# LEGEND OF SYMBOLS & ABBREVIATIONS:

#### **EXISTING:**

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	PROPERTY LINE
	BORDERING VEGETATED WETLAND
	BUFFER ZONE TO RESOURCE AREA
— —102— — —	
EP	
BB	EDGE OF PAVEMENT
VGC	BITUMINOUS BERM
	VERTICAL GRANITE CURB
	SLOPED GRANITE CURB
	CONCRETE CURB
)O	GUARD RAIL
D	DRAIN
— S —	SEWER
— w —	WATER
— E ——	UNDERGROUND ELECTRIC
— DHW ——	OVERHEAD WIRE
— T ——	TELEPHONE
G	NATURAL GAS
X	CHAIN LINK FENCE
	WOOD FENCE
$\bullet - \bullet -$	SILT FENCE
	HAY BALES
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	TREE LINE
	<b>RETAINING WALL</b>
	STONE WALL
□ <sup>SB(SET)</sup>	STONE BOUND
□ <sup>CB(SET)</sup>	CONCRETE BOUND
IP(SET) O	IRON PIPE
DH(SET)	DRILL HOLE
<b>▲</b> <sup>#A−11</sup>	WETLAND FLAG
×	SPOT ELEVATION
Ħ	CATCH BASIN
Ó	DRY WELL
D	DRAIN MANHOLE
S	SEWER MANHOLE
Ē	ELECTRIC MANHOLE
M	UTILITY MANHOLE
੶ੑੑ੶	FIRE HYDRANT
GV M	GATE VALVE
¢	LIGHT
С	
	GUY WIRE
	WELL
L <b>₽</b> g	
	PERCOLATION TEST
$\nabla$	
<	
$\Leftarrow$	DRAINAGE FLOW DIRECTION

#### LIST OF ABUTTING PROPERTIES

#14 BOYD DRIVE / B. WOOD & SOARS #12 BOYD DRIVE / R. BAILLY FERRY ROAD / CITY OF NEWBURYPORT #17 BRIGGS ROAD / J. BELL & L. MATTHEWS #14 BRIGGS ROAD / K. CHAMBERS #3 BROWN AVE. / S. ASPROGIANNIS #5 BROWN AVE. / D. COX #7 BROWN AVE. / W. MARGARET & W. BOOK #9 BROWN AVE. / P. CUSACK #13 LAUREL ROAD / A. & D. MCCARTHY #16 LAUREL ROAD / E. KOVACH INTERSTATE 95 / COMMONWEALTH OF MASSACHUSETTS WOODMAN WAY / VILLAGE AT NEWBURYPORT CONTINUUM #12 WOODMAN WAY / ADVANCE INVESTMENT PROPERTIES #23 BOYD DRIVE / S. BLANCHETTE & J. RIVERA-BLANCHETTE

N/A	
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SGC	
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SB(SET) □ <sup>SB(SET)</sup> □ <sup>CB(SET)</sup> O <sup>IP(SET)</sup> DH(SET) N/A	

N/A

N/A

PROPOSED:

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#### OWNER REFERENCES

18 BOYD DRIVE "EVERGREEN GOLF COURSE"
OWNER: DDJH LLC
DEED REFERENCE: BOOK 29288 PAGE 376
ASSESSORS: MAP 110 PARCEL 20
<u>5 BROWN AVENUE</u>
OWNER: DORRIS COX
DEED REFERENCE: BOOK 5304 PAGE 173
ASSESSORS: MAP 111 PARCEL 13

#### **ZONING MATRIX:** PER OSRD SPECIAL PERMIT

REQUIRED: R-1 ZONE LOT AREA 10,000 S.F. BUILDING HEIGHT <35' MIN. FRONT SETBACK= 15' MIN. SIDE SETBACK= 10' MIN. REAR SETBACK= 10' MIN.

# SHEET INDEX:

SHEET NO.	DESCRIPTION
T1	COVER SHEET
EX1	EXISTING CONDITIONS PLAN OF LAND (1 OF 6)
EX2	EXISTING CONDITIONS PLAN OF LAND (2 OF 6)
EX3	EXISTING CONDITIONS PLAN OF LAND (3 OF 6)
EX4	EXISTING CONDITIONS PLAN OF LAND (4 OF 6)
EX5	EXISTING CONDITIONS PLAN OF LAND (5 OF 6)
EX6	EXISTING CONDITIONS PLAN OF LAND (6 OF 6)
S1	LOT LAYOUT KEY SHEET
S2	LOT LAYOUT SHEET 1
S3	LOT LAYOUT SHEET 2
S4	LOT LAYOUT SHEET 3
S5	LOT LAYOUT SHEET 4
S6	LOT LAYOUT SHEET 5

# **OPEN SPACE RESIDENTIAL** DEFINITIVE SUBDIVISION OF LAND & W.R.P.D. SPECIAL PERMIT NEWBURYPORT, MASSACHUSETTS

# PREPARED FOR: EVERGREEN COMMONS LLC 487 GROTON ROAD, SUITE A WESTFORD, MASSACHUSETTS



LOCUS PLAN SCALE: 1"=500'±

# SHEET INDEX (CONT'D):

SHEET NO.	DESCRIPTION
C1	CIVIL KEY SHEET
C2	GRADING PLAN 1
C3	GRADING PLAN 2
C4	GRADING PLAN 3
C5	GRADING PLAN 4
C6	DRAINAGE & UTILITY PLAN 1
C7	DRAINAGE & UTILITY PLAN 2
C8	DRAINAGE & UTILITY PLAN 3
C9	DRAINAGE & UTILITY PLAN 4
C10	STREET PLAN & PROFILE ROAD "A" & "D"
C11	STREET PLAN & PROFILE ROAD "B"
C12	STREET PLAN & PROFILE ROAD "C"
C13	<b>TYPICAL SECTIONS, DETAILS &amp; NOTES 1</b>
C14	<b>TYPICAL SECTIONS, DETAILS &amp; NOTES 2</b>
C15	TYPICAL SECTIONS, DETAILS & NOTES 3

### SHEET INDEX (CONT'D):

SHEET NO.	DESCRIPTION
L1	OVERALL LANDSCAPE PLAN
L2	LANDSCAPE PLAN
L3	LANDSCAPE PLAN
L4	LANDSCAPE PLAN
L5	LANDSCAPE PLAN
L6	DETAILS
A1	ARCHITECTURAL ELEVATIONS

FOR REGISTRY OF DEEDS USE ONLY

Design Consultants Inc

Somerville - Quincy - Newburypa www.dci-ma.con

Winter GEC, LLC

34 WINTER STREET NEWBURYPORT, MA 01950 978-270-8626

18 BOYD DRIVE,

SUBDIVISION

NEWBURYPORT, MA

PREPARED FOR **EVERGREEN** 

COMMONS, LLC

PROJECT TEAM

PROJECT INFO

REV DESCRIPTION

STAME

TITLE

SHEET

DATE

#### **CUT & FILL OPERATIONAL STATEMENT:**

APPROXIMATELY 8,500 CUBIC YARDS OF LOAM WILL BE STRIPPED AND SUITABLE MATERIAL FOR THIS USE LEAVING APPROXIMATELY 2 000 CUBL YARDS OF IMPORTED BORROW MATERIA

#### SCENIC ROAD:

THE EXISTING STREETS ARE NOT SUBJECT TO THE SCENIC ROAD ACT.

#### WATER DISTRICT:

THE SUBJECT PROPERTY RESIDES IN THE CITY OF NEWBURYPORT WATER DISTRICT.

THE SUBJECT PROPERTY RESIDES IN ZONE II PUBLIC WATER SUPPLY PROTECTION AREAS ARE DEFINED IN THE DRINKING WATER REGULATIONS AT 310 CMR 22.0. THE PROPERTY ALSO RESIDES IN THE NEWBURYPORT WATER RESOURCE PROTECTION DISTRICT ZONE II.

#### ROADWAY CONSTRUCTION WAIVERS

6.8 RIGHT OF WAY - MIN. RIGHT OF WAY WIDTH 50' REQUIREMENT, 40' PROPOSEL

6.8 MINIMUM ROADWAY CENTERLINE CURVE RADIUS OF 225', 125' RADIUS IS PROPOSEI

6.8.3 MINIMUM PAVEMENT WIDTH OF 24' REQUIRED, 2S' PAVEMENT WIDTH PROPOSED

6.9 CURBING - 6" VERTICAL GRANITE REQUIRED, 6" SLOPED GRANITE CURB PROPOSED.

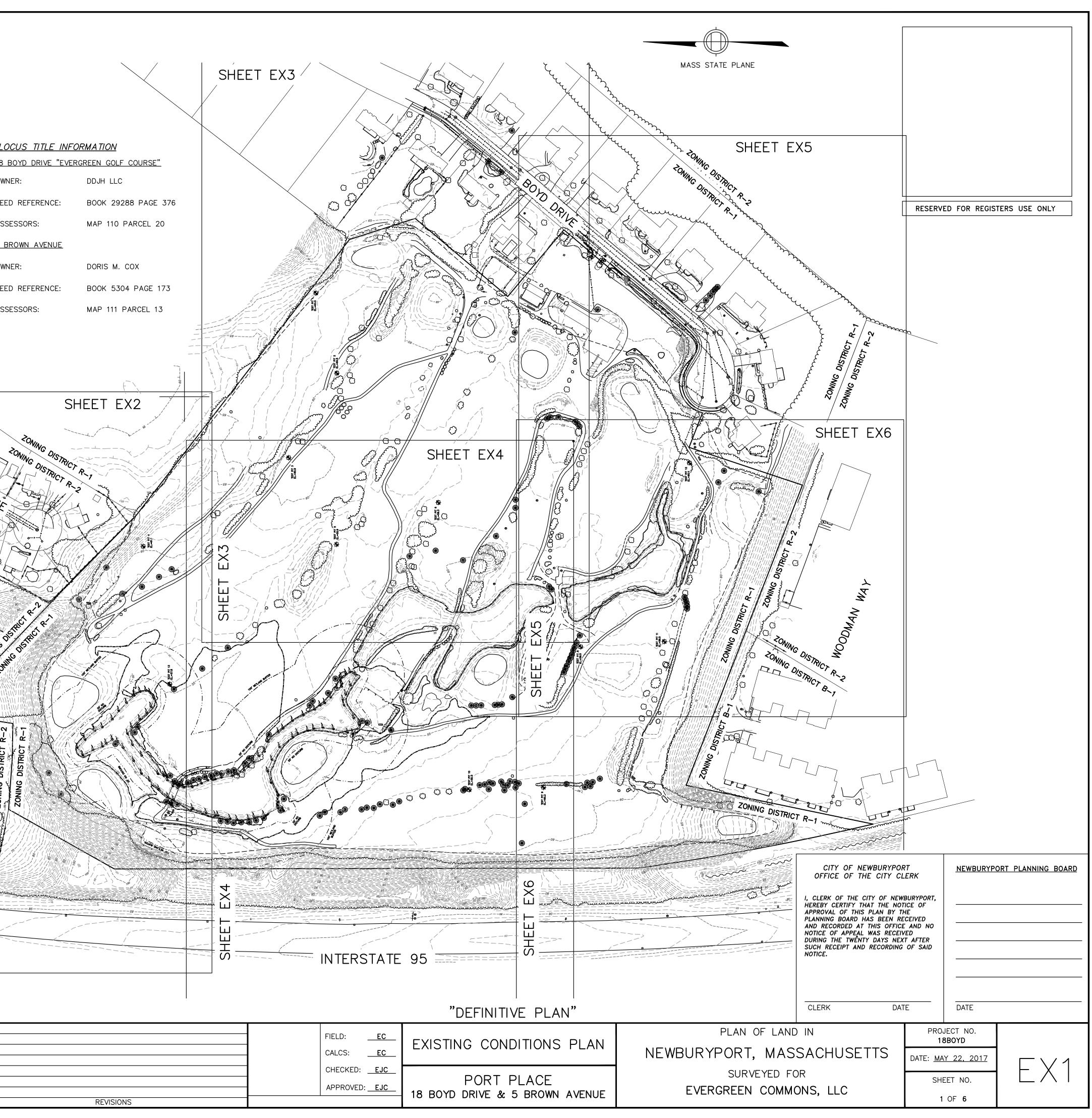
6.14.11- DRAINAGE EASEMENTS, 30' REQUIRED, 15' PROPOSED FOR PIPING TO **BIO-INFILTRATION AREAS AND WATER LINE.** 

I CERTIFY THAT THE SURVEY PERFORMED TO PREPARE THIS PLAN CONFORMED TO THE PROCEDURAL AND TECHNICAL STANDARDS FOR AN ON-THE-GROUND CADASTRAL SURVEY IN ACCORDANCE WITH COMMONWEALTH OF MASSACHUSETTS 250 CMR SECTION 6.0.1 AND THAT THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

P.L.S. EVERETT CHANDLER, PLS MASS. REGISTRATION NO. 41783 5/22/17 DATE

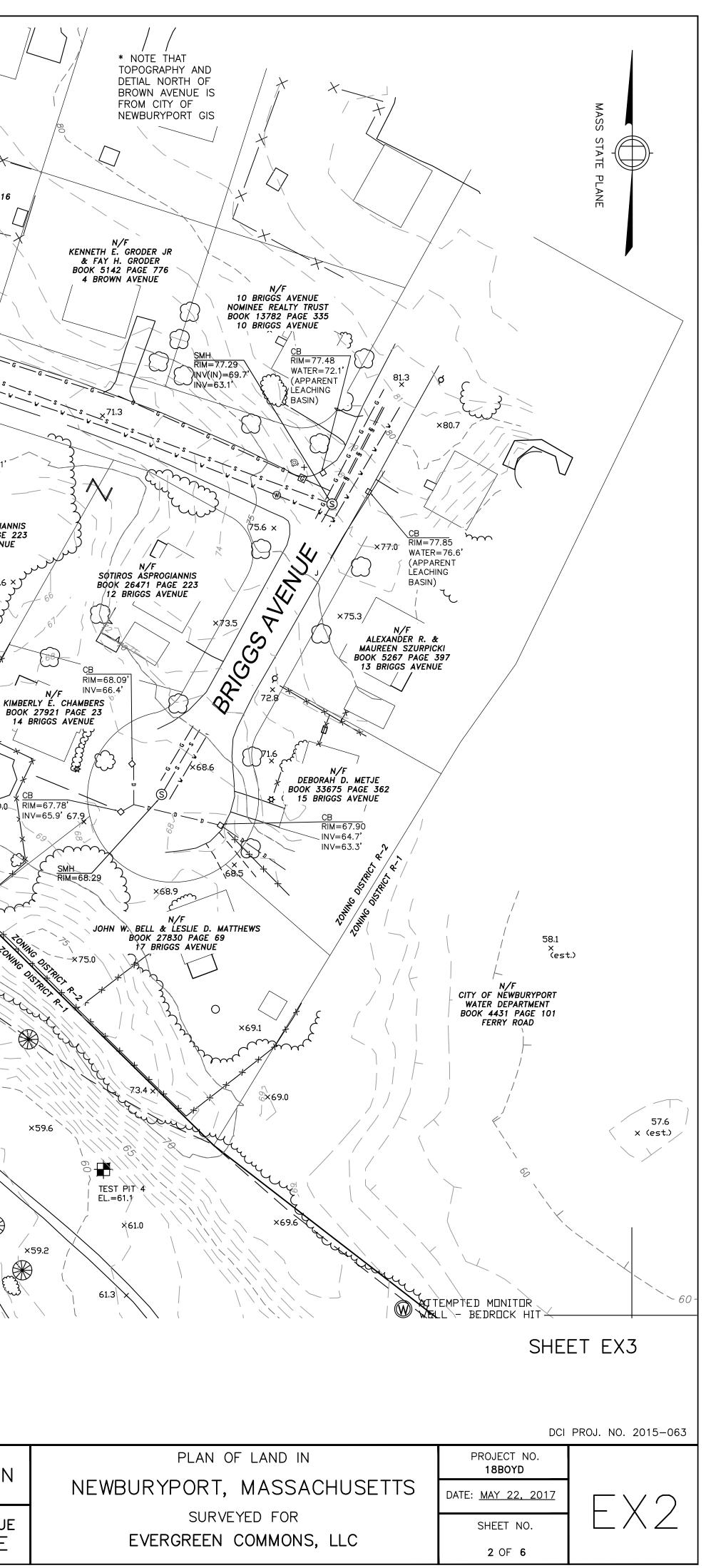
CITY OF NEW	VBURYPORT	NEWBURYPORT PLANNING BOARD	SHEET NAME:
OFFICE OF THE	E TOWN CLERK		
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID			T1 Sheet no:
			DR BY: WAK
NOTICE.			CHK BY: SBS
			PROJ NO: 2015-063
			DATE: MAY 22, 2017
CLERK	DATE	DATE	SCALE: N.T.S.

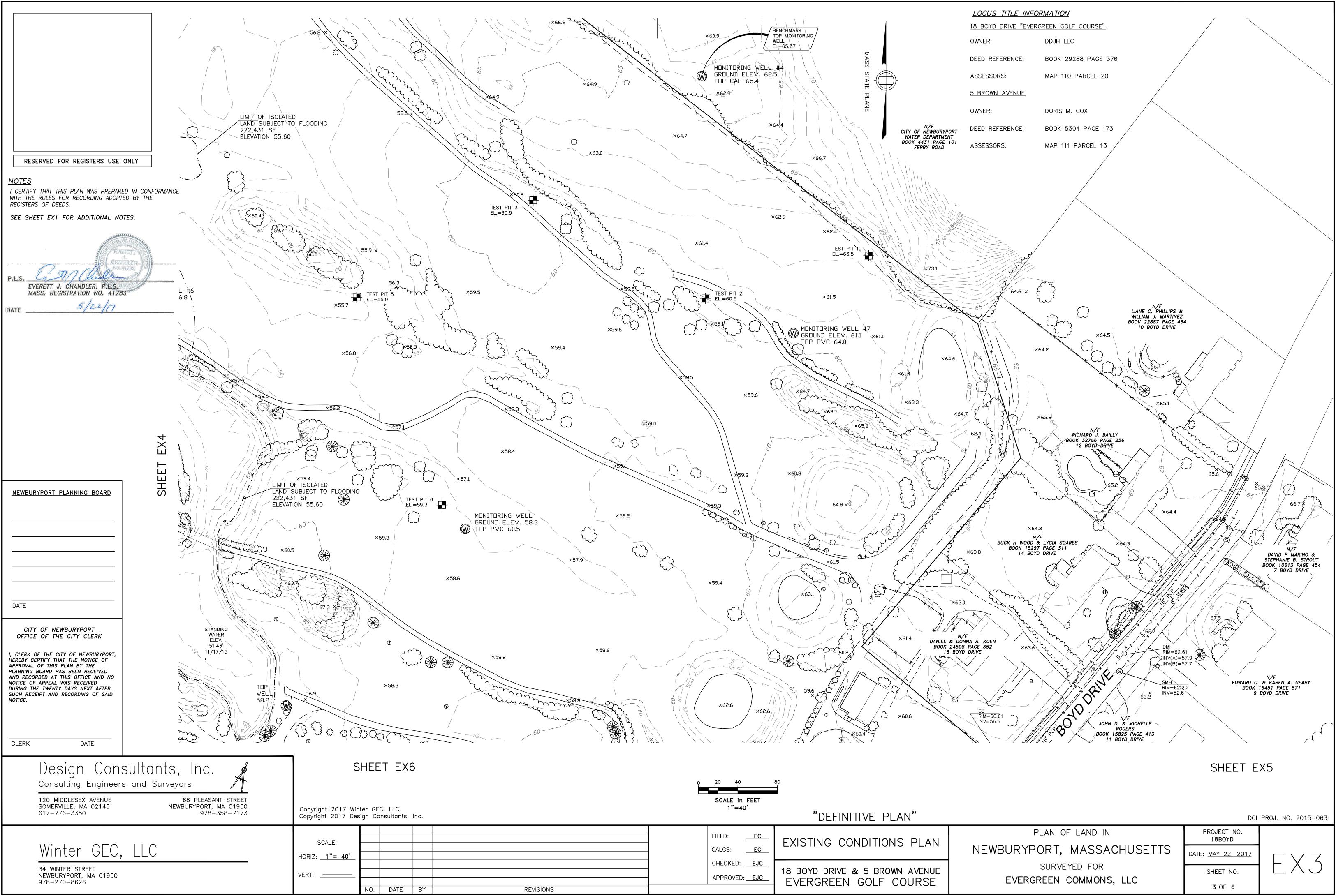
NOTES THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE LOCUS PR THE RESULT OF AERIAL MAPPING PERFORMED IN 2015 BASED ON 2010 FLIGHTS AS UP SURVEY PERFORMED BETWEEN NOVEMBER 2015 AND JANUARY 2017.	
WETLANDS WERE DELINEATED BY HUGHES ENVIRONMENTAL CONSULTANTS IN NOVEMBER SUBJECT TO FLOODING AND WETLAND RESOURCE AREAS AS SHOWN WERE CONFIRMED E	
MASS DEP FILE NO. 051-0950. ELEVATIONS SHOWN HEREON ARE BASED ON NAVD8 DATUM AND HORIZONTAL DATUM IS	S MASSACHUSETTS STATE PLANE
COORDINATES NAD83 ZONE MASS MAINLAND 2001 AS DETERMINED UTILIZING RTK GPS.	OM THE CLIENT AND THE CITY OF
NEWBURYPORT ASSESSOR'S OFFICE IN NOVEMBER 2015. ALL PLAN AND DEED REFERENCES REFER TO THE SOUTHERN ESSEX DISTRICT REGISTRY	OF DEEDS.
UTILITIES SHOWN HEREON ARE BASED ON RECORD PLANS OBTAINED FROM THE RESPEC BASED ON ACTUAL FIELD MEASUREMENTS.	
THE LOCUS PROPERTY IS LOCATED IN ZONE X, AREA OF MINIMAL FLOODING, AS GRAPH INSURANCE RATE MAP (FIRM) 25009C0108F WITH AN EFFECTIVE DATE OF 07/03/2012.	
MADE BY GRAPHIC PLOTTING ONLY AND NO FIELD SURVEYING WAS COMPLETED TO MAK	C PROCEDURAL AND TECHNICAL
STANDARDS FOR AN ON-THE-GROUND CADASTRAL SURVEY IN ACCORDANCE WITH COM CMR SECTION 6.0.1 AND THAT THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEE AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.	MONWEALTH OF MASSACHUSETTS 250 A ET REGISTRY OF DEEDS REQUIREMENTS
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING	
	D
	A
CITATION CONTRACTOR	
P.L.SEVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783	
DATE5/22/17	
LEGEND	
C C trees / bushes	
© DRAIN MANHOLE	Part Part of the second s
© SEWER MANHOLE ® WATER GATE	BRIGGS C
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CONTOUR	
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D D D D D D D RAIN LINE	
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WETLAND LINE	
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Design Consultants, Inc. 🖌	
Consulting Engineers and Surveyors	
120 MIDDLESEX AVENUE 68 PLEASANT STREET SOMERVILLE, MA 02145 NEWBURYPORT, MA 01950	0 50 100 200
617-776-3350 978-358-7173	SCALE in FEET 1"=100'
Winter GEC, LLC	SCALE: HORIZ: 1"= 100'
34 WINTER STREET	
NEWBURYPORT, MA 01950 978-270-8626	VERT:



	ASSESSORS: <u>5 BROWN AVENUE</u> OWNER: DEED REFERENCE:	DDJH LLC BOOK 29288 PAGE 376 MAP 110 PARCEL 20 DORIS M. COX BOOK 5304 PAGE 173	N/F BOOK 5807 12 LAUR N/F ROBERT C. ZIRPOLO BOOK 34167 PAGE 9 14 LAUREL ROAD CB RIM=63.13 BOT=58.2 (APPARENI LEACHING
RESERVED FOR REGISTERS USE ONLY         NOTES         I CERTIFY THAT THIS PLAN WAS PREPARED IN CON.         WITH THE RULES FOR RECORDING ADOPTED BY THE         REGISTERS OF DEEDS.         SEE SHEET EX1 FOR ADDITIONAL NOTES.         P.L.S.         EVERETT J. CHANDLER, P.L.S.         EVERETT J. CHANDLER, P.L.S.         MASS. REGISTRATION NO. 411783         DATE		MAP 111 PARCEL 13	BASIN)
NEWBURYPORT_PLANNING_BOARD	B4	82.8 83 83 84 84 1 84 1 84 1 84 1 84 1 84 1	
CITY OF NEWBURYPORT OFFICE OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE. CLERK DATE Design Consultar			SHEET EX4
Consulting Engineers and Su 120 MIDDLESEX AVENUE SOMERVILLE, MA 02145 617-776-3350	741	Copyright 2017 W Copyright 2017 D	
Winter GEC, LLC 34 WINTER STREET NEWBURYPORT, MA 01950 978-270-8626		SCALE: HORIZ: <u>1"= 40'</u> VERT:	

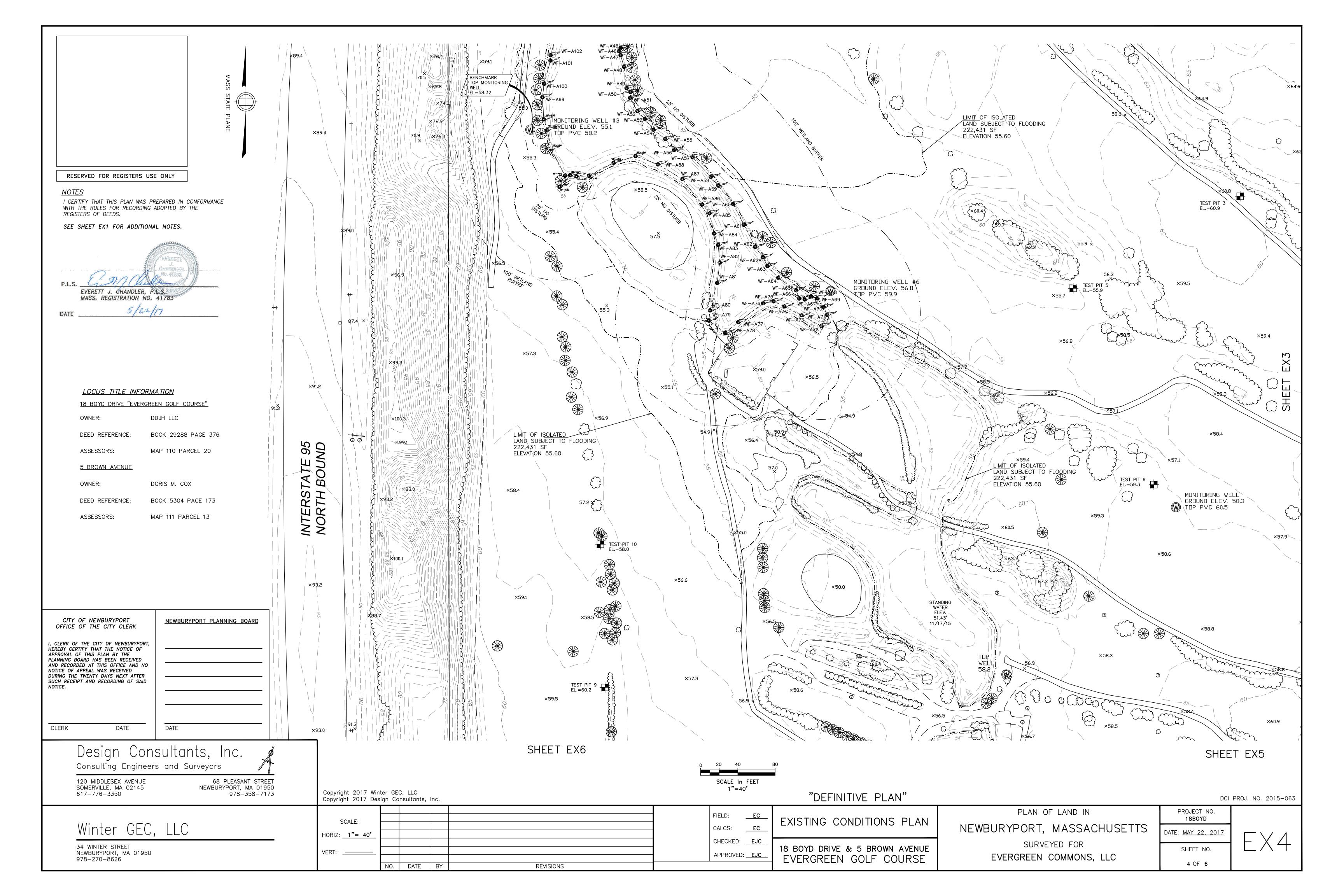
SEWER PUMP STATION NEWBURYPORT 807 PAGE 311 AUREL ROAD SMH RIM=62.79 (UNABLE		N/F PETER A. & MICHELLE WOODS RODGERS BOOK 15750 PAGE 456 10 BROWN AVENUE SMH RIM=62.10 INV(A)=54.5			
TO OPEN) PLO 94 D BOT=56.4 TO OPEN) + CB CB CB CB CB CB CB CB CB CB	CB RIM=62.0 BOT=56. (APPARE LEACHIN BASIN)	INV(B)=55.2 09 INV(C)=54.7 .5 INV(D)=54.5 ENT G	BOOK BOOK BOOK BOOK BOOK BOOK BOOK	N/F T L. & BRENDA L. MAZZOTTI 10699 PAGE 325 BROWN AVENUE <u>MH</u> M=69.18 V=61.6'	N/F AMY E. LAFRANCE BOOK 31482 PAGE 216 6 BROWN AVENUE
(APPARENT LEACHING BASIN) ENT IG	CB RIM=62.88 BOT=58.7 (APPARENT 63.3 LEACHING BASIN) CB PATRIO	N/F CIA CUSACK 1924 PAGE 414	AVENUE 5		CB RIM=68.35 WATER=63.1 (APPARENT LEACHING BASIN)
	BOT=54.3 9 BRO (APPARENT LEACHING BASIN) 63.1	DWN AVENUE	N/F IAM J. & MARGARET A. WA BOOK 18141 PAGE 564 7 BROWN AVENUE		
	<u>SMH</u> RIM=63.80 INV=55.5	×e5.2	× 67.3 70.6 ×	× 69.8	CB RIM=69.03 WATER=63.1' (APPARENT LEACHING BASIN) N/F SOTIROS ASPROGIANNIS BOOK 26471 PAGE 223 3 BROWN AVENUE
N/F HOWARD JOHNSTONE & KATHLEEN B. HALL BOOK 34678 PAGE 452 0 15 LAUREL ROAD X68.9	N/F JDREY G. & DANIIEL S. MCCARTHY BOOK 31028 PAGE 42 13 LAUREL ROAD		в	N/F DORIS M COX OOK 5304 PAGE 173 5 BROWN AVENUE	65.6 ×)
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555.3 59× WF-A3	WF-A5 WF-A5	WF-A19 WF-A20 WF-A27 WF-A27 WF-A22 WF-A22 WF-A23 WF-A23			×56.8
WF-A1: WF-A33 WF-A35 WF-A35 WF-A36 WF-A36 WF-A37 S6.1 WF-A39 WF-A40 WF-A40	WF-A34 		TEST PIT 13 EL.=57.8	LIMIT_OF LAND_SU FLOODING 222,431 ELEVATIO	SF \\
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			FIELD: <u>EC</u> CALCS: <u>EC</u>	EXISTING CONE	
REVISIO	NS		CHECKED: <u>EJC</u>	18 BOYD DRIVE & S EVERGREEN G	

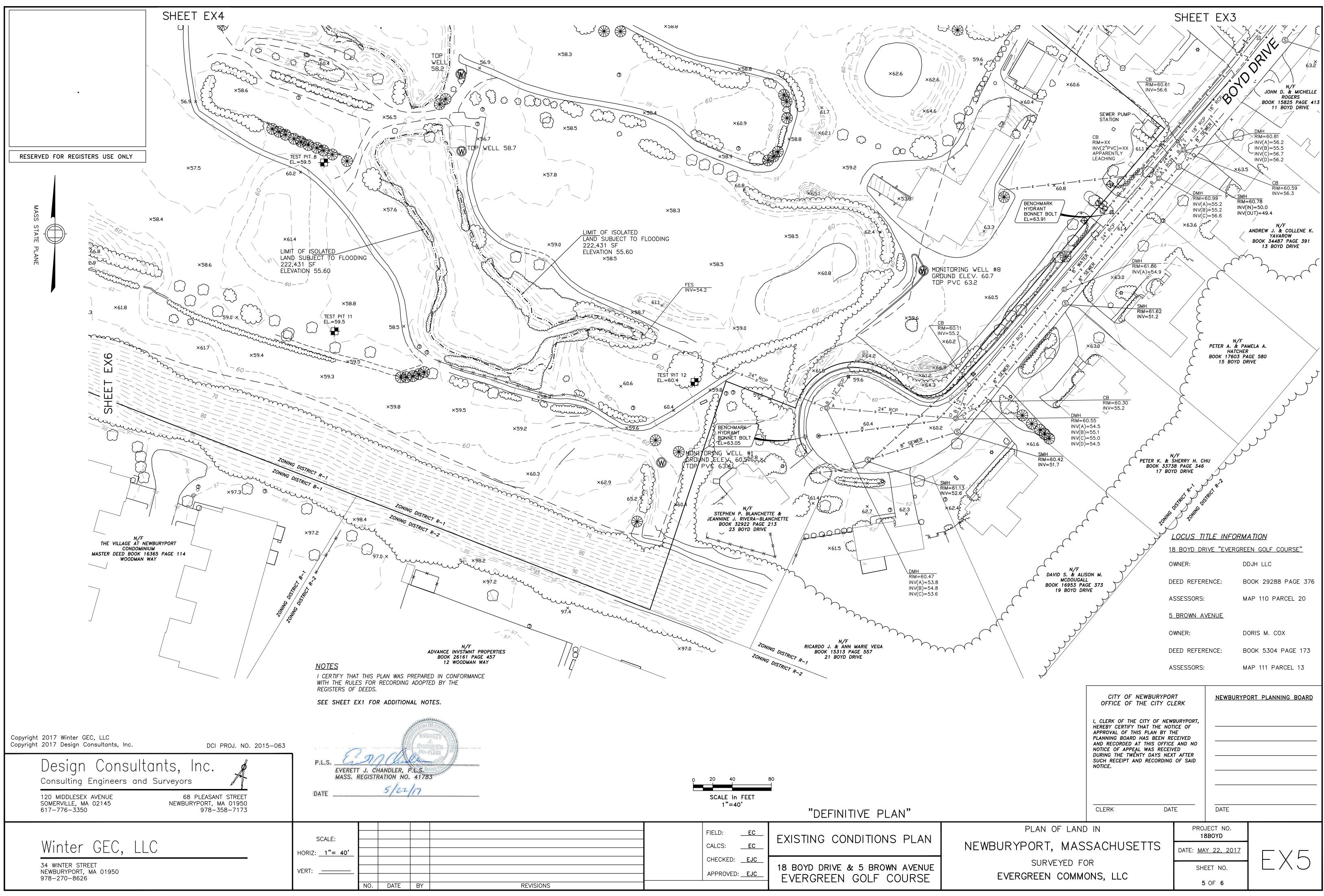




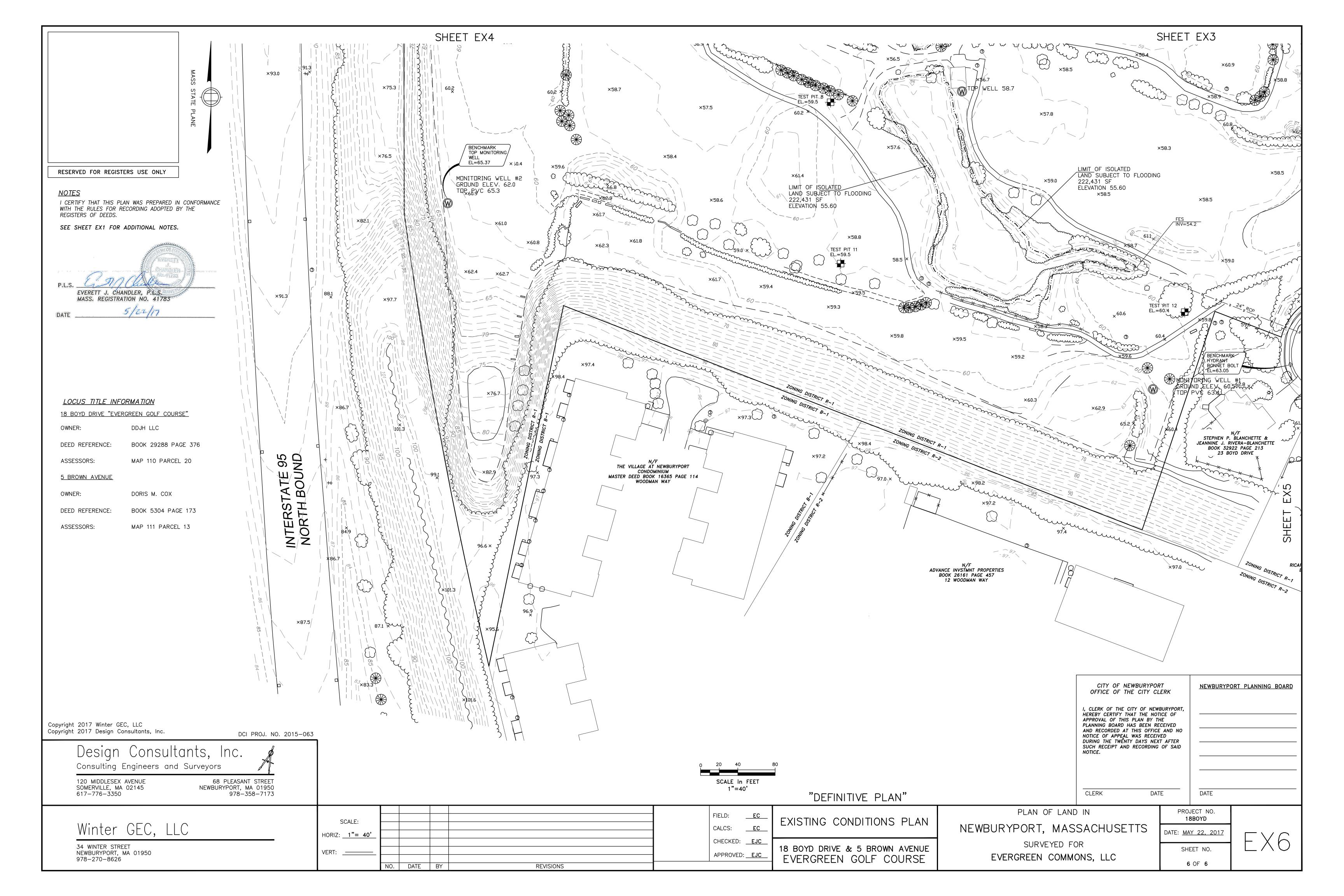
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1"	=4

	FIELD: CALCS:	EC EC	EXISTING CONDITIONS PLAN
REVISIONS		ED: <u>EJC</u> VED: <u>EJC</u>	18 BOYD DRIVE & 5 BROWN AVENUE EVERGREEN GOLF COURSE





	FIELD: CALCS:	<u> </u>	EXISTING CONDI
	CHECKED:	EJC	
	APPROVED	D: <u>EJC</u>	18 BOYD DRIVE & 5 EVERGREEN GC



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#### <u>NOTES</u>

THE PURPOSE OF THIS PLAN IS TO SHOW THE PRELIMINARY LOT LAYOUT FOR A DEFINITIVE SUBDIVISION OFF BOYD DRIVE AND LAUREL ROAD IN NEWBURYPORT, MASSACHUSETTS. IT IS THE RESULT OF AERIAL MAPPING PERFORMED IN 2015 BASED ON 2010 FLIGHTS AS UPDATED BY AN ACTUAL ON THE GROUND SURVEY PERFORMED BETWEEN NOVEMBER 2015 AND SEPTEMBER 2016 AND ROADWAY AND LOT LAYOUT BY DESIGN CONSULTANTS, INC IN SEPTEMBER 2016.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CLIENT AND THE CITY OF NEWBURYPORT ASSESSOR'S OFFICE IN NOVEMBER 2015.

ALL PLAN AND DEED REFERENCES REFER TO THE SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS.

UTILITIES SHOWN HEREON ARE BASED ON RECORD PLANS OBTAINED FROM THE RESPECTIVE UTILITY OWNERS. INVERTS ARE BASED ON ACTUAL FIELD MEASUREMENTS.

THE LOCUS PROPERTY IS LOCATED IN ZONE X, AREA OF MINIMAL FLOODING, AS GRAPHICALLY SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) 25009C0108F WITH AN EFFECTIVE DATE OF 07/03/2012. THE FLOOD ZONE DETERMINATION WAS MADE BY GRAPHIC PLOTTING ONLY AND NO FIELD SURVEYING WAS COMPLETED TO MAKE THIS DETERMINATION.

I CERTIFY THAT THE SURVEY PERFORMED TO PREPARE THIS PLAN CONFORMED TO THE PROCEDURAL AND TECHNICAL STANDARDS FOR AN ON-THE-GROUND CADASTRAL SURVEY IN ACCORDANCE WITH COMMONWEALTH OF MASSACHUSETTS 250 CMR SECTION 6.0.1 AND THAT THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

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NO. DATE BY

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.

P.L.S. EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783 5/2/17 DATE

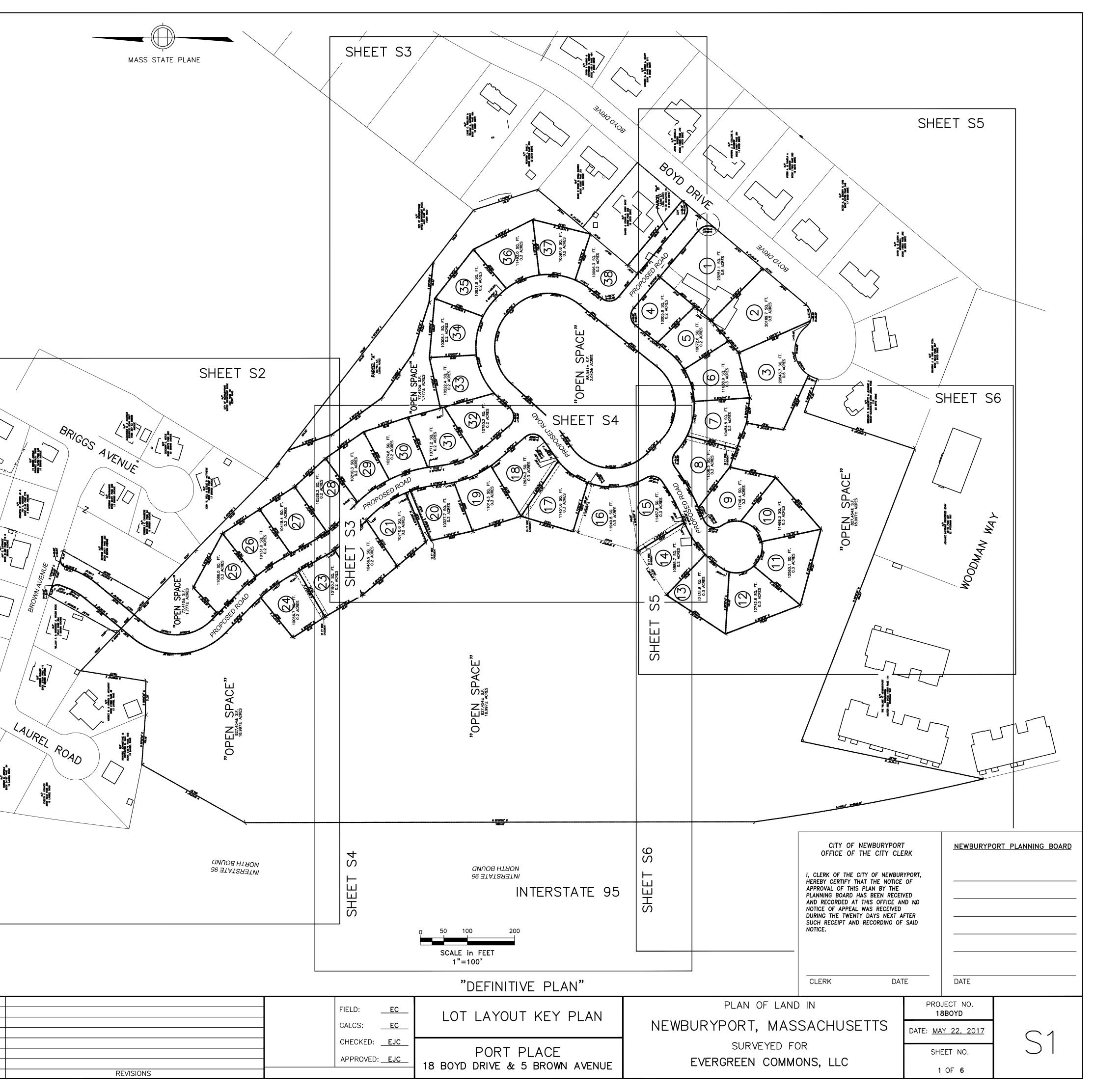
#### <u>LOCUS TITLE INFORMATION</u> 18 BOYD DRIVE "EVERGREEN GOLF COURSE"

OWNER:	DDJH LLC
DEED REFERENCE:	BOOK 29288 PAGE 376
ASSESSORS:	MAP 110 PARCEL 20
<u>15 LAUREL ROAD</u>	
OWNER:	HOWARD JOHNSTONE & KATHLEEN B. HALL
DEED REFERENCE:	BOOK 34678 PAGE 452

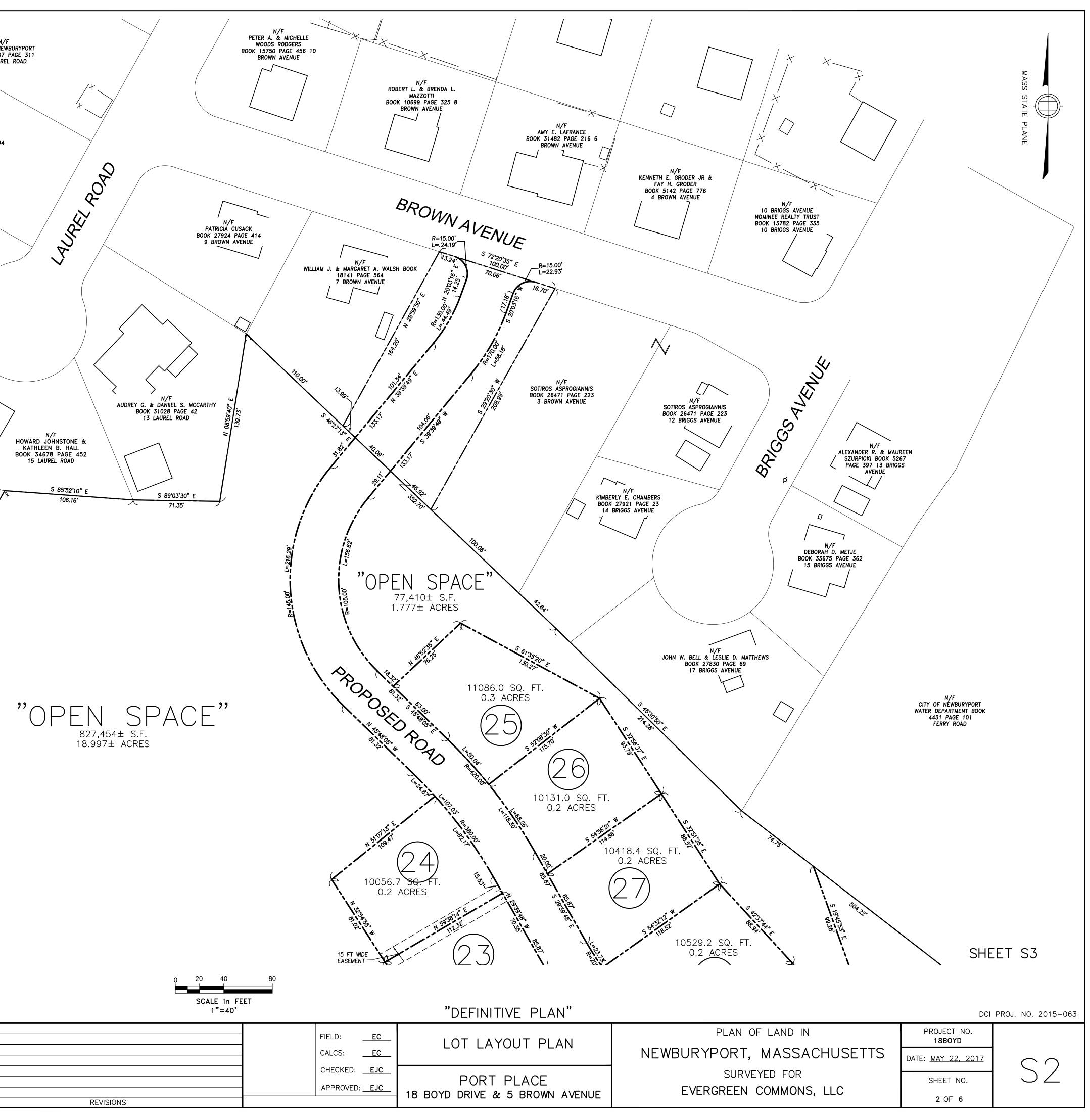
ASSESSORS: MAP 111 PARCEL 117

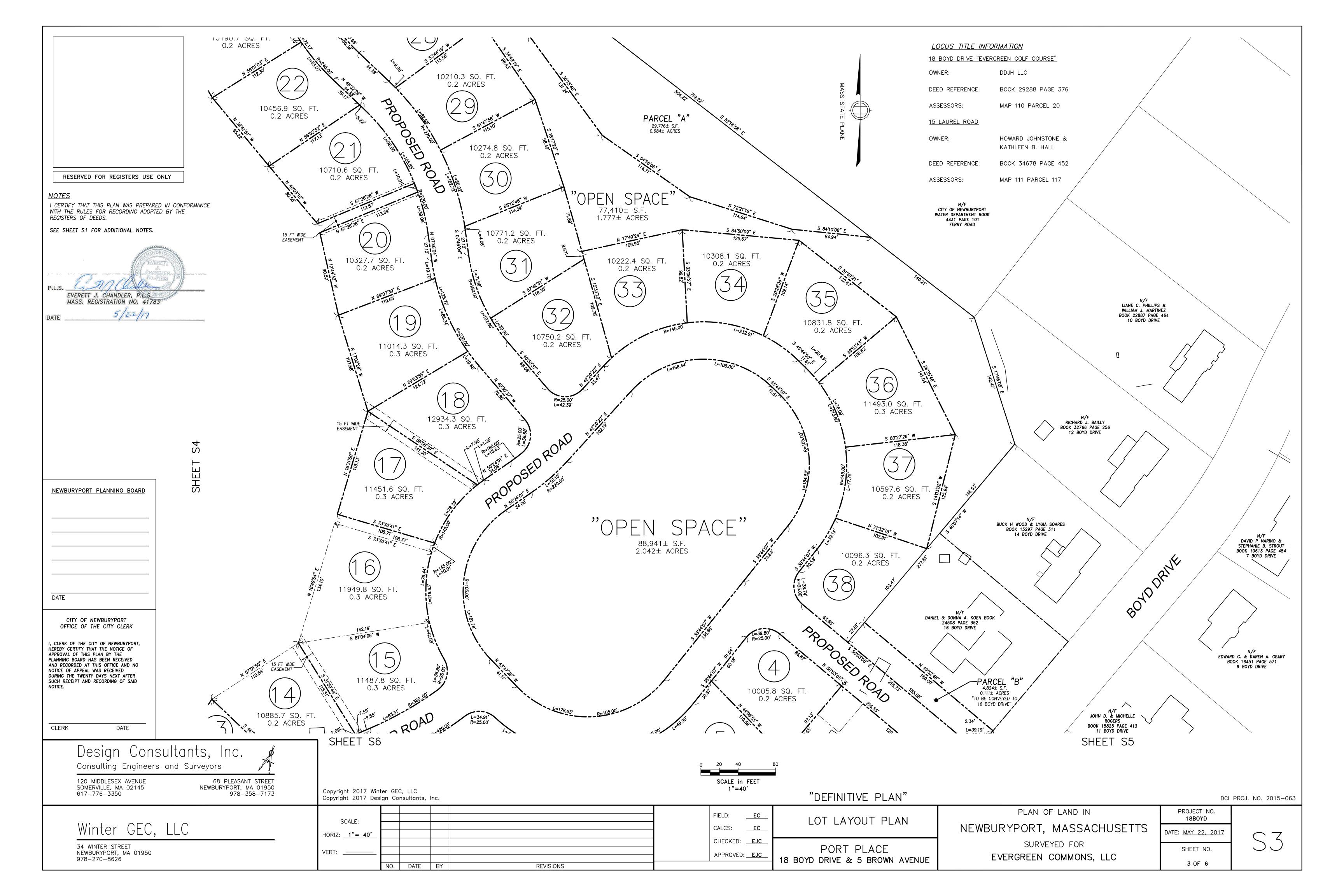
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Design Consultants, Inc. Consulting Engineers and Surveyors	M			
120 MIDDLESEX AVENUE68 PLEASANTSOMERVILLE, MA 02145NEWBURYPORT, M.617-776-3350978-35				
Winter GEC, LLC		SCALE: HORIZ: <u>1"= 100'</u>		
34 WINTER STREET NEWBURYPORT, MA 01950 978–270–8626		VERT:		

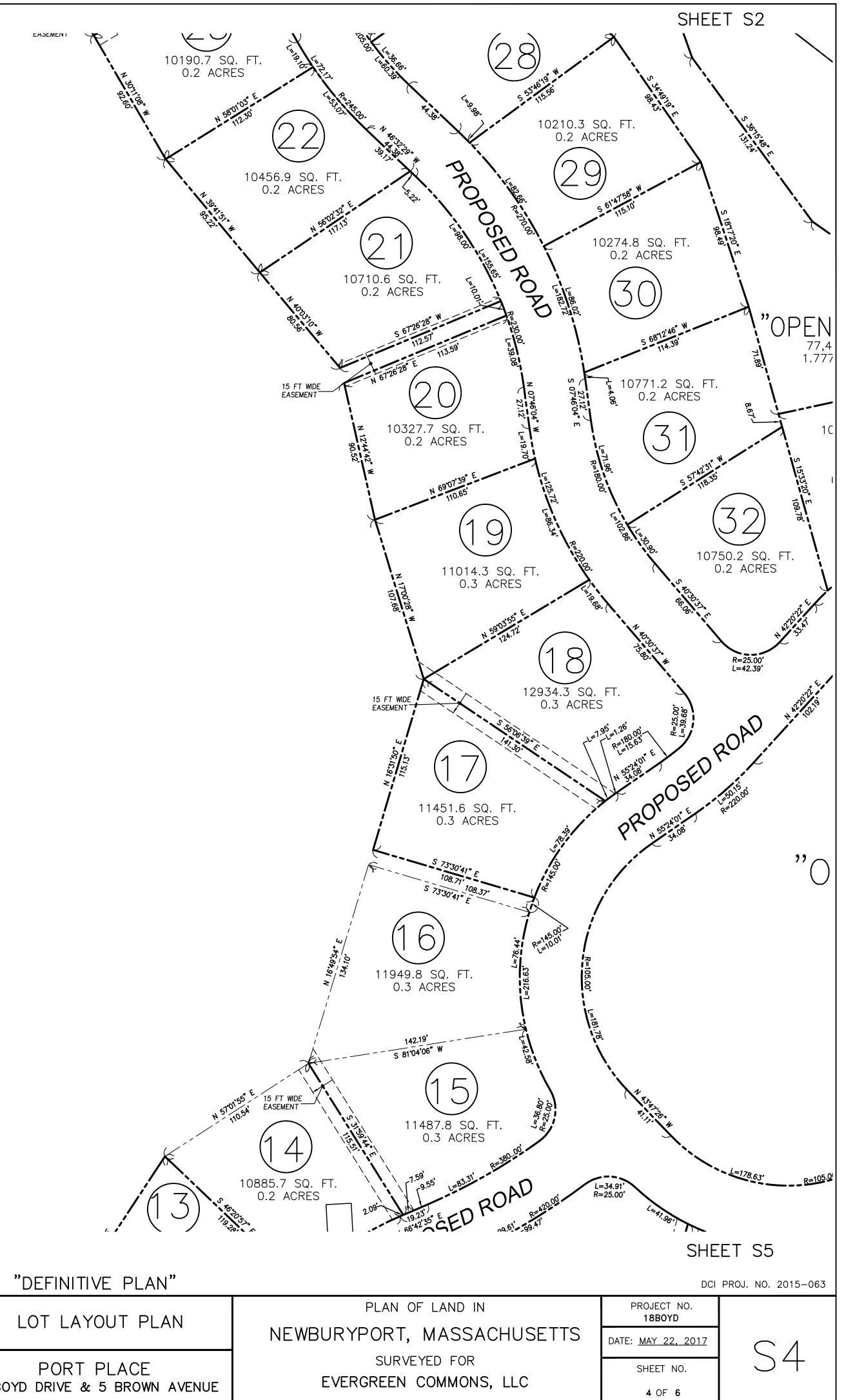


18 BOYD DRIVE "EVERGREEN GOLF COURSE".         OWNER:       DDJH LLC         DEED REFERENCE:       BOOK 29288 PAGE 3         ASSESSORS:       MAP 110 PARCEL 20         15 LAUREL ROAD       15 LAUREL ROAD         OWNER:       HOWARD JOHNSTONE KATHLEEN B. HALL         RESERVED FOR REGISTERS USE ONLY       DEED REFERENCE:       BOOK 34678 PAGE 4         ASSESSORS:       MAP 111 PARCEL 117         NOTES       I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH FE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.       WAP 111 PARCEL 117         SEE SHEET S1 FOR ADDITIONAL NOTES.       SEE SHEET S1 FOR ADDITIONAL NOTES.       SEE SHEET S1 FOR ADDITIONAL NOTES.	N/F ROBERT C. ZIRPOLO BOOK 34167 PAGE 94 14 LAUREL ROAD & 152
DEED REFERENCE:       BOOK 29288 PAGE 3         ASSESSORS:       MAP 110 PARCEL 20         15 LAUREL ROAD       15 LAUREL ROAD         OWNER:       HOWARD JOHNSTONE KATHLEEN B. HALL         RESERVED FOR REGISTERS USE ONLY       DEED REFERENCE:       BOOK 34678 PAGE 4         ASSESSORS:       MAP 111 PARCEL 117         NOTES       I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.       WAP 111 PARCEL 117	& N/F ROBERT C. ZIRPOLO BOOK 34167 PAGE 94 14 LAUREL ROAD & N/F EVELYN J. KOVACH
ASSESSORS: MAP 110 PARCEL 20 15 LAUREL ROAD 15 LAUREL ROAD 0WNER: HOWARD JOHNSTONE KATHLEEN B. HALL RESERVED FOR REGISTERS USE ONLY DEED REFERENCE: BOOK 34678 PAGE 4 ASSESSORS: MAP 111 PARCEL 117 NOTES 1 CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.	& N/F ROBERT C. ZIRPOLO BOOK 34167 PAGE 94 14 LAUREL ROAD & N/F EVELYN J. KOVACH
Image: 15 LAUREL ROAD         Image: 15 LAUREL ROAD         OWNER:       HOWARD JOHNSTONE KATHLEEN B. HALL         Image: 10 Constraints       DEED REFERENCE:       BOOK 34678 PAGE 4         ASSESSORS:       MAP 111 PARCEL 117         Image: 10 Constraints       ASSESSORS:       MAP 111 PARCEL 117         Image: 10 Constraints       Image: 10 Constraints       Image: 10 Constraints         Image: 11 Certify That This Plan Was PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.       Image: 10 Constraints	& K52 N/F EVELYN J. KOVACH
OWNER:       HOWARD JOHNSTONE         RESERVED FOR REGISTERS USE ONLY       DEED REFERENCE:       BOOK 34678 PAGE 4         ASSESSORS:       MAP 111 PARCEL 117         NOTES       I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE         WITH THE RULES FOR RECORDING ADOPTED BY THE         REGISTERS OF DEEDS.	& 152 N/F EVELYN J. KOVACH
RESERVED FOR REGISTERS USE ONLY       DEED REFERENCE:       BOOK 34678 PAGE 4         ASSESSORS:       MAP 111 PARCEL 117         NOTES       I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.	152 , EVELYN J. KOVACH
RESERVED FOR REGISTERS USE ONLY       ASSESSORS:       MAP 111 PARCEL 117         NOTES       I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE       WITH THE RULES FOR RECORDING ADOPTED BY THE         REGISTERS OF DEEDS.       I DEEDS.       I DEEDS	, N/F EVELYN J. KOVACH
NOTES I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.	N/F EVELYN J. KOVACH
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.	EVELYN J. KOVACH
P.L.S. EVERETT J. CHANDLER, P.L.S. MASS. REGISTRATION NO. 41783 DATE 5/22/1	BOOK 6542 PAGE 300 16 LAUREL ROAD
NEWBURYPORT PLANNING BOARD South State St	N. S. S. K.
CLERK       DATE       Copyright 2017 Winter GEC, LLC Copyright 2017 Design Consultants, Inc.         Design Consultants, Inc.       Design Consultants, Inc.         Design Consultants, Inc.       Image: Consultant for the second	SHEET S4
I I	
Winter $(1+(1))$	ALE:
Winter GEC, LLC 34 WINTER STREET NEWBURYPORT, MA 01950 SCA HORIZ:	

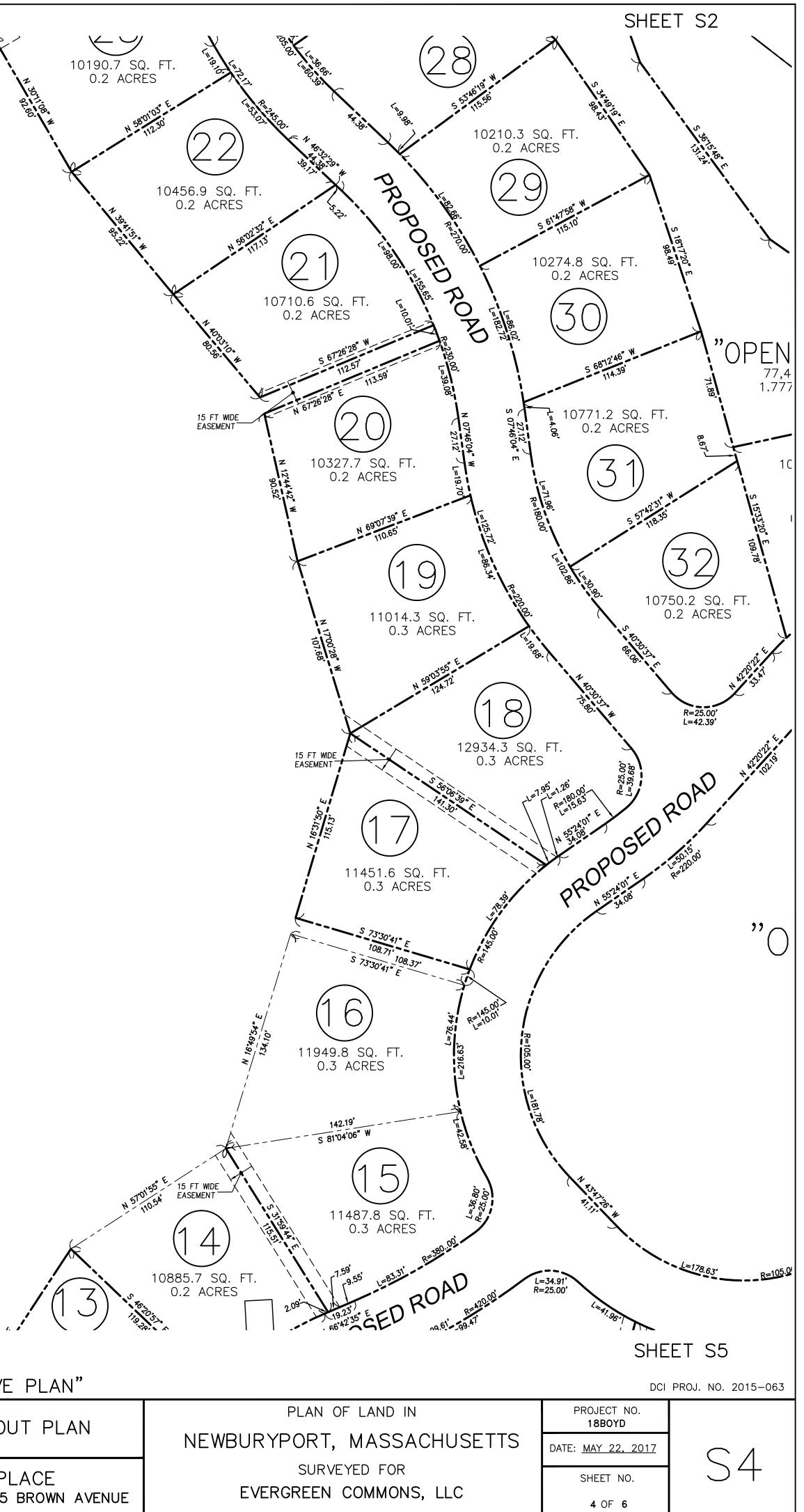




SHEET S4		
RESERVED FOR REGISTERS USE ONLY	MASS STATE PLANE	
NOTES I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS. SEE SHEET S1 FOR ADDITIONAL NOTES. P.L.S	INTERSTATE 95 NORTH BOUND	N 0005'52" W 1082.42'
OWNER:DDJH LLCDEED REFERENCE:BOOK 29288 PAGE 376ASSESSORS:MAP 110 PARCEL 205 BROWN AVENUEOORIS M. COXDEED REFERENCE:BOOK 5304 PAGE 173ASSESSORS:MAP 111 PARCEL 13	ES	
CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK       NEWBURYPORT PLANNING BOARD         I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.       Image: Comparison of the second seco		
Design Consultants, Inc. Consulting Engineers and Surveyors 120 MIDDLESEX AVENUE SOMERVILLE, MA 02145 617-776-3350 Consultants, Inc. 68 PLEASANT STREET NEWBURYPORT, MA 01950 978-358-7173	Copyright 2016 Winter GEC, LLC Copyright 2016 Design Consultant	o s, Inc.
Winter GEC, LLC 34 WINTER STREET NEWBURYPORT, MA 01950	SCALE:	
978-270-8626	NO. DATE	BY







SHEET S6 80 SCALE in FEET 1"=40'

	FIELD: <u>EC</u> CALCS: <u>EC</u>	LOT LAYOUT PLAN
	CHECKED: EJC	
REVISIONS	APPROVED: <u>EJC</u>	PORT PLACE 18 BOYD DRIVE & 5 BROWN AVENUE

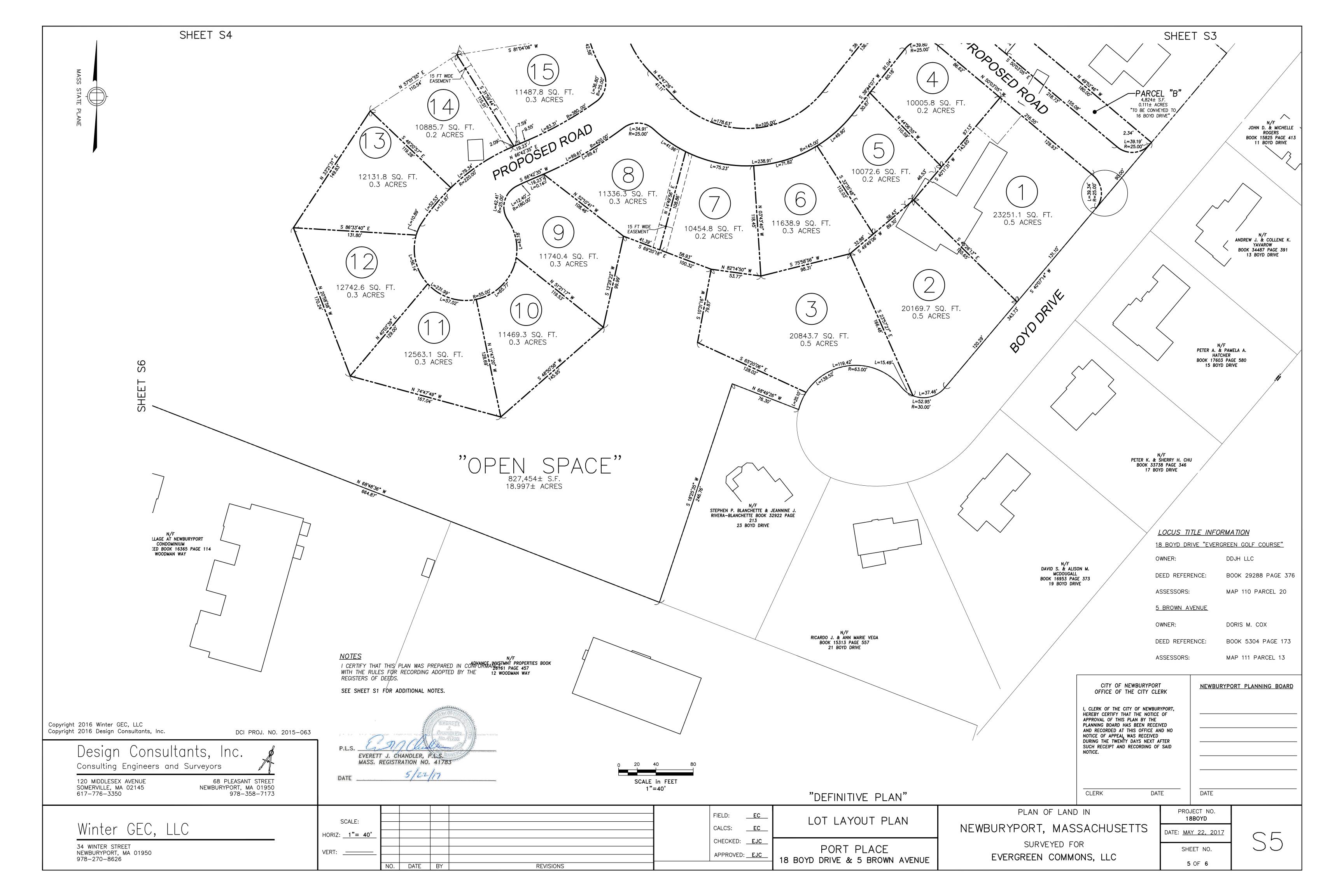
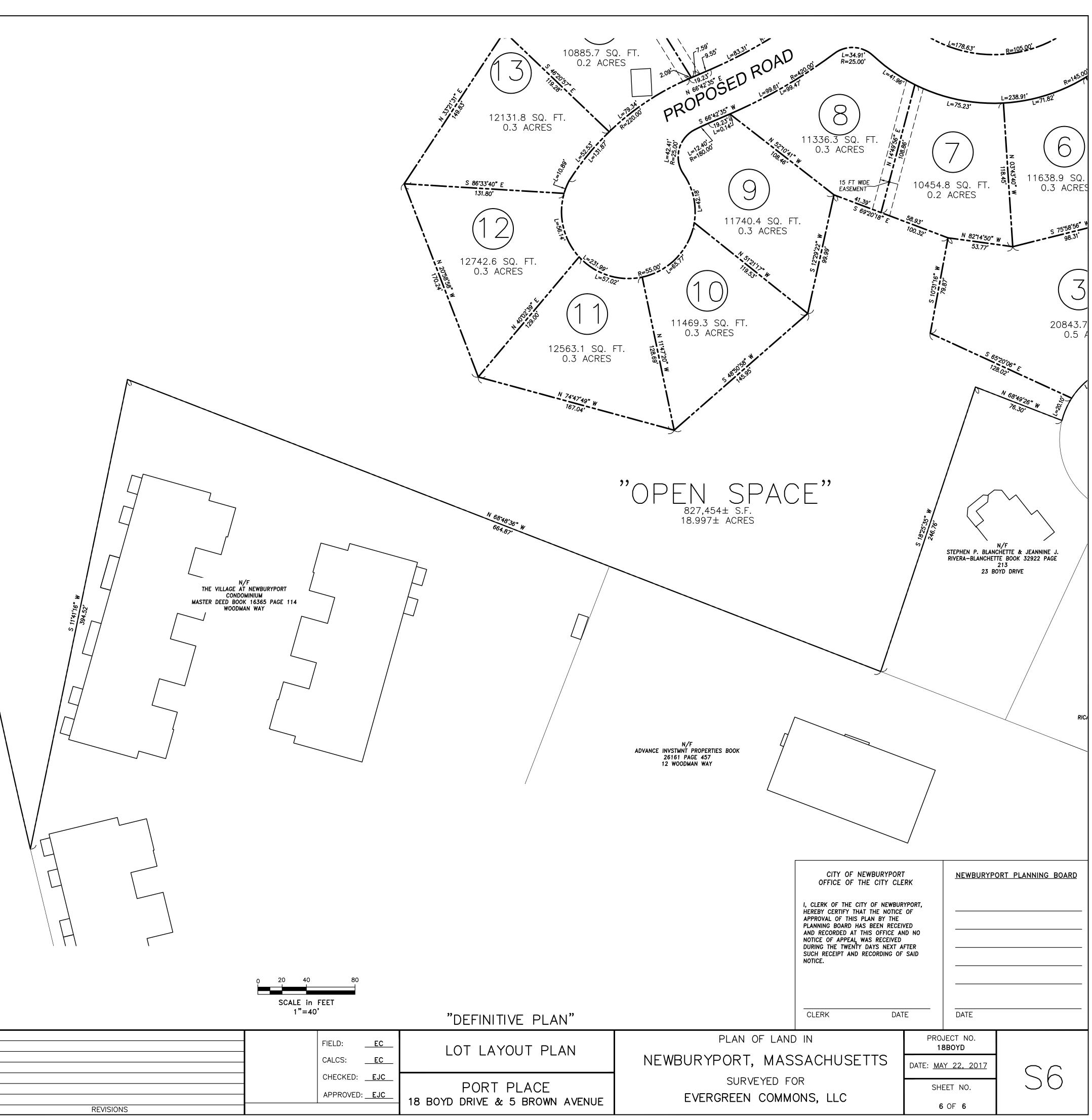
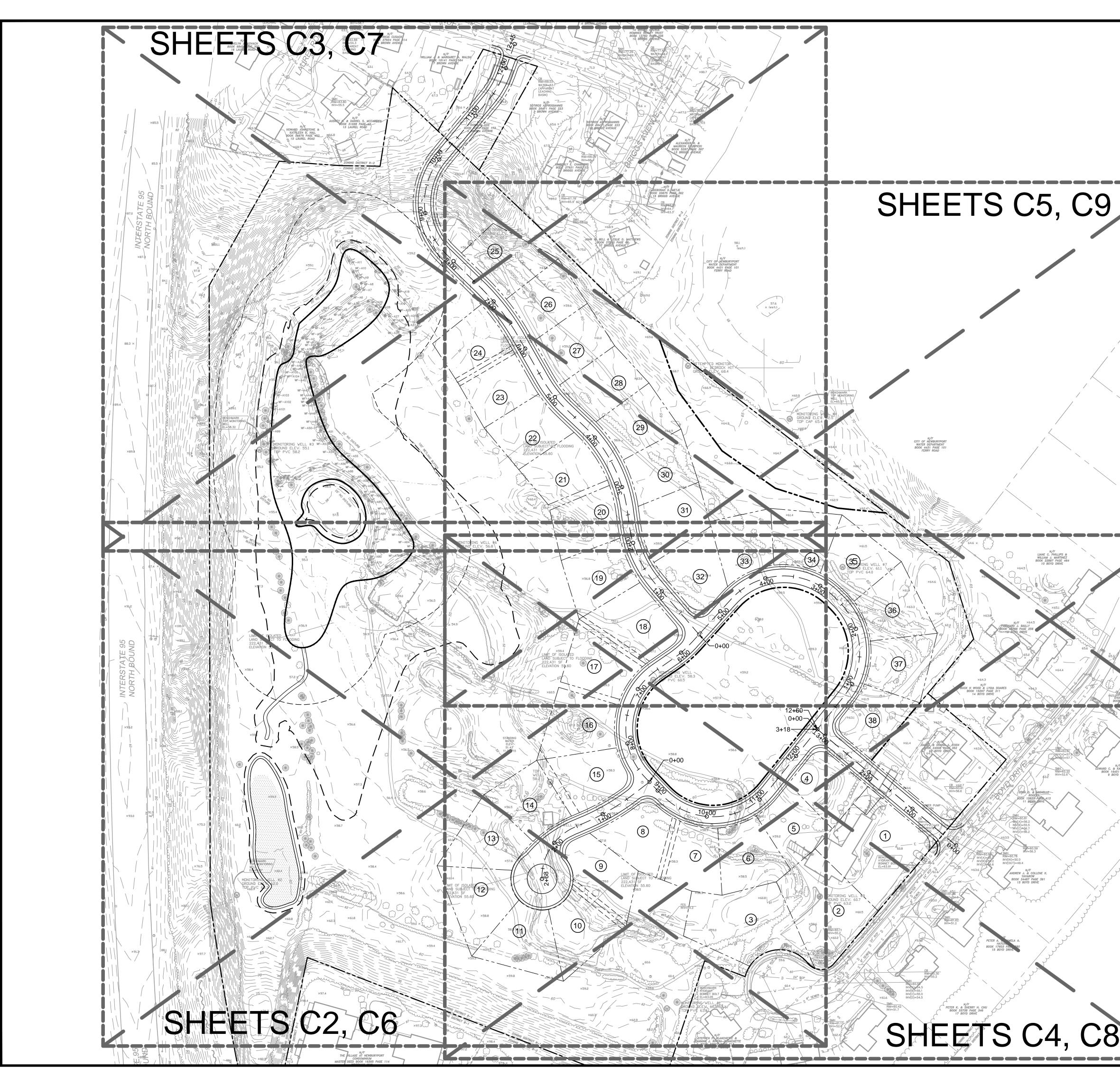


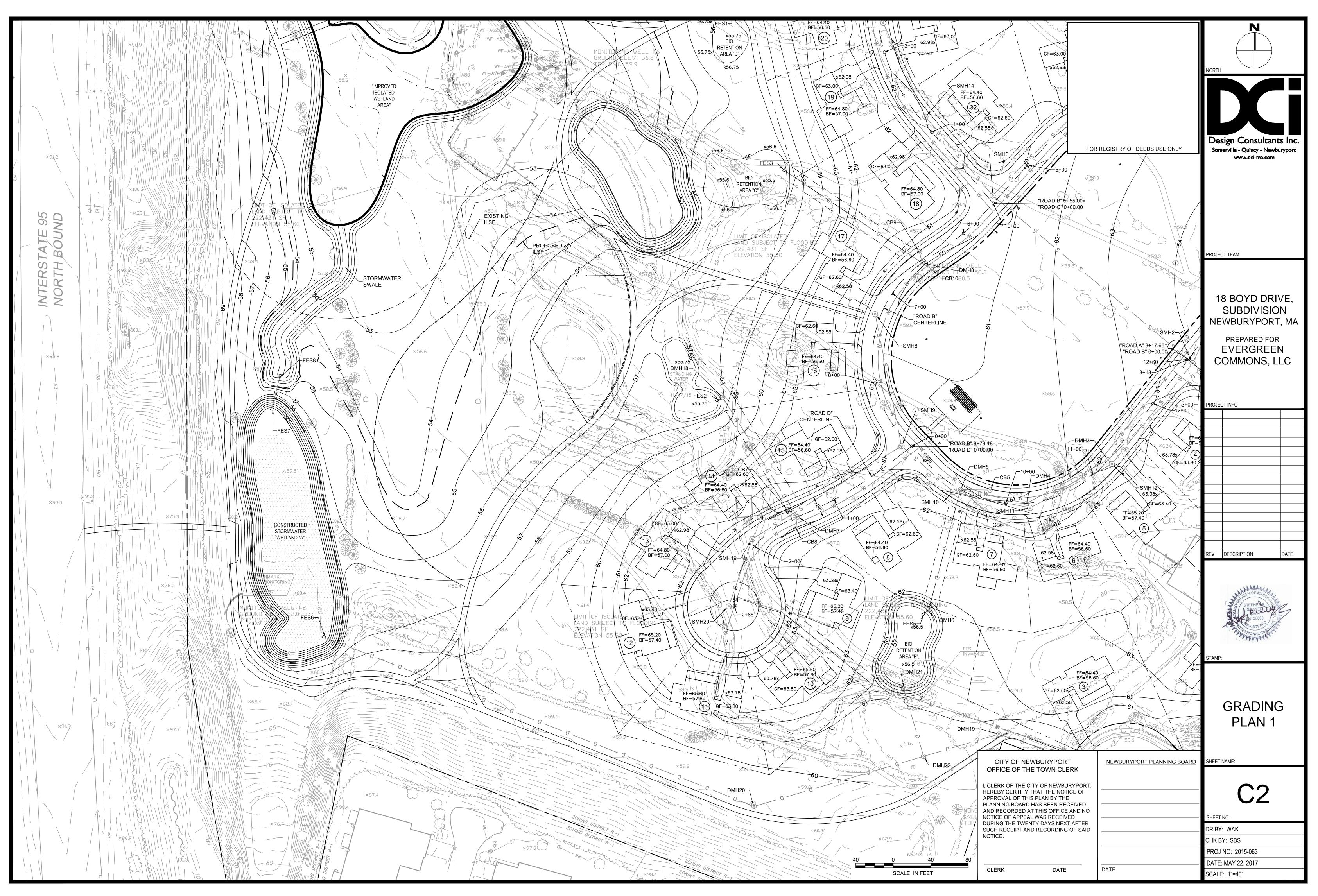
Image: State of the second state of	INTERSTATE 95 NORTH BOUND			L=493.17' $R=5239.49'$	
Copyright 2016 Winter GEC, LLC Copyright 2016 Design Consultants, Inc. DCI PROJ. NO. 2015-063	_				
Design Consultants, Inc.					
Consulting Lingineers and Surveyors120 MIDDLESEX AVENUE68 PLEASANT STREETSOMERVILLE, MA 02145NEWBURYPORT, MA 01950617-776-3350978-358-7173					
Wintor CEC 110	SCALE:				
Winter GEC, LLC 34 WINTER STREET NEWBURYPORT MA 01950	HORIZ: <u>1"= 40'</u> VERT:				
NEWBURYPORT, MA 01950 978-270-8626		NO.	DATE	BY	

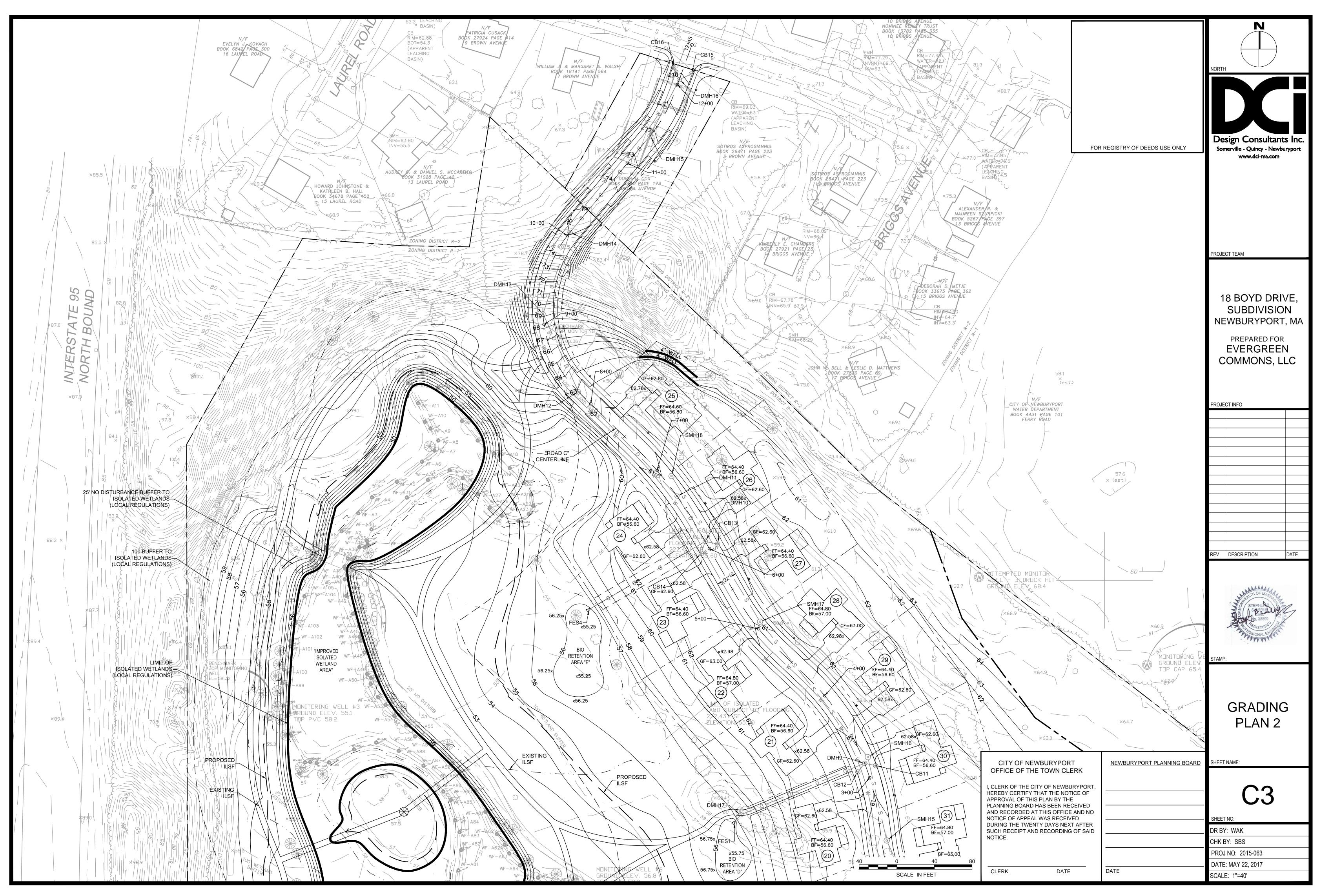


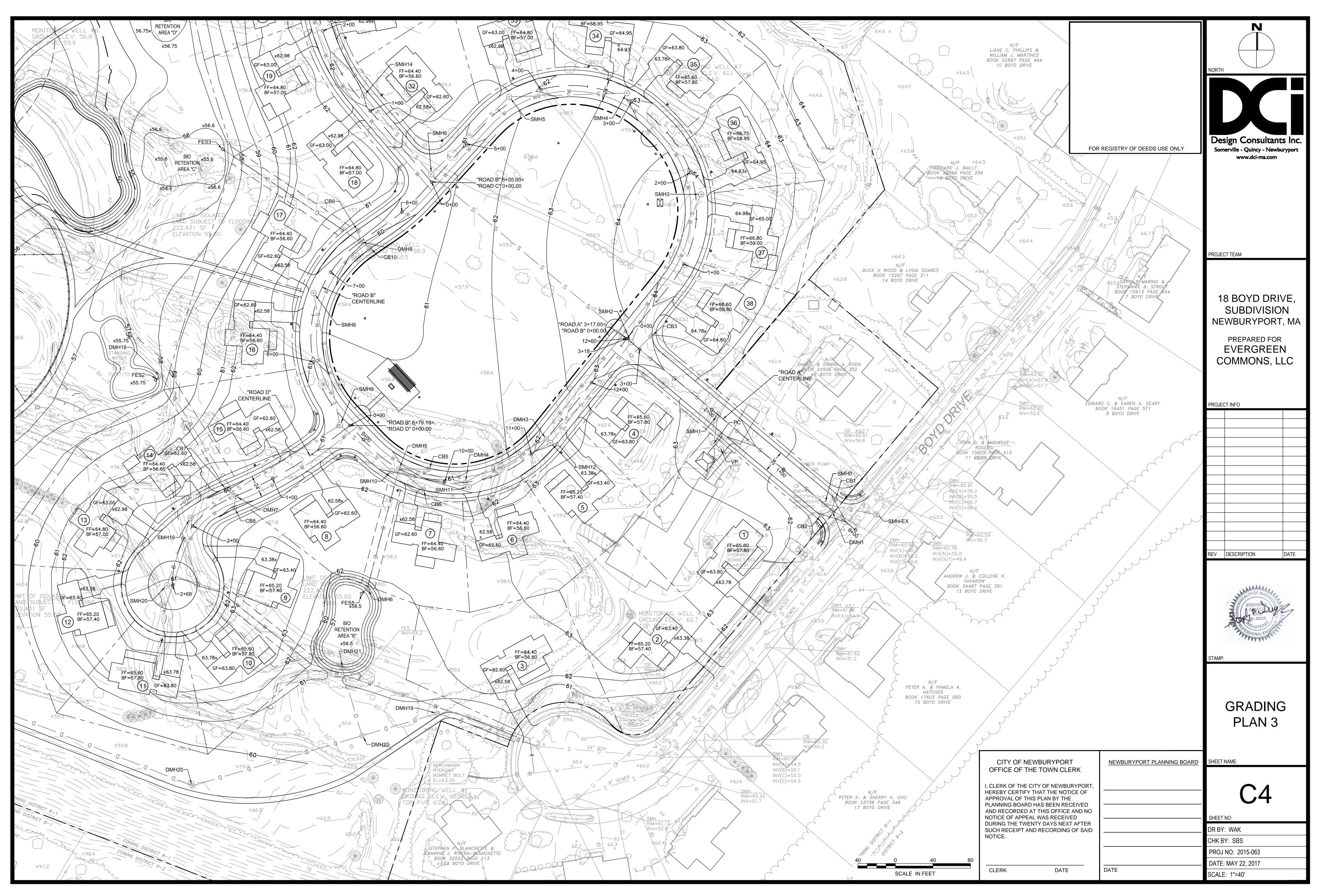


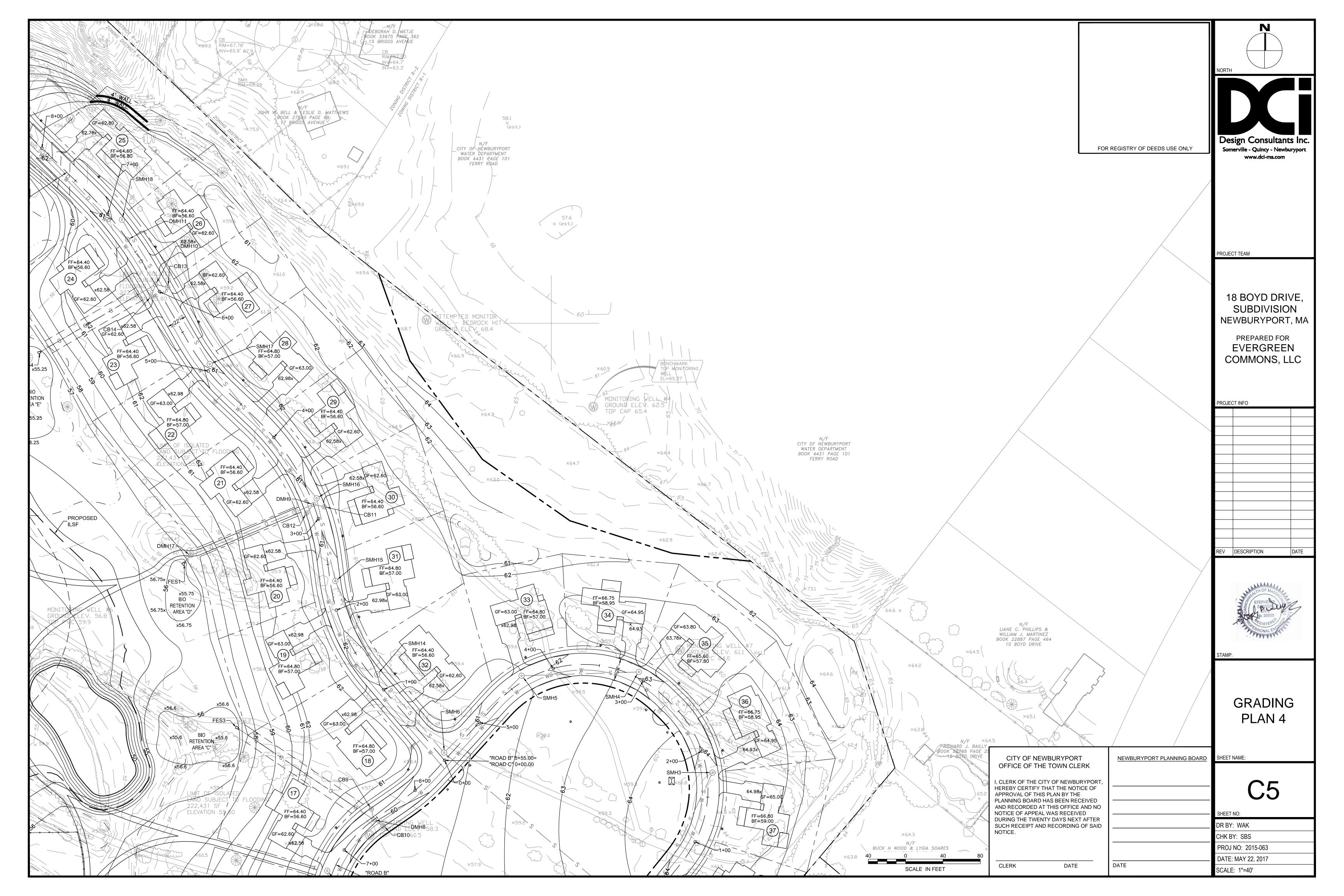
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	NORTH
FOR REGISTRY OF DEEDS USE ONLY	Design Consultants Inc. Somerville - Quincy - Newburyport www.dci-ma.com
	PROJECT TEAM
	18 BOYD DRIVE, SUBDIVISION NEWBURYPORT, MA
	PREPARED FOR EVERGREEN
	COMMONS, LLC
	PROJECT INFO
	REV DESCRIPTION DATE
Stopping Privation & A	
	THENTH OF MASS
	NO DO ANTERIO
N/F & KAREN A. GEARY BOYD DRIVE	SIGNAL ENGLA
	STAMP:
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8 <u>0 0 80 16</u> 0	SHEET
SCALE IN FEET	
CITY OF NEWBURYPORT OFFICE OF THE TOWN CLERK	SHEET NAME:
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED	C1
AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID	SHEET NO: DR BY: WAK
NOTICE.	CHK BY: SBS PROJ NO: 2015-063
CLERK DATE DATE	DATE: MAY 22, 2017 SCALE: 1"=80'

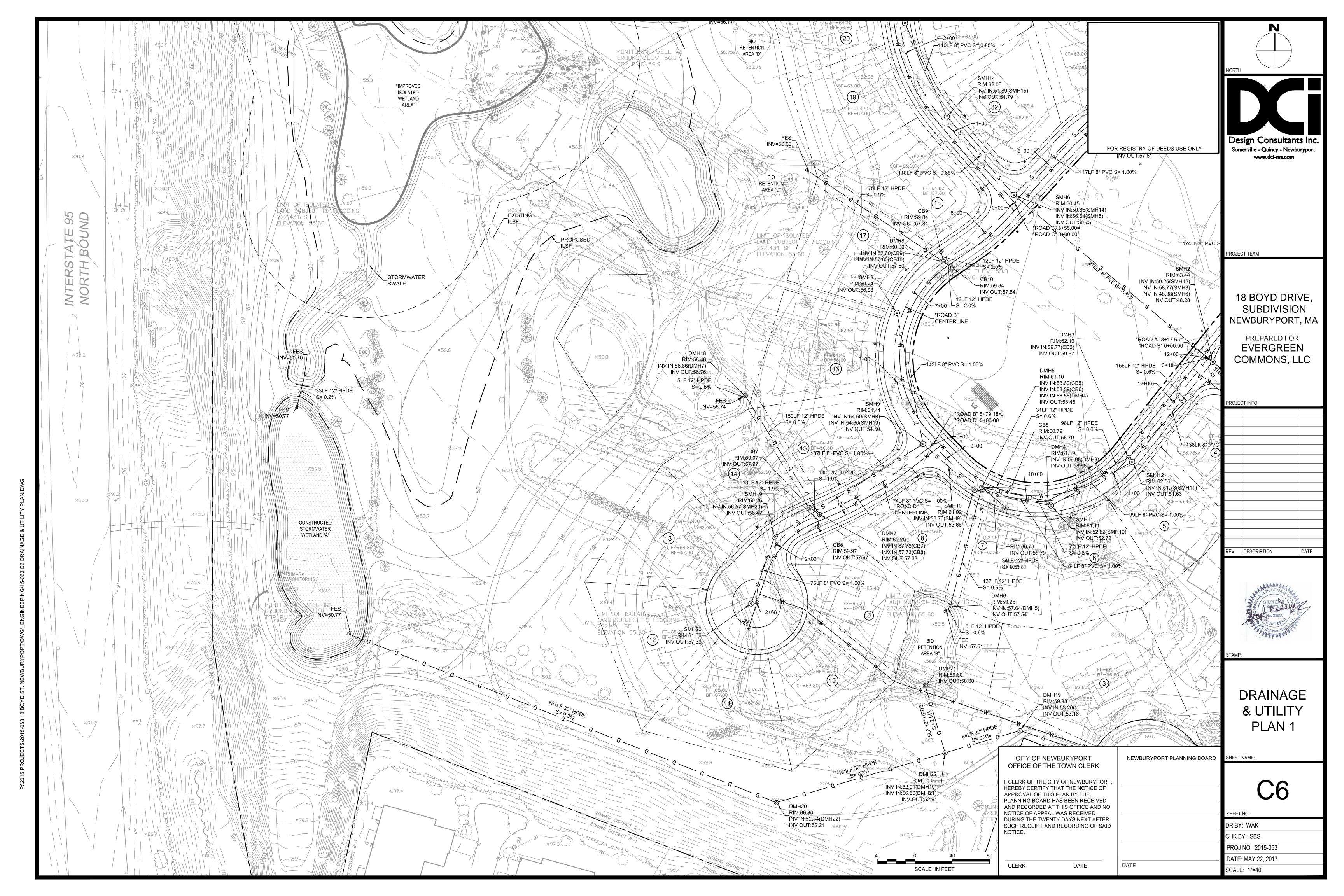


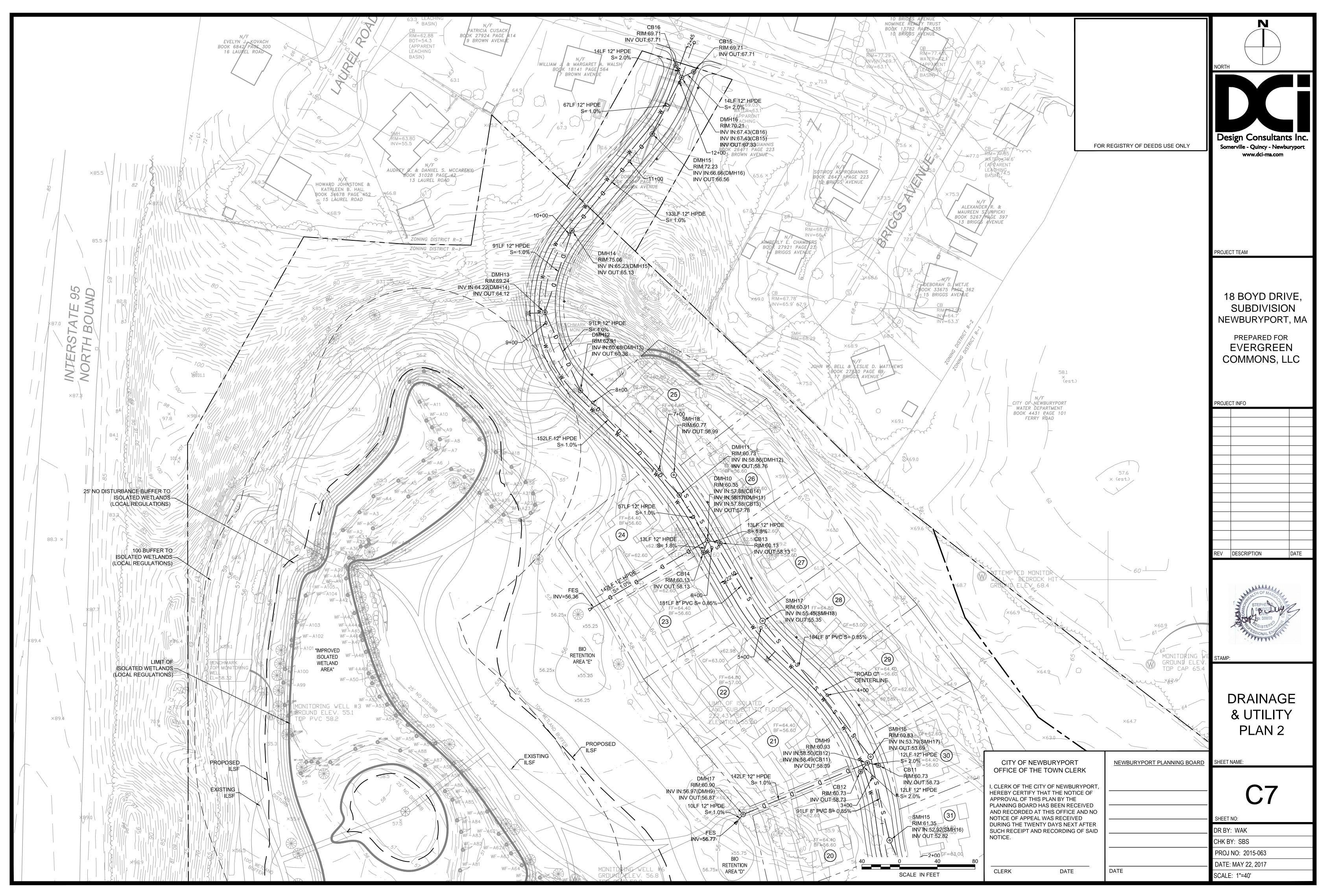


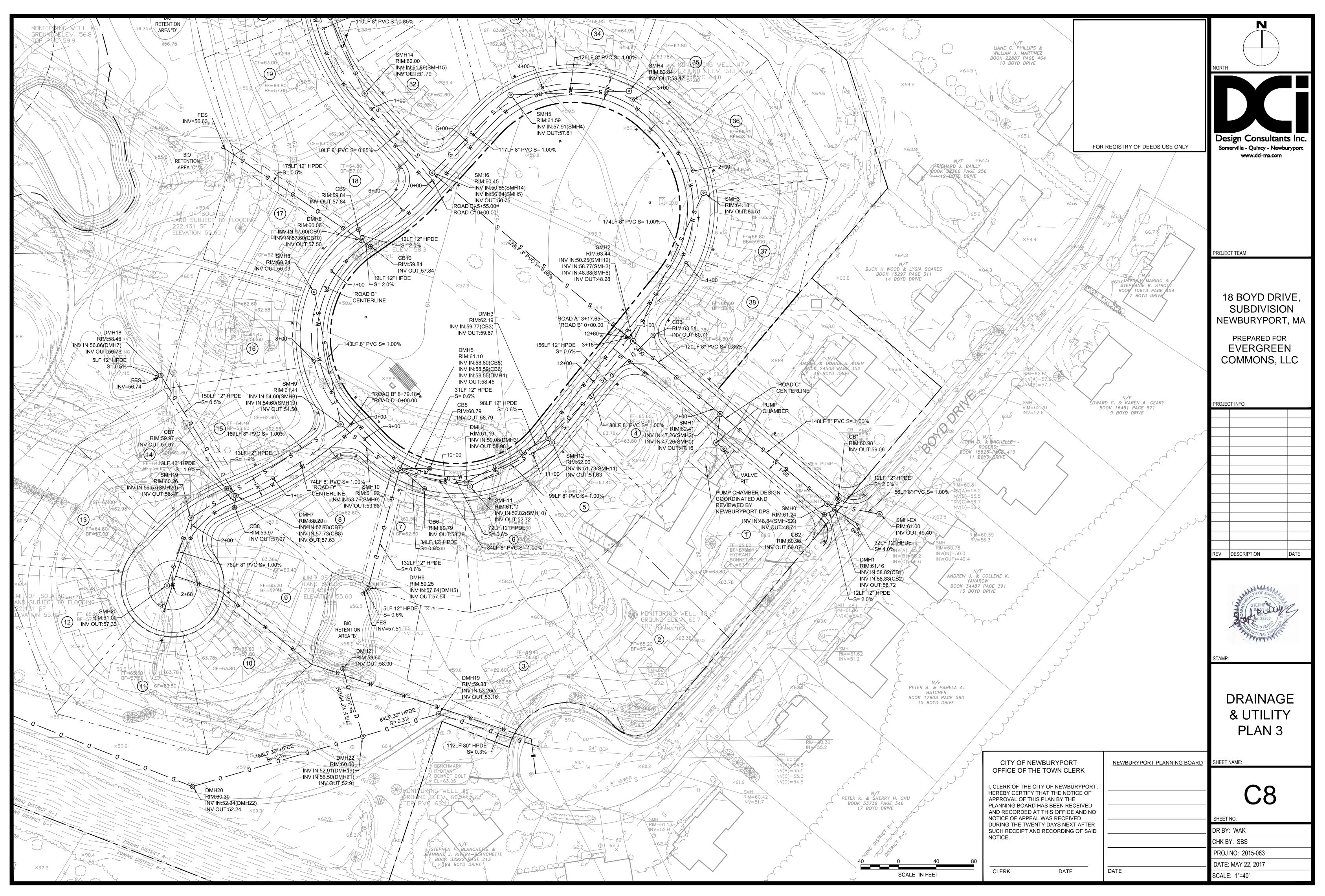


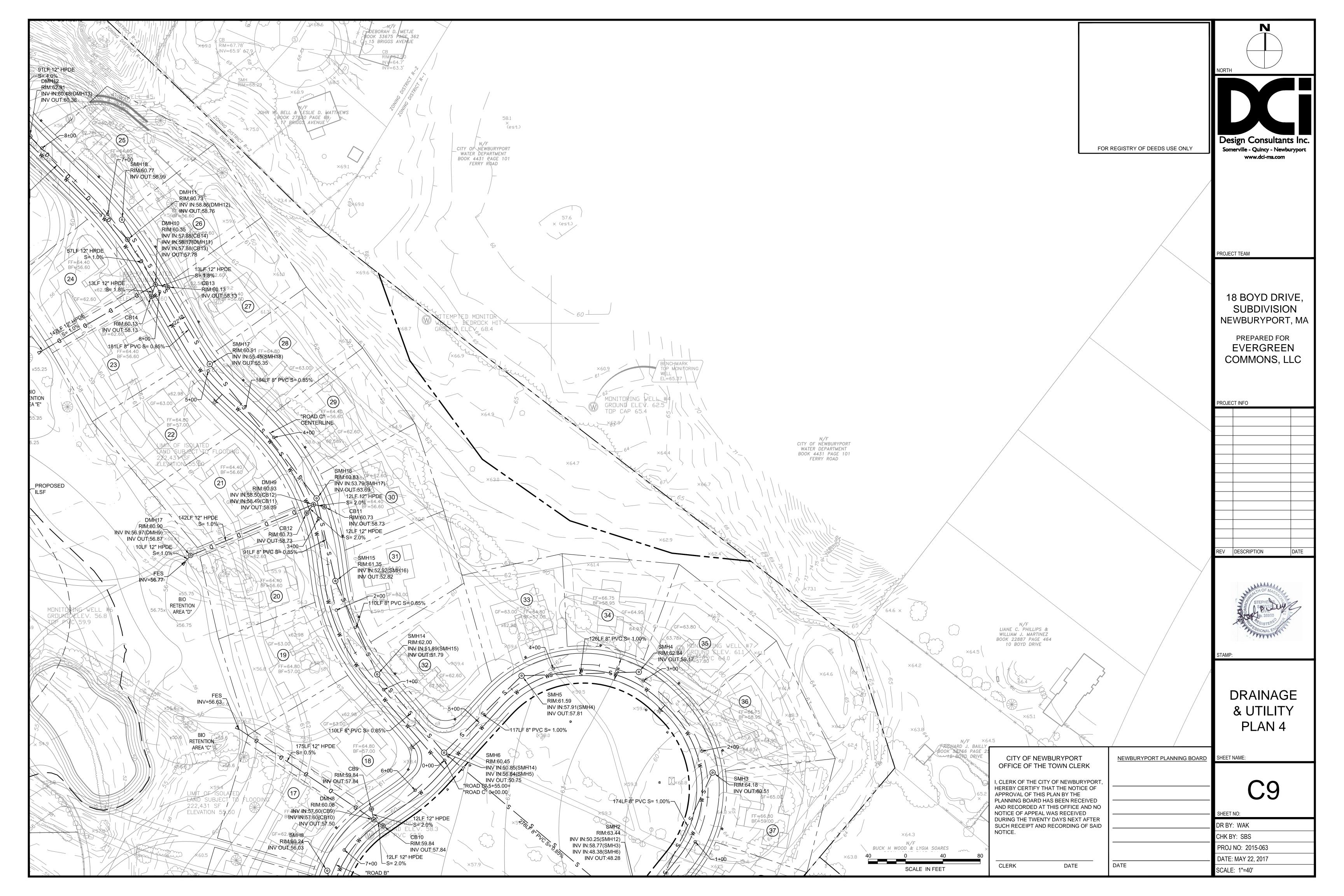


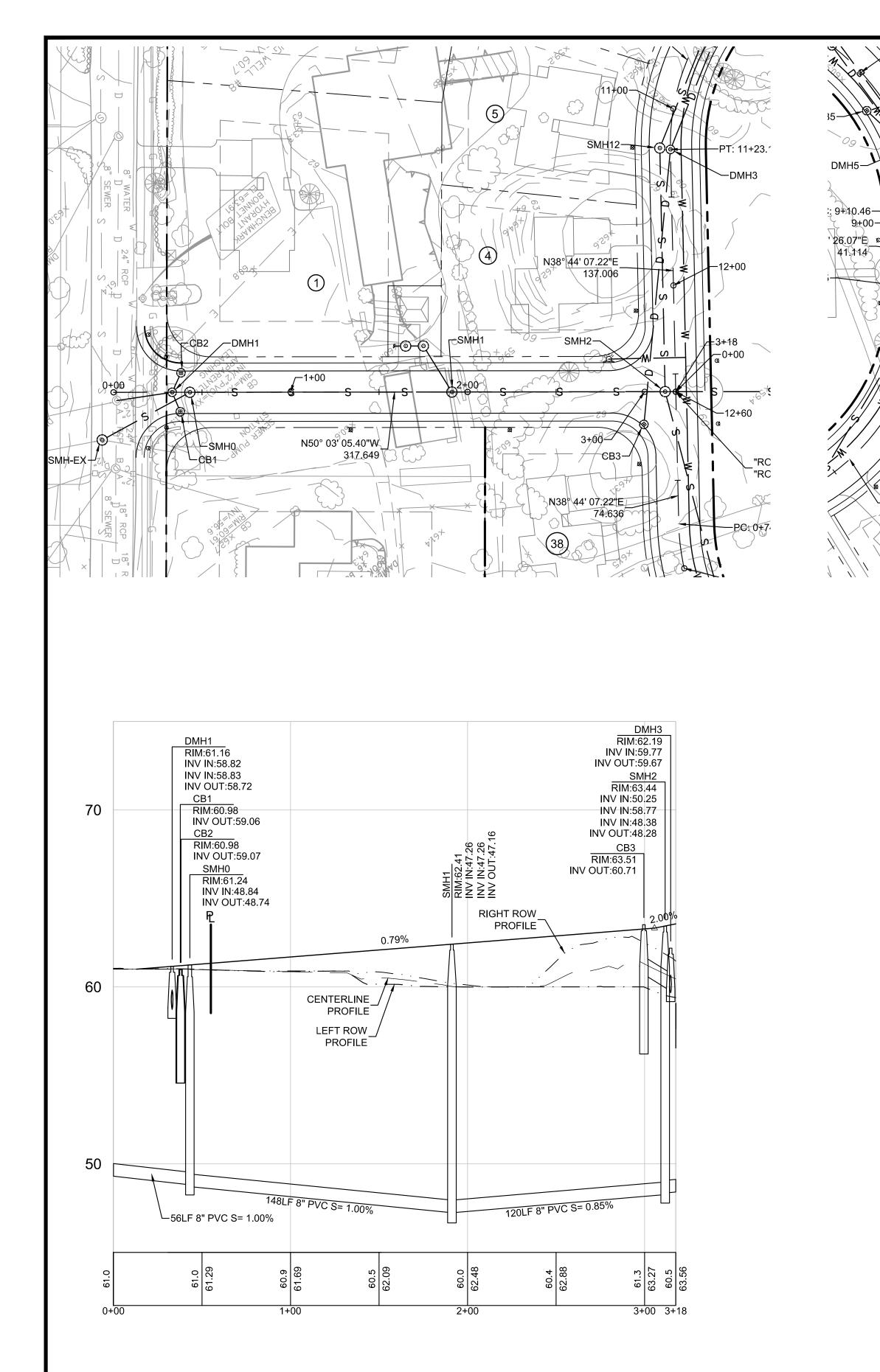


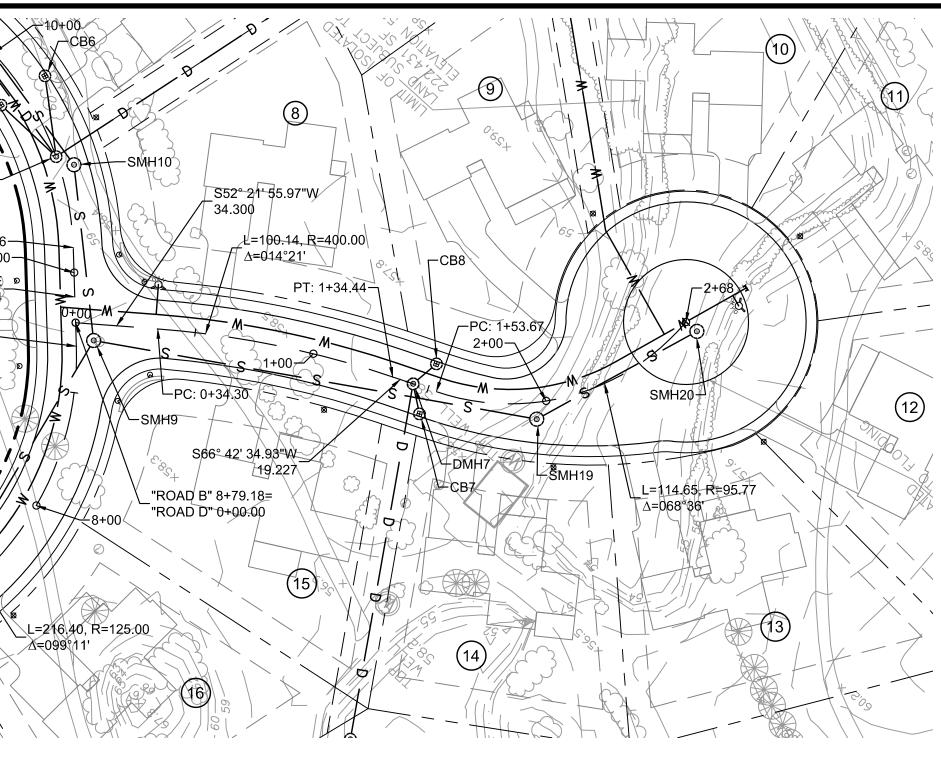


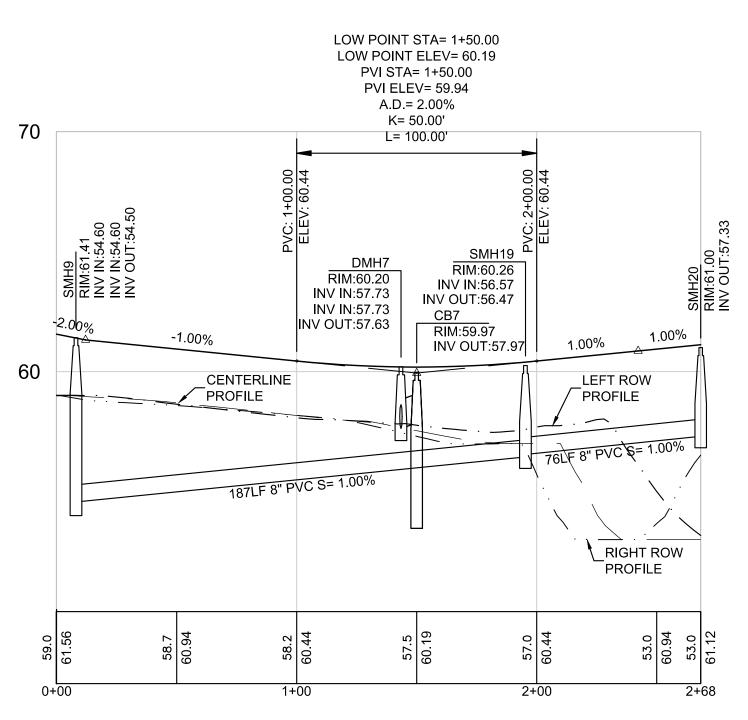


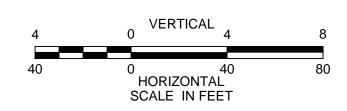




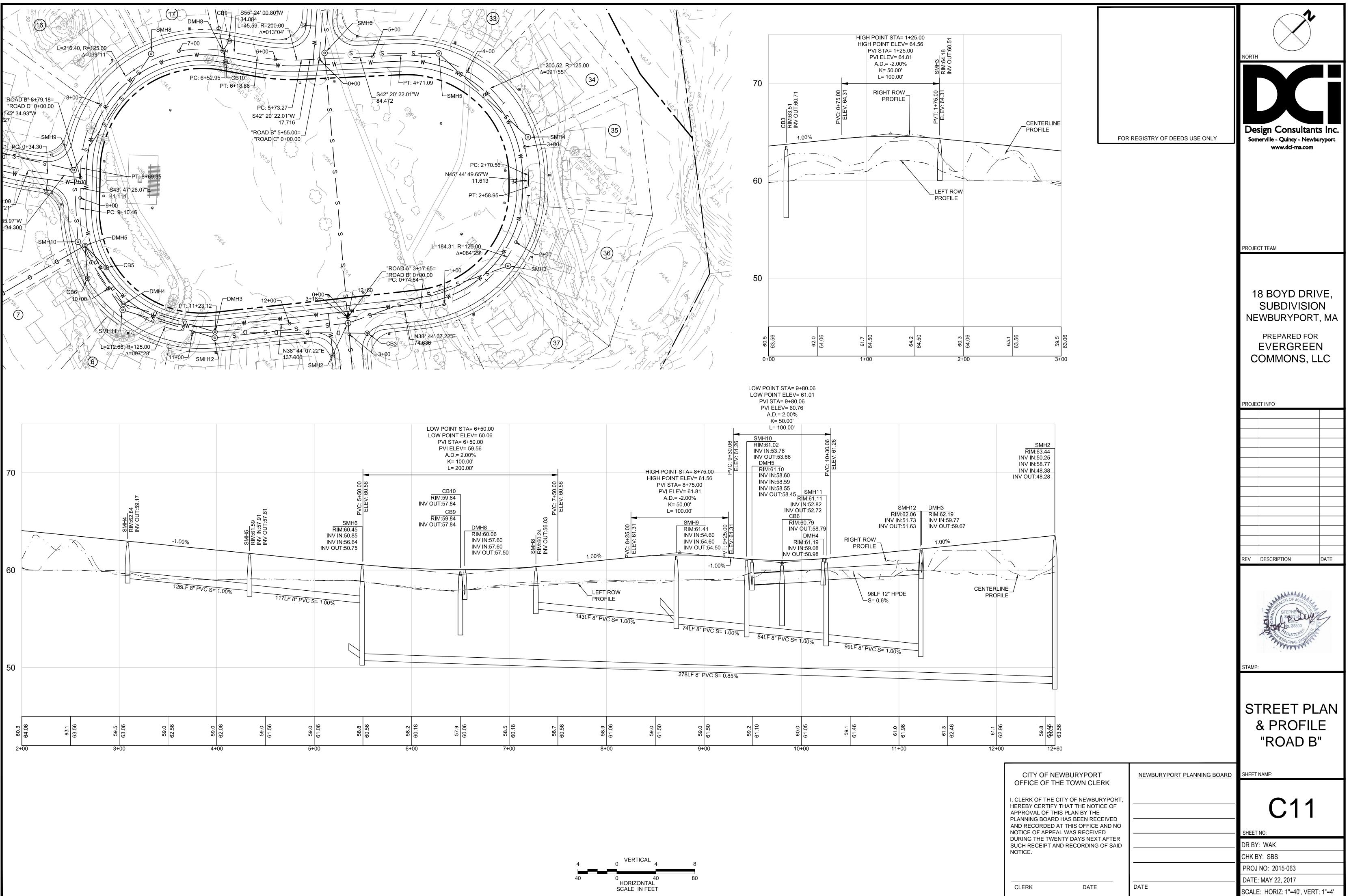


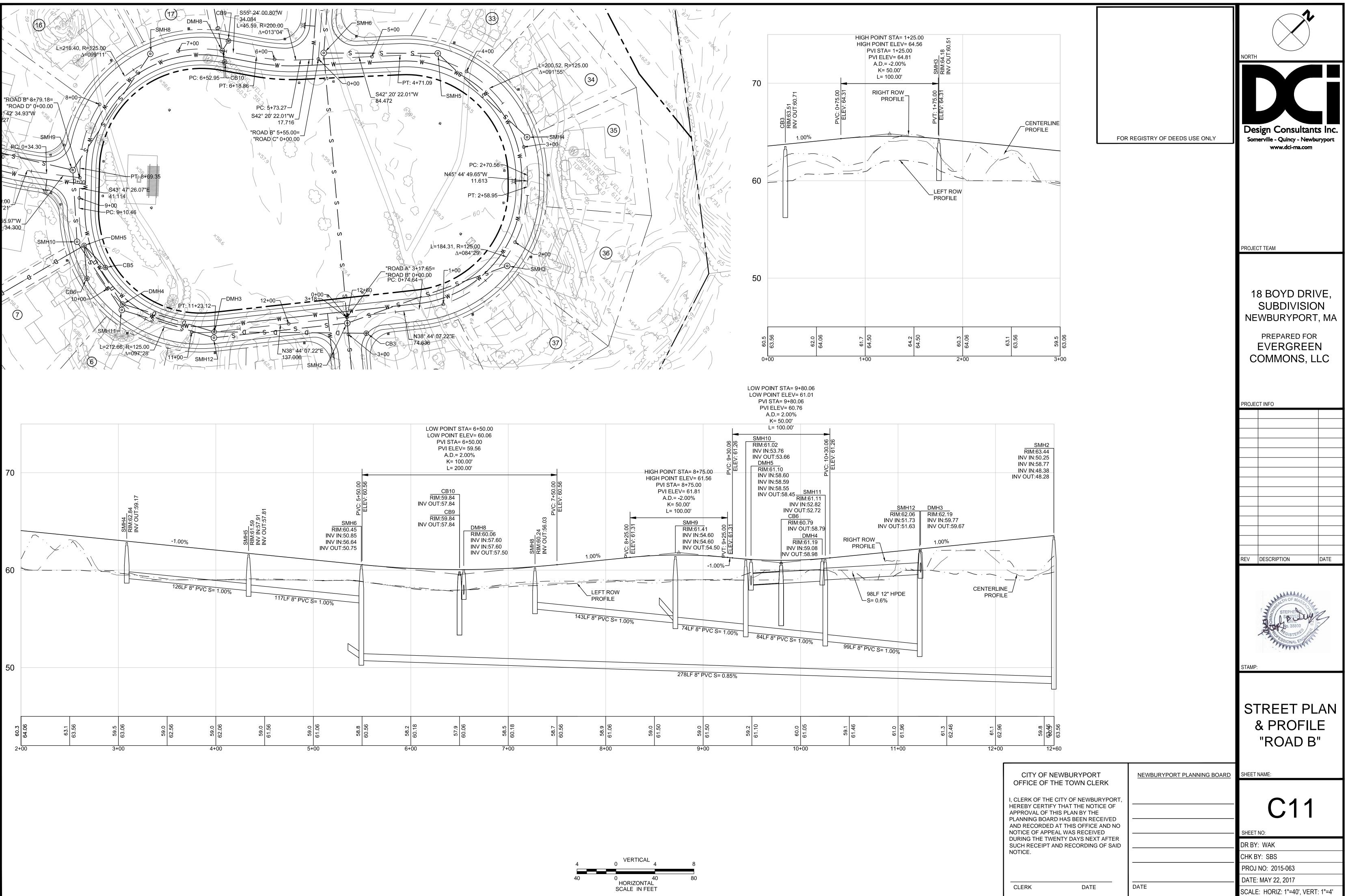


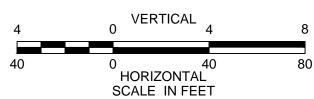


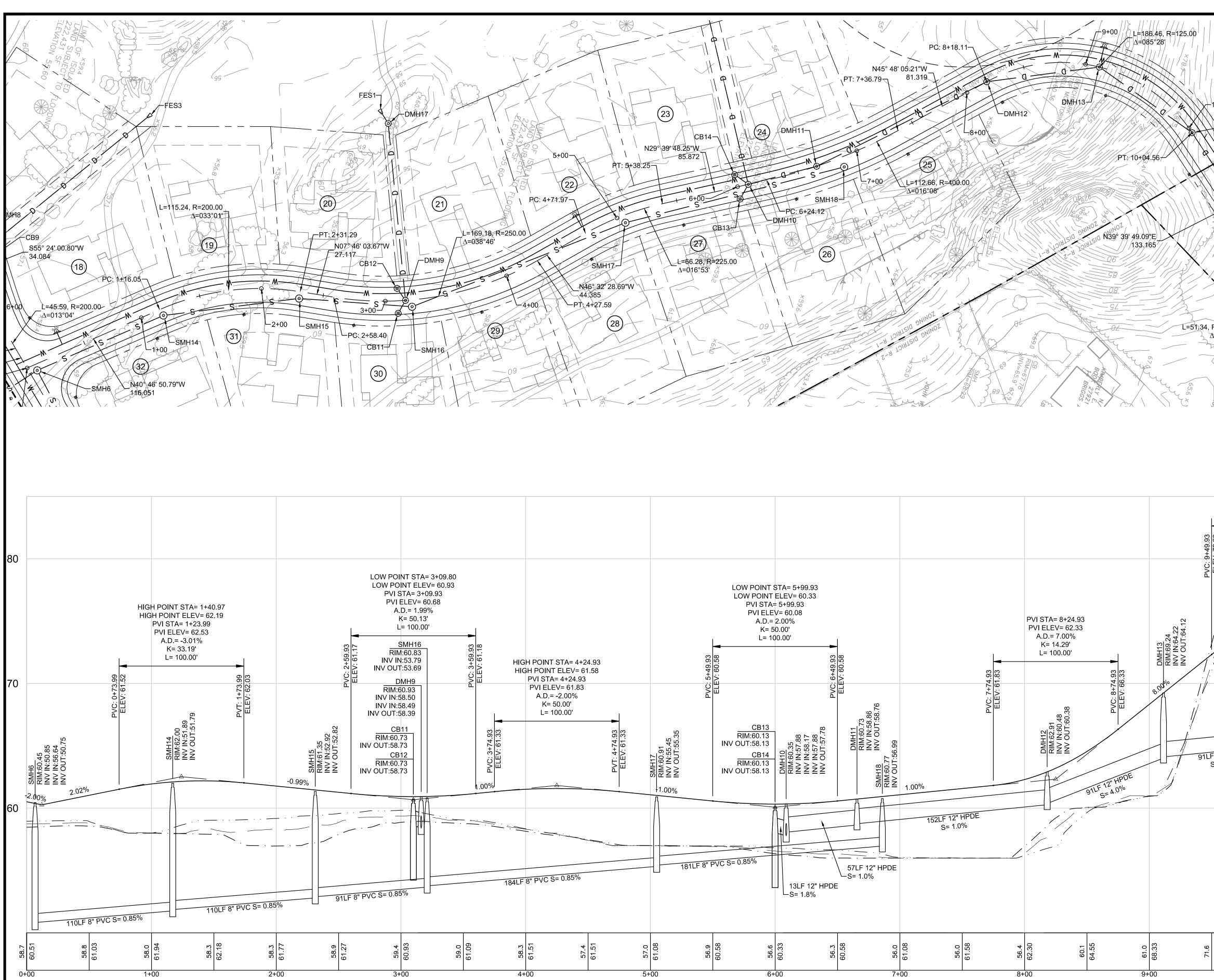


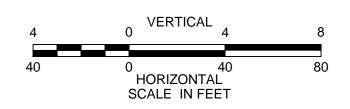
	FOR	REGISTRY OF DEEDS USE ONLY	NORTH
			PROJECT TEAM
			18 BOYD DRIVE, SUBDIVISION NEWBURYPORT, MA PREPARED FOR EVERGREEN COMMONS, LLC
			PROJECT INFO
			REV DESCRIPTION DATE
			STAMP:
			STREET PLAN & PROFILE "ROADS A & D"
	EWBURYPORT HE TOWN CLERK	NEWBURYPORT PLANNING BOARD	SHEET NAME:
HEREBY CERTIFY APPROVAL OF TH PLANNING BOARD AND RECORDED NOTICE OF APPE DURING THE TWE	CITY OF NEWBURYPORT, THAT THE NOTICE OF IIS PLAN BY THE D HAS BEEN RECEIVED AT THIS OFFICE AND NO AL WAS RECEIVED INTY DAYS NEXT AFTER ND RECORDING OF SAID		C10 SHEET NO: DR BY: WAK CHK BY: SBS
			PROJ NO: 2015-063 DATE: MAY 22, 2017
CLERK	DATE	DATE	SCALE: HORIZ: 1"=40', VERT: 1"=4'



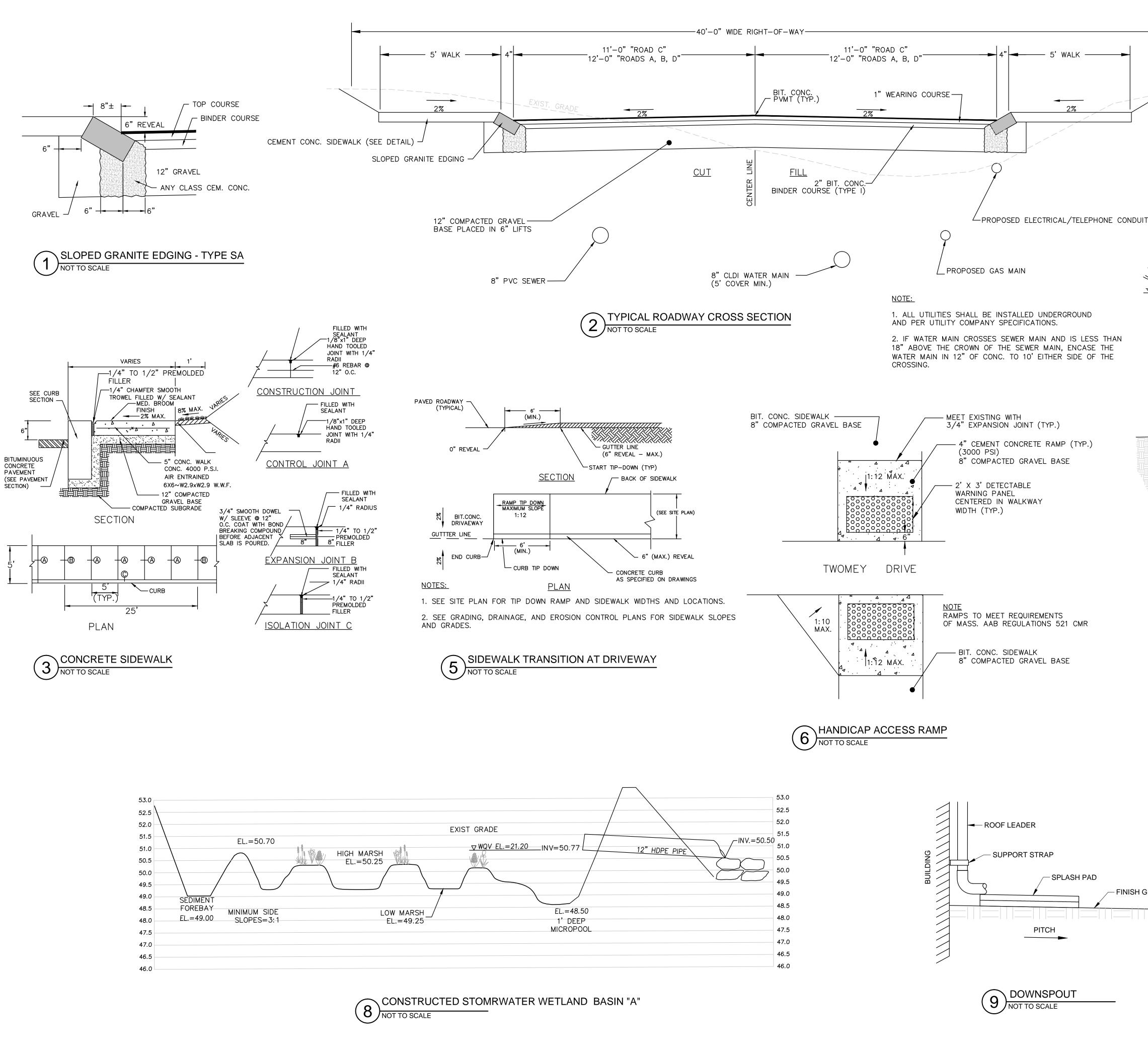


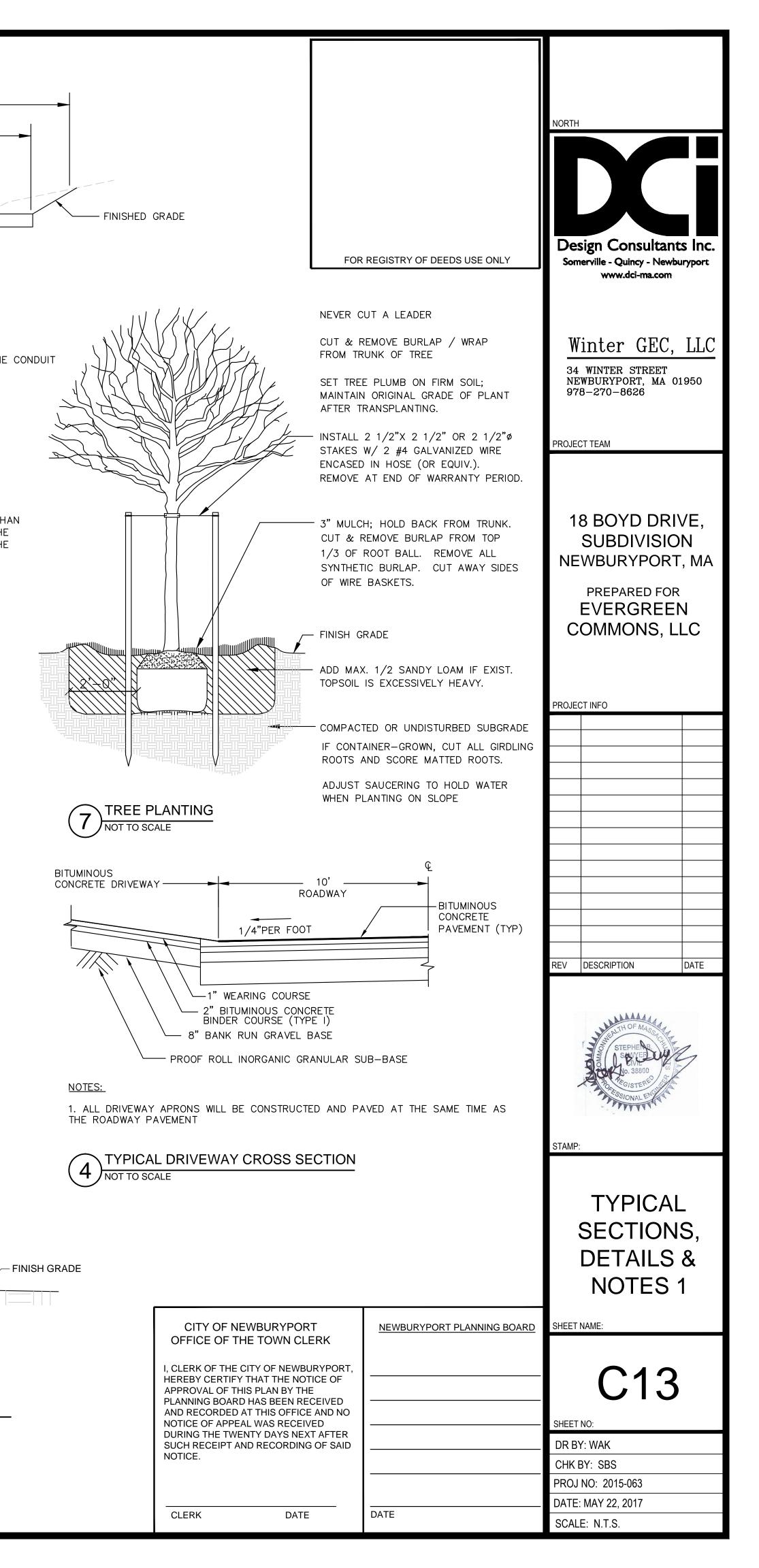


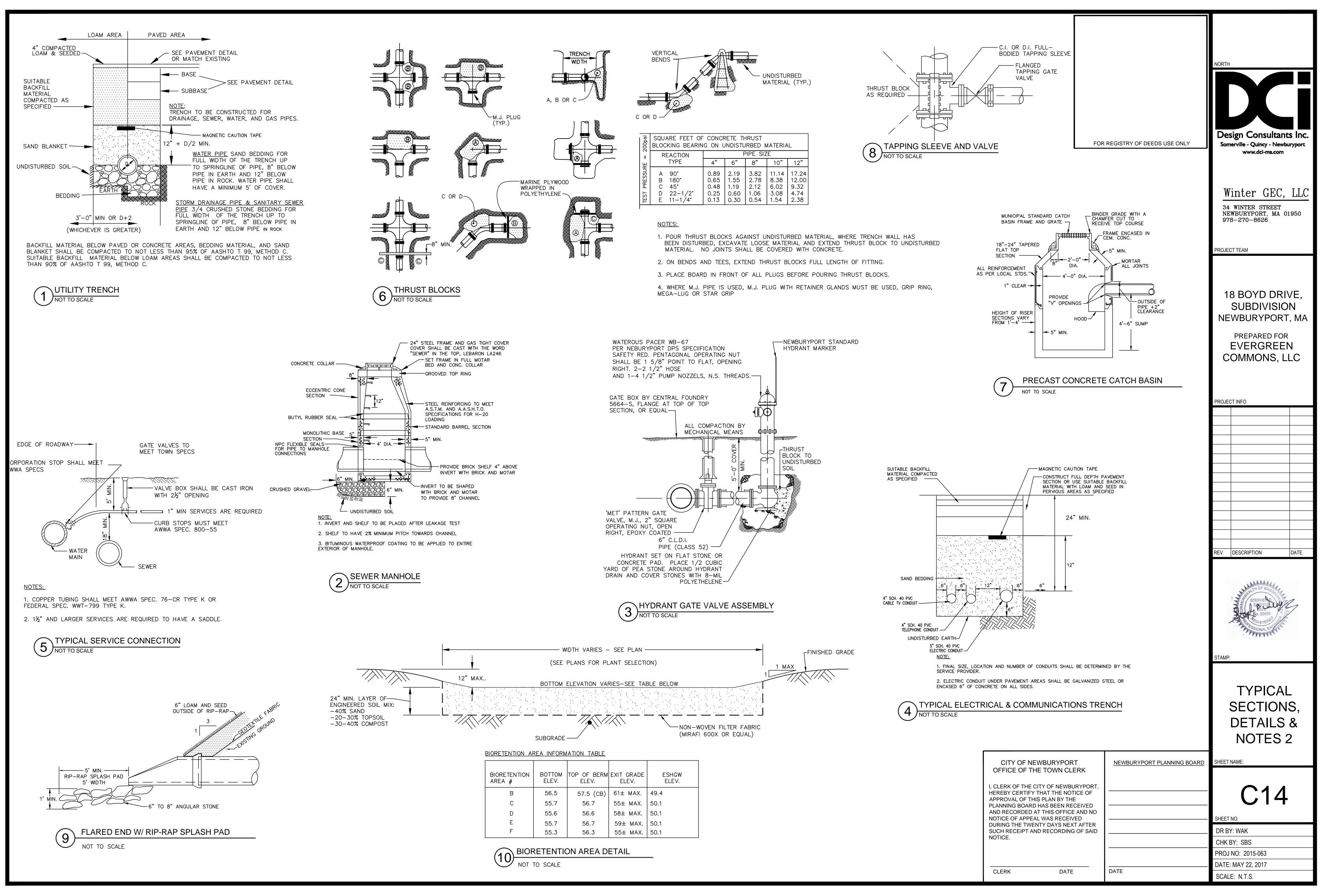




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		BOOK & FOR	REGISTRY OF DEEDS USE ONLY	Design Consultants Inc. Somerville - Quincy - Newburyport www.dci-ma.com
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DMH15 R=150.00 =019°37'		+89.06 +00 -CB16	BOOK 10659 BOOK 10659 BROWN AZZOTTI BROWN ATERNOA BROWN ATERNOA SMH RIME 69,18 INVE61.6: SMH RIME 69,18 INVE61.6:	PROJECT TEAM
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ROS N/E 26475PROGU ROS N/E 26475PROGU ROMU AVENU		L N20°/03' 16.21"E 55.750		18 BOYD DRIVE, SUBDIVISION NEWBURYPORT, MA
HIGH POINT STA HIGH POINT ELI PVI STA= 9+	EV= 75.24 ·99.93			PREPARED FOR EVERGREEN COMMONS, LLC
PVI ELEV= - A.D.= -10.9 K= 9.11 L= 100.0	98%			
	10+49.93 ◀ EV: 74.84		.23 66.66 JT:66.56	PROJECT INFO
		/ PROFILE	N: 2:0     CB15       W > >     RIM:69.71       INV OUT:67.71	
	RIM:75.06 INV IN:65.23 INV OUT:65.13	CENTERLINE PROFILE	CB16 RIM:69.71 INV OUT:67.71	
			DMH16 RIM:70.21 INV IN:67.43	
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	OFFICE OF THE	TOWN CLERK		
	HEREBY CERTIFY TH APPROVAL OF THIS PLANNING BOARD H AND RECORDED AT NOTICE OF APPEAL	PLAN BY THE AS BEEN RECEIVED THIS OFFICE AND NO WAS RECEIVED		- C12 SHEET NO:
		Y DAYS NEXT AFTER RECORDING OF SAID		DR BY: WAK CHK BY: SBS
				PROJ NO: 2015-063 DATE: MAY 22, 2017
	CLERK	DATE	DATE	SCALE: HORIZ: 1"=40', VERT: 1"=4'







PROJECT NAME AND LOCATION	
PORT PLACE, 18 BOYD DRIVE NEWBURYPORT, MASSACHUSETTS	
DESCRIPTION THE PROJECT CONSISTS OF SUBDIVIDING A 36.8 ACRE PARCEL AND THE CONSTRUCTION OF ASSOCIATED SITE	F. WHEN STANDARD STRENGTH FILTER SHALL BE FASTENED SECURELY TO DUTY WIRE STAPLES AT LEAST ONE
IMPROVEMENTS INCLUDING ROADWAY, DRAINAGE SYSTEMS AND UNDERGROUND UTILITIES.	WIRE SHALL EXTEND NO MORE THA G. THE "STANDARD STRENGTH" FILTER
SOIL CHARACTERISTICS THE EXISTING SITE IS PRESENTLY DEVLELPOED WITH A PORTION OF UNDEVELOPED WOODED ARAE.	FENCE, AND EIGHT (8) INCHES OF TRENCH. THE FABRIC SHALL NOT ORIGINAL GROUND SURFACE. FILTE
SOILS CONSIST PRIMARILY OF WELL DRAINING SOILS. DISTURBED AREA	TREES. H. WHEN EXTRA STRENGTH FILTER FA
THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 20± ACRES. SEQUENCE OF MAJOR ACTIVITIES	WIRE MESH SUPPORT FENCE MAY FABRIC IS STAPLED OR WIRED DIRI
1. INSTALL TEMPORARY EROSION CONTROL SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, CLEAR CONSTRUCTION STAGING AREA AND LANDSCAPE PLANTING IN OPEN SPACES OUTSIDE OF DISTURBED AREAS.	OF ITEM (G) APPLYING. I. THE TRENCH SHALL BE BACKFILLED FABRIC.
SEE SITE PLANS FOR LOCATIONS. 2. DEMOLISH EXISTING BUILDING, UTILITIES AND PAVEMENT AND FILL SITE TO ROUGH GRADE. 3. CLEAR AND GRUB SITE, NO TREES TO BE CLEARED NOT INDICATED ON PLANS, CONTRACTOR SHALL NOTIFY	J. SILT FENCES SHALL BE REMOVED PURPOSE, BUT NOT BEFORE THE
NEWBURYPORT PLANNING DEPARTMENT OF ANY VARIATION FROM PLAN OR ADDITIONAL TREE CUTTING OR CLEARING REQUIREMENTS DUE TO UNFORESEEN SITE CONDITIONS.	STABILIZED. 3. SEQUENCE OF INSTALLATION
<ol> <li>ROUGH GRADING OF SITE.</li> <li>CONSTRUCT ACCESS DRIVES, STORMWATER SYSTEM, UTILITIES AND ROUGH GRADE BUILDING LOTS.</li> <li>WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL HAY BALES,</li> </ol>	SEDIMENT BARRIERS SHALL BE INSTALLED CONTRIBUTING DRAINAGE AREA ABOVE TH
SILT FENCES AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES. EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES	4. MAINTENANCE A. STRAW/HAY BALE BARRIER AND S
STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:	IMMEDIATELY AFTER EACH RAINFAI RAINFALL. THEY SHALL BE REPAI SEDIMENTATION BELOW THEM. AN
A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED B. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED	IMMEDIATELY. IF THERE ARE SIGN EDGES, OR IMPOUNDING OF LARGE BARRIERS SHALL BE REPLACED WI
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION	B. SHOULD THE FABRIC ON A SILT FE INEFFECTIVE PRIOR TO THE END O
ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED	STILL IS NECESSARY, THE FABRIC
AREAS SHALL BE STABILIZED WITHIN 60 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:	C. SEDIMENT DEPOSITS SHOULD BE RI MUST BE REMOVED WHEN DEPOSIT HEIGHT OF THE BARRIER.
A. TEMPORARY SEEDING. B. MULCHING. C. STONE RIP RAP.	D. ANY SEDIMENT DEPOSITS REMAININ BARRIER IS NO LONGER REQUIRED
D. JUTE MATTING. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR C.	EXISTING GRADE, PREPARED AND MULCHING
STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED. STONE	1. TIMING IN ORDER FOR MULCH TO BE EFFECTIVE, I
RIP RAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSIVE VELOCITIES ARE ENCOUNTERED.	EVENTS. THERE ARE TWO (2) TYPES OF S A. APPLY MULCH PRIOR TO ANY STOP
OFF SITE VEHICLE TRACKING STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL EGRESSES TO THE SITE AND MAINTAINED	THIS IS APPLICABLE WHEN WORKIN NECESSARY TO CLOSELY MONITOR THE NATIONAL WEATHER SERVICE
FOR THE DURATION OF CONSTRUCTION. TIMING OF CONTROLS/MEASURES	SIGNIFICANT STORMS.
AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE AND SILT FENCES SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE	B. REQUIRED MULCHING WITHIN A SPE THE TIME PERIOD CAN RANGE FRO THE LENGTH OF TIME VARYING WIT
INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY	SHALL BE USED TO EVALUATE THE ERODIBILITY, SEASON OF YEAR, EX
SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.	RESOURCES, ETC.) AND THE POTED CHOOSE AN APPROPRIATE TIME RE
INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES OF EROSION	2. GUIDELINES FOR WINTER MULCH APPLICATIO
AND SEDIMENT CONTROLS A. GENERAL	WHEN MULCH IS APPLIED TO PROVIDE PRO SEASON) IT SHALL BE AT A RATE OF 6,00 TACKIFIER MAY BE ADDED TO THE MULCH.
INSPECTION	3. MAINTENANCE
1. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.	ALL MULCHES MUST BE INSPECTED PERIOD CHECK FOR RILL EROSION. IF LESS THAN
<ol> <li>A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.</li> <li>THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE</li> </ol> D.	ADDITIONAL MULCH SHALL BE IMMEDIATELY VEGETATIVE PRACTICE
AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.	FOR PERMANENT MEASURES AND PLANTINGS FROM
MAINTENANCE 1. STABILIZATION OF ALL SWALES, DITCHES AND PONDS IS REQUIRED PRIOR TO DIRECTING	AFTER ROUGH GRADING OF THE SUBGRADE HAS BEE GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH A LAYER OF LOAM PROVIDING A ROLLED FOUR INCH
FLOW TO THEM. 2. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY,	OCCUR DURING ROLLING SHALL BE FILLED WITH ADD UNTIL THE SURFACE IS TRUE TO THE FINISHED LINE COMPLETE THE WORK UNDER THIS SECTION SHALL E
IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT. 3. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE OR HAY BALE BARRIERS WHEN IT	ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DE
IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT. 3. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE OR HAY BALE BARRIERS WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE OR BALE. 4. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.	FOREIGN MATERIAL AS WELL AS STONES OVER ONE FROM THE LOAM AND DISPOSED OF OFF SITE, AND AND EVEN.
5. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.	THE LOAM SHALL BE PREPARED TO RECEIVE SEED E
B. FILTERS	AND GRADING TO ELIMINATE WATER POCKETS AND II FINISH GRADING SHALL RESULT IN STRAIGHT UNIFOR WITHOUT IRREGULARITIES TO LOW POINTS.
DISTURBED CONTRIBUTING AREA SHOULD NOT EXCEED 0.25 ACRES PER 100 LINEAR FEET OF FILTER BARRIER. 1. STRAW/HAY BALES	SHAPE THE AREAS TO THE LINES AND GRADES REQ
<ul> <li>A. SHEET FLOW APPLICATIONS</li> <li>1. BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR,</li> </ul>	IS DIRECTED TO THE SCHEDULING OF LOAMING AND SUFFICIENT TIME FOR THE STABILIZATION OF THESE RESPONSIBILITY TO MAINTAIN THE AREAS DURING TH
WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER. 2. ALL BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED. BALES SHALL BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER	LOAM AND RESEED ANY DAMAGED AREAS. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN TH
THAN ALONG THE TOPS AND BOTTOMS OF THE BALES TO PREVENT DETERIORATION OF THE BINDINGS.	STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAI LIMESTONE SHALL BE THOROUGHLY INCORPORATED I
3. THE BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR (4) INCHES. AFTER THE BALES	PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5 IF REQUIRED, FERTILIZER SHALL BE SPREAD ON THE
ARE STAKED AND CHINKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHALL CONFORM TO THE GROUND	FERTILIZER APPLICATION RATE SHALL BE 500 POUND SHOULD BE AVOIDED IN INFILTRATION AREAS.
LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO FOUR (4) INCHES AGAINST THE UPHILL SIDE OF THE BARRIER. IDEALLY, BALES SHOULD BE PLACED TEN (10) FEET AWAY FROM THE TOE OF SLOPE.	SOIL CONDITIONERS AND FERTILIZER SHALL BE APPL SHALL BE THOROUGHLY WORKED INTO THE LOAM. IS FINELY PULVERIZED, SMOOTH AND EVEN, AND TH
4. EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST SAKE IN EACH BALE SHALL	CONFORMING TO THE REQUIRED LINES AND GRADES BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER
BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES. 5. THE GAPS BETWEEN BALES SHALL BE CHINKED (FILLED BY WEDGING) WITH STRAW/HAY TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES.	SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT WORKMEN, IMMEDIATELY REFORE SEEDING, THE SOU
5. THE GAPS BETWEEN BALES SHALL BE CHINKED (FILLED BY WEDGING) WITH STRAW/HAY TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES.	WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL THE SEED SHALL BE SOWN IN ONE DIRECTION AND ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED I
2. SILT FENCE A. SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON,	INCH AND ROLLED WITH A HAND ROLLER WEIGHING N HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER
POLYESTER OR ETHYLENE YARN AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE FOLLOWING REQUIREMENTS:	PER ACRE. MULCH THAT BLOWS OR WASHES AWAY USING APPROPRIATE TECHNIQUES FROM THE EROSIO
PHYSICAL PROPERTYTESTREQUIREMENTSFILTERING EFFICIENCYVTM-5175% MINIMUM	THE SURFACE SHALL BE WATERED AND KEPT MOIST WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL SATIFFACTORY & CONFERD WITH CRASS SHALL BE DE
TENSILE STRENGTH ATVTM-52EXTRA STRENGTH20% MAXIMUM ELONGATION*50 LB/LIN IN (MIN)	SATISFACTORILY COVERED WITH GRASS SHALL BE RE THE SITE SUBCONTRACTOR SHALL PROTECT AND MA
STANDARD STRENGTH 30 LB/LIN IN (MIN) FLOW RATE VTM-51 0.3 GAL/SF/MIN (MIN)	INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UN UNLESS OTHERWISE APPROVED, SEEDING SHALL BE OF EARLY SPRING TO SEPTEMBER 30. WHEN SOIL C
	THE FARLY SPRING TO SEPTEMBER 30 WHEN SOIL C

0.3 GAL/SF/MIN (MIN) FLOW RATE VTM-51 REQUIREMENTS REDUCED BY 50 PERCENT AFTER SIX (6) MONTHS OF \* INSTALLATION. SYNTHETIC FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND

STABILIZERS TO PROVIDE A MINIMUM OF SIX (6) MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES F TO 120 DEGREES F. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED THIRTY-SIX (36) INCHES. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST, WITH A MINIMUM SIX (6) INCH OVERLAP, AND SECURELY SEALED.

POSTS SHALL BE SPACED A MAXIMUM OF TEN (10) FEET APART AT THE BARRIER D. LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES). A TRENCH SHALL BE EXCAVATED APPROXIMATELY SIX (6) INCHES WIDE AND SIX

(6) INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS.

GENERAL COVER

TALL FESCUE

RED TOP

CREEPING RED FESCUE

KENTUCKY BLUE GRASS

#### FABRIC IS USED, A WIRE MESH SUPPORT FENCE O THE UPSLOPE SIDE OF THE POSTS USING HEAVY NE (1) INCH LONG, TIE WIRES OR HOG RINGS. THE AN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACES. ER FABRIC SHALL BE STAPLED OR WIRED TO THE THE FABRIC SHALL BE EXTENDED INTO THE EXTEND MORE THAN 36 INCHES ABOVE THE TER FABRIC SHALL NOT BE STAPLED TO EXISTING

ABRIC AND CLOSER POST SPACING ARE USED, THE BE FLIMINATED. IN SUCH A CASE, THE FILTER RECTLY TO THE POSTS WITH ALL OTHER PROVISIONS

LED AND THE SOIL COMPACTED OVER THE FILTER WHEN THEY HAVE SERVED THEIR USEFUL UPSLOPE AREAS HAS BEEN PERMANENTLY

D PRIOR TO ANY SOIL DISTURBANCE OF THE HEM.

#### SILT FENCE BARRIERS SHALL BE INSPECTED ALL AND AT LEAST DAILY DURING PROLONGED AIRED IF THERE ARE ANY SIGNS OF EROSION OR

ANY REQUIRED REPAIRS SHALL BE MADE INS OF UNDERCUTTING AT THE CENTER OR THE SE VOLUMES OF WATER BEHIND THEM, SEDIMENT WITH A TEMPORARY CHECK DAM.

FENCE OR FILTER BARRIER DECOMPOSE OR BECOME OF THE EXPECTED USABLE LIFE AND THE BARRIER SHALL BE REPLACED PROMPTLY. REMOVED AFTER EACH STORM EVENT. THEY

TS REACH APPROXIMATELY ONE THIRD (1/3) THE ING IN PLACE AFTER THE SILT FENCE OR FILTER

ED SHALL BE DRESSED TO CONFORM WITH THE SEEDED.

IT MUST BE IN PLACE PRIOR TO MAJOR STORM STANDARDS WHICH SHALL BE USED TO ASSURE THIS. ORM EVENT.

KING WITHIN 100 FEET OF WETLANDS. IT WILL BE R WEATHER PREDICTIONS, USUALLY BY CONTACTING IN CONCORD, TO HAVE ADEQUATE WARNING OF

PECIFIED TIME PERIOD. ROM 14 TO 21 DAYS OF INACTIVITY ON A AREA,

TH SITE CONDITIONS. PROFESSIONAL JUDGMENT HE INTERACTION OF SITE CONDITIONS (SOIL XTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE ENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO

RESTRICTION. 10N.

ROTECTION OVER WINTER (PAST THE GROWING 000 POUNDS OF HAY OR STRAW PER ACRE. A

DICALLY, IN PARTICULAR AFTER RAINSTORMS, TO AN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, LY APPLIED.

EARLY SPRING TO SEPTEMBER 30:

EN COMPLETED AND APPROVED. THE SUB OF FOUR INCHES. THEN FURNISH AND INSTALL CH THICKNESS. ANY DEPRESSIONS WHICH MAY DDITIONAL LOAM, REGRADED AND REROLLED S AND GRADES BE SUPPLIED BY THE SITE SUBCONTRACTOR.

DEBRIS, GLASS, STUMPS, LITTER AND OTHER INCH IN DIAMETER SHALL BE REMOVED THE LOAM SHALL BE RAKED SMOOTH

BY REMOVING STONES, FOREIGN OBJECTS IRREGULARITIES PRIOR TO PLACING SEED. RM GRADES AND SMOOTH, EVEN SURFACES

QUIRED. THE SITE SUBCONTRACTOR'S ATTENTION SEEDING OF GRADED AREAS TO PERMIT AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S THE CONSTRUCTION PERIOD AND REGRADE,

THE PROPERTY LINES AND NOT COVERED BY AMED AND SEEDED. INTO THE LOAM LAYER AT A RATE OF 2 TONS 5.5 TO 6.5.

HE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. NDS PER ACRE OF 10-20-20 FERTILIZER. USE OF FERTILIZER

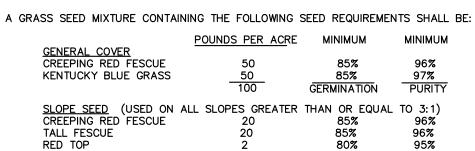
PPLIED AT THE RECOMMENDED RATES AND LOAM SHALL BE RAKED UNTIL THE SURFACE HEN COMPACTED TO AN EVEN SURFACE WITH APPROVED ROLLERS WEIGHING INCH OF WIDTH.

W. SOWING SHALL BE DONE ON T IF BY HAND, ONLY BY EXPERIENCED OIL SHALL BE LIGHTLY RAKED. ONE HALF THE OTHER HALE AT RIGHT ANGLES TO THE INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.

R SEEDING AT A RATE OF 1.5 TO 2 TONS AY SHALL BE REPLACED IMMEDIATELY AND ANCHORED ON AND SEDIMENT CONTROL HANDBOOK.

T WITH A FINE SPRAY AS REQUIRED, WITHOUT LL ESTABLISHED. ANY AREAS WHICH ARE NOT RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

AINTAIN THE SEEDED AREAS UNTIL ACCEPTED, UNDER MAINTENANCE AND PROTECTION. JNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK.



FOR TEMPORARY PLANTINGS AFTER SEPTEMBER TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF

- 0 FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS. 0
- RATE OF 300 POUNDS PER ACRE.
  - WINTER RYE (FALL SEEDING) OATS (SPRING SEEDING)

STABILIZED CONSTRUCTION ENTRANCE

- Α.

CRITERIA FOR GEOTEXTILE: THE FABRICS SHALL BE TREVIA SPUNBOND 1135, MIRAFI 600X OR EQUAL.

2. MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRA SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SE TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM	BE DONE
DITCHES, OR WATERWAYS.	

TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

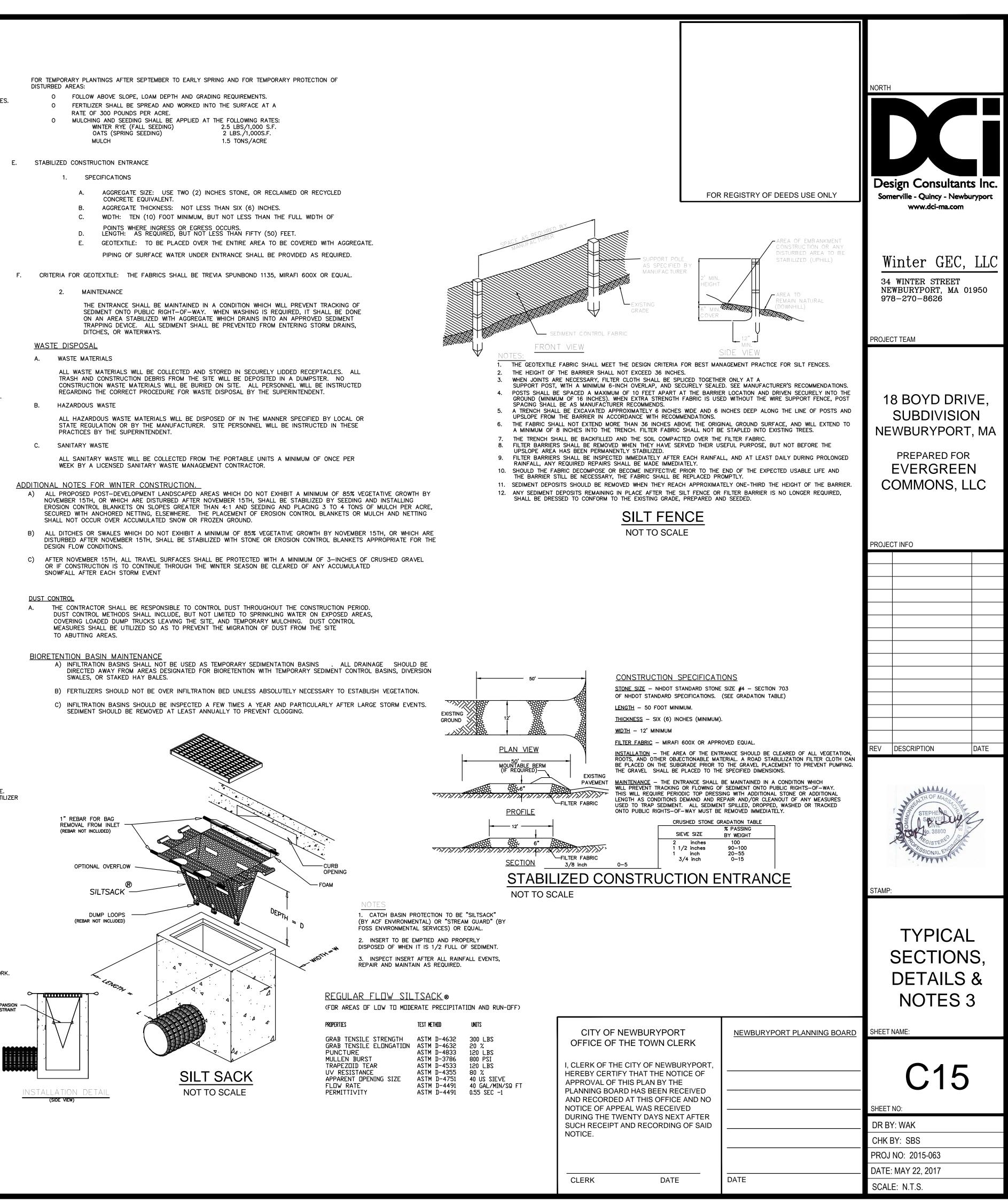
- PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE

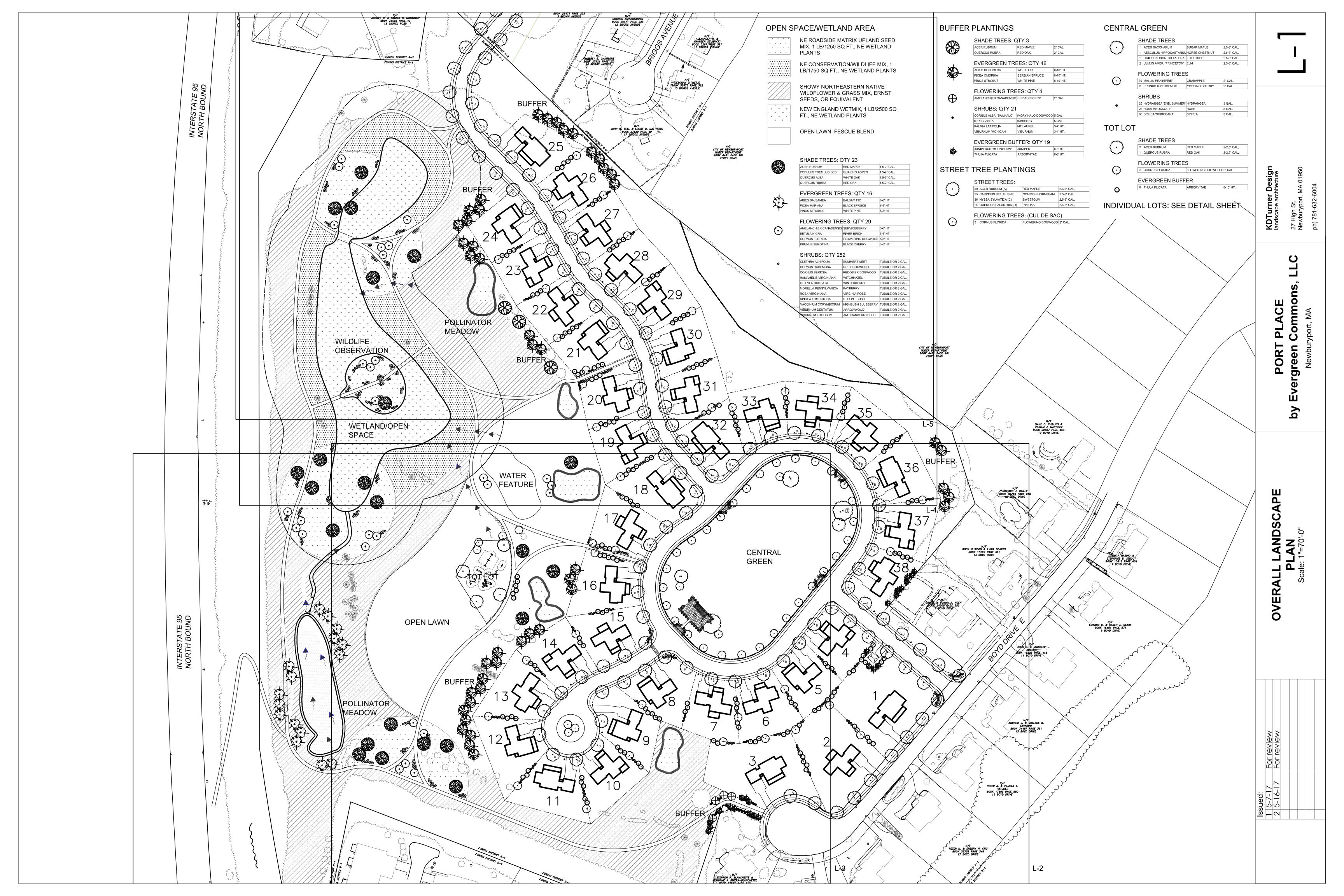
NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.

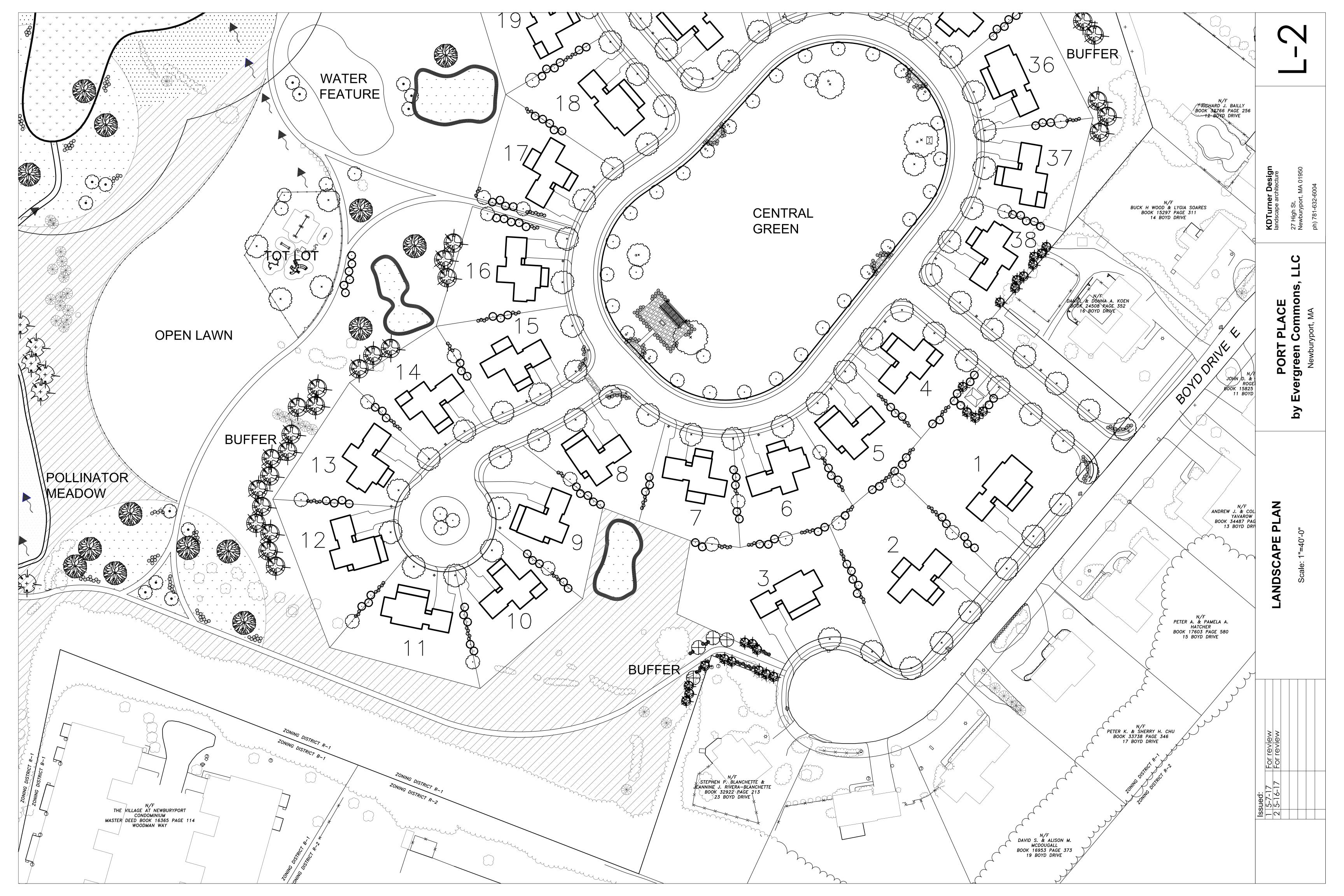
- DESIGN FLOW CONDITIONS.
- OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT

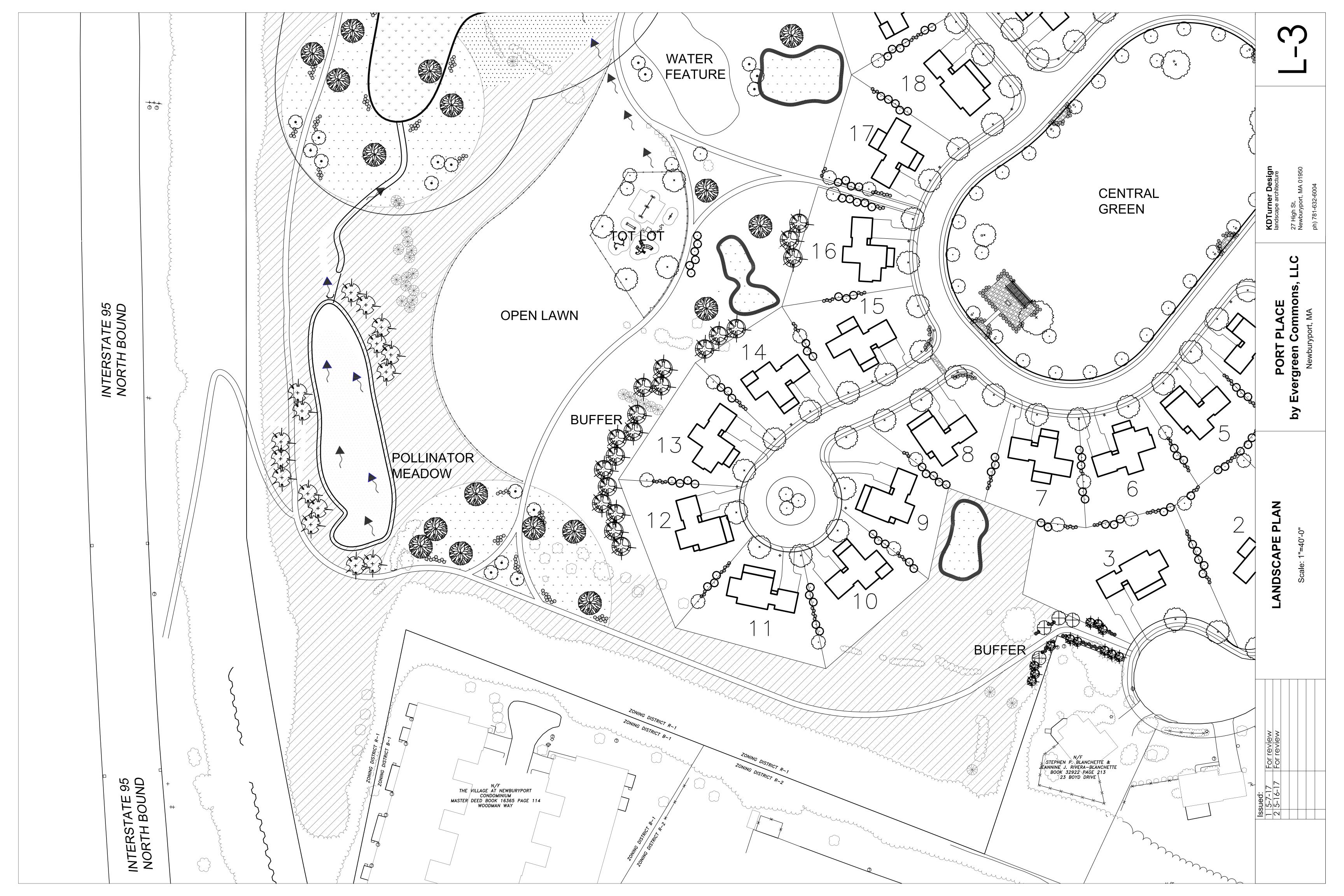
THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE

- A) INFILTRATION BASINS SHALL NOT BE USED AS TEMPORARY SEDIMENTATION BASINS . ALL DRAINAGE SHOULD BE SWALES. OR STAKED HAY BALES.
- B) FERTILIZERS SHOULD NOT BE OVER INFILTRATION BED UNLESS ABSOLUTELY NECESSARY TO ESTABLISH VEGETATION.
- SEDIMENT SHOULD BE REMOVED AT LEAST ANNUALLY TO PREVENT CLOGGING.



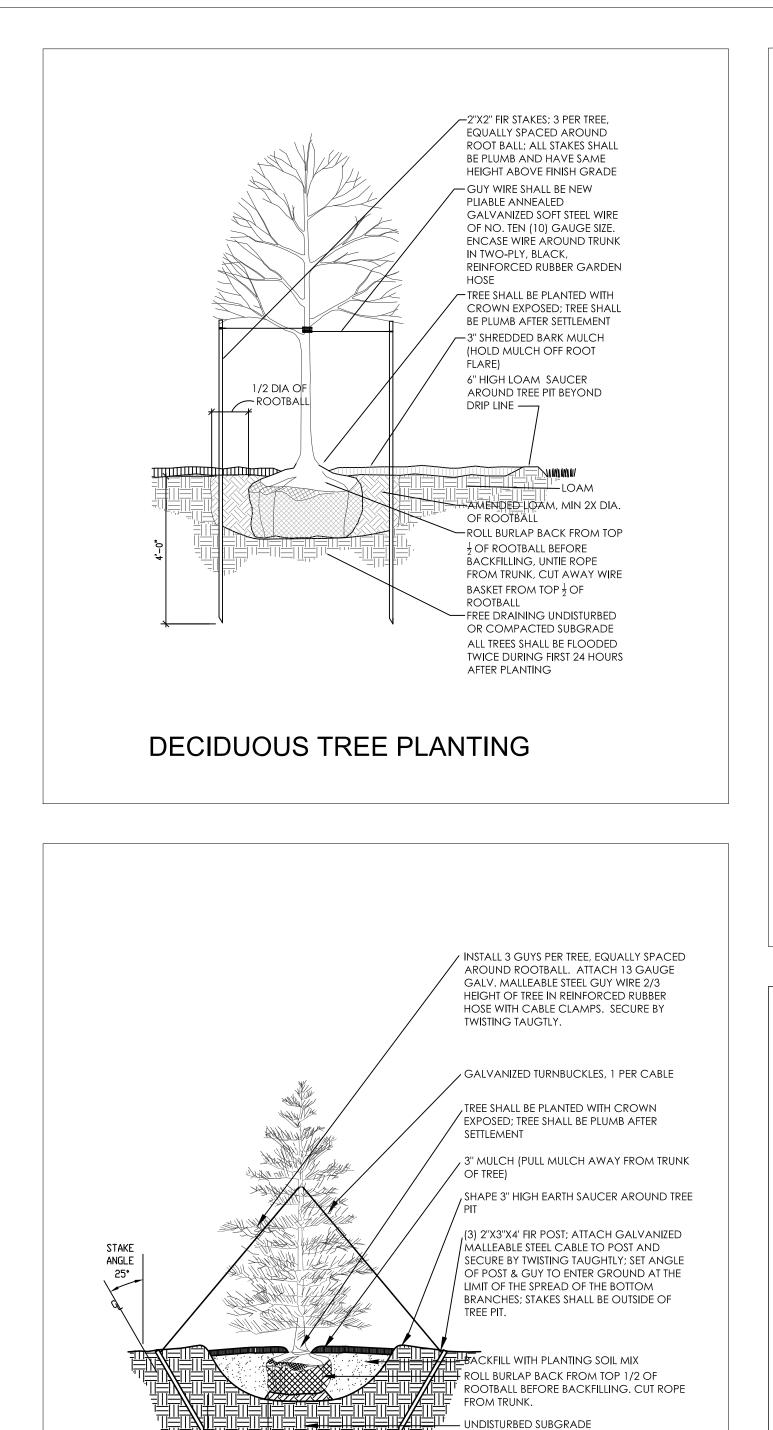






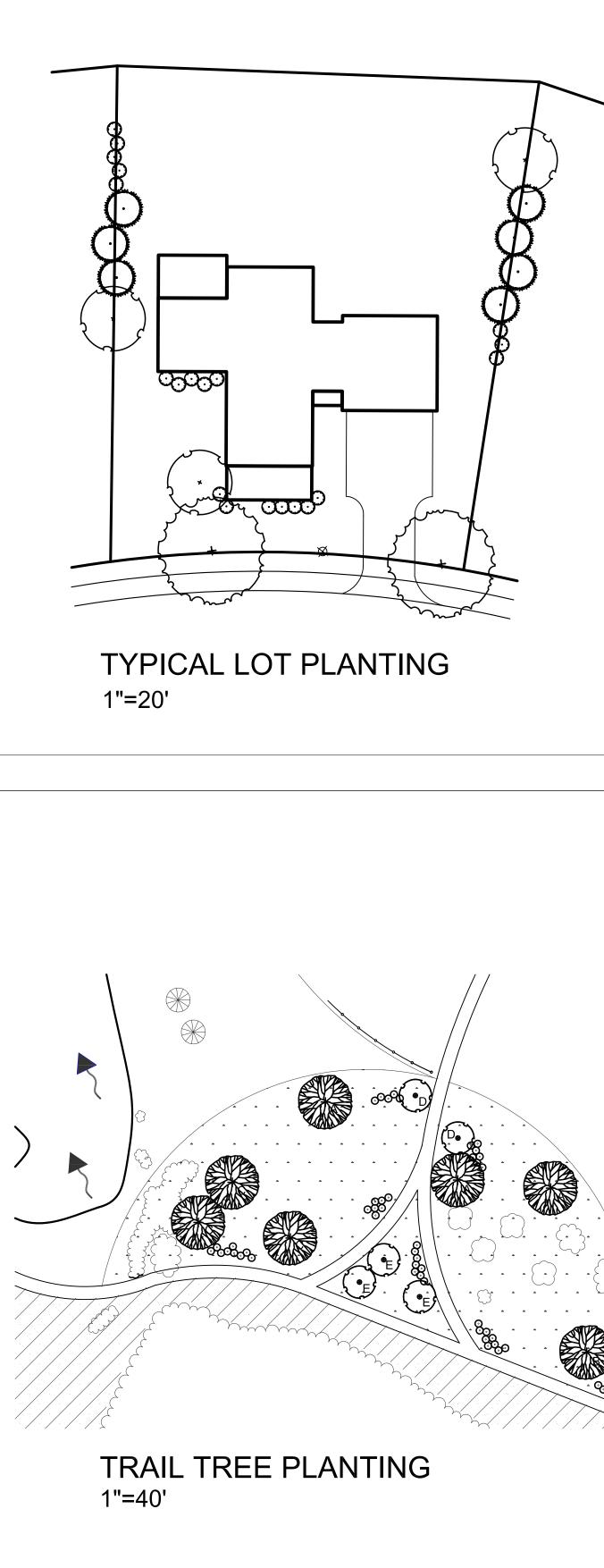






# EVERGREEN TREE PLANTING

1/2 DIA. OF ROOTBALL



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## SHADE TREES: QTY 7

ACER RUBRUM (A)	RED MAPLE	1.5-2" CAL.
QUERCUS ALBA (B)	WHITE OAK	1.5-2" CAL.
QUERCUS RUBRA (C)	RED OAK	1.5-2" CAL.

# ORNAMENTAL TREES: QTY 5

BETULA NIGRA (D)	RIVER BIRCH	5-6' HT.
CORNUS FLORIDA (E)	FLOWERING DOGWOOD	5-6' HT.



JUNIPERUS 'MOONGLOW' JUNIPER ARBORVITAE THUJA PLICATA

6-8' HT.

6-8' HT.

#### FLOWERING TREES: QTY 3

AMELANCHIER CANADENSIS	SERVICEBERRY	2" CAL.
CORNUS FLORIDA	FLOWERING DOGWOOD	2" CAL.
PRUNUS X YEDOENSIS	YOSHINO CHERRY	2" CAL.

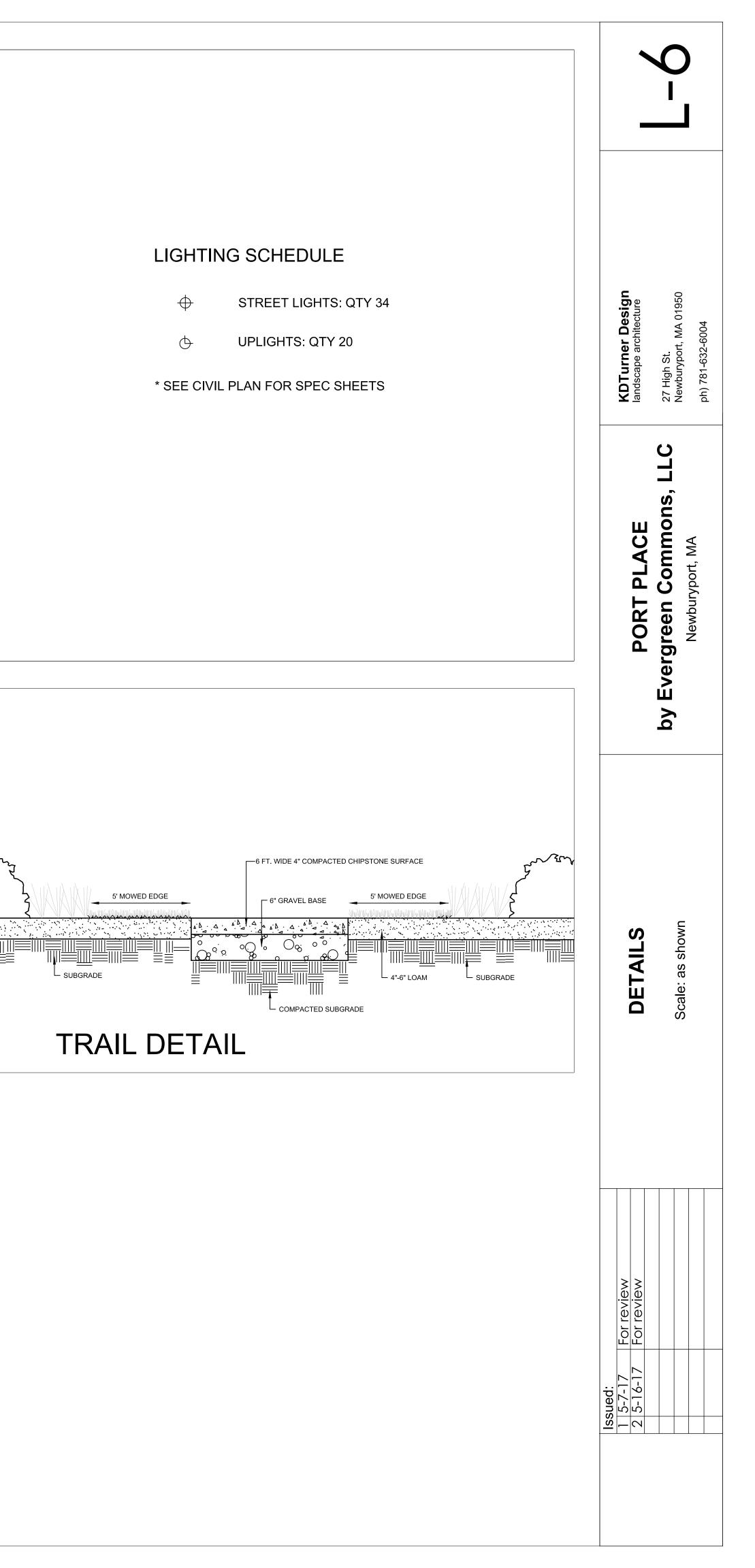
#### SHRUBS: QTY 20

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AZALEA 'DEL VALLEY WHITE'	AZALEA	3 GAL.
HYDRANGEA 'END. SUMMER'	HYDRANGEA	3 GAL.
ROSA 'KNOCKOUT'	ROSE	3 GAL.
SPIREA 'SHIROBANA'	SPIREA	3 GAL.
SYRINGA MEYERI 'PALABIN'	DWARF KOREAN LILAC	3 GAL.







MODEL TYPE C FRONT ELEVATION



MODEL TYPE E FRONT ELEVATION WITH SUNROOM



MODEL TYPE D FRONT ELEVATION

MODEL TYPE F FRONT ELEVATION

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