

# Waterfront West

August 23, 2017

Site Context

Alternative Allowable Scenarios for Development

The Refined Idea

Density, Buildings, Building Height, and Massing  
City Aspirations and What Have We Accomplished?







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Site Context



# Waterfront West

## Regional Context





# Waterfront West

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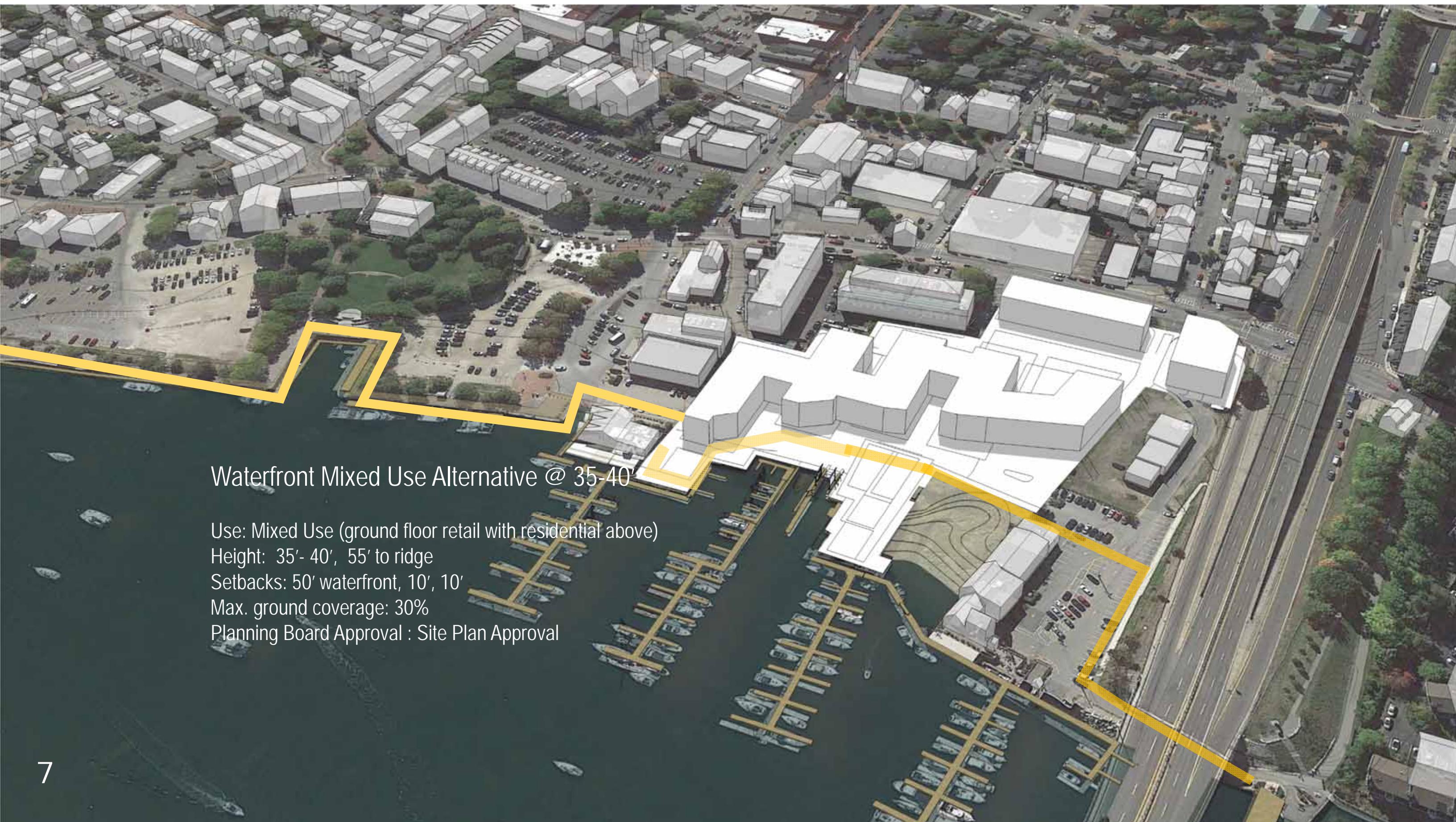
Alternative Allowable Scenarios for Development





Current Private Property





## Waterfront Mixed Use Alternative @ 35-40'

Use: Mixed Use (ground floor retail with residential above)

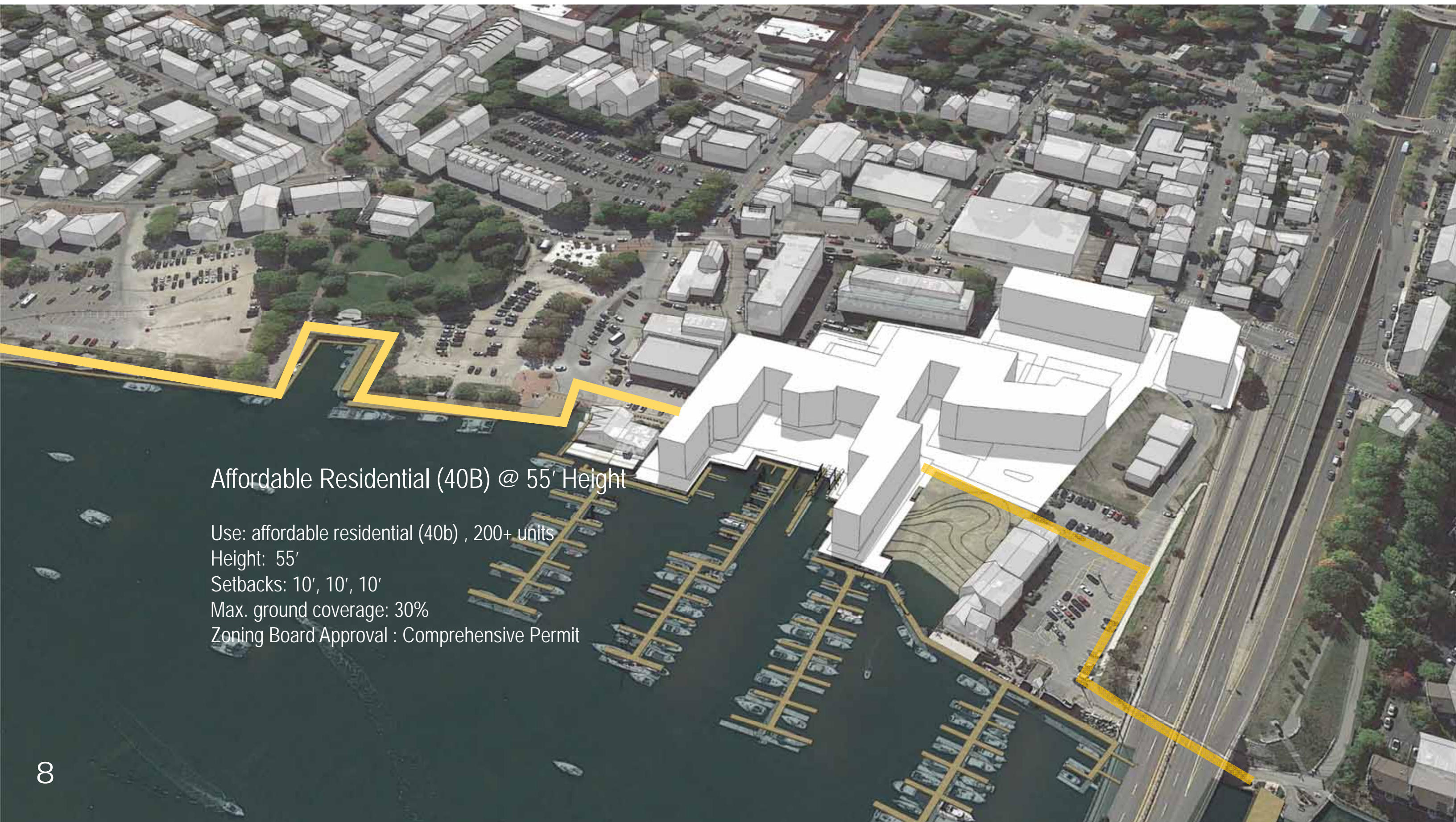
Height: 35'- 40', 55' to ridge

Setbacks: 50' waterfront, 10', 10'

Max. ground coverage: 30%

Planning Board Approval : Site Plan Approval





## Affordable Residential (40B) @ 55' Height

Use: affordable residential (40b) , 200+ units

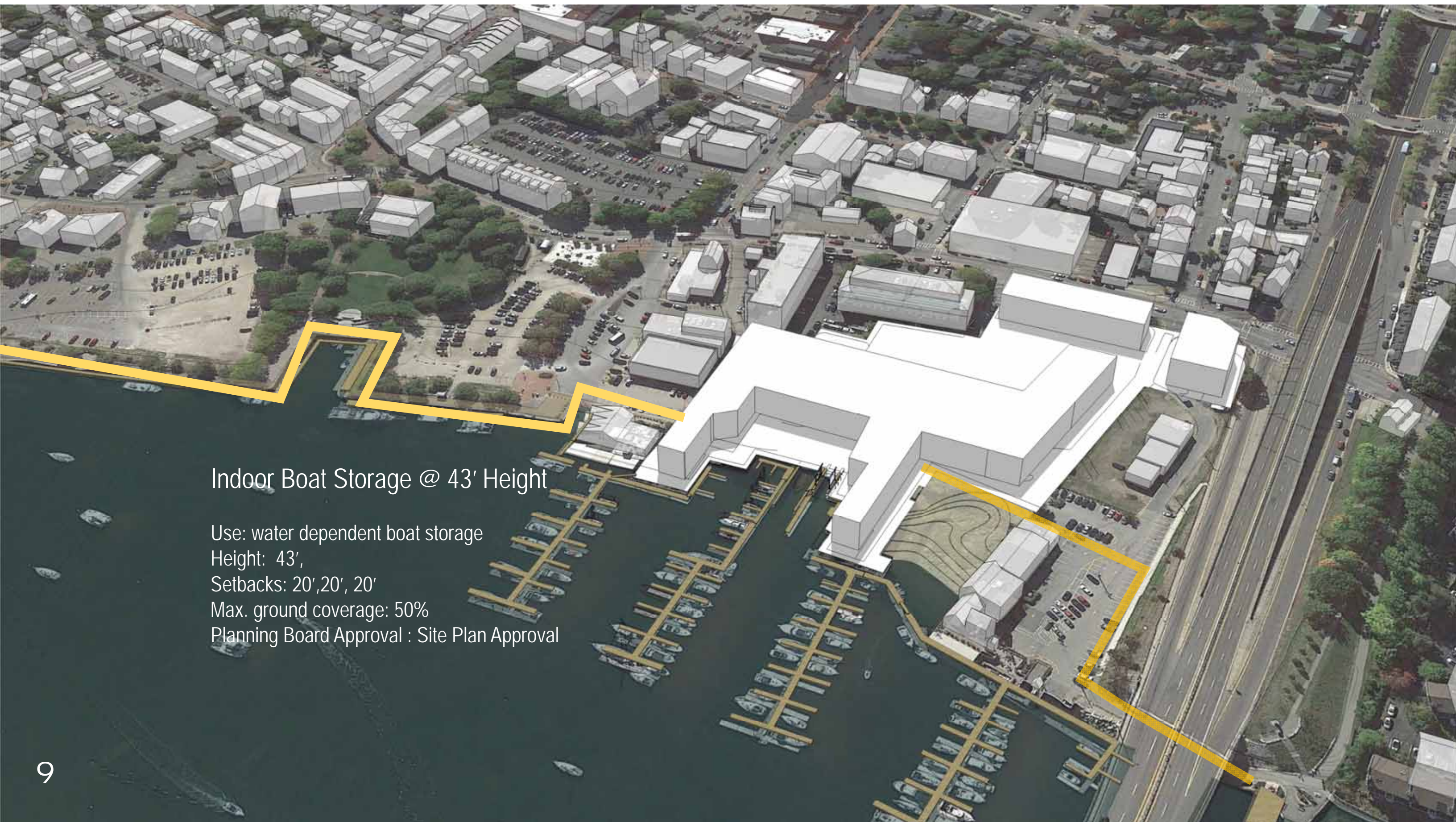
Height: 55'

Setbacks: 10', 10', 10'

Max. ground coverage: 30%

Zoning Board Approval : Comprehensive Permit





## Indoor Boat Storage @ 43' Height

Use: water dependent boat storage

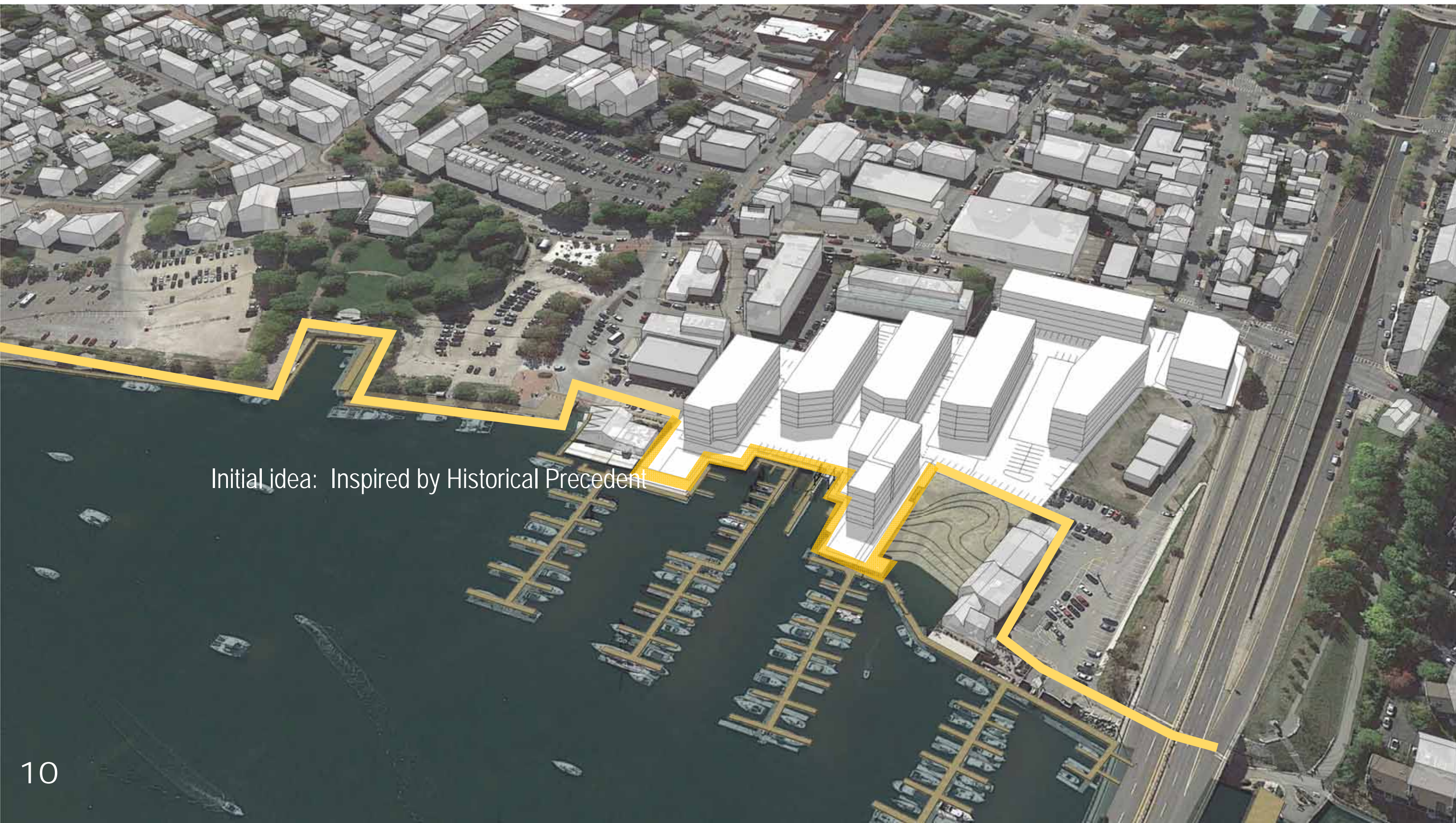
Height: 43',

Setbacks: 20', 20', 20'

Max. ground coverage: 50%

Planning Board Approval : Site Plan Approval





Initial idea: Inspired by Historical Precedent



# Waterfront West

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Refining the Idea



# Waterfront West

## Brown's Wharf Square





**Brown's Wharf Square**  
Approx. 80'x 140' /11,200sf/ .25 acre





Brown's Wharf Square and Street to Waterfront  
Approx. 80'x 140' 11,200sf / .25 acre





# Waterfront West

Mckay's Wharf Entry Street 40' (front street)

Typical Secondary Street 30' (back street)

Horton's

potential hotel





Mckay's Wharf Entry Street  
width approx. 40'





**Secondary street to the waterfront**  
width approx. 30-32'

setback dormer or lofts  
pavilions above

average height to cornice/eave  
approx. 37' Typ.

**street environment palette:**  
entries, canopies, balconies,

hedges, vines, street tree,  
lighting, identity signs if commercial,

differentiated pedestrian and  
vehicular paver surfaces





# Waterfront West

## Shared Waterfront Open Space

1. Head House
  2. Marina Docks
  3. Tree Grove with Seating
  4. Water Overlook with Benches
  5. Shaded Café Seating Space
  6. Marina / Public Parking
  7. Small 25 Ton Boat Lift
  8. Boardwalk
  9. Public Plaza Space 200' x 125'
  10. Existing Salt Marsh
  11. Connection to CC Rail Trail
  12. Connection to Central Waterfront
- Light Pole  
Trash / Recycling  
Bicycle Rack  
Public Restroom





# Waterfront West

Comparison of civic spaces

**Inn Street**  
0.79 acres

**Market Square**  
0.31/13,050sf  
1.5 acres

**Central Green**  
2.0 acres

**Brown's Square**  
0.43/1.2 acres

**Waterfront West**  
1.23 acres  
1.78 acres  
2.40 acres

1400 lf.

1150 lf.



An aerial photograph of a waterfront area with a proposed festival site highlighted in white. The site is a rectangular area with a central stage area and several surrounding buildings. The area is bordered by a river or harbor on the left and a highway on the right. There are several parking lots and streets in the surrounding area.

Site choreography:  
music festival, concerts with café and dining support  
:..♥♥

approx. 1800-2000 people capacity  
@10sf pp / 25,000sf



The Waterfront end of typical street

Street width 44-40'





Waterfront looking west across main civic space  
approx. 125'x 200'

**street environment palette:**  
commercial entry canopies  
wrapped around building  
ends, tree bosques, civic  
space lighting, identity signs,  
differentiated pedestrian and  
vehicular paver surfaces,  
fixed and moveable street  
furniture





Waterfront looking east across main waterfront space  
approx. 125'x200'





# Material Palette

Brick and wood massing

wood shutters interior or exterior  
for solar control and privacy

Balcony, canopies at entries  
porches, steps and street level



honeylocust groves per existing  
waterfront

hedges and vines for  
screening and texture



pavers differentiated for  
pedestrian and vehicular  
surfaces





© Alfred Molon www.m



# Waterfront West

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Density, Buildings, Building Height, and Massing



existing city district densities: "floor area ratio"

State and Pleasant Street District 1.2  
9.75 acres 525,000/425,000

Brown Square District .9  
10.3 acres 400,000/450,000



Market Square District 1.1  
5.14 acres 245,000/225,000

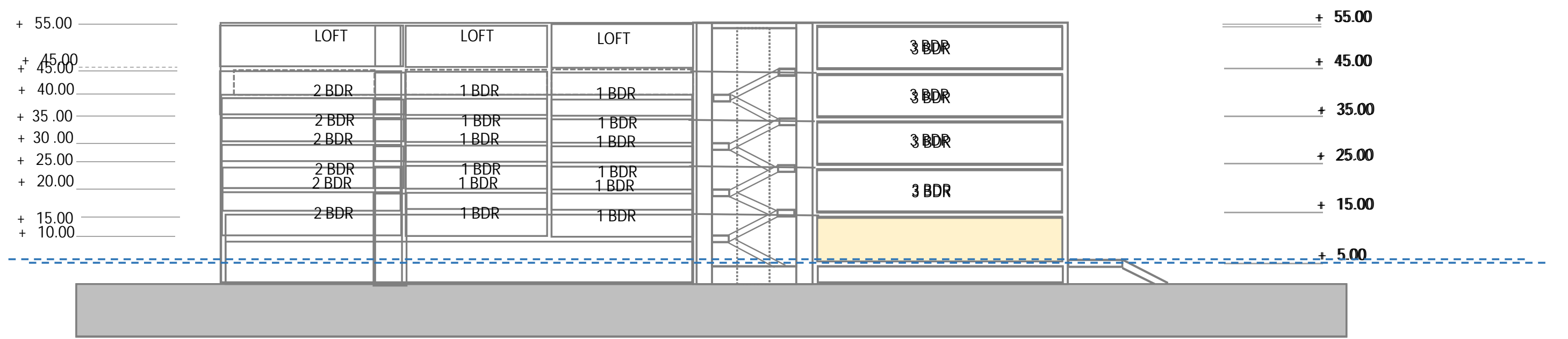


Waterfront West District 1.2  
5.65 acres 294,000/246,000



# Waterfront West

Architectural massing: stagger floor levels and reduce ground floor garage height



Staggered Floors - drop garage height 10' retail floors not aligned  
Consistent Floors - 10' retail floors aligned (current)



# Waterfront West

Architectural massing: original flat roof massing

average height to cornice/eave  
approx. 45' - 55' typ.

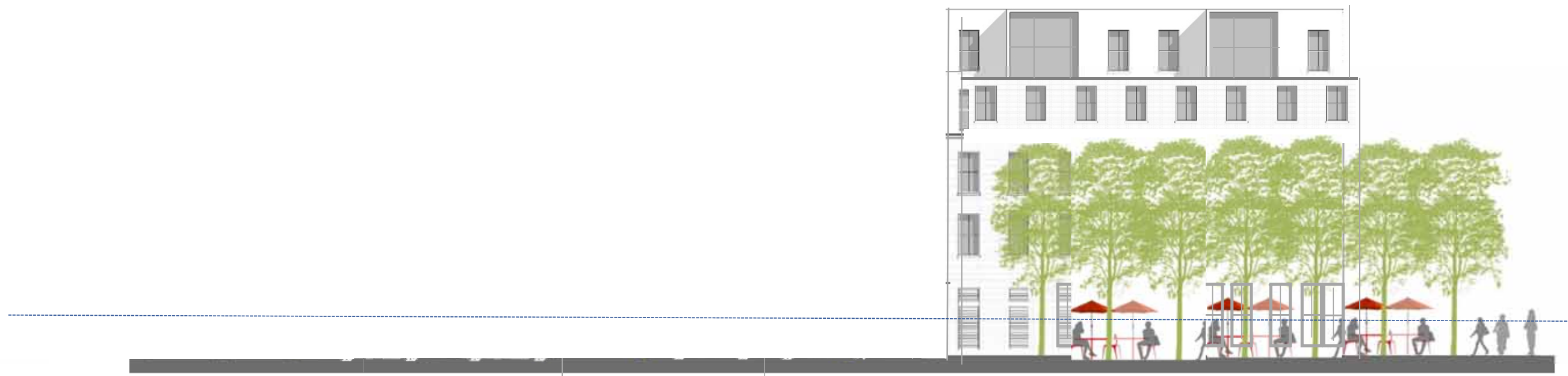




# Waterfront West

Architectural Massing: vary building height, pitched roof, dormers, lanterns

Pitched roofs, setback dormer, or lofts  
pavilions above  
average height to cornice/eave  
approx. 37' - 45' typ.





# Waterfront West

Architectural Massing: pitched roof and dormers, lanterns

lower garage height  
drop cornice height, setback lofts

pitched roofs, setback dormer, loft pavilions above

average height to cornice/eave  
approx. 37' - 45' typ.





# Waterfront West

Architectural Massing: pitched roof and dormers, lanterns

step buildings

lower garage height  
drop cornice height, setback lofts

pitched roofs, setback dormer. or lofts pavilions above

average height to cornice/eave  
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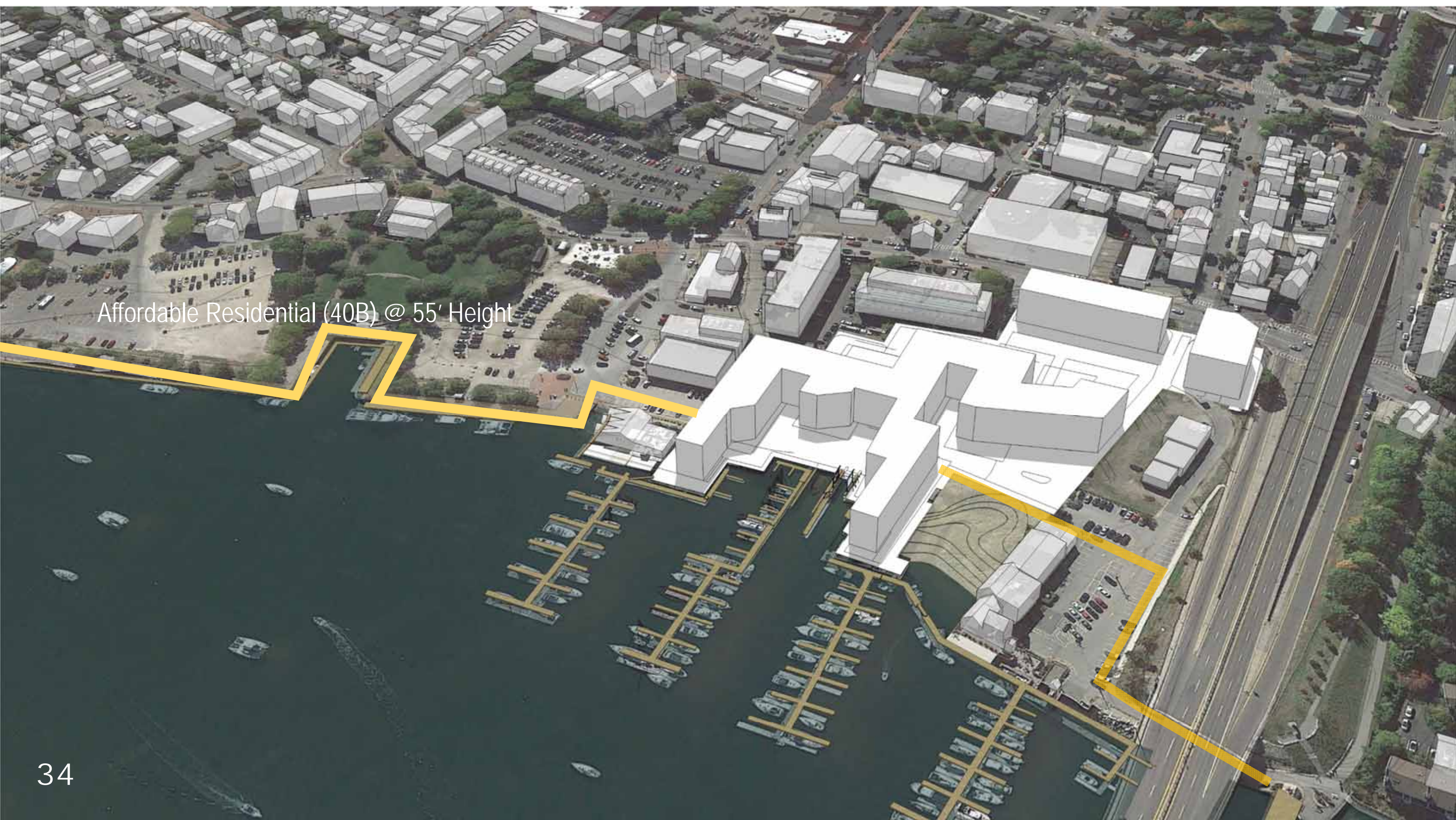


# Waterfront West

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City Aspirations and What Have We Accomplished?





Affordable Residential (40B) @ 55' Height





• Lessen density + historic pier composition






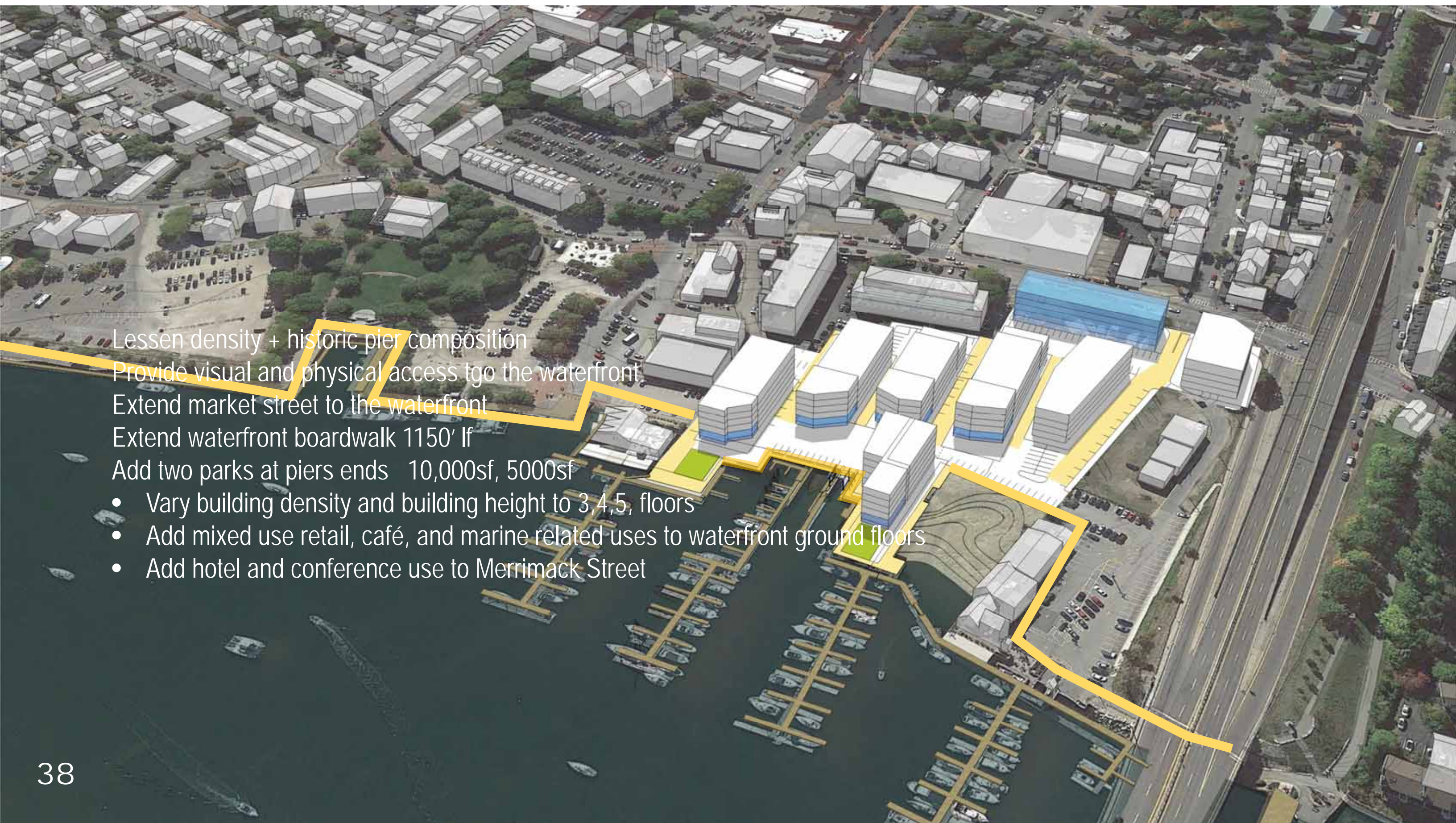
Lessen density + historic pier composition

- Provide visual and physical access to the waterfront
- Extend Market Street to the waterfront



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- An aerial photograph of a waterfront area with a development plan overlaid. The plan includes several yellow-outlined rectangular areas along the waterfront, some containing green patches representing parks. 3D architectural models of multi-story buildings are placed within some of these yellow-outlined areas. The background shows a dense urban area with various buildings and parking lots. A large body of water with many boats is visible in the lower-left corner.
- Lessen density + historic pier composition
  - Provide visual and physical access to the waterfront
  - Extend Market Street to the waterfront
  - Extend waterfront boardwalk 1150' lf
  - Add two parks at piers ends 10,000sf, 5000sf





Lessen density + historic pier composition

Provide visual and physical access to the waterfront


Extend market street to the waterfront

Extend waterfront boardwalk 1150' lf

Add two parks at piers ends 10,000sf, 5000sf

- Vary building density and building height to 3,4,5, floors
- Add mixed use retail, café, and marine related uses to waterfront ground floors
- Add hotel and conference use to Merrimack Street



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- An aerial photograph of a waterfront area with a marina and surrounding urban development. A yellow line traces a path along the waterfront, highlighting a proposed development area. The area includes several buildings, some with blue roofs, and a large open space. The text overlay lists various planning goals and specific area details.
- Lessen density + historic pie composition
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  - Add two parks at piers ends 10,000sf, 5000sf
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  - Add mixed use retail, café, and marine related uses to waterfront ground floors
  - Add hotel conference use to Merrimack Street
  - Add Brown's Wharf Square 80'x140' 11,200sf
  - Add/define major waterfront public space 125' x 200' / 25,000
  - Add hotel entry courtyard 60' x 200' 12,000sf
  - Add additional enclosed parking + decrease garage/building height
  - Enhance and vary roof shape





Lessen density + historic pier composition

Provide visual and physical access to the waterfront

Extend Market Street to the waterfront

Extend waterfront boardwalk 1150' lf

Add two parks at piers ends 10,000sf, 5000sf

Vary building density and building height to 3,4,5, floors

Add mixed use retail, café, and marine related uses to waterfront ground floors

Add hotel and conference use to Merrimack Street

Add Brown's Square 80'x 140' 11,200sf

Add/define major waterfront public space 125'x 200' 25,000sf

Add hotel entry court: total shared civic space now 1.7 acres (30.5%, not including streets)

Add additional enclosed parking+ decrease garage/building height

Enhance and vary roof shape

- Enhance civic street environment
- Enhance building facades





# What have we accomplished?

- Lessen density + historic pier composition
- Provide visual and physical access to the waterfront
- Extend Market Street to the waterfront
- Extend waterfront boardwalk 1150' lf
- Add two parks at piers ends 10,000sf, 5000sf
- Vary building density and building height to 3,4,5, floors
- Add mixed use retail, café, and marine related uses to waterfront ground floors
- Add hotel and conference use to Merrimack Street
- Add Brown's Square, 80'x 140' 11,200sf
- Add/define major waterfront public space, 125'x200', 25,000sf
- Add hotel entry court: total shared civic space now 1.7 acres (30.5%, not including streets)
- Add additional enclosed parking+ decrease garage/building height
- Enhance and vary roof shape
- Enhance civic street environment
- Enhance building facades





thank you



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Thank You



