



CITY OF NEWBURYPORT  
PLANNING BOARD  
60 PLEASANT STREET • P.O. Box 550  
NEWBURYPORT, MA 01950  
(978) 465-4400 • (978) 465-4452 (FAX)

RECEIVED  
CITY CLERK'S OFFICE  
NEWBURYPORT, MA

2011 JUL 26 P 4:14

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## SITE PLAN APPROVAL FINDINGS & DECISION

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### APPLICATION & DECISION SUMMARY

**DECISION DATE:** 07/06/2011  
**APPLICATION DATE:** 05/06/2011  
**FILE NO:** 2011-SPR-03  
**APPLICANT:** Port Associates Limited Partnership  
**APPLICANT ADDRESS:** 25 Railroad Square, Haverhill MA 01832  
**PROPERTY ADDRESS:** 4-6 Hale Street, Newburyport MA 01950  
**MAP/PARCEL:** 83-2 & 2A  
**BOOK/PAGE:** 27075/509  
**ZONING DISTRICT:** R-1  
**BRIEF DESCRIPTION:** Construct a new nursing home to replace the existing Port Healthcare Center and related site improvements.  
**NEWSPAPER NOTICE:** 05/17/2011 and 05/24/2011 in the Newburyport Daily News.  
**PUBLIC HEARING:** A public hearing was held on the above application on 06/01/2011 and 07/06/2011 at Newburyport City Hall.  
**DECISION:** After the close of the public hearing, upon a motion made by member Don Walters and seconded by Henry Coe, the Planning Board voted to approve the site plan with conditions.  
The motion having received a majority vote of all the members of the Planning Board, in accordance with Section XV-I of the Newburyport Zoning Ordinance, the application for Site Plan Approval was therefore **granted**.  
**RECORD OF VOTE:** The following members of the Planning Board voted as follows with respect to the petition for a site plan approval subject to the agreed-upon terms and conditions stated below:

Susan Grolnic	Yes	Anne Gardner	Yes	Julia Godtfredsen	Yes
Don Walters	Yes	Bonnie Sontag	Yes	Henry Coe	Yes
James McCarthy	Absent	Paul Dahn	Yes	Daniel Bowie	Yes

## **PLANS AND MATERIALS INCORPORATED INTO DECISION**

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1. Application for Site Plan Review pursuant to Section XV of the City of Newburyport's Zoning Ordinance was made by the above-referenced owner and filed with the Planning Board on 05/06/2011. The Board deemed the application complete on 05/18/2011.
2. A public hearing on the Site Plan application was held on 06/01/2011 and continued to 07/06/2011.
3. This site plan application is accompanied and augmented by the following plans, drawings, and documents:
  - Plans entitled "Port Healthcare Center," prepared by Design Consultants, Inc., 120 Middlesex Ave., Suite 20, Somerville, MA, Sheets T-1, S-1, C-1 – C-9; Landscaping plans prepared by Halvorson Design Partnership, 161 Massachusetts Avenue, Boston, MA, Sheets L1 – L-3; and Elevation plans prepared by Ranere Associates Inc., 135 Massachusetts Avenue, Boston, MA, Sheet A-1, dated 05/05/2011 and revised through 07/06/2011.
  - Correspondence from Stephen Sawyer, P.E., Director of Engineering with Design Consultants Inc., Pages 1-5, dated 05/05/2011, with Attachments including a Zoning Denial Form, Stormwater Narrative and Aerial Photo with Proposed Building Overlay.
  - Landscaping plans, prepared by Halvorson Design Partnership, 161 Massachusetts Avenue, Boston, MA, Sheets L-1A and L-3A, dated 06/01/2011.
  - Grading and Drainage Overlay Plans, prepared by Design Consultants, Inc., Sheet C-3A, dated 06/01/2011.
  - Plan entitled, "Loading Dock Turning Movement – WB50," prepared by Design Consultants, Inc., dated July 6, 2011.
  - Site Lighting Specification Sheet for Avaround Area Luminaires, EMCO Lighting by Philips Gardco.
  - Specifications Sheet and case studies on Geoblock Porous Pavement System for Fire Access by Presto.
  - Stormwater Management Study for 4 & 6 Hale Street, prepared by Design Consultants, Inc., dated 05/05/2011 and revised through 07/06/2011.
  - Response to Peer Review Stormwater Comments provided by Christiansen & Sergi, Inc., from Stephen Sawyer, P.E., Design Consultants, Inc., dated 07/05/2011.
4. The plans and submission material were reviewed by the Planning Board, City Departments and the Board's Reviewing Engineer as follows:
  - Peer Reviews, including Site Plan Review Checklist, Site Plans Review and Stormwater Review Comments, from Christiansen & Sergi, Inc., 160 Summer Street, Haverhill, MA, dated 05/13/2011 and 07/06/2011.
5. Throughout its deliberations the Planning Board has been mindful of the statements of the applicant and their representatives, and the comments of the general public, all as made at the public hearing.

## FINDINGS

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### General

Port Associates Limited Partnership plans to construct a new 28,700 s.f. building footprint, 123-bed nursing home to replace the existing Port Healthcare Center, which is a 100-bed facility originally constructed in 1968 at the corner of Hale and Low Streets. The new building was designed to meet current Department of Public Health requirements and more generally to provide better patient care. Port Healthcare will continue to operate from the existing building during construction of the new structure. Following demolition of the current facility, the parking and stormwater systems will be installed.

### Specific

The Zoning Board of Appeals granted a Special Permit, pursuant to Section IX.B.2, to extend or alter the nonconforming use of the site on March 8, 2011. While the Planning Board acknowledges that an appeal has been filed to the Special Permit issued on March 8, 2011 by the Zoning Board of Appeals pursuant to the Newburyport Zoning Ordinance Section IX.B.2. to extend or alter the nonconforming use of the site, at present time, and unless the decision of that board is overturned on appeal, the subject use has been approved and does not require any further review by the Zoning Board.

The proposed project will also require an Order of Conditions from the Conservation Commission. The applicant filed a Notice of Intent in May, which is currently under review by the Commission.

### Site Plan Review Criteria

Section XV-G states that the Planning Board, in making a final determination regarding site plan approval, shall require that the site plan promote the objectives of community character; traffic, parking, and public access; health; public services and utilities; land use planning; open space and environmental protection as more fully set forth in Section XV-G subsections a-f.

The Board finds the proposed project generally meets the City of Newburyport site plan review criteria and standards; specifically, the project meets the site plan review criteria as follows:

a. **Community character:**

Both the nature of the project and its use are appropriate for the area. The new design improves the appearance of the building and material choices complement residential properties to the north of the site. New landscaping will be added throughout the site and offer substantial screening for neighboring property owners.

b. **Traffic, parking, and public access:**

The project will not create undue traffic congestion. The proposed facility adds just 23-beds to the existing, which is not expected to intensify traffic in the area. The plans include a revised parking layout with 108 parking spaces, or an additional 19 spaces beyond what presently exists and 3 more than the minimum required by the Newburyport Zoning Ordinance. The driveway curbcut on Low Street will be abandoned with all access to the new building derived from Hale Street. This will eliminate a potential conflict resulting from turning movements to and from the property on Low Street. The loading dock and dumpster operations are located on the Hale Street side of the building, which will screen these activities from the residential properties north of the facility.

c. **Health:**

This expansion project does not create hazardous materials and transmissions as the patient volume will expand by just 23-beds. The new building updates the facility's utility systems so that they are more

efficient, as well as more environmentally friendly. This improvement is expected to have a positive effect on public health and safety.

**d. Public services and utilities:**

The new building utilizes the existing connection into the Low Street sewer, though the building will require a pump station. The new structure will also require a new water and fire services from the Hale Street water main. The applicant estimates that replacement of outdated fixtures and mechanical equipment with more energy efficient versions within the building will reduce water usage by approximately 50 percent. The plans also include an emergency vehicle lane to the rear of the building consisting of grasspave, a material that will both reduce impervious surface and improve the appearance of the facility while maintaining safe access for fire trucks and other emergency vehicles.

**e. Land use planning:**

Reconstruction of the facility will improve the quality of care provided to Port Healthcare's patients, and in turn helps to maintain and strengthen the City's position as a regional center for health and wellness services.

**f. Open space and environmental protection:**

The site plans include drainage design and Best Management Practices that meet MA DEP Stormwater Management Standards and the proposed drainage systems will reduce the offsite peak rate by 10-20 percent. There is significant landscaping provided throughout the site and along Low and Hale Streets. Finally, the proposed improvements will be completed in a manner that is not dangerous, noxious or injurious, and will not emit noise, vibration, smoke, dust or odor or other forms of environmental pollution that would adversely affect the surrounding area.

## **WAIVERS**

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**Section XV-Ha.9, 10**

Where feasible, Site Plan Review Development and Performance Standards limit parking and loading areas from being located to the front of a building or within the front setback; however, the Board waives this standard to permit parking and loading within the front setback from Hale Street and this minimizes the impacts of both to residential abutters to the north of the site.

**Section XV-Hd.1**

The Board grants a waiver permitting the required 20-foot landscaped buffer to be located within the Hale Street right-of-way.

## **DECISION**

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In view of the foregoing, the Planning Board hereby decides to **grant** Major Site Plan Approval in accordance with the terms and conditions stated below, all as agreed to by the applicant:

**Conditions**

1. The applicant shall file this Decision with the Southern Essex County Registry of Deeds or registry of the Land Court if registered land and a copy of the decision stamped with the recording information (Book/Page

or Land Court document number) shall be included with the application for a Building Permit. The final site/construction plans shall also make reference to the decision date and conditions of approval.

2. The Planning Board requires the developer to submit all final approved drawings and as built plans in computer aided drafting (CAD) formats. Specific file format shall be .DXF unless otherwise allowed.
3. The applicant shall seek all necessary local, state and federal approvals for the project, including but not limited to approval by the Newburyport Tree Warden for proposed plantings within the Hale Street right-of-way and the Conservation Commission. The applicant shall file any plan changes resulting from these reviews with the Planning Office.
4. The landscaping within the Hale Street right-of-way shall be planted and maintained in such a way that sight distance along Hale Street and from the project driveways shall not be impeded.
5. The applicant shall install and maintain a silt fence and haybale erosion and siltation control barrier at the perimeter of the site between the temporary parking area and Hale Street prior to final paving of parking lot until new grass has been established.
6. The applicant shall maintain the proposed landscaping as indicated on the approved plans, including regular mowing.

#### **DATE OF FILING OF DECISION**

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Filed with the Newburyport City Clerk on:

#### **SIGNATURE OF THE BOARD**

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Daniel T. Bowie, Chair  
Newburyport Planning Board

7/26/11  
Date

#### **NOTICE OF APPELLATE RIGHTS**

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As per Section XV-J of the Newburyport Zoning Ordinance, appeals shall be made directly to a court of competent jurisdiction in accordance with the provision of M.G.L. Chapter 40A Section 17.

# PORT HEALTHCARE CENTER



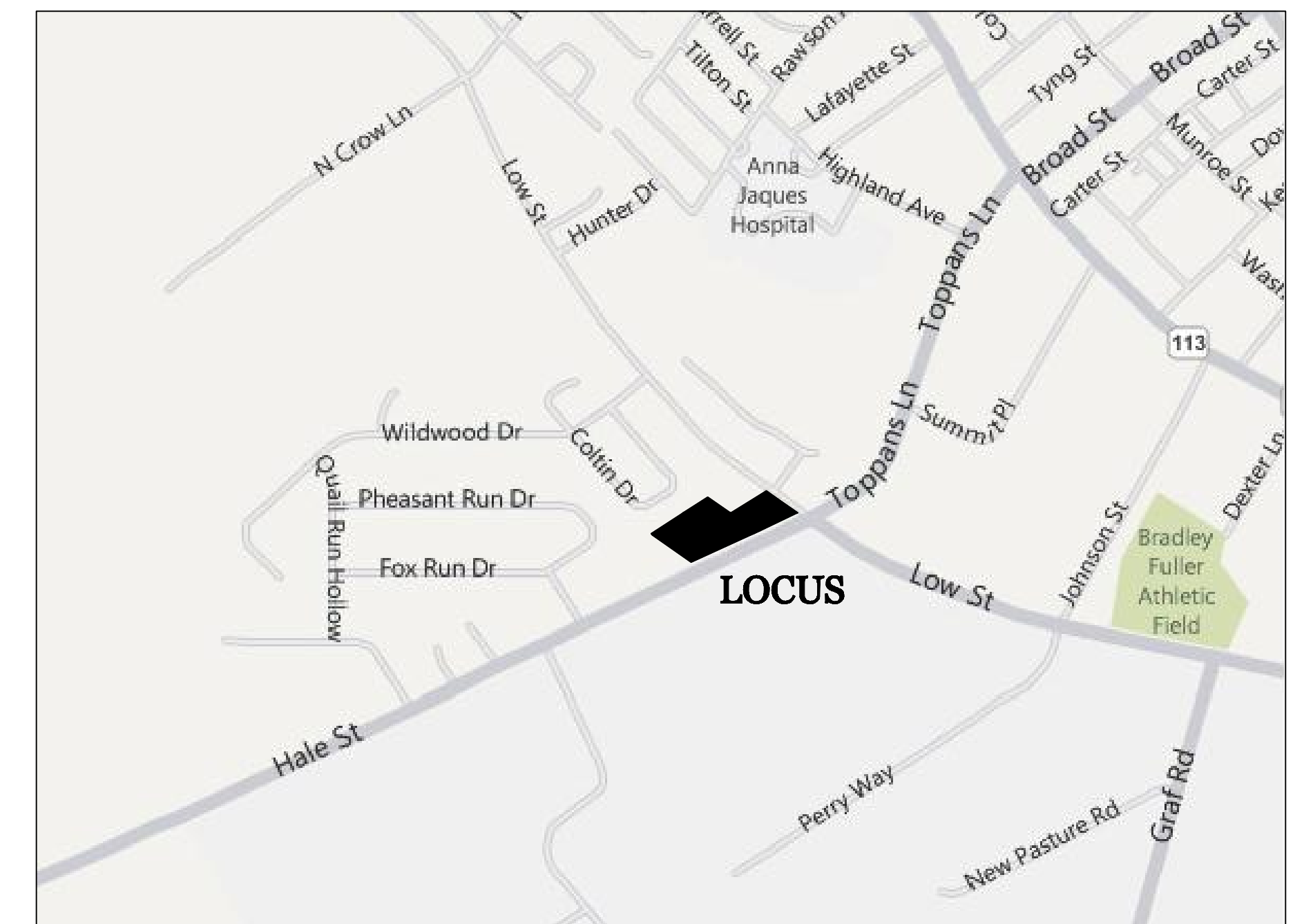
#4 & #6 HALE STREET  
IN  
NEWBURYPORT, MASSACHUSETTS

## SHEET INDEX

SHEET NO.	DESCRIPTION
T-1	TITLE SHEET
S-1	EXISTING CONDITIONS
C-1	SITE PREPARATION PLAN
C-2	LAYOUT PLAN
C-3	GRADING & DRAINAGE PLAN
C-4	UTILITIES PLAN
C-5	PHOTOMETRIC PLAN
C-6	EROSION CONTROL NOTES & DETAILS
C-7	CONSTRUCTION DETAILS 1
C-8	CONSTRUCTION DETAILS 2
C-9	CONSTRUCTION DETAILS 3
L-1	LANDSCAPE PLAN
L-2	PLANTING SCHEDULE & DETAILS
L-3	LANDSCAPE SECTIONS / ELEVATIONS
A-1	BUILDING ELEVATIONS

## PREPARED FOR

PORT ASSOCIATES LIMITED  
PARTNERSHIP  
25 RAILROAD SQUARE  
HAVERHILL, MASSACHUSETTS



VICINITY MAP

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Design Consultants, Inc.  
Consulting Engineers and Surveyors

GRANDE SPAULDING BUILDING  
120 MIDDLESEX AVE, SUITE 20  
SOMERVILLE, MA 02145  
(617) 776-3350

SCALE:  
HORIZ: \_\_\_\_\_  
VERT: \_\_\_\_\_

NO.	DATE	BY	REVISIONS

DESIGNED: SBS  
DRAFTED: STS  
CHECKED: SBS  
APPROVED: SBS

TITLE SHEET

113 LOW STREET

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR  
PORT ASSOCIATES LIMITED PARTNERSHIP

PROJECT NO.  
2011-017  
DATE: MAY 5, 2011  
SHEET  
T-1

P:\2011 PROJECTS\2011-017 LOW-HALE NEWBURYPORT\DWG\ENGINEERING\2011-017 SP BACKUP.DWG



LOCUS TITLE INFORMATION

52 LOW STREET

OWNER: PORT ASSOCIATES LIMITED PARTNERSHIP

DEED REFERENCE: BK. 27075 PG. 509

ASSESSORS: PARCEL 83-2-A & 83-2

AREA: 241,781± SF (5.551± ACRES)

ZONING: R1

LEGEND

- CLF CHAIN LINK FENCE
- S SANITARY SEWER
- CS COMBINED SEWER & DRAIN
- D DRAIN LINE
- W WATER LINE
- E ELECTRIC LINE
- G GAS LINE
- SM SANITARY SEWER MANHOLE
- DM DRAIN MANHOLE
- UM UNKNOWN MANHOLE
- EM ELECTRIC MANHOLE
- HH HAND HOLE
- LP LIGHT POLE
- FH FIRE HYDRANT
- WG WATER GATE
- GG GAS GATE
- PM PARKING METER
- TS TRAFFIC SIGNAL POLE
- DT DECIDUOUS TREE
- SE SPOT ELEVATION

NOTES

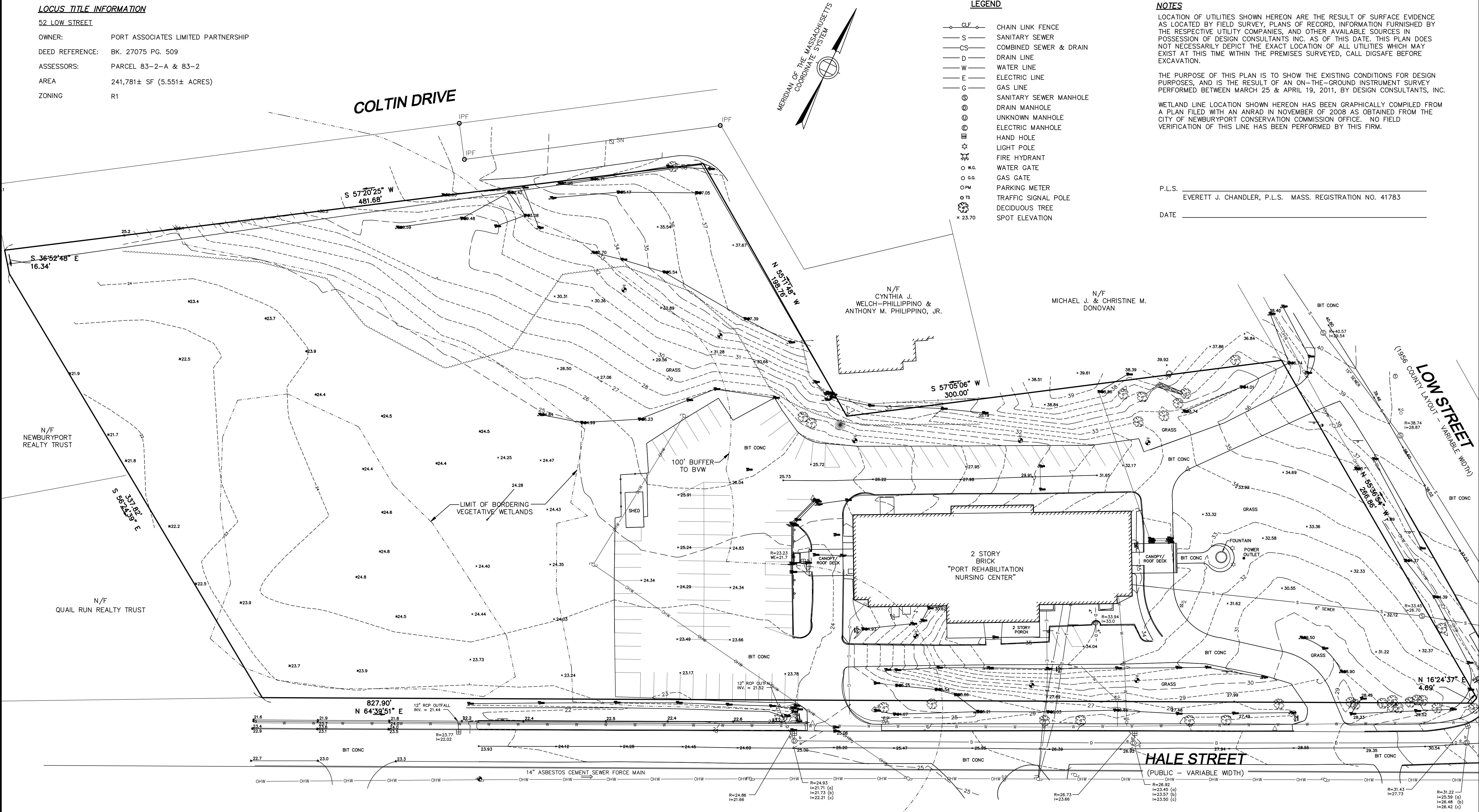
LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN MARCH 25 & APRIL 19, 2011, BY DESIGN CONSULTANTS, INC.

WETLAND LINE LOCATION SHOWN HEREON HAS BEEN GRAPHICALLY COMPILED FROM A PLAN FILED WITH AN ANRAD IN NOVEMBER OF 2008 AS OBTAINED FROM THE CITY OF NEWBURYPORT CONSERVATION COMMISSION OFFICE. NO FIELD VERIFICATION OF THIS LINE HAS BEEN PERFORMED BY THIS FIRM.

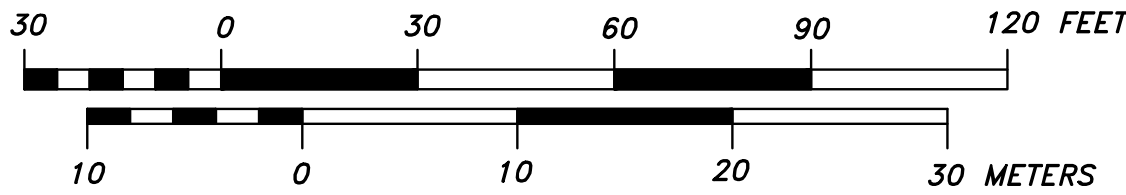
P.L.S. EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783

DATE



PLAN REFERENCES

PLAN BOOK 321 PLAN 54  
PLAN BOOK 176 PLAN 56  
PLAN BOOK 174 PLAN 29  
PLAN BOOK 101 PLAN 27  
ESSEX COUNTY LAYOUT NO. 2858



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120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
617-776-3350

68 PLEASANT STREET  
NEWBURYPORT, MA 01950  
978-358-7173

SCALE:

HORIZ: 1"= 30'

VERT: \_\_\_\_\_

NO. DATE BY REVISIONS

FIELD: LJG  
CALCS: EJC/ML  
CHECKED: EJC  
APPROVED: EJC

EXISTING CONDITIONS PLAN

PORT REHABILITATION NURSING HOME  
HALE & LOW STREETS

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
WHITTIER HEALTH NETWORKS

PROJECT NO.  
2011-017

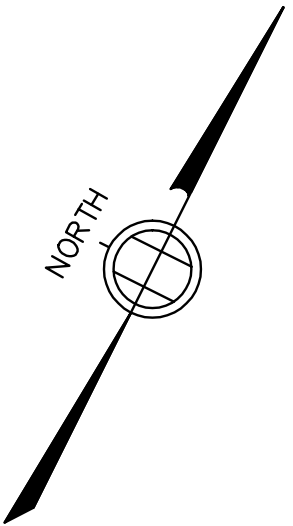
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SHEET NO.

1 OF 1

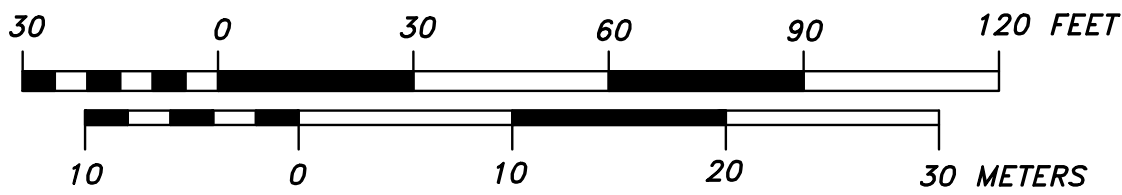
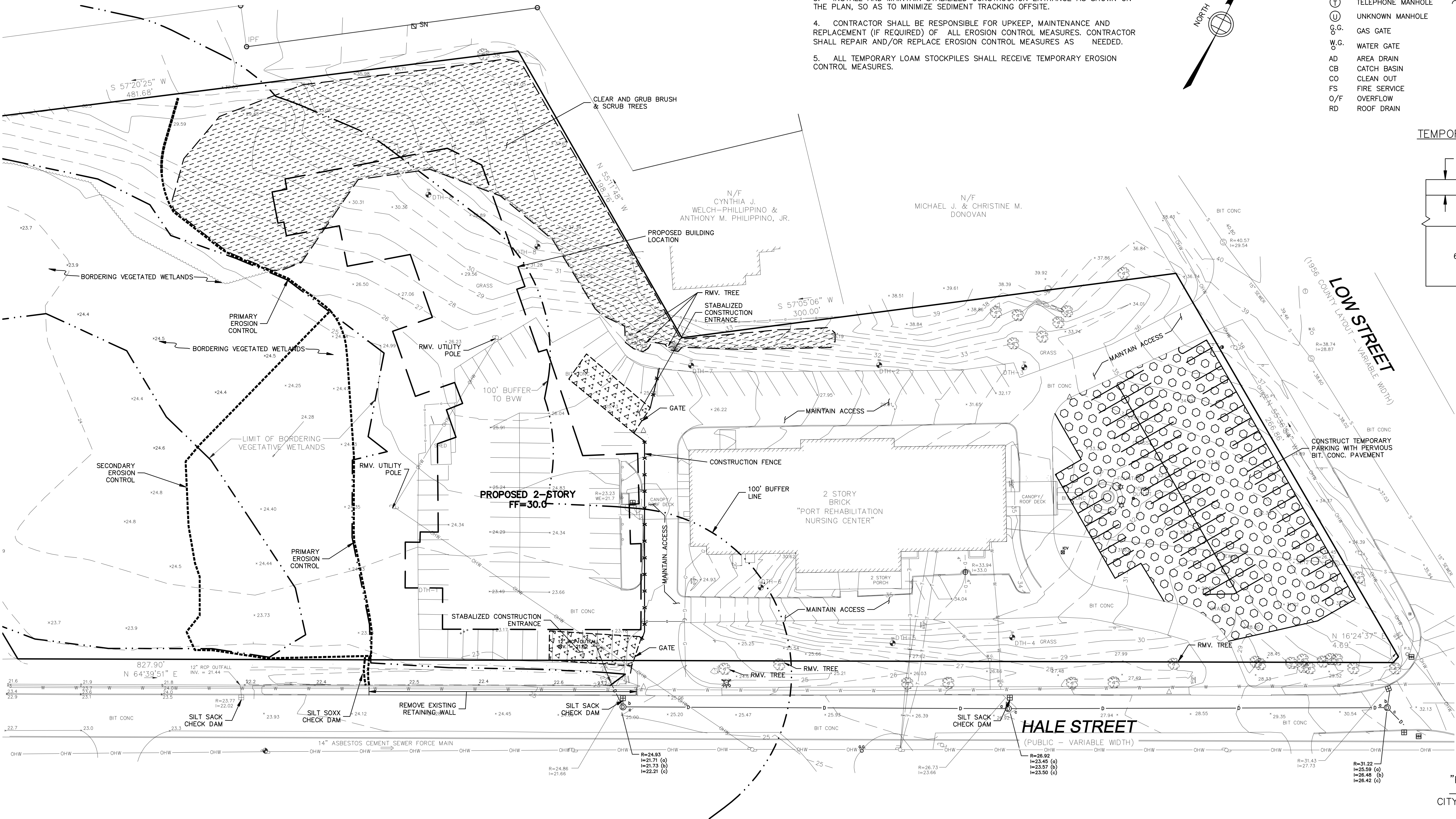
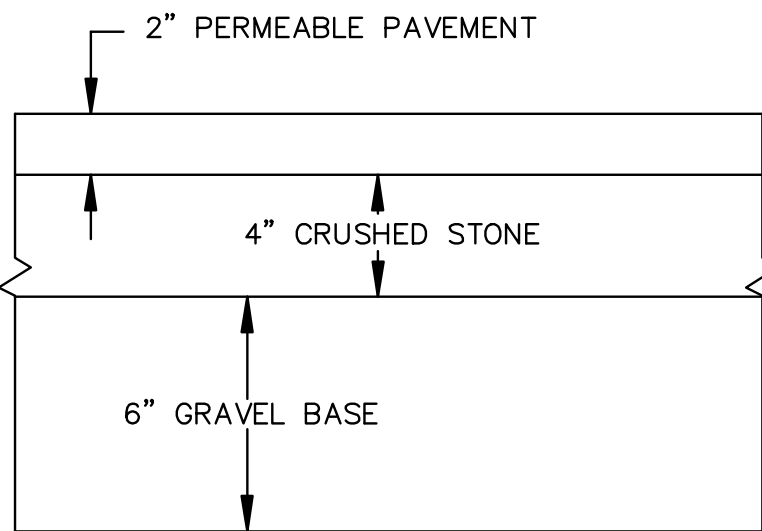
P:\2011 Projects\2011-017 Low-Hale Newburyport.dwg\\_SURVEYING\11-017ex.dwg

- EROSION CONTROL NOTES:
1. SEE EROSION CONTROL NOTES & DETAILS FOR ADDITIONAL EROSION CONTROL PROCEDURES AND CONSTRUCTION SEQUENCING.
  2. PROVIDE INLET PROTECTION BARRIERS AROUND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND AS SHOWN ON PLAN. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED AND UPSTREAM AREAS HAVE BEEN STABILIZED.
  3. INSTALL AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN, SO AS TO MINIMIZE SEDIMENT TRACKING OFFSITE.
  4. CONTRACTOR SHALL BE RESPONSIBLE FOR UPKEEP, MAINTENANCE AND REPLACEMENT (IF REQUIRED) OF ALL EROSION CONTROL MEASURES. CONTRACTOR SHALL REPAIR AND/OR REPLACE EROSION CONTROL MEASURES AS NEEDED.
  5. ALL TEMPORARY LOAM STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES.



- LEGEND
- |  |                   |  |    |  |                  |
|--|-------------------|--|----|--|------------------|
|  | CATCH BASIN       |  | D  |  | DRAIN            |
|  | DRAIN MANHOLE     |  | E  |  | ELECTRIC         |
|  | ELECTRIC MANHOLE  |  | FS |  | FIRE SERVICE     |
|  | SIGN              |  | S  |  | SEWER            |
|  | SEWER MANHOLE     |  | T  |  | TELEPHONE        |
|  | TELEPHONE MANHOLE |  | W  |  | WATER            |
|  | UNKNOWN MANHOLE   |  |    |  | CHAIN LINK FENCE |
|  | GAS GATE          |  |    |  | TREE LINE        |
|  | W.G.              |  |    |  |                  |
|  | AD                |  |    |  |                  |
|  | CB                |  |    |  |                  |
|  | CO                |  |    |  |                  |
|  | FS                |  |    |  |                  |
|  | O/F               |  |    |  |                  |
|  | RD                |  |    |  |                  |

TEMPORARY PARKING SECTION:



PERMIT SET

"PLANNING BOARD APPROVAL UNDER SECTION XV SITE PLAN REVIEW"  
CITY OF NEWBURYPORT PLANNING BOARD

DATE

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Consulting Engineers and Surveyors

GRANDE SPAULDING BUILDING  
120 MIDDLESEX AVE, SUITE 20  
SOMERVILLE, MA 02145  
(617) 776-3350

SCALE:

HORIZ: 1"= 30'

VERT:

NO.	DATE	BY	REVISIONS

DESIGNED: SBS  
DRAFTED: STS  
CHECKED: SBS  
APPROVED: SBS

SITE PREPARATION PLAN

4 & 6 HALE ST

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR  
PORT ASSOCIATES LIMITED PARTNERSHIP

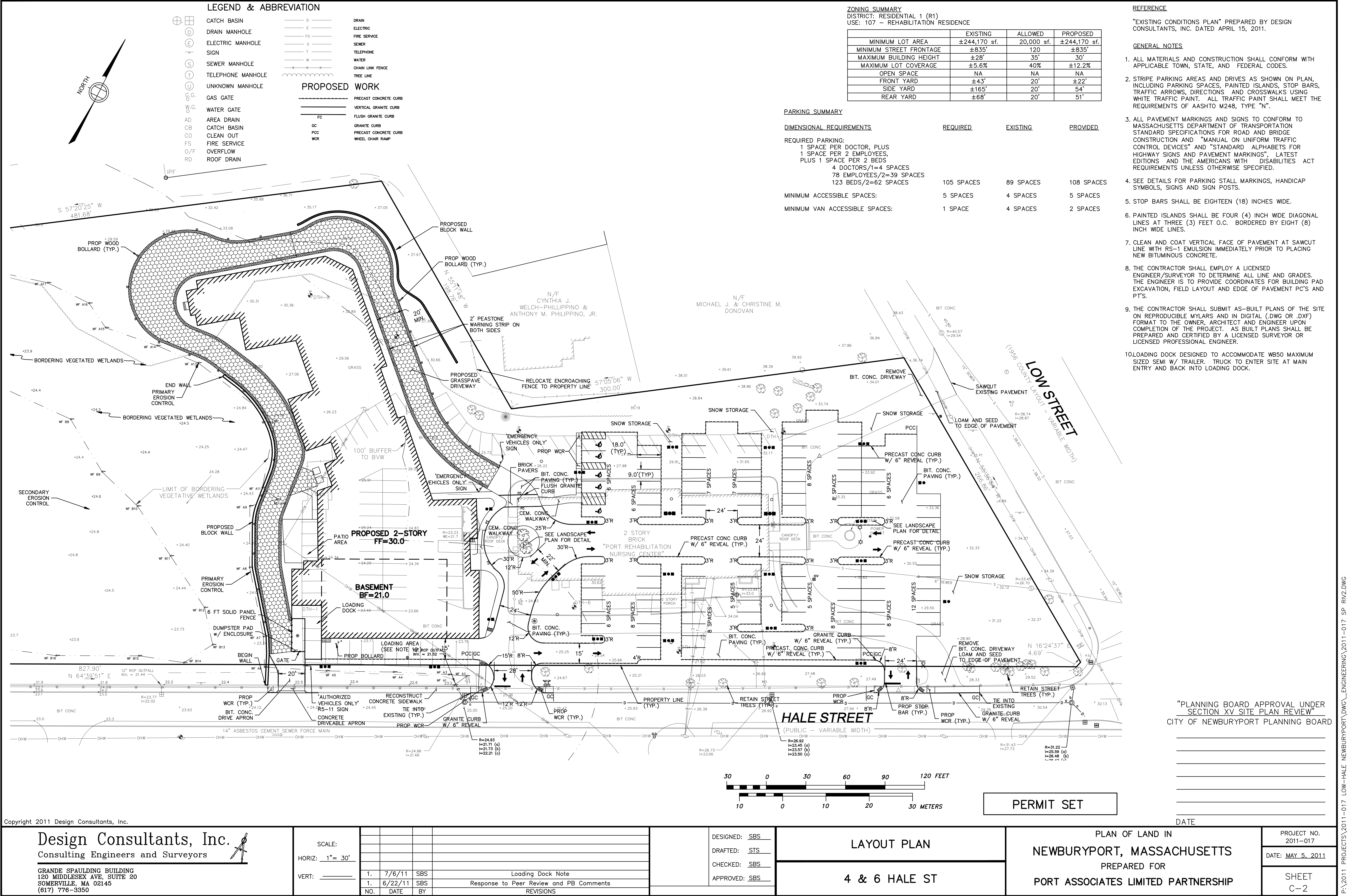
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2011-017

DATE: MAY 5, 2011

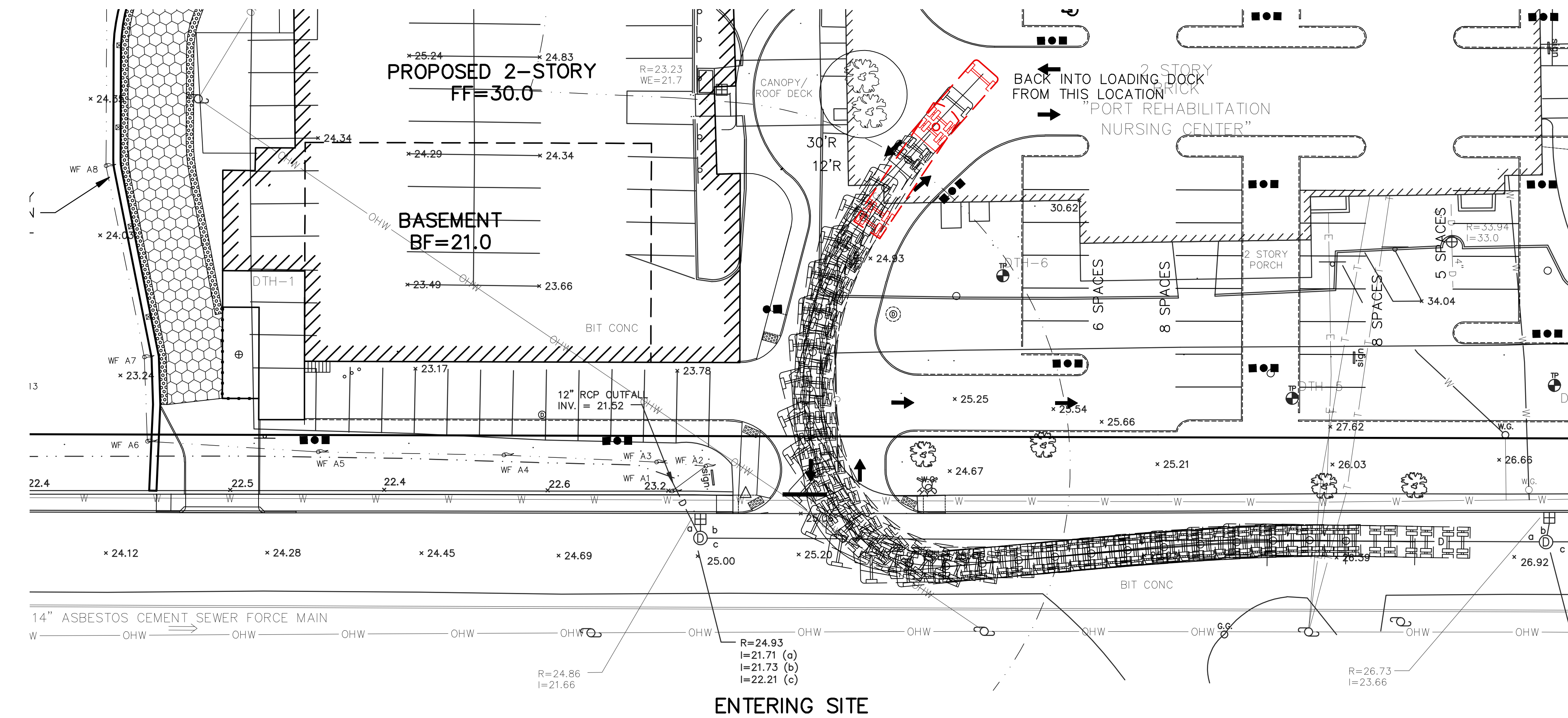
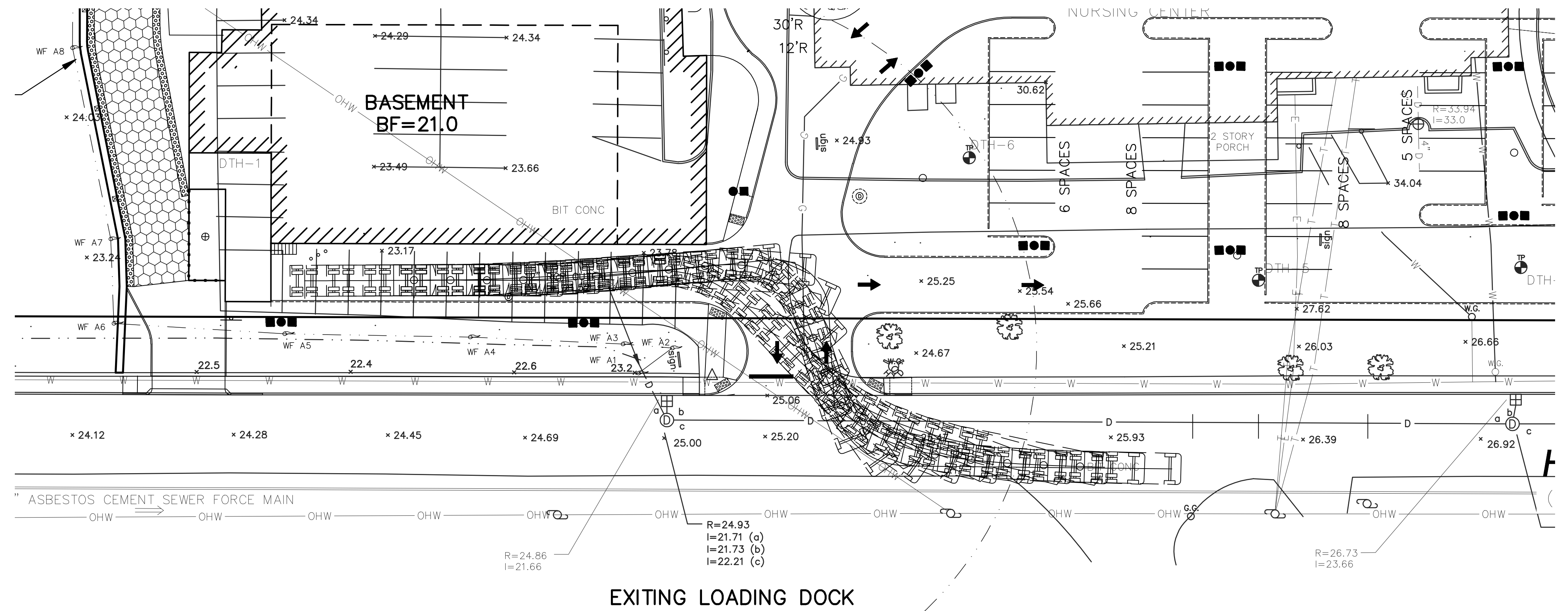
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20 0 20 40 80 100 FEET

PERMIT SET

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GRANDE SPAULDING BUILDING  
120 MIDDLESEX AVE, SUITE 20  
SOMERVILLE, MA 02145  
(617) 776-3350

SCALE:

HORIZ: 1" = 30'

VERT: \_\_\_\_\_

NO.	DATE	BY	REVISIONS
1.	6/22/11	SBS	Response to Peer Review and PB Comments

DESIGNED: SBS  
DRAFTED: STS  
CHECKED: SBS  
APPROVED: SBS

LOADING DOCK TURNING  
MOVEMENT – WB50

4 & 6 HALE ST

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR  
PORT ASSOCIATES LIMITED PARTNERSHIP

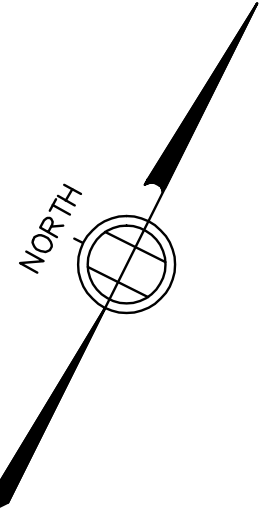
PROJECT NO.  
2011-017

DATE: JULY 6, 2011

SHEET  
C-2A



- LEGEND**
- |  |                   |  |                       |  |                       |
|--|-------------------|--|-----------------------|--|-----------------------|
|  | CATCH BASIN       |  | DRAIN                 |  | ELECTRIC              |
|  | DRAIN MANHOLE     |  | FIRE SERVICE          |  | SEWER                 |
|  | ELECTRIC MANHOLE  |  | TELEPHONE             |  | WATER                 |
|  | SIGN              |  | CHAIN LINK FENCE      |  | TREE LINE             |
|  | SEWER MANHOLE     |  | PRECAST CONCRETE CURB |  | VERTICAL GRANITE CURB |
|  | TELEPHONE MANHOLE |  | FLUSH GRANITE CURB    |  |                       |
|  | UNKNOWN MANHOLE   |  |                       |  |                       |
|  | GAS GATE          |  |                       |  |                       |
|  | WATER GATE        |  |                       |  |                       |
|  | AREA DRAIN        |  |                       |  |                       |
|  | CATCH BASIN       |  |                       |  |                       |
|  | CLEAN OUT         |  |                       |  |                       |
|  | FIRE SERVICE      |  |                       |  |                       |
|  | OVERFLOW          |  |                       |  |                       |
|  | ROOF DRAIN        |  |                       |  |                       |



Drainage Table Summary					
Basin	Stand Pipe		Subdrain		100 Year Flood
	Diameter	Elevation	Diameter	Invert	Elevation
B	8"	30.00	8"	27.50	30.21
E	8"	32.50	8"	30.00	32.86
G	8"	31.50	8"	29.00	32.33
H	8"	26.50	8"	26.50	27.19
J	15"	26.50	15"	23.70	29.29

**GRADING NOTES:**

- ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL RECEIVE 4" SCREENED LOAM, HYDROSEED & FERTILIZER. SEE LANDSCAPE PLANS FOR LANDSCAPE PLANTINGS, AND DETAILS.
- SEE SHEET S-1 FOR BENCHMARK INFORMATION. CONTRACTOR SHALL RELOCATE ALL BENCHMARKS PRIOR TO DISTURBING BENCHMARKS.
- ALL STORM DRAIN PIPE SHALL BE HIGH DENSITY POLYETHYLENE UNLESS OTHERWISE NOTED (HANCOR "HIQ", ADS "N-12", OR APPROVED EQUAL).
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY AND STATE CODES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND EXIT RAMPS AND LOADING AREAS ADJACENT TO THE BUILDING.
- ALL CATCH BASINS AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER THE UPSTREAM AREA IS STABILIZED.
- ALL CATCH BASINS & MANHOLES SHALL BE PRECAST CONCRETE (4,000 PSI MIN) WITH AN INSIDE DIAMETER OF FOUR (4) FEET UNLESS OTHERWISE NOTED.
- PROVIDE SAND FILL UNDER INFILTRATION BASINS IN ACCORDANCE WITH MASS DOT STANDARDS SECTION M1.04.1 SAND BORROW FOR SUBDRAINS

**COMPACTION REQUIREMENTS**

LOCATION	MINIMUM DENSITY*
BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%

\* ALL PERCENTAGES SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH AASHTO STANDARD 180, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH AASHTO STANDARD T-191, T-204, OR T-238 AND T-239.

**EROSION CONTROL NOTES**

- SEE EROSION CONTROL NOTES & DETAILS FOR ADDITIONAL EROSION CONTROL PROCEDURES AND CONSTRUCTION SEQUENCING.
- PROVIDE INLET PROTECTION BARRIERS AROUND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND AS SHOWN ON PLAN. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED AND UPSTREAM AREAS HAVE BEEN STABILIZED.
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- ALL TEMPORARY LOAM STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES.

BELOW IS A SUMMARY OF THE EROSION AND SEDIMENT CONTROL PROCEDURES. ADDITIONAL DETAIL CAN BE FOUND ON SHEET C-6, EROSION CONTROL NOTES, AND DETAILS PROVIDED ON THE PROJECT PLANS. LAND-DISTURBING ACTIVITIES PROPOSED UNDER THIS PROJECT WILL INCLUDE THE ITEMS LISTED IN, AND BE SEQUENCED ACCORDING TO, THE FOLLOWING PRELIMINARY CONSTRUCTION SCHEDULE:

- INSTALLATION OF TEMPORARY EROSION CONTROLS (HAY BALES, SEDIMENTATION BARRIERS, AND CATCH BASIN INLET PROTECTION).
- CLEARING AND GRUBBING.
- DEMOLITION OF EXISTING BUILDING AND EXISTING PAVED SURFACES.
- EXCAVATION, GRADING, CONSTRUCTION OF DRAINAGE SYSTEM, AND STABILIZATION.
- CONSTRUCTION OF BUILDING PAD AND UTILITIES.
- CONSTRUCTION OF PAVED PARKING AND LANDSCAPING, FINAL STABILIZATION.
- REMOVAL OF TEMPORARY EROSION CONTROLS AND ANY TRAPPED SEDIMENT.

EROSION/SEDIMENT CONTROLS WILL BE IN PLACE THROUGHOUT THE SITE DURING ALL PHASES OF CONSTRUCTION. ALL EXISTING CATCHBASINS IN THE PROJECT AREA WILL HAVE A SILT BASKET INSTALLED UNDER THE GRATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL OF THE EROSION/SEDIMENT CONTROL MEASURES PERIODICALLY AND AFTER EVERY STORM. THE CONTRACTOR SHALL REPAIR, REPLACE, AND MAINTAIN ALL EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED. EFFORTS WILL BE MADE TO ESTABLISH VEGETATIVE COVER OVER ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER THE WORK IN THAT AREA IS COMPLETE. ALL DISTURBED AREAS WILL BE TREATED WITH A 4-INCH DEPTH OF LOAM AND SEED.

THE OCCURRENCE OF AN EXTENDED SHUTDOWN DURING THE CONSTRUCTION PHASE OF THIS PROJECT IS NOT ANTICIPATED AND IS UNLIKELY. SHOULD UNEXPECTED EVENTS DICTATE, MEASURES WILL BE TAKEN TO STABILIZE THE DISTURBED AREAS OF THE SITE AS A LAST CONSTRUCTION ACTIVITY BEFORE THE START OF AN EXTENDED SHUTDOWN. THESE MEASURES WILL INCLUDE CAREFUL PLANNING OF THE IMMEDIATE CONSTRUCTION SCHEDULE SO THAT FURTHER LAND DISTURBANCE IS KEPT TO A MINIMUM AND THE RE-STABILIZATION OF EXISTING DISTURBED AREAS IS MAXIMIZED PRIOR TO THE EXTENDED SHUTDOWN. OTHER MEASURES WILL INCLUDE THE REINFORCEMENT AND REPAIR OF ALL EROSION/SEDIMENT CONTROLS IN PLACE AT THE TIME OF THE EXTENDED SHUTDOWN.

PERMIT SET

"PLANNING BOARD APPROVAL UNDER SECTION XV SITE PLAN REVIEW"  
CITY OF NEWBURYPORT PLANNING BOARD

DATE

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Consulting Engineers and Surveyors

GRANDE SPAULDING BUILDING  
120 MIDDLESEX AVE., SUITE 20  
SOMERVILLE, MA 02145  
(617) 776-8350

SCALE:

HORIZ: 1"= 30'

VERT:

NO.	DATE	BY	REVISIONS
2	7/06/11	SBS	Adjust outlet control pipes and pipe dia.
1	6/22/11	SBS	Response to peer review and PB comments

DESIGNED: SBS  
DRAFTED: STS  
CHECKED: SBS  
APPROVED: SBS

GRADING & DRAINAGE PLAN

4 & 6 HALE ST

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR  
PORT ASSOCIATES LIMITED PARTNERSHIP

PROJECT NO.  
2011-017  
DATE: MAY 5, 2011  
SHEET  
C-3



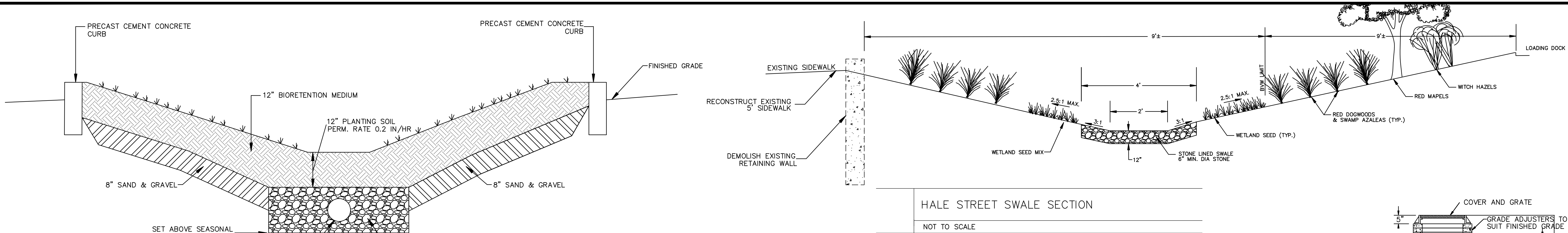












NOTE: SCARIFY SOILS CONTINUOUSLY TO A DEPTH OF 4" AT INTERFACE BETWEEN SOIL TYPES TO PROVIDE BLENDING OF SOILS.

#### SOIL MIX SPECIFICATIONS

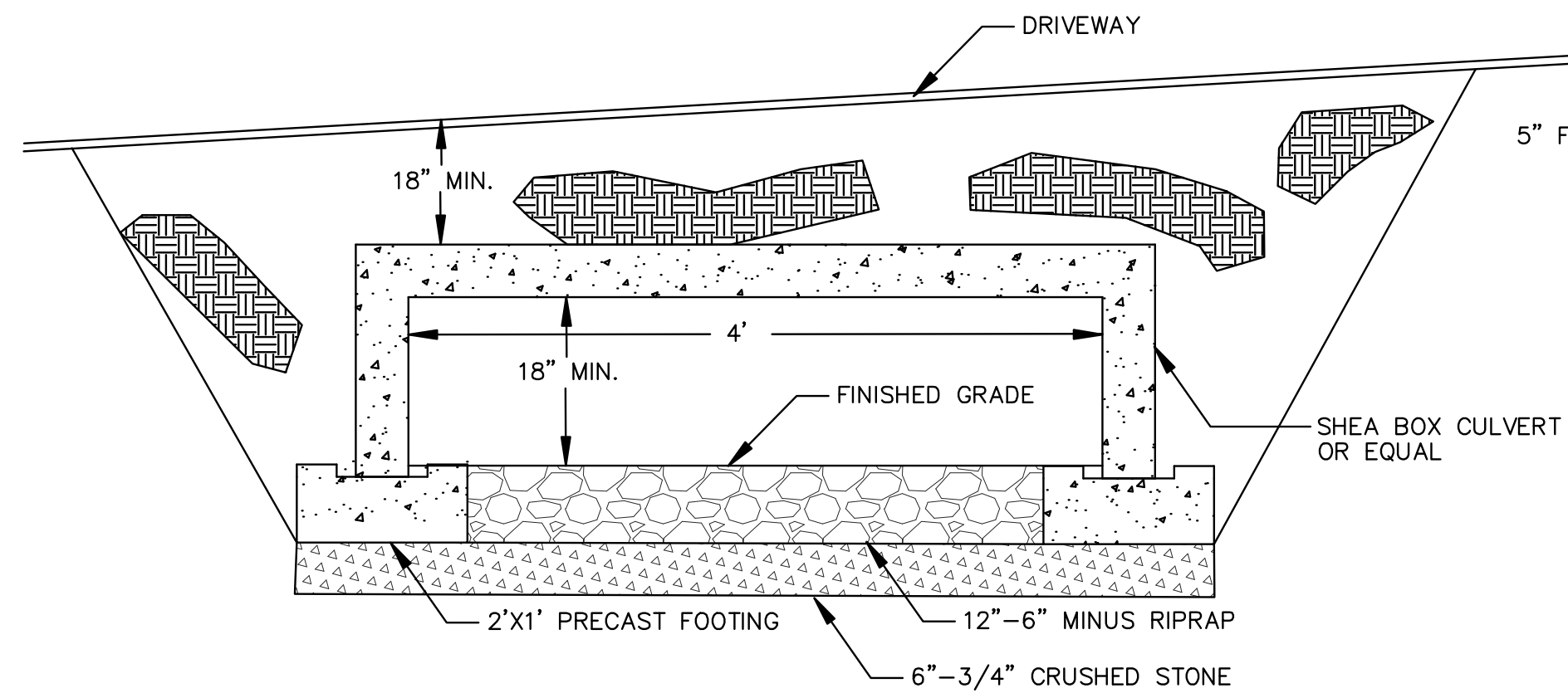
THE SOIL MIX FOR BIORETENTION AREAS SHALL BE A MIXTURE OF SAND COMPOST AND SOIL.  
0 40 % SAND,  
0 20-30% TOPSOIL, AND  
0 30-40% COMPOST.

THE SOIL MIX MUST BE UNIFORM, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS LARGER THAN 2 INCHES. CLAY CONTENT SHOULD NOT EXCEED 5%. SOIL PH SHOULD GENERALLY BE BETWEEN 5.5-6.5, A RANGE THAT IS OPTIMAL FOR MICROBIAL ACTIVITY AND ADSORPTION OF NITROGEN, PHOSPHORUS, AND OTHER POLLUTANTS.

USE SOILS WITH 1.5% TO 3% ORGANIC CONTENT AND MAXIMUM 500 PPM SOLUBLE SALTS.  
THE SAND COMPONENT SHOULD BE GRAVELLY SAND THAT MEETS ASTM D 422.

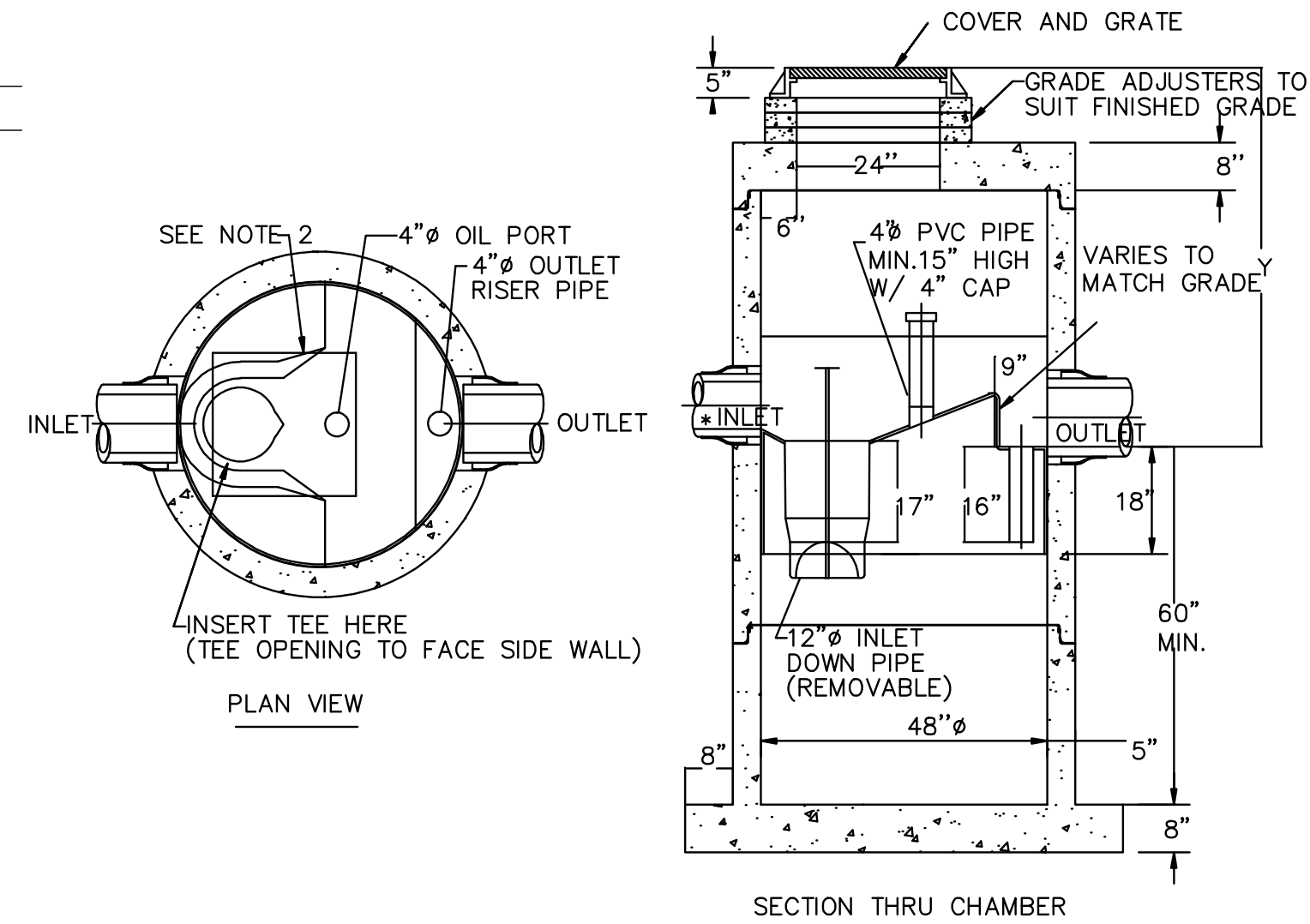
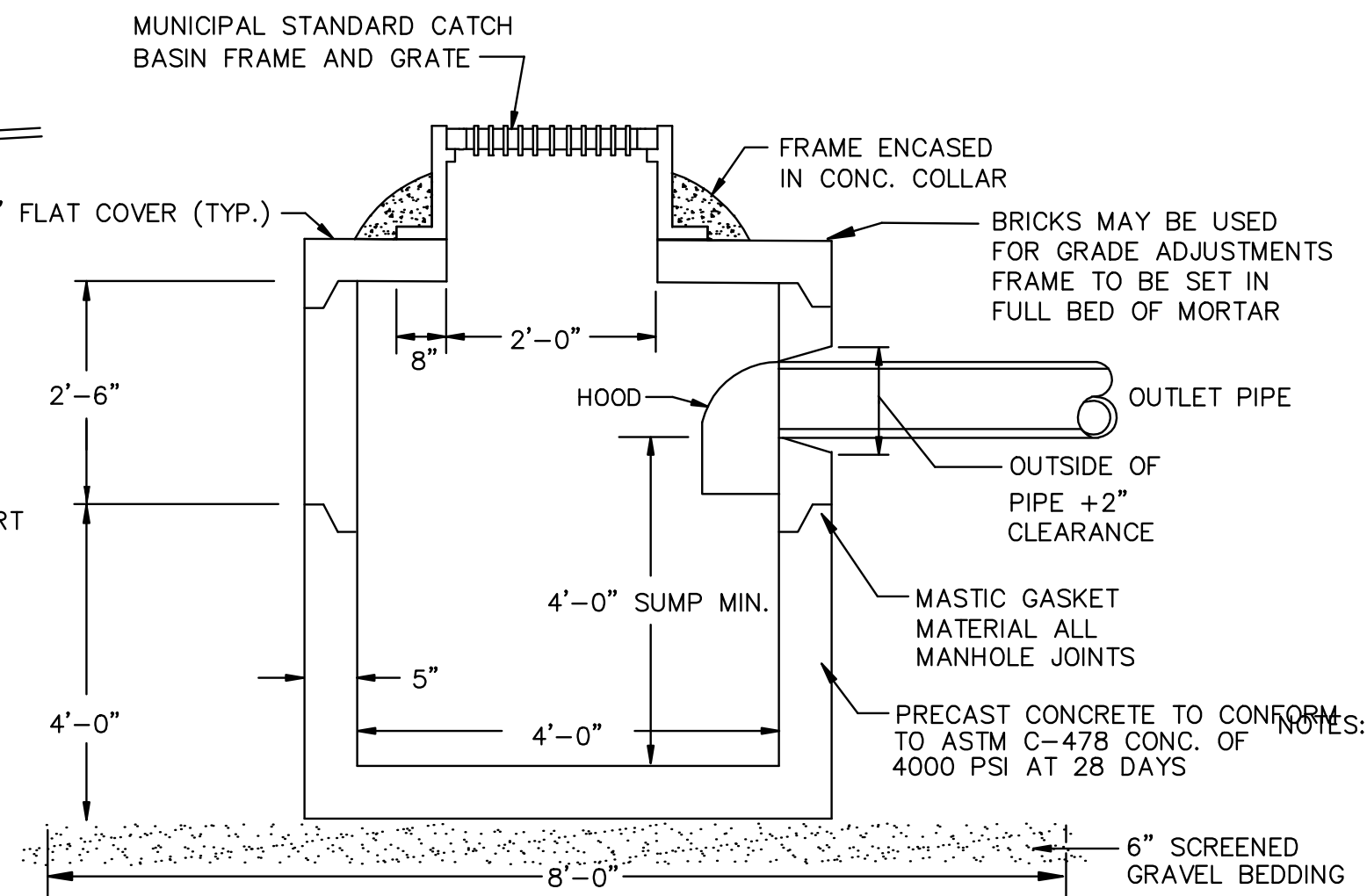
**SIEVE SIZE PERCENT PASSING**  
2-INCH 100  
¾-INCH 70-100  
½-INCH 50-80  
U.S. NO. 40 15-40  
U.S. NO. 200 0-3

THE TOPSOIL COMPONENT SHALL BE A SANDY LOAM, LOAMY SAND OR LOAM TEXTURE.



#### NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN PER ASTM C1433 SPECIFICATION FOR BOX CULVERT.
3. ALL REINFORCEMENT PER ASTM A-615-75
4. DESIGNED ASHTO H-20 LOADING, 1 TO 4 FEET OF COVER
5. TONGUE AND GROOVE JOINT SEALED WITH NEOPRENE GASKETS



1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL PORT.

#### BIORETENTION AREA TYPICAL SECTION

NOT TO SCALE

#### BOX CULVERT SECTION

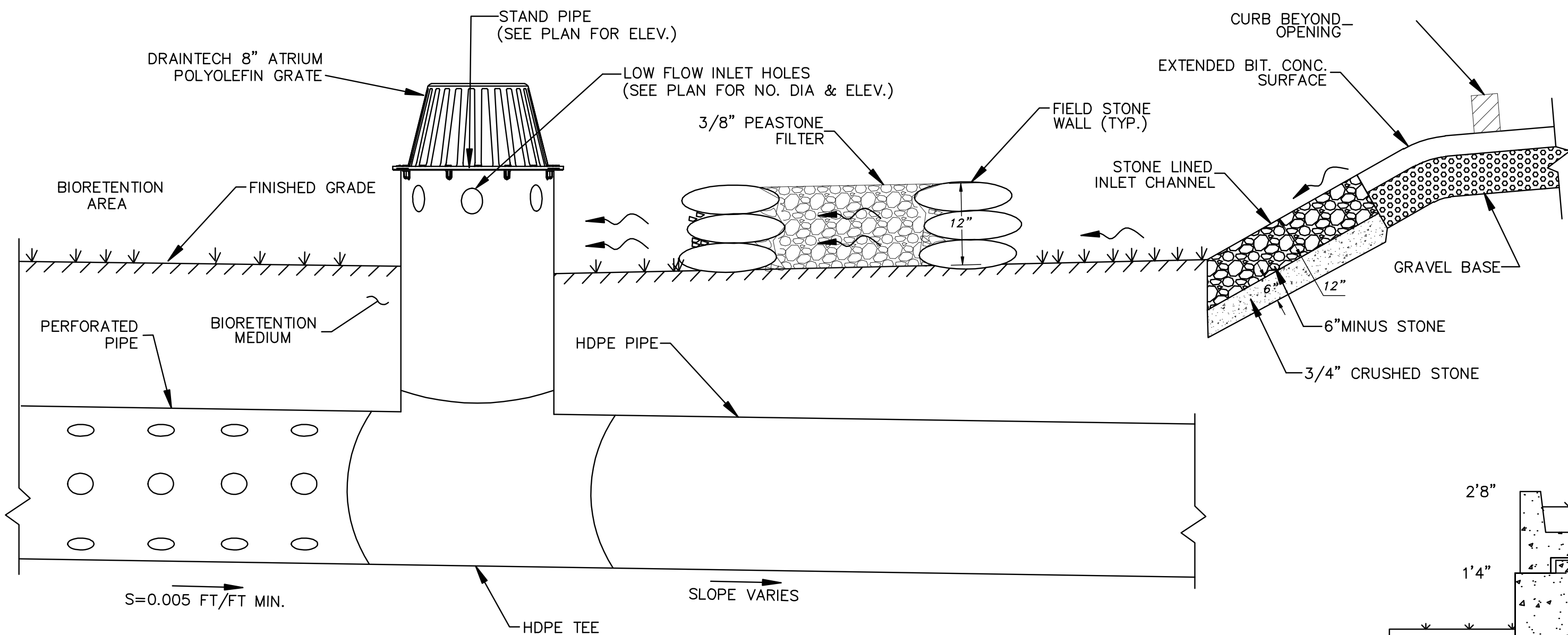
NOT TO SCALE

#### FLAT TOP CATCH BASIN WITH HOODED OUTLET

NOT TO SCALE

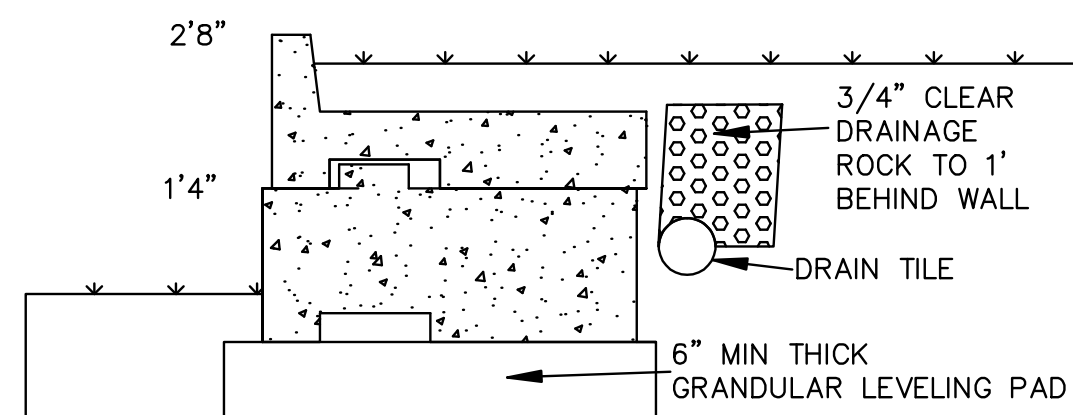
#### WATER QUALITY UNIT

NOT TO SCALE



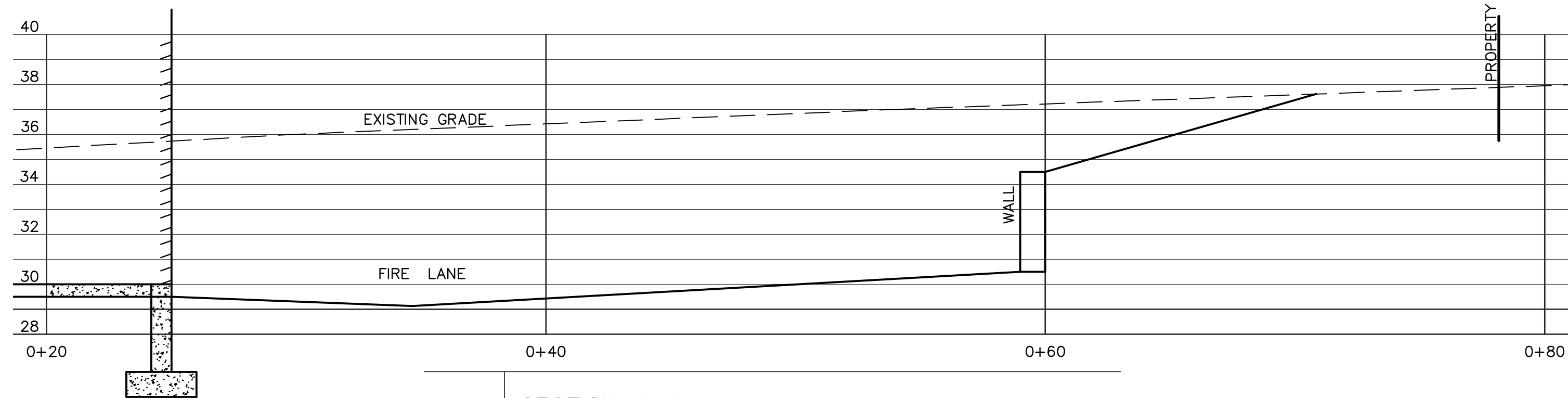
#### BIORETENTION AREA INLET AND FOREBAY DETAIL

NOT TO SCALE



#### SHEA WALL SYSTEM TYPICAL WALL SECTION

NOT TO SCALE



#### SECTION A-A

SCALE: 1"=4'

#### NOTES:

1. MAXIMUM HEIGHT NON REINFORCED WALLS IN SILTY CLAY (SOIL FRICTION ANGLE  $\phi=28^\circ$ ) IS 10'8", 9'4", AND 5'4" FOR 45", 39", AND 24" BLOCKS. TALLER WALLS BUILT WITH GEO-GRID OR SET-BACK EFFECT.
2. CONCRETE: 3,000 PSI MINIMUM AFTER 28 DAYS.
3. FACE TEXTURE IS NORTH SHORE GRANITE
4. TURNING RADIUS 15 FEET.
5. 1" SETBACK PER ROW ON A STRAIGHT WALL (ANGLE OF BATTER 3.6°) CURVED WALL 1-2.7" PER ROW.
6. CORNER BLOCK CUT FOR USE ON LEFT AND RIGHT SIDE.

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DATE

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GRANDE SPAULDING BUILDING  
120 MIDDLESEX AVE, SUITE 20  
SOMERVILLE, MA 02145  
(617) 776-3350

SCALE:

HORIZ: N.T.S.

VERT:

NO.

DATE

BY

SBS

SBS

REVISIONS

Soil matrix and outlet modified outlet control

Response to peer review and PB comments

DESIGNED: SBS

DRAFTED: STS

CHECKED: SBS

APPROVED: SBS

#### CONSTRUCTION DETAILS #2

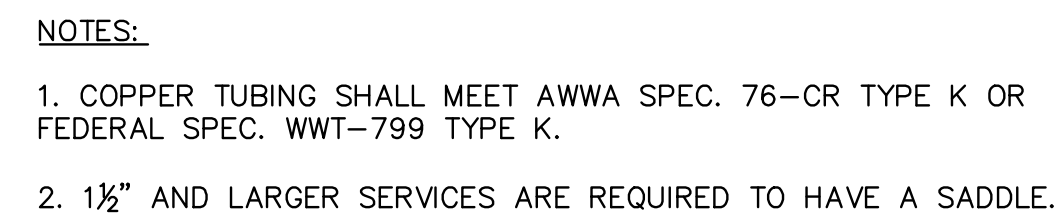
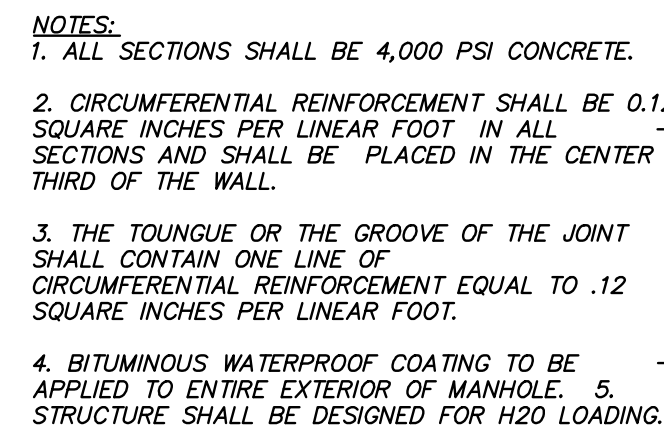
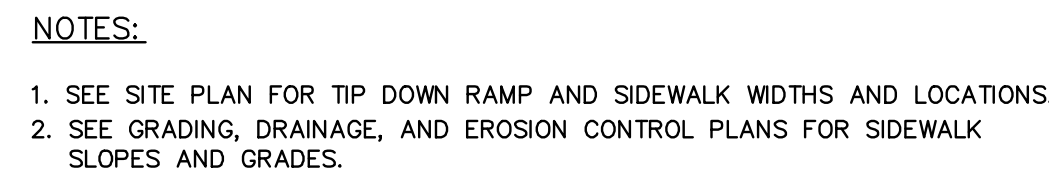
4 & 6 HALE ST

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
PREPARED FOR  
PORT ASSOCIATES LIMITED PARTNERSHIP

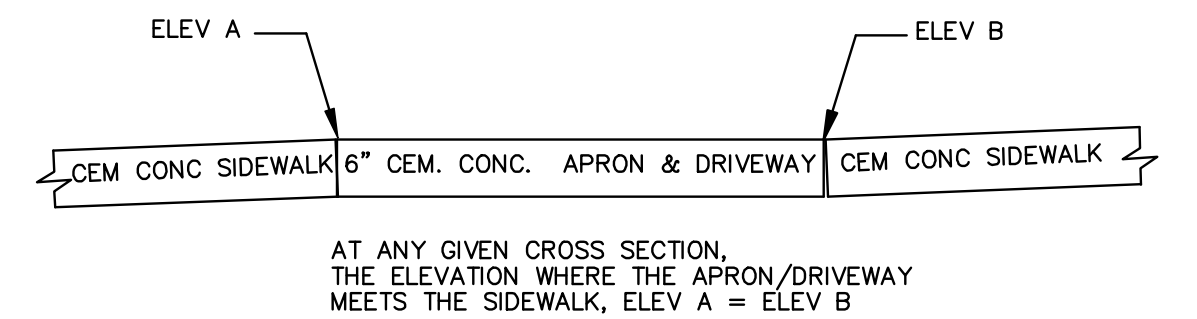
PROJECT NO.  
2011-017

DATE: MAY 5, 2011

SHEET NO.  
C-8



SIZING CHART					
GALLON CAPACITY	DIM "A"	DIM "B"	DIM "C"	DIM "D"	DIM "E"
1000	9'-0"	5'-0"	7'-2"	3'-10"	4'-2"



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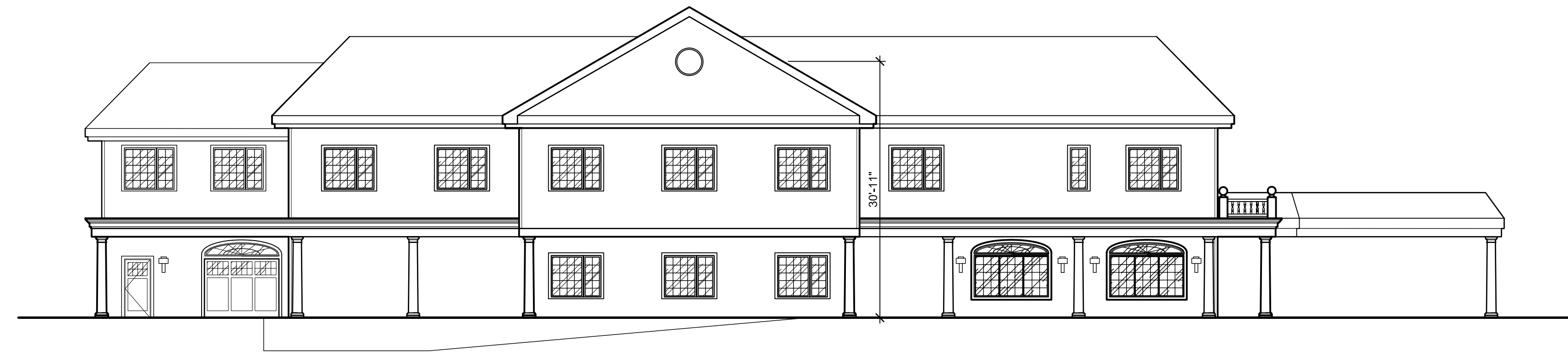
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DATE \_\_\_\_\_

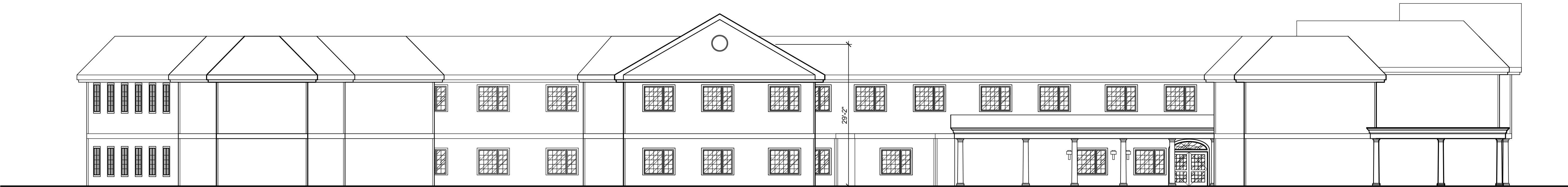




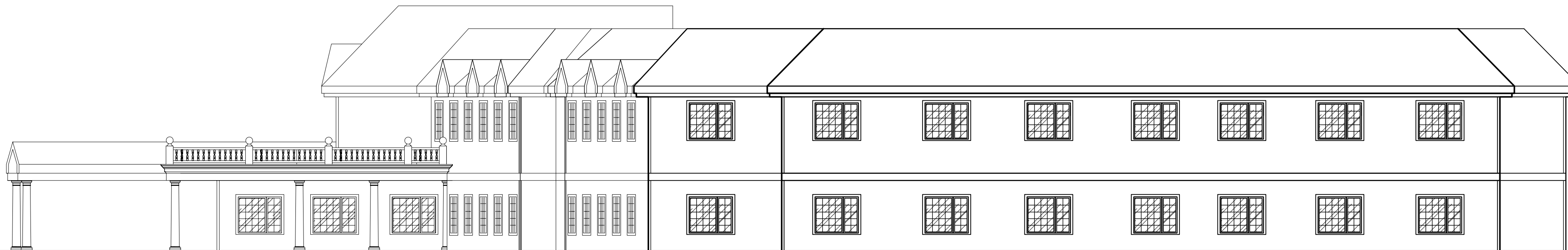
WEST ELEVATION



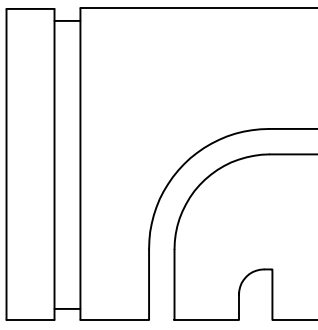
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



Ranere Associates Inc.  
Architecture & Interiors  
135 Massachusetts Ave.  
Boston MA 02115  
T: 617.542.2111  
F: 617.927.4448

CONSULTANTS

PROJECT NUMBER		
11001		
DRAWN BY		
VM		
DATE		
05.05.05		
O.	REVISION DATE	BY

PROJECT  
PORT  
HEALTHCARE  
CENTER  
  
113 LOW ST.  
NEWBURYPORT, MA

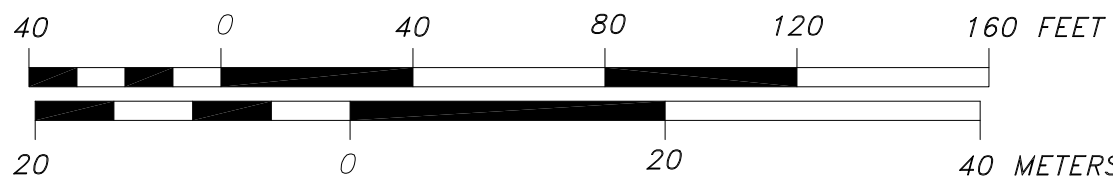
DRAWING  
BUILDING  
ELEVATIONS

SCALE  
3/32"=1'-0"

A-1

SET





# PERMIT SET

DATE \_\_\_\_\_

PROJECT NO.  
2011-017

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DATE: MAY 5, 2011

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SHEET  
L-1

1. All disturbed areas not designated for plants shall receive 8" of loam and seed.
2. Landscape Architect to review and approve plant material prior to delivery to site.
3. Locate and verify utility line locations prior to planting layout and report conflicts to Landscape Architect.
4. Planting demolition debris, garbage, lumps of concrete, steel and other materials shall be removed from all planting areas.
5. All trees shall be laid out in their proposed location by the Contractor. All proposed shrub and perennial bed limits to be staked or flagged. The Contractor shall adjust the planting locations as requested by the Landscape Architect. Final locations of all plants must be approved by the Landscape Architect prior to planting.
6. No planting shall begin before acceptance of rough grading.
7. Install plants plumb with root flares flush with finished grade. Immediately replant plants that settle out of plumb or below finished grade.
8. Plant under full time supervision of certified arborist, nurseryman, or Landscape Architect.
9. Water plants thoroughly after installation, a minimum of twice within the first 24 hours.
10. Repair damage due to operations inside and outside of limit of work.
11. Protect existing trees as noted.
12. Pruning of trees and shrubs to be performed by a Certified Arborist. The Certified Arborist to meet with the Landscape Architect on site before pruning is performed.
13. Fully coordinate planting with irrigation (see irrigation plans and details).
14. Refer to lawn, planting and soils specifications for planting instructions, etc.
15. See details sheets for planting details.

Turfgrass and Ecological Lawn Mix Areas	
Maintenance Activity	Schedule
<ul style="list-style-type: none"> <li>Aerate lawn areas using core aerator with tines</li> </ul>	2 x per year: Spring and Fall
<ul style="list-style-type: none"> <li>Inspect fine lawn and native grass areas for erosion or gulying. Top, dress, grade and re-seed as necessary.</li> </ul>	2 x per year - spring & fall
<ul style="list-style-type: none"> <li>Fine Lawn Areas: Cut fine lawn to 2 1/2" on a weekly basis beginning in April or May.</li> </ul>	As needed
<ul style="list-style-type: none"> <li>Native grass areas: Cut native grasses when a 9" height is achieved to a 6" height and remove clippings</li> </ul>	As needed

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