIS PLAN.

14) WETLAND RESOURCE FLAGS SHOWN HEREON WERE SET BY AECOM IN AUGUST, 2016.

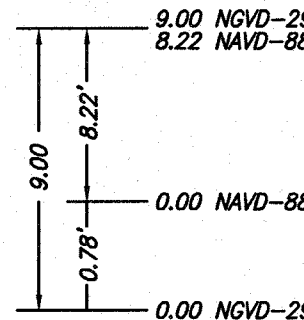
15) THERE IS NO ACCESS TO OR EGRESS FROM THE STATE HIGHWAY (LAYOUT NO. 6012) ALONG THE SOUTHEASTERLY SIDELINE THEREOF FROM THE POINT LABELED HEREON AS "A", NORTHEASTERLY TO THE POINT LABELED HEREON AS "B".

16) WITHIN THE RECORD DEEDS, CERTAIN PARCEL DESCRIPTIONS CALL OUT PARCELS RUNNING "BY" THE MERRIMACK RIVER AND RUNNING, IN PART, "BY THE APPROXIMATE LOW WATER MARK". THE AREA SHOWN HEREON IS CALCULATED TO MEAN LOW WATER AS LOCATED ON AUGUST 09, 2016.

LEGEND:

① DRAIN MANHOLE
② ELECTRIC MANHOLE
③ SEWER MANHOLE
④ TELEPHONE MANHOLE
⑤ MANHOLE
⑥ CATCH BASIN
⑦ MAIL BOX
⑧ GAS SHUT OFF
⑨ WATER SHUT OFF
⑩ SIGN
⑪ HYDRANT
⑫ OBSERVATION WELL
⑬ UTILITY POLE
⑭ GUY POLE
⑮ LIGHT POLE
⑯ WALK LIGHT
⑰ SPOT LIGHT
⑱ FIRE ALARM
⑲ BIKE RACK
⑳ CLEANOUT
㉑ ELECTRIC RISER
㉒ SHUT OFF
㉓ IRRIGATION CONTROL VALVE
㉔ SPRINKLER CONNECTION
㉕ FLAGPOLE
㉖ GATE POST
㉗ ELECTRIC BOX
㉘ ELECTRIC METER
㉙ GAS METER
㉚ GUY WIRE
㉛ BOLLARD
㉜ WETLAND FLAG
㉝ HANDICAP RAMP
㉞ TREE
I= INVERT ELEVATION
R= RIM ELEVATION
TOW= TOP OF WATER ELEVATION
T TOP
B BOTTOM
F.O.W. FULL OF WATER
INACC. INACCESSIBLE
FL FLUSH
TC TOP OF CURB
BC BOTTOM OF CURB
TW TOP OF WALL
BW BOTTOM OF WALL
A/C AIR CONDITIONING UNIT
BIT. BITUMINOUS CONCRETE
BCB BITUMINOUS CONCRETE BERM
C. CONCRETE
CONC. CONCRETE
CC CONCRETE CURB
SGC SLOPED GRANITE CURB
VGC VERTICAL GRANITE CURB
CLF CHAIN LINK FENCE

STF STOCKADE FENCE
TCF TEMPORARY CONSTRUCTION FENCE
WIF WROUGHT IRON FENCE
FND FOUND
REC RECORD
APPROX. APPROXIMATE
LOC. LOCATION
FPA FOOTPRINT AREA
SB/DH STONE BOUND/DRILL HOLE
DH DRILL HOLE
I.P. IRON PIPE
I.R. IRON ROD
CB CONCRETE BOUND
MTL METAL
BLKHD. BULKHEAD
BK. BOOK
PG. PAGE
NVP NO VISIBLE PIPE(S)
CBW CONCRETE BLOCK WALL
PS PILE SUPPORTED
CIP CAST IRON PIPE
CMP CORRUGATED METAL PIPE
CPP CORRUGATED PLASTIC PIPE
PVC POLYVINYL CHLORIDE
VCP VITRIFIED CLAY PIPE
RCF REINFORCED CONCRETE PIPE
CALC. CALCULATED
S.F. SQUARE FEET
TRANS. TRANSFORMER
BH BUILDING HEIGHT
LD LOADING DOCK
GD GARAGE DOOR
ENT. ENTRANCE
COB. COBBLESTONE
S/W SIDEWALK
TBM TEMPORARY BENCHMARK
U.P. UTILITY POLE
CW CONCRETE WALL
FFE FINISHED FLOOR ELEVATION
TYP. TYPICAL
MHW MEAN HIGH WATER
-x-x-x-x- CHAIN LINK FENCE
-o-o-o-o- HAND RAIL
-u-u-u-u- GUARD RAIL
-FM-S- FORCE MAIN SEWER
-S- SEWER
-D- DRAIN
-W- WATER
-G- GAS
-E- ELECTRIC
-T- TELEPHONE
-GUY- GUY WIRE
-OHW- OVERHEAD WIRES
----- FLOOD ZONE LINE BY GRAPHIC PLOTTING
----- FLOOD ZONE LINE BY ELEVATION



DATUM RELATION SKETCH
(NOT TO SCALE)

03/07/2017	REVISED LIMITS OF LOCUS
02/13/2017	REVISED (SEE NOTE #13)
11/18/2016	REVISED LIMITS OF LOCUS, ADDED ADDITIONAL PAVEMENT WIDTHS
11/04/2016	REFORMATTED PLAN, ADDED R.O.W. & PAVEMENT WIDTHS
11/01/2016	PLOTTED FLOOD ZONE BY ELEVATION
09/06/2016	REVISED LIMITS OF LOCUS
08/10/2016	ADDED RESOURCE FLAGS, APPROXIMATE SEAWARD EDGE OF SALT MARSH & MEAN LOW WATER BY ELEVATION
08/08/2016	ADDED WDUZ & CHAPTER 91 LINES (SEE NOTE #13)

**EXISTING CONDITIONS PLAN
MERRIMACK STREET
NEWBURYPORT, MASS.**

FELDMAN LAND SURVEYORS
152 HAMPDEN STREET
BOSTON, MASS. 02119

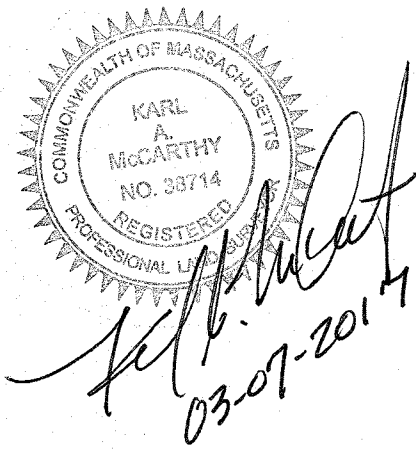
JUNE 28, 2016
PHONE: (617)357-9740
www.feldmansurveyors.com

FELDMAN
LAND SURVEYORS



SCALE: 1"=40'

RESEARCH GL	FIELD CHIEF AB	PROJ MGR MJB	APPROVED	SHEET NO. 1 OF 2
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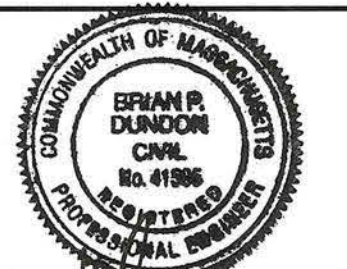


NO.	REVISION	DATE
1	ISSUED FOR MASTER PLAN DEVELOPMENT	07/25/2019
2		
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PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.278.5180 RJOCONNELL.COM

PREPARED FOR:
NEW ENGLAND DEVELOPMENT
 75 PARK PLAZA
 BOSTON, MA 02116
 617-965-8700

PROJECT NAME:
WATERFRONT WEST
 NEWBURYPORT, MA

SEAL:

 DESIGNED BY: SPG
 DRAWN BY: CNM/MCR
 REVIEWED BY: SPG
 SCALE: 1" = 40'
 DATE: 07/25/2019
 DRAWING NAME:

CONCEPTUAL SITE PLAN

DRAWING NUMBER:
C-1
 PROJECT NUMBER:
 16025

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Drawing name: G:\MA\Newburyport\New England Development\Waterfront West Development\Main\16025_C-1 Site Plan.dwg
 Jul 25, 2019 - 14:37pm

SUMMER STREET EXTENSION
 (ROUTE 1 ENTRANCE RAMP) (MASS. HIGHWAY LAYOUT No. 6012)
 (BOOK 5902, PAGE 341)

SUMMER STREET

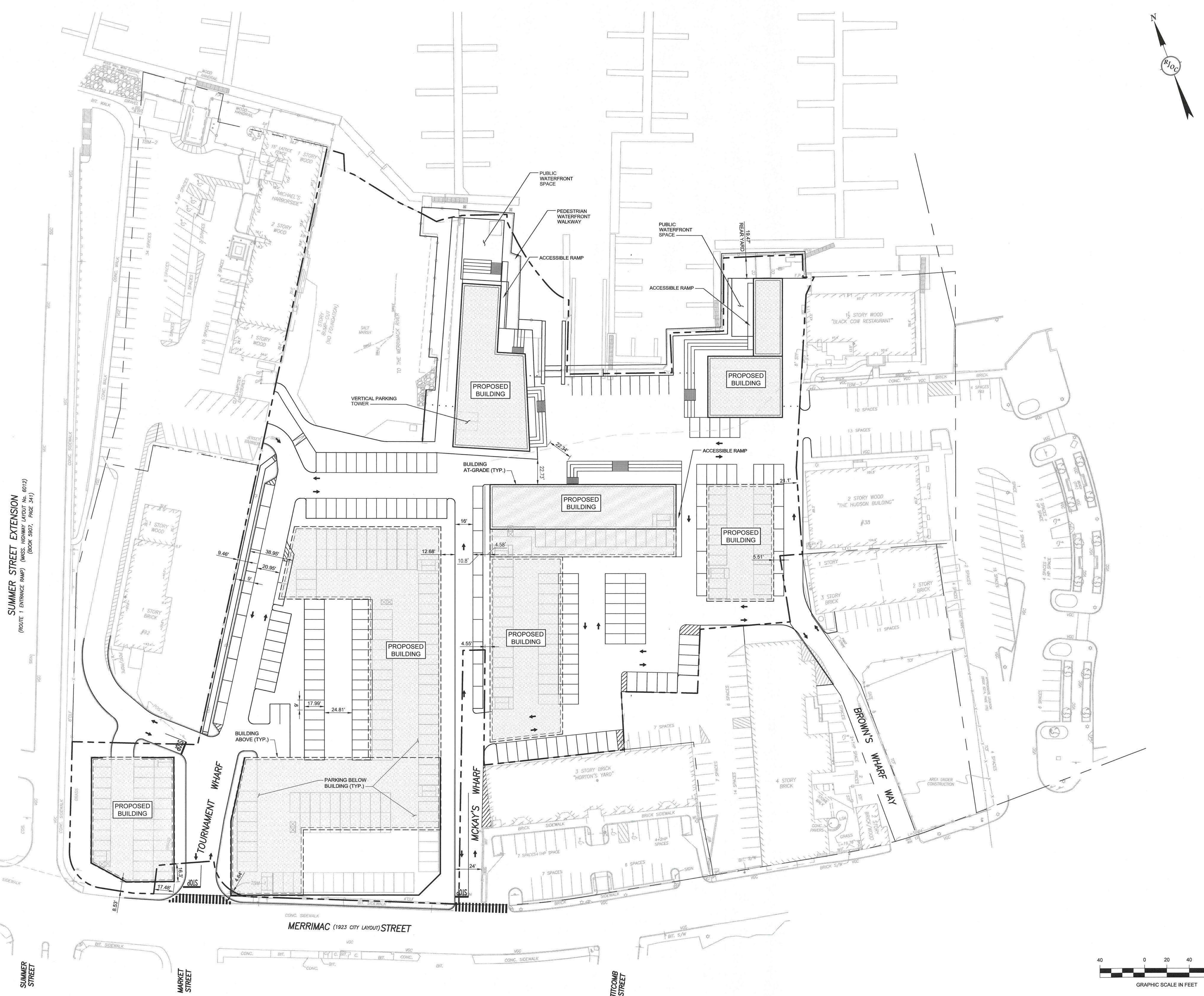
MARKET STREET

MERRIMAC (1923 CITY LAYOUT) STREET

TITCOMB STREET

MCKAY'S WHARF

BROWN'S WHARF WAY




NO.	REVISION	DATE
1	ISSUED FOR MASTER PLAN DEVELOPMENT	07/25/2019
2		
3		
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PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.279.9180 RJOCNNEL.COM

PREPARED FOR:
NEW ENGLAND DEVELOPMENT
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617-965-8700

PROJECT NAME:

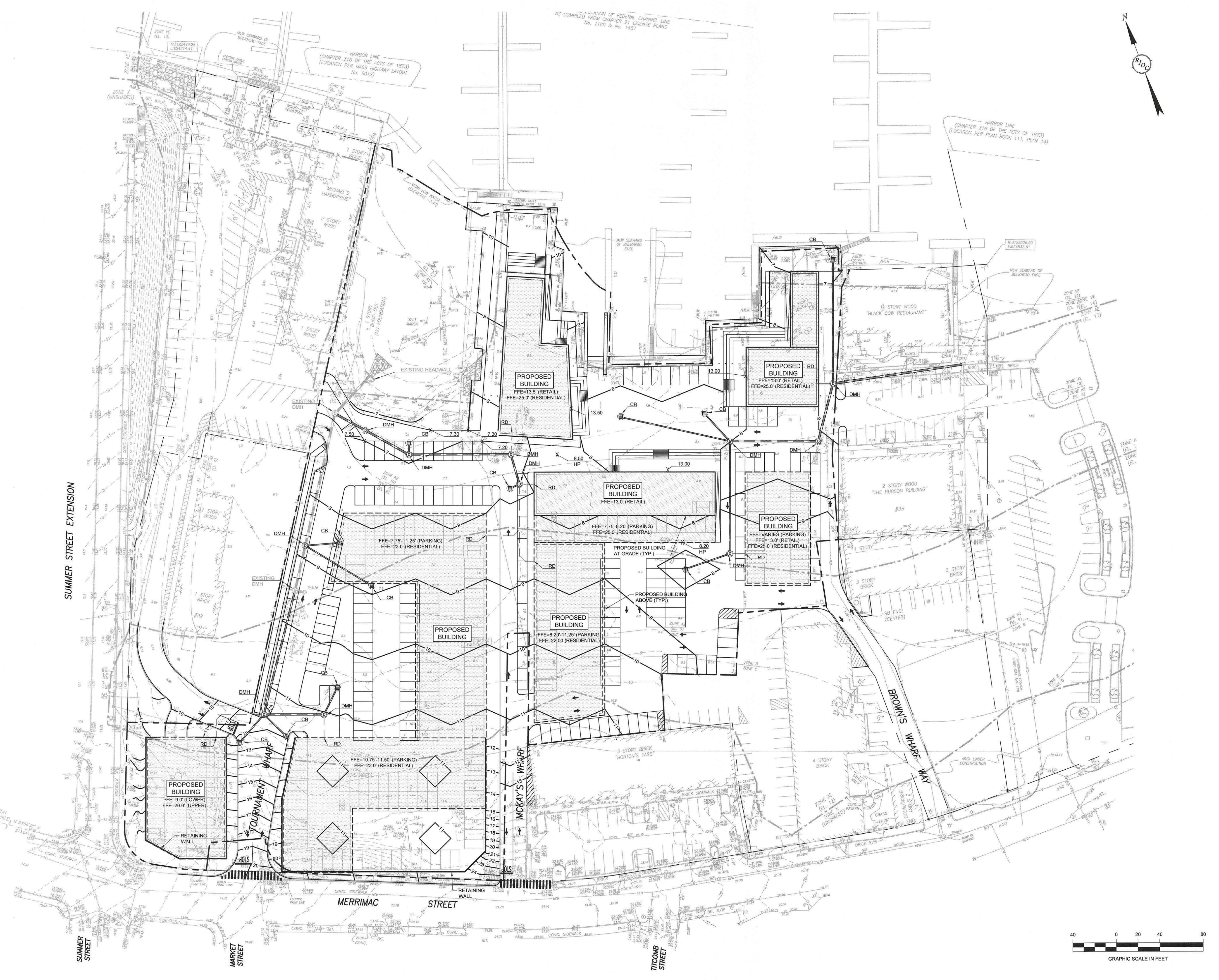
WATERFRONT WEST
NEWBURYPORT, MA

SEAL:

DESIGNED BY: CNM
DRAWN BY: CNM/MCR
REVIEWED BY: SPG
SCALE: 1" = 40'
DATE: 07/25/2019
DRAWING NAME:

GRADING AND DRAINAGE PLAN

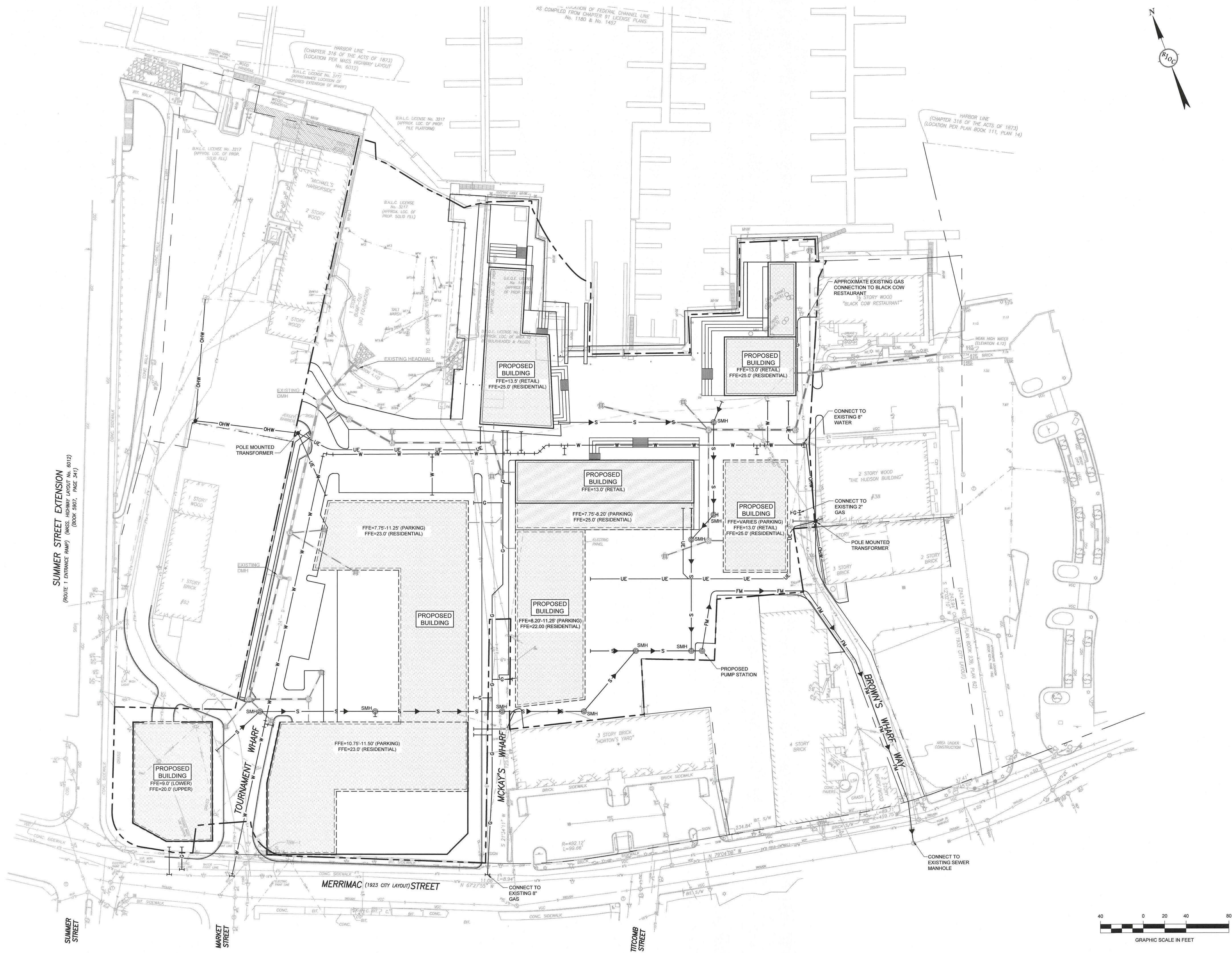
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C-2
PROJECT NUMBER:
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Jul 25, 2019 - 14:40pm

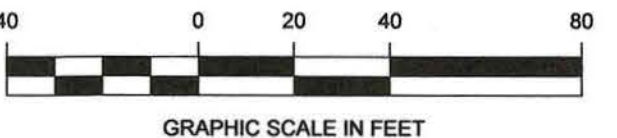


DRAWING NUMBER: **C-3**

PROJECT NUMBER: 16025



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PREPARED FOR:

**NEW ENGLAND
DEVELOPMENT**

75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

WATERFRONT WEST

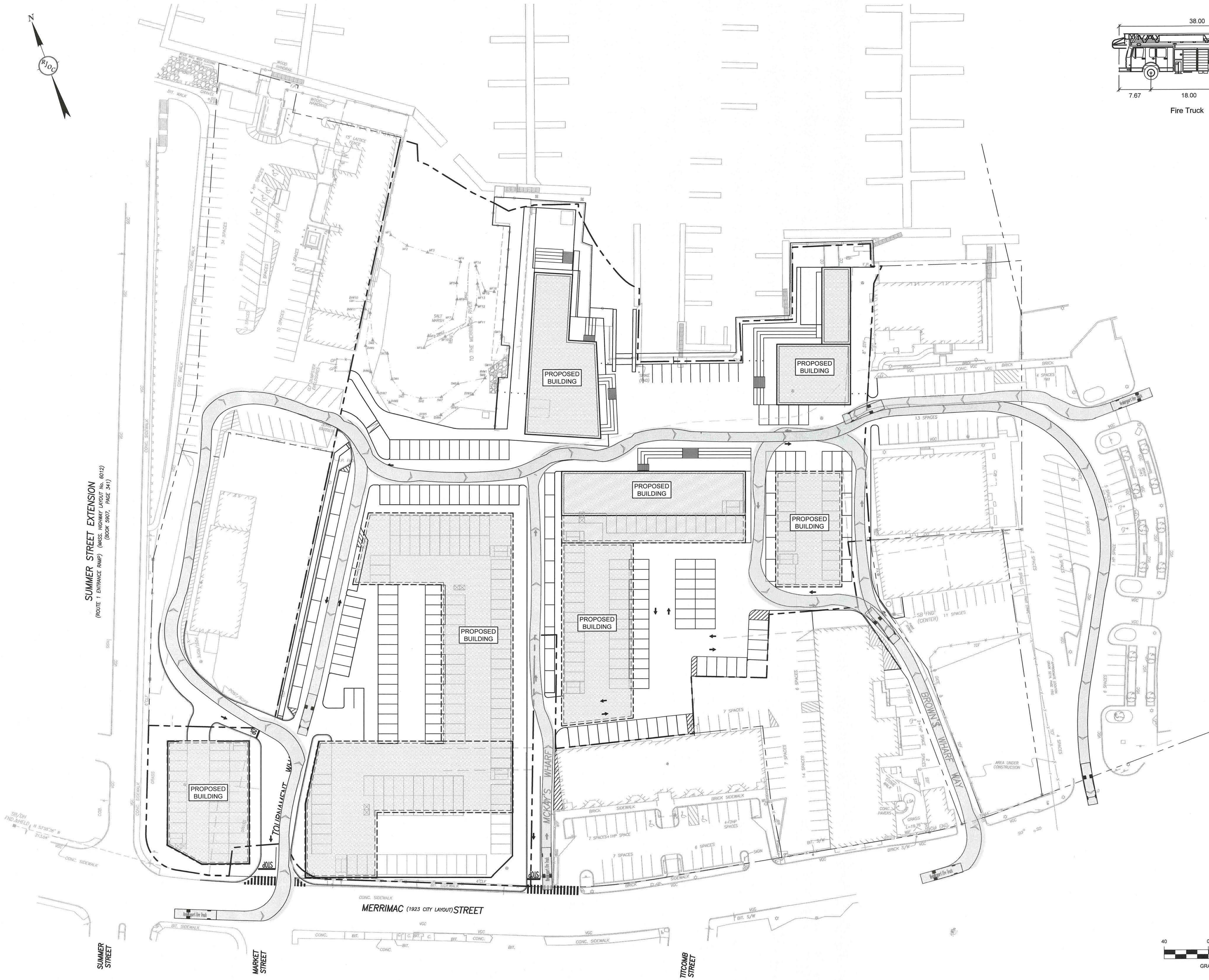
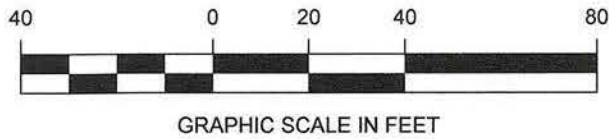
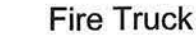
NEWBURYPORT, MA

COMMONWEALTH OF MASSACHUSETTS
BRIAN P. DUNDON
CIVIL
No. 41506
REGISTERED
PROFESSIONAL ENGINEER

IRE TRUCK TURNING PLAN

DRAWING NUMBER: **FT-1**

OBJECT NUMBER: 16025



PREPARED FOR:

**NEW ENGLAND
DEVELOPMENT**

75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

WATERFRONT WEST

NEWBURYPORT, MA

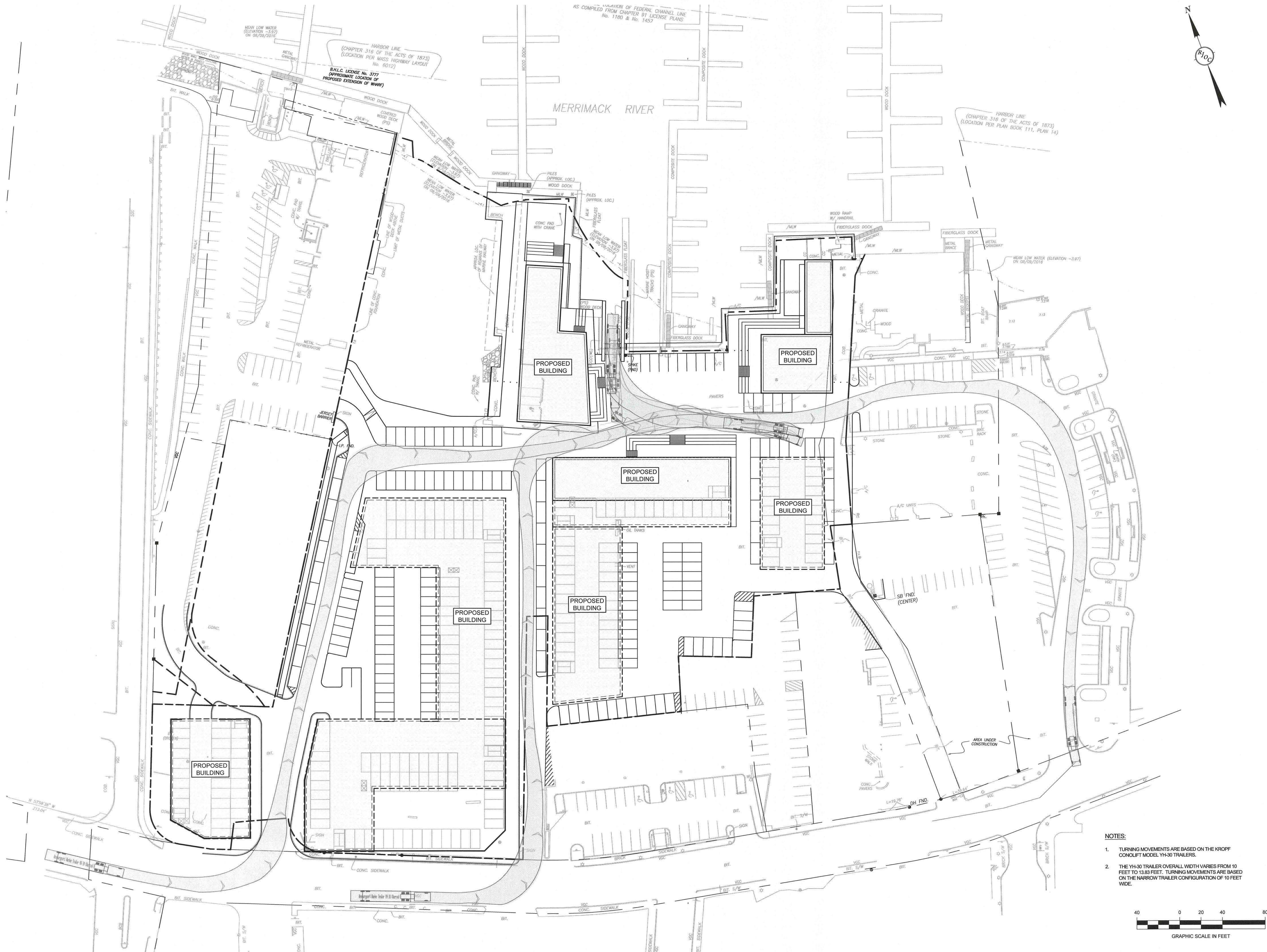
COMMONWEALTH OF MASSACHUSETTS
BRIAN P. DUNDON
CIVIL
No. 41505
REGISTERED PROFESSIONAL ENGINEER

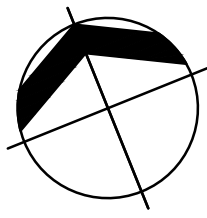
MARINE TRUCK TURNING PLAN

DRAWING NUMBER: **MT-1**

PROJECT NUMBER: 16025

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SUMMER STREET EXTENSION

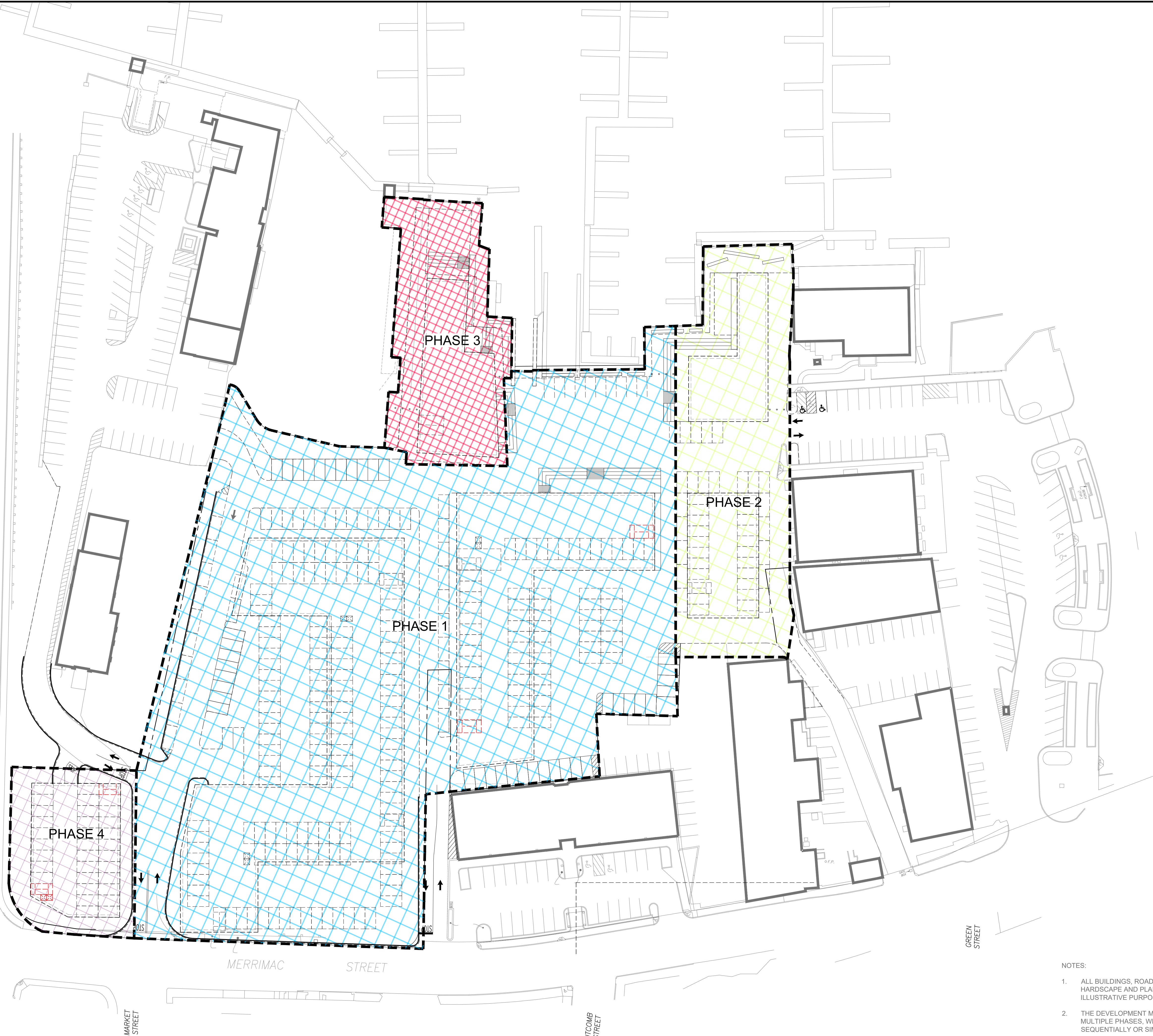
SUMMER STREET

MARKET STREET

MERRIMAC STREET

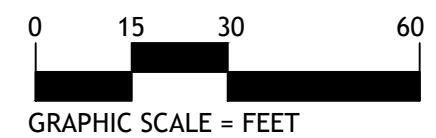
TITCOMB STREET

GREEN STREET



NOTES:

1. ALL BUILDINGS, ROADWAY LAYOUT, PARKING LAYOUT, HARDSCAPE AND PLANTING ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY
2. THE DEVELOPMENT MAY BE CONSTRUCTED IN MULTIPLE PHASES, WHICH MAY PROCEED SEQUENTIALLY OR SIMULTANEOUSLY IN ANY ORDER.



GRAPHIC SCALE = FEET

No.	Revision	Date

Seal:

Designed by:	DJ
Drawn by:	NC
Checked by:	RD
Scale:	1" = 40'-0"
Date:	7/22/2019

Prepared for:

NEW ENGLAND DEVELOPMENT

75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:

DUMONTJANKS

129 KINGSTON ST. FL 1
BOSTON, MA 02111
P: 617.275.2355

Project Name:

WATERFRONT WEST

Drawing Name:

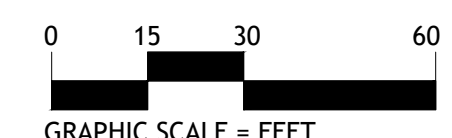
CONCEPTUAL PHASING PLAN

Drawing No.:

L-101

Project No.:

031502



Drawing No.:
L-102
Project No.: 031502

[illegible]

Drawing name: G:\MA\Newburyport\New England Development\Waterfront West Development\Main\16025_EXH-1 Public Open Space Plan.dwg
Jul 25, 2019 - 14:43pm

SUMMER STREET EXTENSION
(ROUTE 1 ENTRANCE RAMP) (MASS. HIGHWAY LAYOUT No. 6012)
(BOOK 5907, PAGE 341)

SUMMER STREET

MARKET STREET

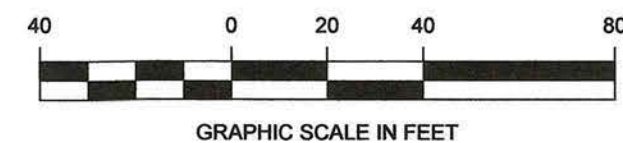
MERRIMAC (1923 CITY LAYOUT) STREET

TITCOMB STREET



	NON-DEVELOPMENT AREA = 26,466 S.F.
	OPEN SPACE AREA = 65,905 S.F.

TOTAL MASTER DEVELOPMENT PLAN AREA	243,530 S.F.
DEVELOPABLE AREA	218,645 S.F.
NON-DEVELOPABLE AREA	26,466 S.F.
25% PUBLIC OPEN SPACE OF DEVELOPABLE AREA	54,661 S.F.
PUBLIC OPEN SPACE PROVIDED	65,905 S.F.



RJOC

		DATE
		REVISION
		NO.
		DATE
		REVISION
		NO.

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.279.0180 RJOCNNEL.COM

PREPARED FOR:
NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

PROJECT NAME:

WATERFRONT WEST
NEWBURYPORT, MA

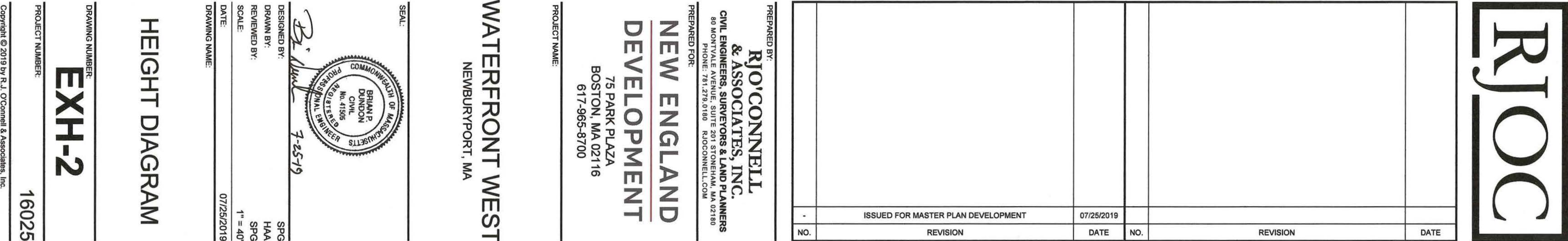
SEAL:

DESIGNED BY: SPG
DRAWN BY: HAA
REVIEWED BY: SPG
SCALE: 1" = 40'
DATE: 07/25/2019
DRAWING NAME:

PUBLIC OPEN SPACE PLAN

DRAWING NUMBER: **EXH-1**
PROJECT NUMBER: 16025

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1. EXISTING CONDITIONS TAKEN FROM A PLAN ENTITLED, "EXISTING CONDITIONS PLAN, MERRIMAC MIDDLE, NEWBURYPORT, MA" PREPARED BY FELDMAN LAND SURVEYORS DATED 03/07/2017.

2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND FIELD SURVEYING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND/OR ELEVATION OF ANY EXISTING ABOVE OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES, PARTICULARLY WHERE NEW WORK CONNECTS TO EXISTING, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST TWO (2) WEEKS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL HORIZONTAL CONTROL POINTS AND ELEVATION BENCH MARKS NECESSARY FOR THE WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
5. THE LIMIT OF WORK LINE IS THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
6. DEMOLISHED MATERIALS MUST BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN ACCORDANCE WITH ALL FEDERAL, STATE AND MUNICIPAL REQUIREMENTS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL INFORMATION SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND EXISTING SITE CONDITIONS AS SHOWN ON THESE PLANS.
8. REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING LOCATIONS, BUILDING DIMENSIONS, EXACT UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS, BUILDING SIDEWALKS, AND DOOR LOCATIONS.
9. ALL CONSTRUCTION DUMPSTERS SHALL BE PROPERLY MAINTAINED. ALL DUMPSTERS SHALL BE LOCATED ON A BITUMINOUS CONCRETE OR CONCRETE SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRASH DISPOSAL ON A REGULAR BASIS AND SHALL ENSURE THAT THE DUMPSTER AREAS ARE PROPERLY MAINTAINED.
10. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE GENERAL UPKEEP AND ROUTINE MAINTENANCE OF THE ENTIRE SITE TO ENSURE AN AESTHETICALLY PLEASING APPEARANCE DURING ALL PHASES OF CONSTRUCTION.
11. UNLESS OTHERWISE INDICATED, AREAS DISTURBED BY CONSTRUCTION SHALL HAVE 6-INCHES OF LOAM EVENLY SPREAD AND COMPACTED ON A PREPARED SUBGRADE AND PLANTED WITH LAWN SEED MIX PER THE SPECIFICATIONS.
12. THE CONTRACTOR SHALL SUPPLY AND MAINTAIN ALL MATERIAL AND LABOR FOR TEMPORARY TRAFFIC CONTROL DURING ALL PHASES OF CONSTRUCTION IN ACCORDANCE WITH M.U.T.C.D. STANDARDS AND AS APPROVED BY THE OWNER'S REPRESENTATIVE.
13. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL HAVE A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN ON SITE AT ALL TIMES AND WILL BE INCORPORATED INTO ALL CONSTRUCTION CONTRACTS.
14. NO AUTHORIZED ACTIVITY SHALL AFFECT ADJUTING PROPERTIES. IF THE CONTRACTOR MUST WORK ON AN ADJUTING PROPERTY, WRITTEN AUTHORIZATION FROM THE OWNER OF SAID LAND MUST BE OBTAINED AND PROVIDED TO THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK.
15. THE OWNER, OWNER'S REPRESENTATIVE AND/OR CONTRACTOR WILL CONTACT THE EPA NATIONAL RESPONSE CENTER AT 1-800-424-8802 AND THE NEWBURYPORT FIRE DEPARTMENT IN THE EVENT OF A HAZARDOUS LEAK OR SPILL.
16. ALL TYPES OF BORROW FILL MATERIAL IMPORTED TO THE SITE MUST BE CLEAN AND SUITABLE FOR THE USE SPECIFIED. THE GENERAL CONTRACTOR WILL PROVIDE THE OWNER'S GEOTECHNICAL ENGINEER WITH RECORDS INDICATING THE TYPE, QUANTITY, ORIGIN AND SOURCE OF ANY FILL MATERIAL IMPORTED TO THE SITE.
17. PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE GENERAL CONTRACTOR SHALL CONSULT WITH THE FIRE DEPARTMENT REGARDING ANY SPECIFIC REQUIREMENTS REGARDING FIRE AND LIFE SAFETY DURING DEMOLITION ACTIVITIES.

1. DUE TO THE SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDINGS SHALL BE INSTALLED TO A 90 TO 10 FEET (10') FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
2. ALL REQUIRED UTILITY CROSSING ENCASEMENTS (CONCRETE) SHALL EXTEND 10 FEET (10') FROM EITHER SIDE OF THE CROSSING.
3. ALL EXISTING LIGHT POLE BASES AND CONDUIT THAT ARE TO BE REMOVED WILL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY THE BUILDING INSPECTIONS DEPT. AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO FINAL CONNECTION AND BACKFILLING OF SERVICES.
5. ALL REQUIRED UTILITIES SERVICING THE BUILDINGS SHALL BE PROVIDED BY THE SITE CONTRACTOR TO WITHIN TEN (10') FEET OF THE BUILDING AT THE LOCATIONS SHOWN ON THE UTILITY PLANS. ALL REQUIRED CONNECTION FEES FOR THE UTILITIES TO THE BUILDINGS SHALL BE PAID FOR BY THE BUILDING CONTRACTOR. ANY NECESSARY EXTENSIONS, RELOCATIONS OR CONNECTIONS BEYOND TEN FEET (10') OF THE BUILDING TO COMPLETE THE CONNECTION OF UTILITIES SHALL BE MADE BY THE SITE CONTRACTOR.
6. THE SITE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY/ALL PERMITS REQUIRED FOR THE INSTALLATION OF ALL SITE UTILITIES.
7. EXISTING STRUCTURES TO BE REMOVED ARE TO BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
8. EXISTING UTILITY CASTINGS INDICATED TO REMAIN SHALL BE RESET TO FINISHED GRADE AS REQUIRED.
9. DETECTABLE WARNING PADE SHALL BE INSTALLED A MINIMUM ONE (1") FOOT ABOVE THE UTILITY IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY'S REQUIREMENTS.
10. PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE SITE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF NEWBURYPORT AND PROVIDE COPIES TO THE OWNER.
11. ALL UTILITIES, PIPE MATERIALS, STRUCTURES, AND INSTALLATION METHODS, SHALL CONFORM TO THE TOWN OF NEWBURYPORT'S DEPARTMENT OF PUBLIC WORKS SERVICES STANDARDS AND REQUIREMENTS UNLESS OTHERWISE NOTED OR DETAILED.

1. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS INCLUDING WATTLE BARRIERS AND FILTER BAGS FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER AND TO MITIGATE ANY EMERGENCY CONDITION.
2. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. ANY SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
3. THE SITE CONTRACTOR SHALL INSPECT ALL ON-SITE CATCH BASINS AND DRAINAGE STRUCTURES EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAIN EVENT OF 0.25 INCH OR GREATER. REMOVE ALL SEDIMENT AND TRASH DEBRIS THAT HAS ACCUMULATED WITHIN EACH STRUCTURE DURING THE COURSE OF CONSTRUCTION.
4. ALL CONSTRUCTION SHALL MEET OR EXCEED THE TOWN OF NEWBURYPORT'S STANDARDS AND SPECIFICATIONS.
5. PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE CONTRACTOR SHALL SUBMIT FOR REVIEW AND APPROVAL A DUST CONTROL PLAN TO THE OWNER'S REPRESENTATIVE. THE DUST CONTROL PLAN WILL OUTLINE MEASURES TO CONTROL AND MITIGATE DUST DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION AND IN ALL TYPES OF WEATHER CONDITIONS. THE APPROVED DUST CONTROL PLAN SHALL BE IMPLEMENTED DURING ALL PHASES OF THE AUTHORIZED ACTIVITIES AND WILL CONTINUE UNTIL THE PROJECT HAS BEEN GRANTED A CERTIFICATE OF OCCUPANCY.
6. THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES AS REQUIRED DUE TO WEATHER CONDITIONS, SEASON AND/OR CONSTRUCTION ACTIVITIES.
7. EARTHWORK ACTIVITY ON THE SITE SHALL BE PERFORMED IN A MANNER THAT DIRECTS RUNOFF TO THE APPROPRIATE EROSION AND SEDIMENT CONTROLS.
8. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBANCE AND EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
9. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL ENGAGE AN INDIVIDUAL WITH SPECIFIC PROFESSIONAL TRAINING AND EXPERTISE IN EROSION AND SEDIMENT CONTROL. THE EROSION CONTROL MONITOR SHALL CONDUCT AN INSPECTION BASED ON THE FREQUENCY OUTLINED IN STORMWATER POLLUTION PREVENTION (SWPPP) AND PREPARE A INSPECTION REPORT WHICH SHALL BE KEPT ON SITE AT ALL TIMES AND SHOWN TO LOCAL, STATE AND FEDERAL AGENCIES UPON REQUEST. THIS REPORT SHALL INDICATE THE STATUS OF THE EROSION CONTROLS AND ANY MAINTENANCE REQUIRED AND PERFORMED. THIS REPORT SHALL CONFORM TO THE REQUIREMENTS OF THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.

REFER TO THE SWPPP FOR DETAILED DESCRIPTIONS OF THE TYPE, INSTALLATION, INSPECTION AND MAINTENANCE PROCEDURES OF STRUCTURAL AND NON-STRUCTURAL MEASURES REQUIRED TO CONTROL EROSION AND SEDIMENT ON-SITE DURING CONSTRUCTION.

11. WATTLE DIKES OR SILT BAGS SHALL BE INSTALLED AT ALL EXISTING & PROPOSED CATCH BASINS SUBJECT TO STORMWATER RUN-OFF FROM CONSTRUCTION AREAS, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENT SHALL ENTER THE ON-SITE DRAINAGE SYSTEM AT ANY TIME.

12. **WINTER CONSTRUCTION AND STABILIZATION**
THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15

SEDIMENT BARRIERS: DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF MATS.

MULCHING: ALL AREAS SHALL BE CONSIDERED TO BE DENuded UNTIL SEEDED AND MULCHED. HAY AND STRAW MAY BE USED AS MULCH AT A SEEDING RATE OF 1 LB. OF MULCH PER 100 SQ. FT. (TWICE THE NORMAL ACCEPTED RATE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS. MULCH SHALL NOT BE SPREAD ON TOP OF/ACROSS THE SNOW WHICH IS REMOVED DOWN TO A 1-INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE CARP AREA PRIOR TO THE STABILIZED AREA WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. BETWEEN NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH SEEDING AND/OR ANCHORING WITH JUTE OR POLYPROPYLENE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH WORKDAY DURING FINAL GRADING ACTIVITIES.

SOIL STABILIZATION: STOCKPILES OF SOIL AND TOPSOIL WILL BE MULCHED OVER THE WINTER FOR PROTECTION WITH HAY OR STRAW AT A MINIMUM SEEDING RATE OF 1 LB. PER 100 SQ. FT. WITH A 4-INCH LAYER OF EROSION CONTROL MIX THIS WILL BE DONE WITHIN 24 HOURS OF STOCKPILING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL.

SEEDING: BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL GRADING OF THE AREA APPLICABLE TO THE STABILIZED AREA. AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOOSED, AND FINE GRADED WITH A UNIFORM SURFACE, THEN AREAS WILL BE DORMANT SEEDING AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. DORMANT SEEDING MAY BE PLACED PRIOR TO THE PLACEMENT OF MULCH OR EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED, THE MULCH SHALL BE 4 INCHES THICK. MULCH FIBER, IF USED, SHALL BE 100% JUTE OR POLYPROPYLENE. AN APPLICATION RATE OF 5 LBS/1000 SF. ALL AREAS SEEDING DURING THE WINTER WILL BE INSPECTED IN THE SPRING BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE RE-VEGETATED IN THE SPRING.

WINTER STABILIZATION OF DITCHES AND CHANNELS: ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE STABILIZED BY NOVEMBER 15. AFTER NOVEMBER 15, ALL DITCHES AND CHANNELS MUST BE LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE DITCH: INSTALL A SOD LINING IN THE DITCH: A DITCH MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD ONTO AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.

STONE RIP RAP: IN THE DITCH: A DITCH MUST BE LINED WITH STONE RIP RAP BY NOVEMBER 15. CONTACT A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH.

WINTER STABILIZATION OF DISTURBED SLOPES: ALL STONE-COVERED SLOPES GREATER THAN 15% MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. AND ALL SLOPES TO BE VEGETATED MUST BE SEEDING AND MULCHED BY SEPTEMBER 1. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE: TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1 THE DISTURBED SLOPE MUST BE SEEDING WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES SEEDING RATE TO COVER AT LEAST 75% OF THE SLOPE FACE. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES SEEDING RATE TO COVER AT LEAST 75% OF THE SLOPE FACE, THEN THE CONTRACTOR WILL PLACE THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR WITH STONE RIP RAP. SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD ONTO AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD. STABILIZATION OF SLOPES GREATER THAN 15% MUST BE LINED WITH STONE RIP RAP BY NOVEMBER 15. CONTACT A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIP RAP.

WINTER STABILIZATION OF DISTURBED SOILS: BY SEPTEMBER 15, ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15% MUST BE SEEDING AND MULCHED. IF THE DISTURBED AREAS ARE NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SOIL: TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF. LIGHTLY MULCH THE SEEDING SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SF AND ANCHOR THE MULCH WITH JUTE OR POLYPROPYLENE FIBER. IF THE RYE OVER THE NEXT 30 DAYS, IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN MULCH THE AREA FOR WINTER PROTECTION AS DESCRIBED BELOW.

SOD: STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.

MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 LBS PER 1000 SF ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

13. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH D.S. 205. EROSION CONTROL MEASURES WITH WATER RUN-OFF BE DISCHARGED VIA A STORM DRAIN, SHALL USE A SETTLING POND OR SIMILAR DEVICE TO REMOVE SEDIMENT BEFORE WATER IS RELEASED.

14. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION, SITE WORK OR EARTHWORK ACTIVITIES. THEY SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.

15. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH WATTLE BARRIERS TO PREVENT AND/OR CONTROL SILTATION AND EROSION.

16. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIAL AND RENDER THEM UNSUITABLE FOR FILL USE.

17. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDING FOR TEMPORARY VEGETATIVE COVER. NO AREA SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN 14 DAYS AFTER SOIL HAS BEEN DISTURBED.

18. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.

19. FILTER BAGS, OR WATTLES WITH FILTER FABRIC UNDER THE CATCH BASIN'S RIM SHALL BE INSTALLED DURING CONSTRUCTION TO PREVENT SILT BUILD-UP IN THE CATCH BASINS.

20. ALL PROPOSED DE-WATERING PLANS SHALL BE APPROVED BY THE DEPARTMENT OF PUBLIC SERVICES. ANY DE-WATERING PLANS WITH WATER RUN-OFF BE DISCHARGED VIA A STORM DRAIN, SHALL USE A SETTLING POND OR SIMILAR DEVICE TO REMOVE SEDIMENT BEFORE WATER IS RELEASED.

21. WATTLE BARRIERS SHALL BE MAINTAINED IN GOOD WORKING ORDER THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. UPON COMPLETION OF THE PROJECT, WATTLE BARRIERS SHALL BE REMOVED AND DISPOSED OF PROPERLY.

22. ALL CONSTRUCTION MATERIAL, DEBRIS, FILL AND EXCAVATED MATERIAL SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER'S REPRESENTATIVE. ALL MATERIAL SHALL BE STABILIZED TO PREVENT EROSION. ALL EXCESS FILL AND EXCAVATED MATERIALS THAT ARE NOT USED IN CONJUNCTION WITH CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL REGULATIONS.

23. WATTLES AND FILTER BAGS ARE TO BE INSTALLED UNDERNEATH THE RIMS OF NEW AND EXISTING CATCH BASINS AND PARTICLE SEPARATORS. AREAS WITH EXISTING CATCH BASINS OR PARTICLE SEPARATORS SHALL BE ALLOWED TO ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.

24. THE CONTRACTOR SHALL BE AWARE THAT SOIL AT THIS SITE IS ESPECIALLY SUSCEPTIBLE TO SOIL EROSION AND SENSITIVE TO ITS CONSEQUENCES. EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPENDING THE MINIMUM REQUIRED TO CONTROL A SINGLE PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND SITE CONDITIONS CHANGE.

25. THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST, CURRENT AND FORECASTED WEATHER CONDITIONS, SEASON AND EXPECTED FUTURE CONSTRUCTION ACTIVITIES.

26. THE CONTRACTOR SHALL NOTIFY THE TOWN'S PLANNING & DEVELOPMENT DEPARTMENT AND THE CONSERVATION COMMISSION AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITEWORK.

27. UPON COMPLETION OF ALL SITE WORK CONSTRUCTION, SITE CONTRACTOR SHALL INSPECT ALL ON-SITE CATCH BASINS AND PARTICLE SEPARATORS AND REMOVE ALL SEDIMENT AND TRASH DEBRIS THAT HAS ACCUMULATED WITHIN SAID STRUCTURE DURING THE COURSE OF CONSTRUCTION. ALL ON-SITE CATCH BASINS AND PARTICLE SEPARATORS SHALL BE PUMPED DRY AT THE CONCLUSION OF SITEWORK ACTIVITIES, AND THE DISTRICT ENGINEER SHALL BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO PUMPING/CLEANING ACTIVITIES ARE TO BE PERFORMED.

1. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5'-0" AND MAXIMUM OF 6'-0" OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
2. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
3. ALL WATER MAIN FITTINGS, TEES ETC. SHALL BE RESTRAINED WITH APPROPRIATELY SIZED THRUST BLOCKS.
4. ALL HYDRANTS SHALL MEET THE TOWN OF NEWBURYPORT'S WATER AND FIRE DEPARTMENT REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER AND FIRE DEPARTMENT REQUIREMENTS.
5. A MINIMUM DISTANCE OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS; WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A MINIMUM, THE MAINS MUST BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
6. DOMESTIC WATER SERVICES 2-1/2" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP, APPROVED SADDLE, CURB STOP AND BOX.
7. ALL POTABLE WATER MAINS 3" OR LARGER SHALL BE CEMENT LINED DUCTILE IRON PIPE CLASS 52 AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES. FITTINGS SHALL BE MECHANICAL JOINT, DUCTILE IRON CLASS 350 WITH RESTRAINT DEVICES (MEGALUG) AS MANUFACTURED BY EBAA IRON, INC. OR APPROVED EQUAL.
8. FIRE SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE VALVE AND REQUIRED ACCESSORIES.
9. WATER MISCERS AND BACK FLOW PREVENTERS SHALL BE LOCATED WITHIN THE BUILDING. ALL BACKFLOW PREVENTERS SHALL BE REGISTERED WITH THE DEPARTMENT OF PUBLIC SERVICES.
10. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH THE TOWN OF NEWBURYPORT'S WATER DEPARTMENT STANDARDS AND REQUIREMENTS. IN THE ABSENCE OF STANDARDS, THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS IN THE SITework SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE TOWN OF NEWBURYPORT'S WATER DEPARTMENT. COPIES OF TEST RESULTS WILL BE SUBMITTED TO THE NEWBURYPORT WATER DEPARTMENT.
11. MAINTAIN A MINIMUM SEPARATION OF THREE FEET (3") BETWEEN GAS AND WATER MAINS (MEASURED FROM THE CENTER OF THE PIPE).
12. ALL NEW GATE VALVES INSTALLED FOR THIS PROJECT SHALL OPEN PER THE TOWN OF NEWBURYPORT'S STANDARD.
13. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF NEWBURYPORT WATER DEPARTMENT'S STANDARDS.
14. DETECTABLE WARNING TAPE TO BE INSTALLED ABOVE THE WATER MAIN.
15. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED CURB VALVE, BOX AND CORPORATION STOP.

1. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 CONFORMING WITH ASTM 3034 UNLESS NOTED OTHERWISE.
2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO AVOID THIS SITUATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET (10') ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENCED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. ALL SEWER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF NEWBURYPORT SEWER DEPARTMENT'S STANDARDS.
4. SANITARY SEWER SERVICE TO BUILDING WILL END TEN FEET (10') OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END.
5. DETECTABLE WARNING TAPE TO BE INSTALLED A MINIMUM ONE (1') FOOT ABOVE SEWER MAIN.
6. THE CONTRACTOR SHALL INSPECT, CLEAN AND UPGRADE EXISTING SEWER PUMPING STATION AS NECESSARY TO MAKE OPERATIONAL.
7. ALL SANITARY SEWER COVERS AND FRAMES ARE TO BE HEAVY DUTY DESIGNED FOR H-20 LOADING.
8. ALL NEW SEWER MAINS AND ASSOCIATED MANHOLES SHALL BE TESTED FOR WATER TIGHTNESS IN THE PRESENCE OF THE NEWBURYPORT DEPARTMENT OF PUBLIC SERVICES PERSONNEL.

1. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF DEMOLISHED MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
2. PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES, ON-SITE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON DRAWING C-1 MUST BE INSTALLED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES WHETHER DESIGNATED ON THESE DRAWINGS OR DISCOVERED IN THE FIELD. SERVICES SHALL BE CAPPED OFF AT THE PROPERTY LINE IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY/ENTITY STANDARDS
4. EXISTING BITUMINOUS CONCRETE PAVEMENT SHALL BE MILLED OR PULVERIZED AS INDICATED AND STOCKPILED IN AREAS TO BE DETERMINED BY THE CONTRACTOR/CONSTRUCTION MANAGER AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND MUNICIPAL REQUIREMENTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL EXISTING AND NEW DRAINAGE AND UTILITIES TO REMAIN AND/OR TO BE CONSTRUCTED.
6. DURING ON-SITE DEMOLITION WORK, STORM RUNOFF SHALL BE CONTROLLED AND DIRECTED TOWARD TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES.

1. ALL PROPOSED DRAINAGE PIPES SHALL BE CORRUGATED PLASTIC PIPE (CPP) AND STRUCTURES PRECAST CONCRETE UNLESS NOTED OTHERWISE. CPP PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE CONFORMING TO ASHTO DESIGNATIONS M252 AND M294, TYPE S.
2. ALL MANHOLES AND CATCH BASINS WITHIN THE WORK AREA SHALL BE PUMPED AND CLEANED AT THE END OF CONSTRUCTION. SEDIMENT AND OTHER POLLUTANTS SHALL BE REMOVED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
3. ALL EXISTING STRUCTURES AND/OR DRAINAGE LINES DESIGNATED AS "TO BE REMOVED" SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. AFFECTED AREAS SHALL BE BACK FILLED WITH SUITABLE FILL MATERIAL AND COMPACTED IN 12" LIFTS TO REACH REQUIRED GRADE.
4. EXISTING PIPES AND/OR CULVERTS THAT ARE TO REMAIN WITHIN THE LIMIT OF WORK AREA SHALL BE CLEANED OF ANY DEBRIS AND/OR SEDIMENTATION.
5. ALL SERVICE CONNECTIONS (IE ROOF AND CANOPY DRAINS) SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.
6. ALL PROPOSED AREA DRAIN FAMES AND GRATES SHALL BE AS SPECIFIED OR AN APPROVED EQUAL.
7. THE EXISTING UTILITIES SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION AND SHALL CONFIRM WITH TEST PITS, IF NECESSARY, PRIOR TO EXCAVATION AND CONSTRUCTION.
8. ALL EXISTING UTILITY SERVICES MAY NOT BE SHOWN ON THE UTILITY PLANS. THE SITE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR LOCATION AND ELEVATION.

1. HANDICAP ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATION, 921 CMR, LATEST EDITIONS UNLESS OTHERWISE NOTED.
2. VAN ACCESSIBLE HANDICAP PARKING SPACES SHALL BE SIGNED AS "VAN ACCESSIBLE" PER A.D.A. (SEE 4.1.2.5b).
3. ALL PROPOSED CURBING SHALL BE VERTICAL GRANITE, TYPE VM UNLESS OTHERWISE NOTED.
4. ALL PAVEMENT STRIPING SHALL BE PAINTED WITH 2 COATS OF PAINT.
5. PARKING AND TRAFFIC CONTROL PLAN IS SCHEMATIC AND FOR LOCATION OF MARKINGS ONLY. SPECIFIC DETAILS OF PAVEMENT MARKINGS ARE PROVIDED AS PART OF THIS PLAN SET.
6. ALL EXISTING CURBING TO BE REMOVED WILL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
7. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT BUILDING LOCATIONS, BUILDING DIMENSIONS, EXACT UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS, BUILDING SIDEWALKS AND DOOR LOCATIONS.
8. ALL LIMITS OF PAVEMENT SHALL BE CURBED UNLESS NOTED OR INDICATED OTHERWISE.
9. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF VESTIBULE, EXITS, BUILDING SIDEWALK, RAMPS, LOADING AREA, BUILDING DIMENSIONS, BUILDING UTILITIES, ENTRANCE LOCATIONS, COMPACTOR AREA, ETC.

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