

## CITY OF NEWBURYPORT PLANNING BOARD

60 PLEASANT STREET • P.O. Box 550 NEWBURYPORT, MA 01950 (978) 465-4400 • (978) 465-4452 (FAX)



201 JUL 26 P # 14

## SITE PLAN APPROVAL FINDINGS & DECISION

## APPLICATION & DECISION SUMMARY

**DECISION DATE:** 

07/06/2011

APPLICATION DATE: 05/06/2011

FILE NO:

2011-SPR-03

APPLICANT:

Port Associates Limited Partnership

APPLICANT ADDRESS: 25 Railroad Square, Haverhill MA 01832

PROPERTY ADDRESS: 4-6 Hale Street, Newburyport MA 01950

MAP/PARCEL:

83-2 & 2A

BOOK/PAGE:

27075/509

ZONING DISTRICT:

R-1

BRIEF DESCRIPTION: Construct a new nursing home to replace the existing Port Healthcare Center and related

site improvements.

NEWSPAPER NOTICE: 05/17/2011 and 05/24/2011 in the Newburyport Daily News.

PUBLIC HEARING:

A public hearing was held on the above application on 06/01/2011 and 07/06/2011 at

Newburyport City Hall.

**DECISION:** 

After the close of the public hearing, upon a motion made by member Don Walters and

seconded by Henry Coo, the Planning Board voted to approve the site plan with

conditions.

The motion having received a majority vote of all the members of the Planning Board, in accordance with Section XV-I of the Newburyport Zoning Ordinance, the application

for Site Plan Approval was therefore granted.

RECORD OF VOTE:

The following members of the Planning Board voted as follows with respect to the petition for a site plan approval subject to the agreed-upon terms and conditions stated

below:

Susan Grolnic Don Walters James McCarthy Yes Yes Absent

Anne Gardner Bonnie Sontag Paul Dahn

Yes Yes Yes Julia Godtfredsen Henry Coo

Daniel Bowie

Yes Yes Yes

## PLANS AND MATERIALS INCORPORATED INTO DECISION

- 1. Application for Site Plan Review pursuant to Section XV of the City of Newburyport's Zoning Ordinance was made by the above-referenced owner and filed with the Planning Board on 05/06/2011. The Board deemed the application complete on 05/18/2011.
- 2. A public hearing on the Site Plan application was held on 06/01/2011 and continued to 07/06/2011.
- 3. This site plan application is accompanied and augmented by the following plans, drawings, and documents:
  - Plans entitled "Port Healthcare Center," prepared by Design Consultants, Inc., 120 Middlesex Ave., Suite 20, Somerville, MA, Sheets T-1, S-1, C-1 C-9; Landscaping plans prepared by Halvorson Design Partnership, 161 Massachusetts Avenue, Boston, MA, Sheets L1 L-3; and Elevation plans prepared by Ranere Associates Inc., 135 Massachusetts Avenue, Boston, MA, Sheet A-1, dated 05/05/2011 and revised through 07/06/2011.
  - Correspondence from Stephen Sawyer, P.E., Director of Engineering with Design Consultants Inc., Pages 1-5, dated 05/05/2011, with Attachments including a Zoning Denial Form, Stormwater Narrative and Aerial Photo with Proposed Building Overlay.
  - Landscaping plans, prepared by Halvorson Design Partnership, 161 Massachusetts Avenue, Boston, MA, Sheets L-1A and L-3A, dated 06/01/2011.
  - Grading and Drainage Overlay Plans, prepared by Design Consultants, Inc., Sheet C-3A, dated 06/01/2011.
  - Plan entitled, "Loading Dock Turning Movement WB50," prepared by Design Consultants, Inc., dated July 6, 2011.
  - Site Lighting Specification Sheet for Avaround Area Luminaires, EMCO Lighting by Philips Gardeo.
  - Specifications Sheet and case studies on Geoblock Porous Pavement System for Fire Access by Presto.
  - Stormwater Management Study for 4 & 6 Hale Street, prepared by Design Consultants, Inc., dated 05/05/2011 and revised through 07/06/2011.
  - Response to Peer Review Stormwater Comments provided by Christiansen & Sergi, Inc., from Stephen Sawyer, P.E., Design Consultants, Inc., dated 07/05/2011.
- 4. The plans and submission material were reviewed by the Planning Board, City Departments and the Board's Reviewing Engineer as follows:
  - Peer Reviews, including Site Plan Review Checklist, Site Plans Review and Stormwater Review Comments, from Christiansen & Sergi, Inc., 160 Summer Street, Haverhill, MA, dated 05/13/2011 and 07/06/2011.
- 5. Throughout its deliberations the Planning Board has been mindful of the statements of the applicant and their representatives, and the comments of the general public, all as made at the public hearing.

#### **FINDINGS**

#### General

Port Associates Limited Partnership plans to construct a new 28,700 s.f. building footprint, 123-bed nursing home to replace the existing Port Healthcare Center, which is a 100-bed facility originally constructed in 1968 at the corner of Hale and Low Streets. The new building was designed to meet current Department of Public Health requirements and more generally to provide better patient care. Port Healthcare will continue to operate from the existing building during construction of the new structure. Following demolition of the current facility, the parking and stormwater systems will be installed.

## Specific

The Zoning Board of Appeals granted a Special Permit, pursuant to Section IX.B.2, to extend or alter the nonconforming use of the site on March 8, 2011. While the Planning Board acknowledges that an appeal has been filed to the Special Permit issued on March 8, 2011 by the Zoning Board of Appeals pursuant to the Newburyport Zoning Ordinance Section IX.B.2. to extend or alter the nonconforming use of the site, at present time, and unless the decision of that board is overturned on appeal, the subject use has been approved and does not require any further review by the Zoning Board.

The proposed project will also require an Order of Conditions from the Conservation Commission. The applicant filed a Notice of Intent in May, which is currently under review by the Commission.

#### Site Plan Review Criteria

Section XV-G states that the Planning Board, in making a final determination regarding site plan approval, shall require that the site plan promote the objectives of community character; traffic, parking, and public access; health; public services and utilities; land use planning; open space and environmental protection as more fully set forth in Section XV-G subsections a-f.

The Board finds the proposed project generally meets the City of Newburyport site plan review criteria and standards; specifically, the project meets the site plan review criteria as follows:

## a. Community character:

Both the nature of the project and its use are appropriate for the area. The new design improves the appearance of the building and material choices complement residential properties to the north of the site. New landscaping will be added throughout the site and offer substantial screening for neighboring property owners.

## b. Traffic, parking, and public access:

The project will not create undue traffic congestion. The proposed facility adds just 23-beds to the existing, which is not expected to intensify traffic in the area. The plans include a revised parking layout with 108 parking spaces, or an additional 19 spaces beyond what presently exists and 3 more than the minimum required by the Newburyport Zoning Ordinance. The driveway curbcut on Low Street will be abandoned with all access to the new building derived from Hale Street. This will eliminate a potential conflict resulting from turning movements to and from the property on Low Street. The loading dock and dumpster operations are located on the Hale Street side of the building, which will screen these activities from the residential properties north of the facility.

#### c. Health:

This expansion project does not create hazardous materials and transmissions as the patient volume will expand by just 23-beds. The new building updates the facility's utility systems so that they are more

efficient, as well as more environmentally friendly. This improvement is expected to have a positive effect on public health and safety.

#### d. Public services and utilities:

The new building utilizes the existing connection into the Low Street sewer, though the building will require a pump station. The new structure will also require a new water and fire services from the Hale Street water main. The applicant estimates that replacement of outdated fixtures and mechanical equipment with more energy efficient versions within the building will reduce water usage by approximately 50 percent. The plans also include an emergency vehicle lane to the rear of the building consisting of grasspave, a material that will both reduce impervious surface and improve the appearance of the facility while maintaining safe access for fire trucks and other emergency vehicles.

## e. Land use planning:

Reconstruction of the facility will improve the quality of care provided to Port Healthcare's patients, and in turn helps to maintain and strengthen the City's position as a regional center for health and wellness services.

## f. Open space and environmental protection:

The site plans include drainage design and Best Management Practices that meet MA DEP Stormwater Management Standards and the proposed drainage systems will reduce the offsite peak rate by 10-20 percent. There is significant landscaping provided throughout the site and along Low and Hale Streets. Finally, the proposed improvements will be completed in a manner that is not dangerous, noxious or injurious, and will not emit noise, vibration, smoke, dust or odor or other forms of environmental pollution that would adversely affect the surrounding area.

### WAIVERS

## Section XV-Ha.9, 10

Where feasible, Site Plan Review Development and Performance Standards limit parking and loading areas from being located to the front of a building or within the front setback; however, the Board waives this standard to permit parking and loading within the front setback from Hale Street and this minimizes the impacts of both to residential abutters to the north of the site.

#### Section XV-Hd.1

The Board grants a waiver permitting the required 20-foot landscaped buffer to be located within the Hale Street right-of-way.

## **D**ECISION

In view of the foregoing, the Planning Board hereby decides to **grant** Major Site Plan Approval in accordance with the terms and conditions stated below, all as agreed to by the applicant:

## **Conditions**

1. The applicant shall file this Decision with the Southern Essex County Registry of Deeds or registry of the Land Court if registered land and a copy of the decision stamped with the recording information (Book/Page

- or Land Court document number) shall be included with the application for a Building Permit. The final site/construction plans shall also make reference to the decision date and conditions of approval.
- 2. The Planning Board requires the developer to submit all final approved drawings and as built plans in computer aided drafting (CAD) formats. Specific file format shall be .DXF unless otherwise allowed.
- 3. The applicant shall seek all necessary local, state and federal approvals for the project, including but not limited to approval by the Newburyport Tree Warden for proposed plantings within the Hale Street right-of-way and the Conservation Commission. The applicant shall file any plan changes resulting from these reviews with the Planning Office.
- 4. The landscaping within the Hale Street right-of-way shall be planted and maintained in such a way that sight distance along Hale Street and from the project driveways shall not be impeded.
- 5. The applicant shall install and maintain a silt fence and haybale erosion and siltation control barrier at the perimeter of the site between the temporary parking area and Hale Street prior to final paving of parking lot until new grass has been established.
- 6. The applicant shall maintain the proposed landscaping as indicated on the approved plans, including regular mowing.

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Filed with the Newburyport City Clerk on:

## SIGNATURE OF THE BOARD

Daniel T. Bowie, Chair

Newburyport Planning Board

## NOTICE OF APPELLATE RIGHTS

As per Section XV-J of the Newburyport Zoning Ordinance, appeals shall be made directly to a court of competent jurisdiction in accordance with the provision of M.G.L. Chapter 40A Section 17.

# PORT HEALTHCARE CENTER



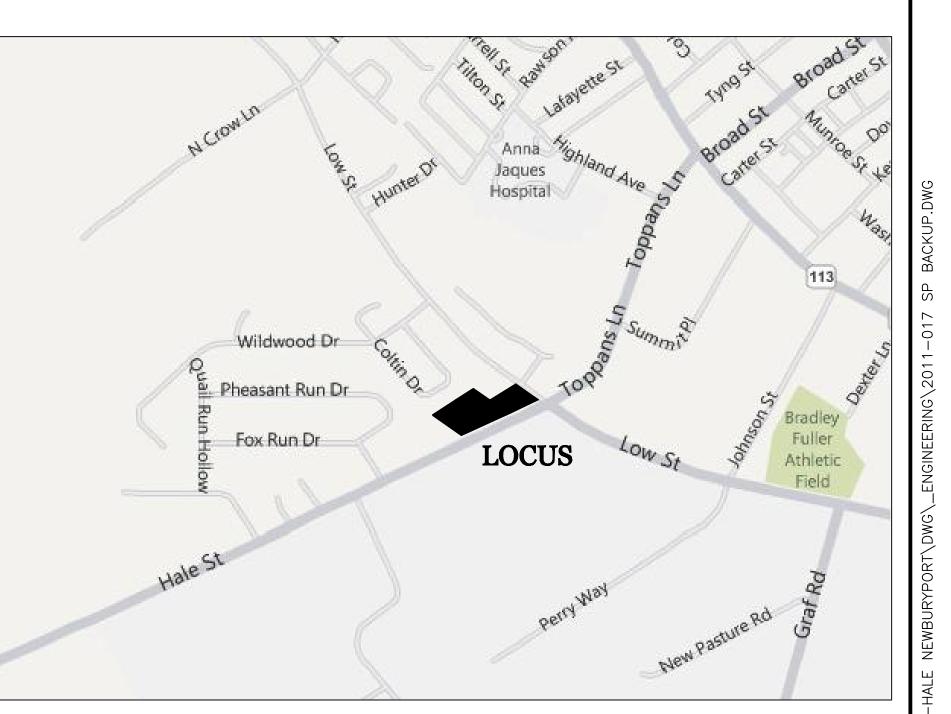
#4 & #6 HALE STREET NEWBURYPORT, MASSACHUSETTS

# **SHEET INDEX**

SHEET NO.	DESCRIPTION
T-1	TITLE SHEET
S-1	EXISTING CONDITIONS
C-1	SITE PREPARATION PLAN
C-2	LAYOUT PLAN
C-3	GRADING & DRAINAGE PLAN
C-4	UTILITIES PLAN
C-5	PHOTOMETRIC PLAN
C-6	<b>EROSION CONTROL NOTES &amp; DETAILS</b>
C-7	CONSTRUCTION DETAILS 1
C-8	CONSTRUCTION DETAILS 2
C-9	CONSTRUCTION DETAILS 3
L-1	LANDSCAPE PLAN
L-2	PLANTING SCHEDULE & DETAILS
L-3	LANDSCAPE SECTIONS / ELEVATIONS
A-1	BUILDING ELEVATIONS

# PREPARED FOR

PORT ASSOCIATES LIMITED **PARTNERSHIP** 25 RAILROAD SQUARE HAVERHILL, MASSACHUSETTS

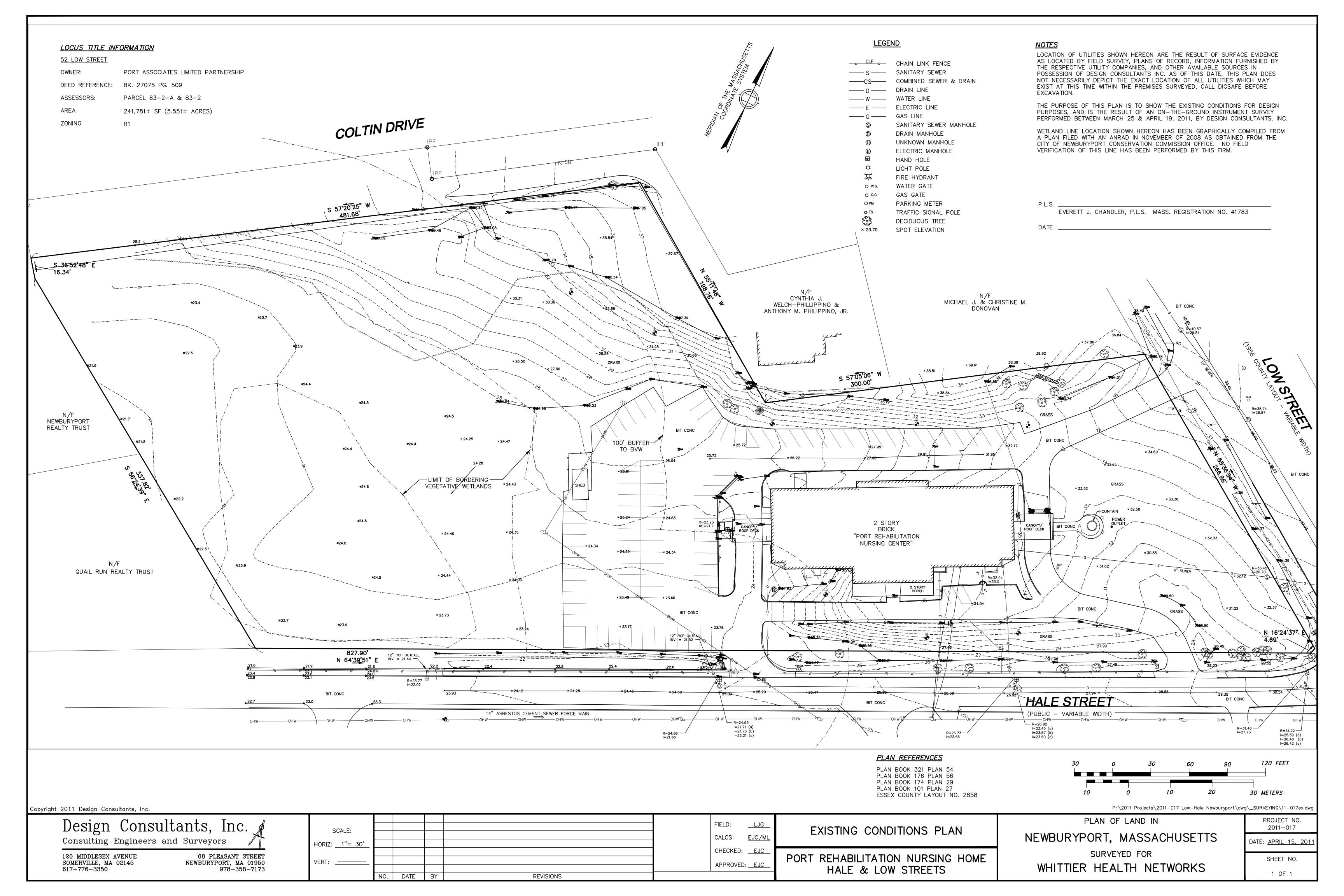


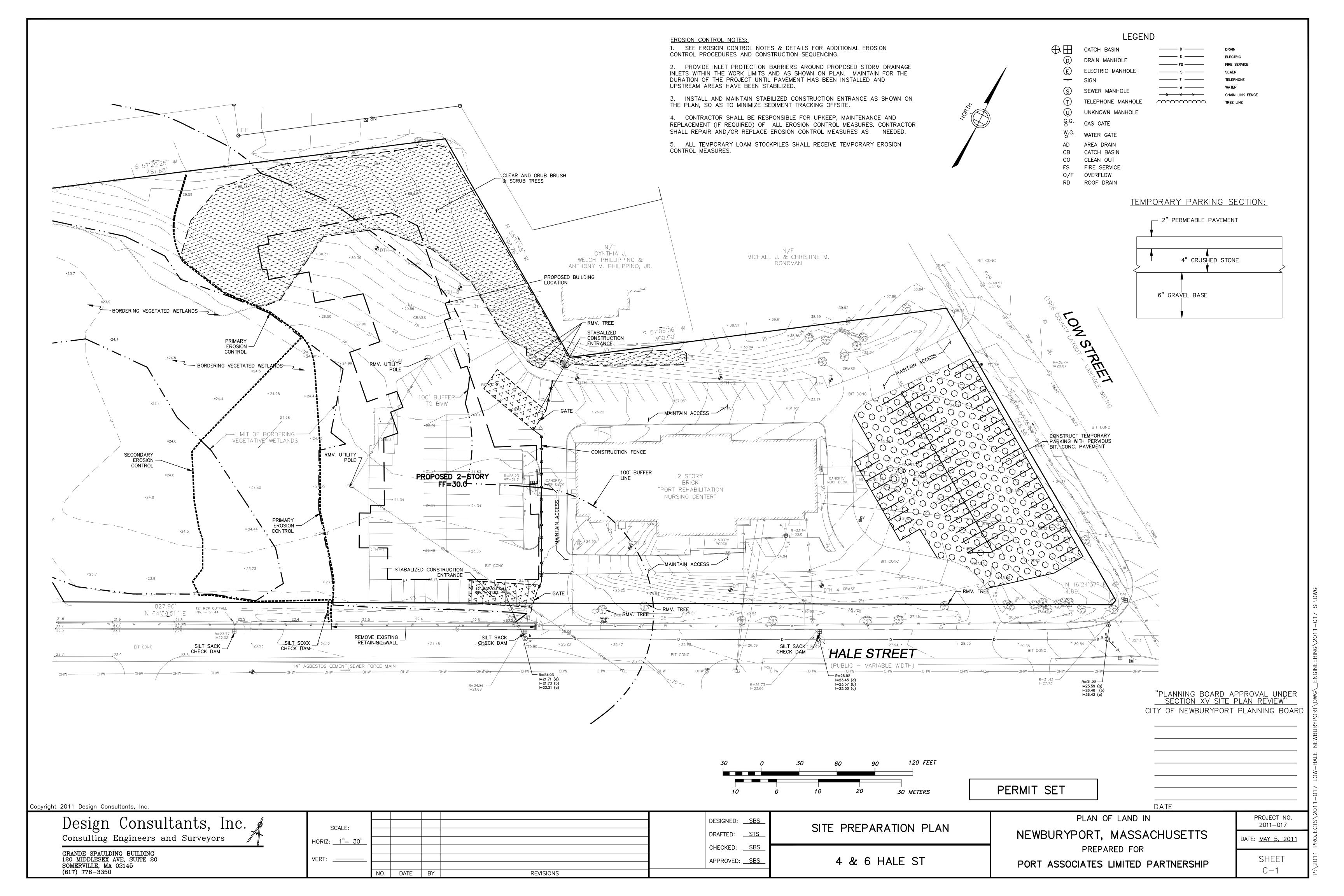
**VICINITY MAP** 

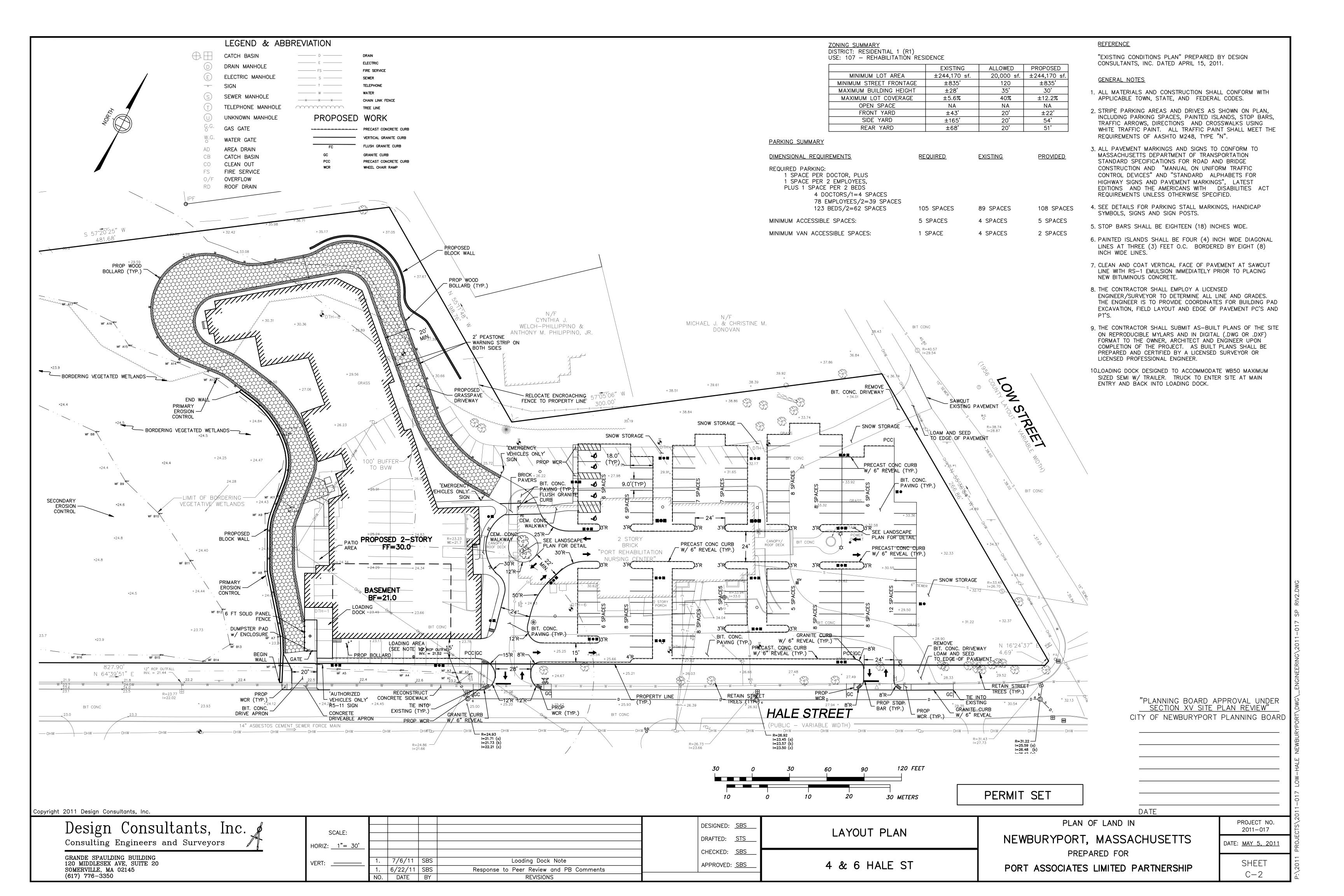
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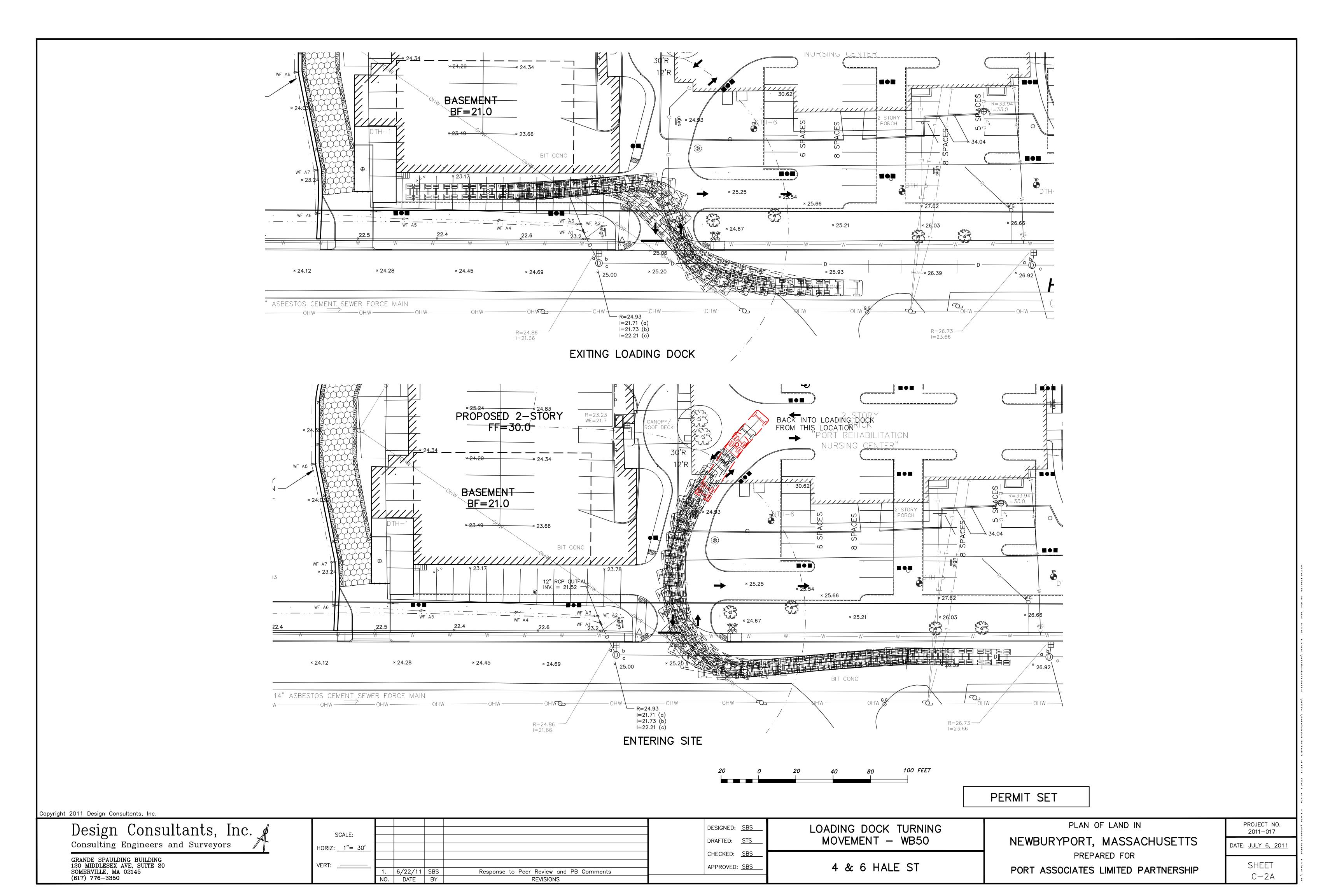
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GRANDE SPAULDING BUILDING	HORIZ:			CHECKED: <u>SE</u>	CHECKED: <u>SBS</u>		PREPARED FOR	
120 MIDDLESEX AVE, SUITE 20 SOMERVILLE, MA 02145	VERT:	-		APPROVED: <u>SBS</u>		113 LOW STREET	PORT ASSOCIATES LIMITED PARTNERSHIP	
(617) 776-3350		NO. DATE BY	REVISIONS					

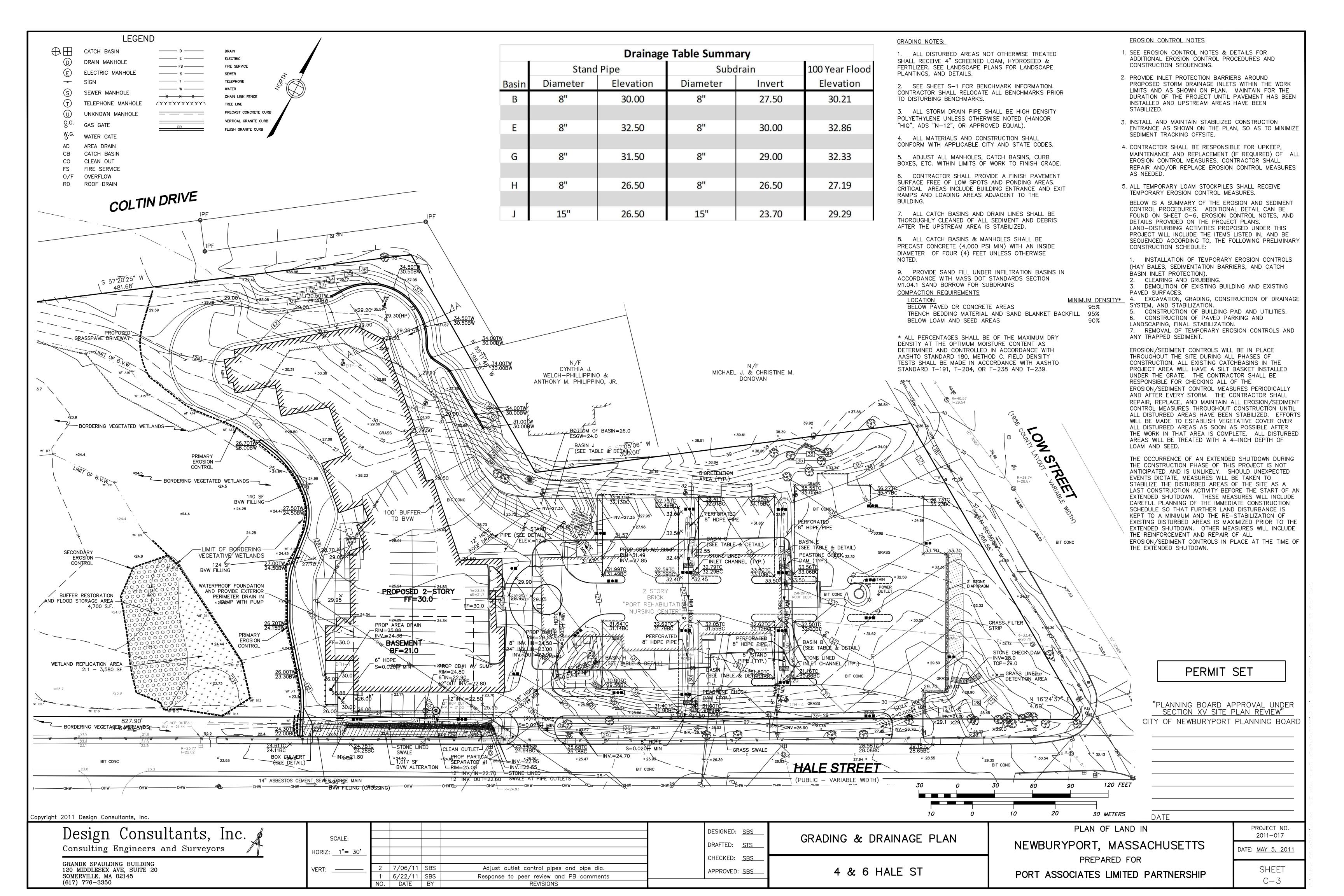
PROJECT NO. 2011-017 TE: <u>MAY 5, 2011</u>

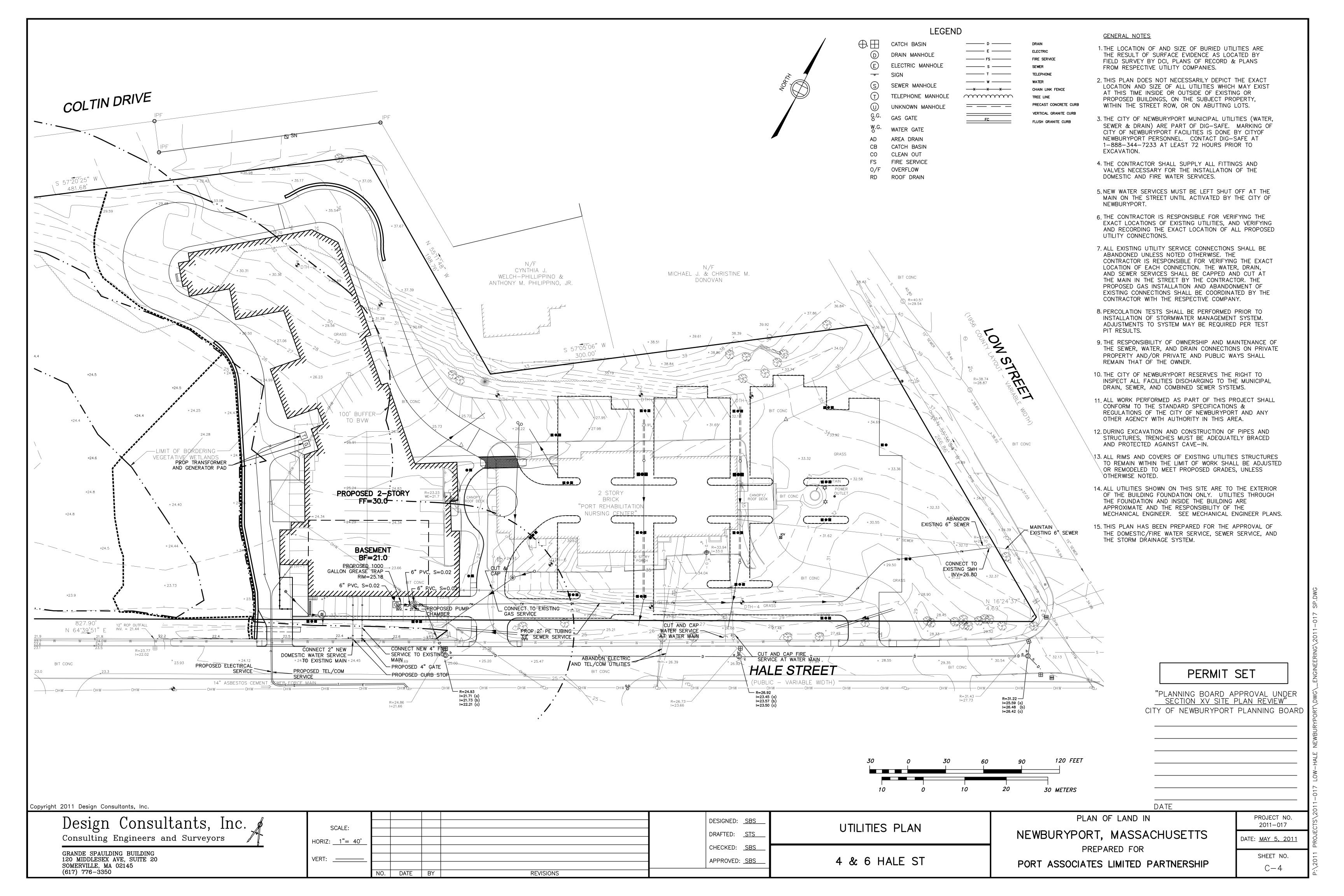












**DESCRIPTION** THE PROJECT CONSISTS OF REDEVELOPING AN EXISTING NURSING HOME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL AND INSPECTIONS DURING THE CONSTRUCTION PERIOD.

## SOIL CHARACTERISTICS

THE EXISTING SITE IS PRESENTLY PREDOMINANTLY DEVELOPED. THE UNDERLYING SOILS CONSIST OF SILT AND

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 5.6± ACRES.

## SEQUENCE OF MAJOR ACTIVITIES

INSTALL EROSION CONTROLS. CLEAR AND GRUB SITE

## STRIP AND STOCKPILE TOPSOILS.

BUILD TEMPORY PARKING

- CONSTRUCT BUILDING AND UTILITIES. DEMOLISH EXISTING BUILDING.
- CONSTRUCT PAVEMENT DRAINAGE SYSTEMS AND FINAL STABILIZATION OF SITE.
- CONSTRUCT LANDSCAPING REMOVE EROSION CONTROLS.

## EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED

A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION

ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 60 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:

- TEMPORARY SEEDING. MULCHING.
- STONE RIP RAF JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

OFF SITE VEHICLE TRACKING STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL EGRESSES TO THE SITE AND MAINTAINED FOR THE DURATION OF CONSTRUCTION.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE AND SILT FENCES SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES OF EROSION

- A. GENERAL— THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING INSPECTIONS **INSPECTION** 
  - ALL CONTROL MEASURES WILL BE INSPECTED DAILY.

IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

A MAINTENANCE INSPECTION REPORT WILL BE MADE WEEKLY THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

## **MAINTENANCE** 1. STABILIZATION OF ALL SWALES, DITCHES AND PONDS IS REQUIRED PRIOR TO DIRECTING

- 2. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY,
- 3. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE OR HAY BALE BARRIERS WHEN IT
- HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE OR BALE. 4. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- 5. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.

DETERIORATION OF THE BINDINGS.

## B. FILTERS

DISTURBED CONTRIBUTING AREA SHOULD NOT EXCEED 0.25 ACRES PER 100 LINEAR FEET OF FILTER BARRIER. STRAW/HAY BALES

- SHEET FLOW APPLICATIONS
- BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.
- ALL BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED. BALES SHALL BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES TO PREVENT
- THE BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR (4) INCHES. AFTER THE BALES ARE STAKED AND CHINKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHALL CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO FOUR (4) INCHES AGAINST THE UPHILL SIDE OF THE BARRIER. IDEALLY, BALES SHOÙLD BE PLACED TEN (10) FEET AWAY FROM THE TOE OF SLOPE.
- EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST SAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.
- THE GAPS BETWEEN BALES SHALL BE CHINKED (FILLED BY WEDGING) WITH STRAW/HAY TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES.

## 2. SILT FENCE

SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER OR ETHYLENE YARN AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE FOLLOWING REQUIREMENTS: PHYSICAL PROPERTY REQUIREMENTS FILTERING EFFICIENCY VTM-51 75% MINIMUM TENSILE STRENGTH AT EXTRA STRENGTH VTM-52 20% MAXIMUM ELONGATION\* 50 LB/LIN IN (MIN) VTM-51 0.3 GAL/SF/MIN (MIN)

FLOW RATE REQUIREMENTS REDUCED BY 50 PERCENT AFTER SIX (6) MONTHS OF

SYNTHETIC FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF SIX (6) MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES F TO 120 DEGREES F

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED THIRTY-SIX (36) INCHES. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST, WITH A MINIMUM SIX (6) INCH OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF TEN (10) FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES).
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY SIX (6) INCHES WIDE AND SIX (6) INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE (1) INCH LONG, TIE WIRES OR HOG RINGS. THE
- WIRE SHALL EXTEND NO MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACES. THE "STANDARD STRENGTH" FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND EIGHT (8) INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING

- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM (G) APPLYING. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY
- SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

- STRAW/HAY BALE BARRIER AND SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

#### C. MULCHING

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS.

- APPLY MULCH PRIOR TO ANY STORM EVENT. THIS IS APPLICABLE WHEN WORKING WITHIN 100 FEET OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE IN CONCORD, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.
- REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD. THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON A AREA THE LENGTH OF TIME VARYING WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

## GUIDELINES FOR WINTER MULCH APPLICATION.

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

FOR PERMANENT MEASURES AND PLANTINGS FROM EARLY SPRING TO SEPTEMBER 30:

AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF FOUR INCHES. THEN FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED FOUR INCH THICKNESS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM. REGRADED AND REROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.

ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER AND OTHER FOREIGN MATERIAL AS WELL AS STONES OVER ONE INCH IN DIAMETER SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE, AND THE LOAM SHALL BE RAKED SMOOTH AND EVEN.

THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES

SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMI SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.

ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDED. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.

IF REQUIRED, FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER. USE OF FERTILIZER SHOULD BE AVOIDED IN INFILTRATION AREAS.

SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.

SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING. THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.

HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.

UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

05115041 001/50	POUNDS PER ACRE	MINIMUM	MINIMUN	
GENERAL COVER CREEPING RED FESCUE KENTUCKY BLUE GRASS	50 50	85% 85%	96% 97%	
KENTOOKT BEGE OKASS	100	GERMINATION	PURITY	
SLOPE SEED (USED ON CREEPING RED FESCUE TALL FESCUE RED TOP	ALL SLOPES GREATER 20 20 20 2	THAN OR EQUAL 85% 85% 80%	TO 3:1) 96% 96% 95%	
	<del></del>			

IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

- FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
- FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A
- RATE OF 300 POUNDS PER ACRE. MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES: WINTER RYE (FALL SEEDING) 2.5 LBS/1,000 S.F. OATS (SPRING SEEDING) 2 LBS./1,000S.F. 1.5 TONS/ACRE

# STABILIZED CONSTRUCTION ENTRANCE

- SPECIFICATIONS
- AGGREGATE SIZE: USE TWO (2) INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
- WIDTH: TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.
- LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET.
- GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.

## MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

## WASTE DISPOSAL

## A. WASTE MATERIALS

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

- HAZARDOUS WASTE
- ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- C. SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

ADDITIONAL NOTES FOR WINTER CONSTRUCTION A) ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED

B) ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.

WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR

C) AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

## <u>ADDITIONAL NOTES FOR DRAINAGE INFILTRATION SYSTEMS</u>

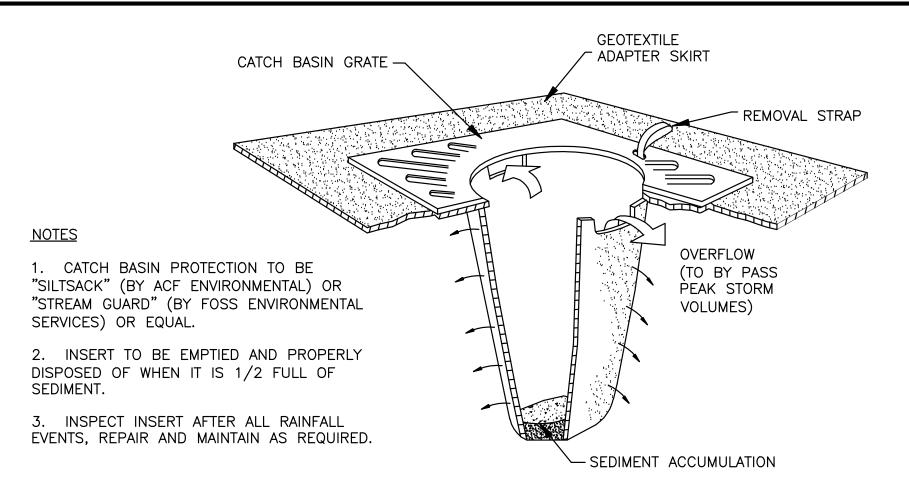
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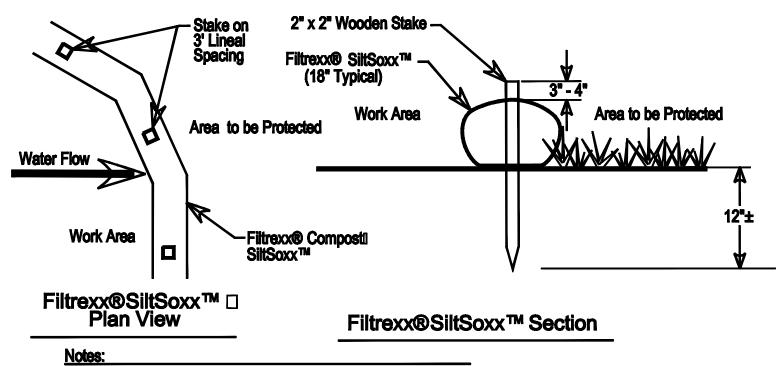
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APPROVED: SBS

THE CONTRACTOR SHALL INSURE NO SEDIMENT ENTERS THE INFILTRATION BASINS DURING CONSTRUCTION. ADDITIONALLY NO SEDIMENT SHALL BE ALLOWED INTO THE DRAINAGE SYSTEM UPON COMPLETION OF THE SYSTEM. ALL SILTATION BARRIERS SHALL BE INSPECTED DAILY AND CLEANED AND MAINTAINED. SILTSACKS SHOULD BE REPLACED BI—WEEKLY OF AFTER ANY STORM EVENT IN EXCESS OF 0.5 INCHES. WATER QUALITY UNITS SHALL BE INSPECTED DAILY AND UNITS SHALL BE CLEANED IF ANY EVIDENCE OF SEDIMENT.



# SILT SACK @ CATCH BASINS NOT TO SCALE

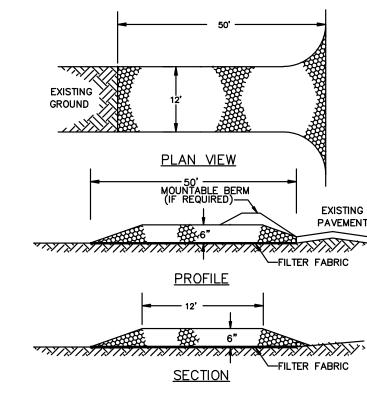


1. All material to meet Filtrexx® specifications 2. SiltSoxx™ compost/jsoil/rock/seed fill to meet application

requirements. 3. Compost material to be dispersed on site, as determined by

Filtrexx®SiltSoxx™

FROSION CONTROL BARRIFR NOT TO SCALE



CONSTRUCTION SPECIFICATIONS STONE SIZE - SEE GRADATION TABLE LENGTH - 50 FOOT MINIMUM.

THICKNESS - SIX (6) INCHES (MINIMUM).

WIDTH - 12' MINIMUM FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL.

INSTALLATION — THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE SUBGRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES

USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. CRUSHED STONE GRADATION TABLE SIEVE SIZE BY WEIGHT 1 1/2 inches 1 inch 3/4 inch

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

PLAN OF LAND IN PREPARED FOR

DATE

PROJECT NO. 2011-017 DATE: <u>MAY 5, 2011</u> SHEET NO.

"PLANNING BOARD APPROVAL UNDER

SECTION XV SITE PLAN REVIEW

CITY OF NEWBURYPORT PLANNING BOARD

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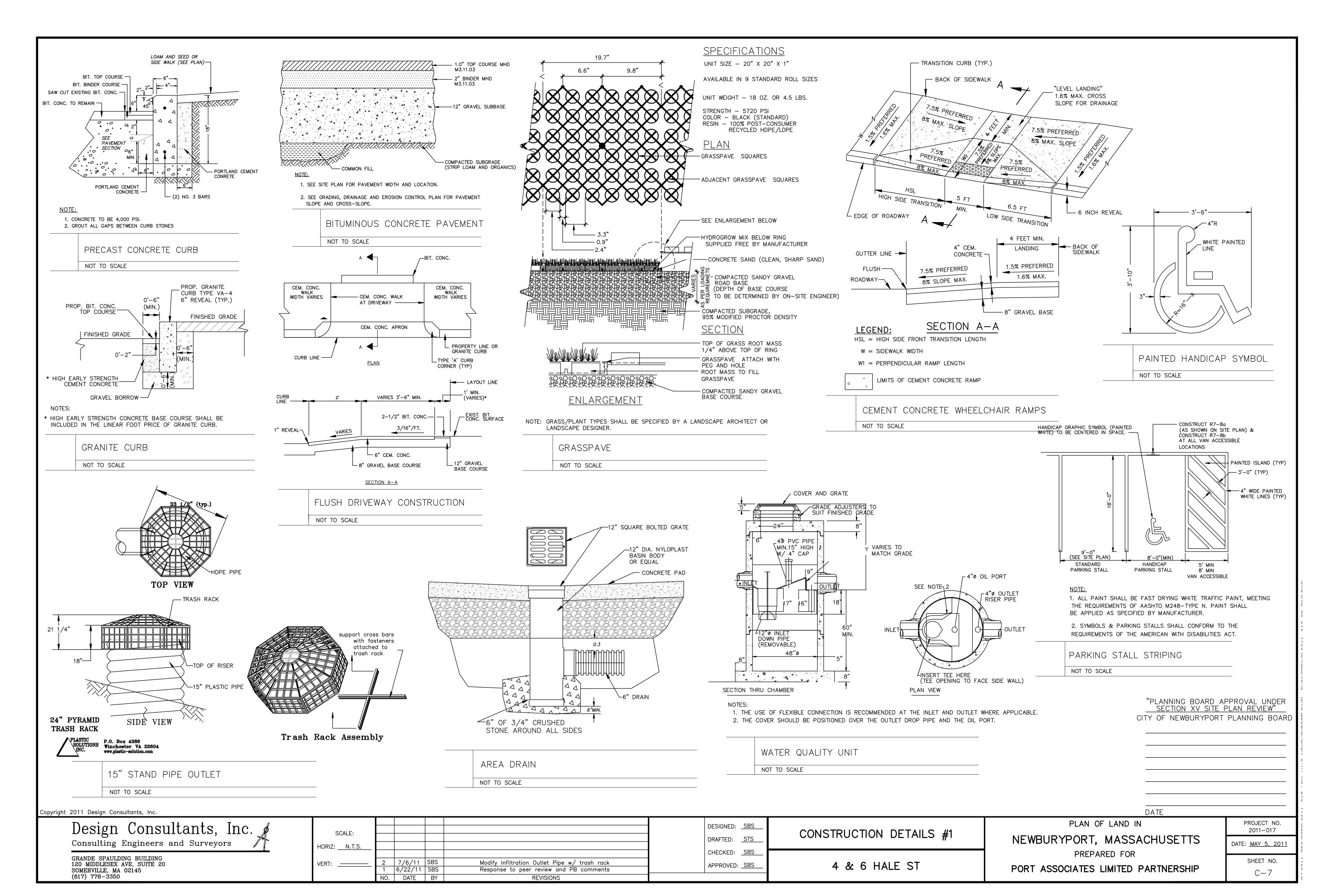
Design Consultants, Inc. Consulting Engineers and Surveyors GRANDE SPAULDING BUILDING 120 MIDDLESEX AVE, SUITE 20 SOMERVILLE, MA 02145 (617) 776-3350

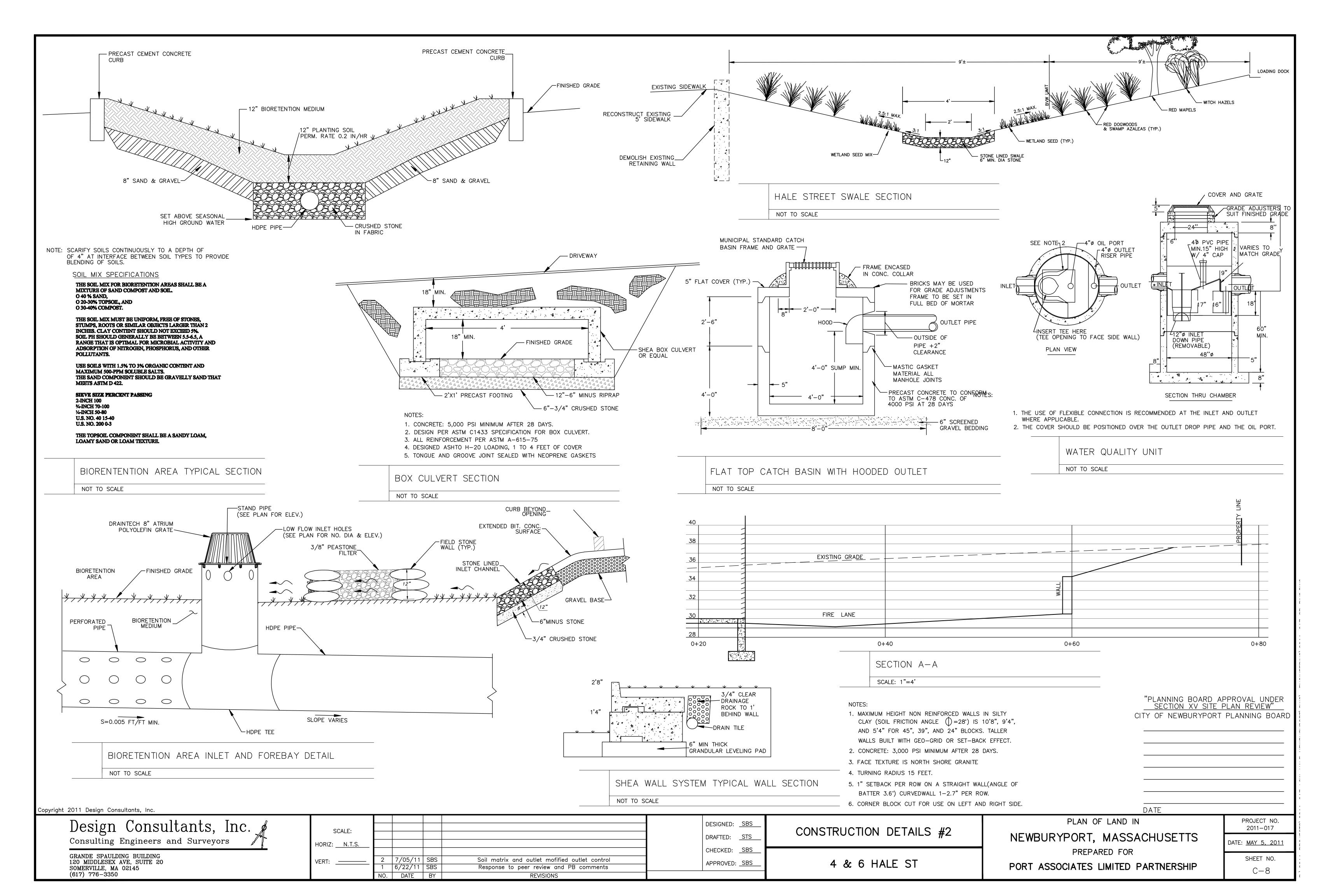
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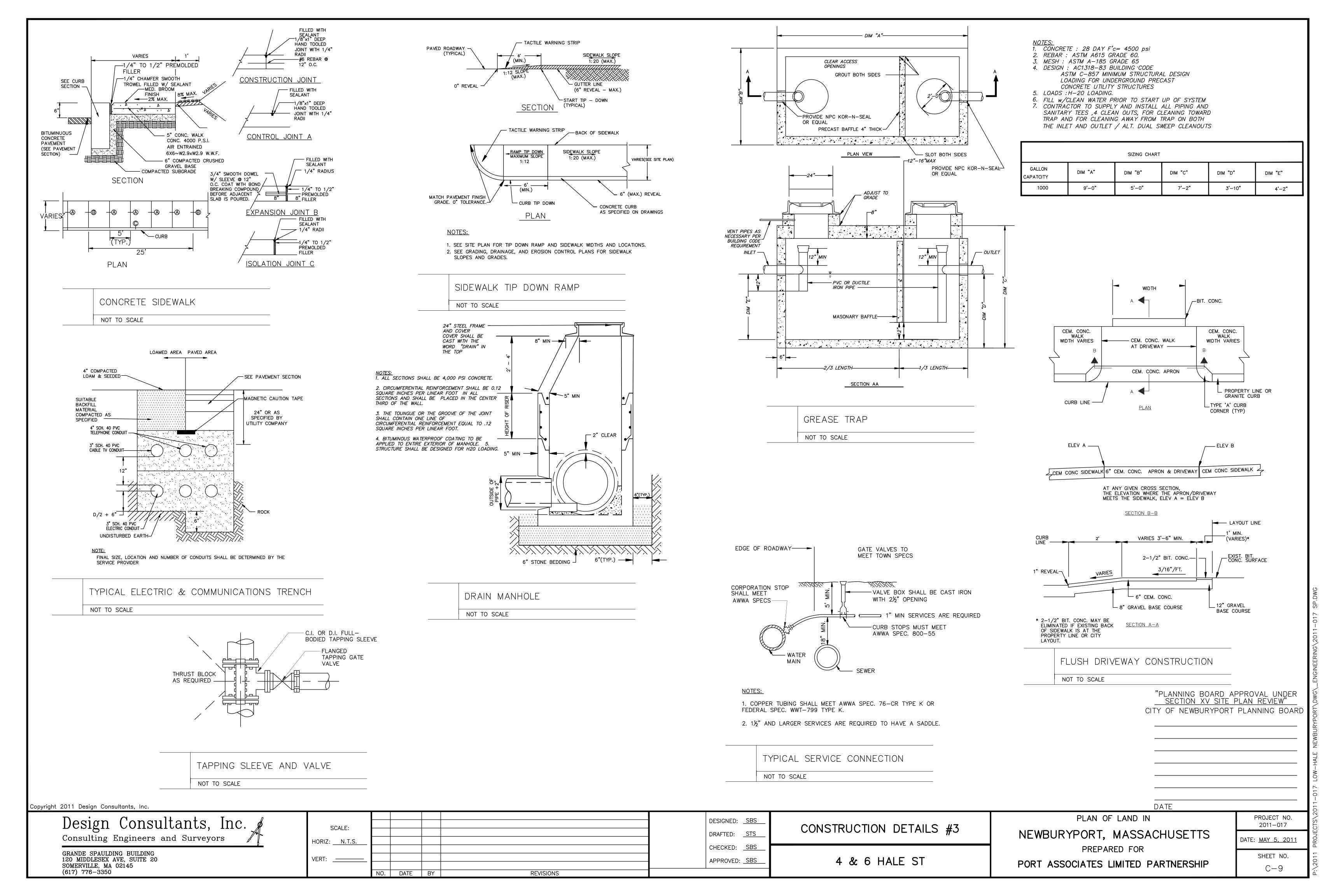
NOTES & DETAILS 4 & 6 HALE ST

**EROSION CONTROL** 

NEWBURYPORT, MASSACHUSETTS PORT ASSOCIATES LIMITED PARTNERSHIP C-6









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