

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE LOCUS PROPERTY FOR DESIGN PURPOSES AND IS THE RESULT OF AERIAL MAPPING PERFORMED IN 2015 BASED ON 2010 FLIGHTS AS UPDATED BY AN ACTUAL ON THE GROUND SURVEY PERFORMED BETWEEN NOVEMBER 2015 AND JANUARY 2017.

WETLANDS WERE DELINEATED BY HUGHES ENVIRONMENTAL CONSULTANTS IN NOVEMBER 17 AND 18, 2015. ISOLATED LAND SUBJECT TO FLOODING AND WETLAND RESOURCE AREAS AS SHOWN WERE CONFIRMED BY ORDER OF RESOURCE DELINEATION MASS DEP FILE NO. 051-0950.

ELEVATIONS SHOWN HEREON ARE BASED ON NAVD8 DATUM AND HORIZONTAL DATUM IS MASSACHUSETTS STATE PLANE COORDINATES NAD83 ZONE MASS MAINLAND 2001 AS DETERMINED UTILIZING RTK GPS.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CLIENT AND THE CITY OF NEWBURYPORT ASSESSOR'S OFFICE IN NOVEMBER 2015.

ALL PLAN AND DEED REFERENCES REFER TO THE SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS.

UTILITIES SHOWN HEREON ARE BASED ON RECORD PLANS OBTAINED FROM THE RESPECTIVE UTILITY OWNERS. INVERTS ARE BASED ON ACTUAL FIELD MEASUREMENTS.

THE LOCUS PROPERTY IS LOCATED IN ZONE X, AREA OF MINIMAL FLOODING, AS GRAPHICALLY SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) 25009C0108F WITH AN EFFECTIVE DATE OF 07/03/2012. THE FLOOD ZONE DETERMINATION WAS MADE BY GRAPHIC PLOTTING ONLY AND NO FIELD SURVEYING WAS COMPLETED TO MAKE THIS DETERMINATION.

I CERTIFY THAT THE SURVEY PERFORMED TO PREPARE THIS PLAN CONFORMED TO THE PROCEDURAL AND TECHNICAL STANDARDS FOR AN ON-THE-GROUND CADASTRAL SURVEY IN ACCORDANCE WITH COMMONWEALTH OF MASSACHUSETTS 250 CMR SECTION 6.0.1 AND THAT THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.



P.L.S. EVERETT J. CHANDLER, P.L.S., MASS. REGISTRATION NO. 41783

DATE 5/22/17

LEGEND

- TREES / BUSHES
- DRAIN MANHOLE
- SEWER MANHOLE
- WATER GATE
- CATCHBASIN
- HYDRANT
- MONITORING WELL
- LIGHT
- UTILITY POLE
- SIGN
- WF-A104 WETLAND FLAG
- 58.6 x SPOT GRADE
- CONTOUR
- INDEX CONTOUR
- DRAIN LINE
- SEWER LINE
- ELECTRIC LINE
- GAS LINE
- WATER LINE
- FENCE
- ISOLATED LAND SUBJECT TO FLOODING
- WETLAND BUFFER
- WETLAND LINE
- TREELINE
- RETAINING WALL

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DCI PROJ. NO. 2015-063

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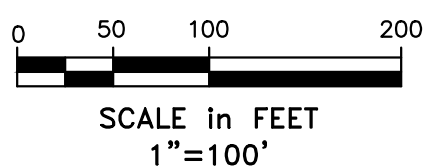
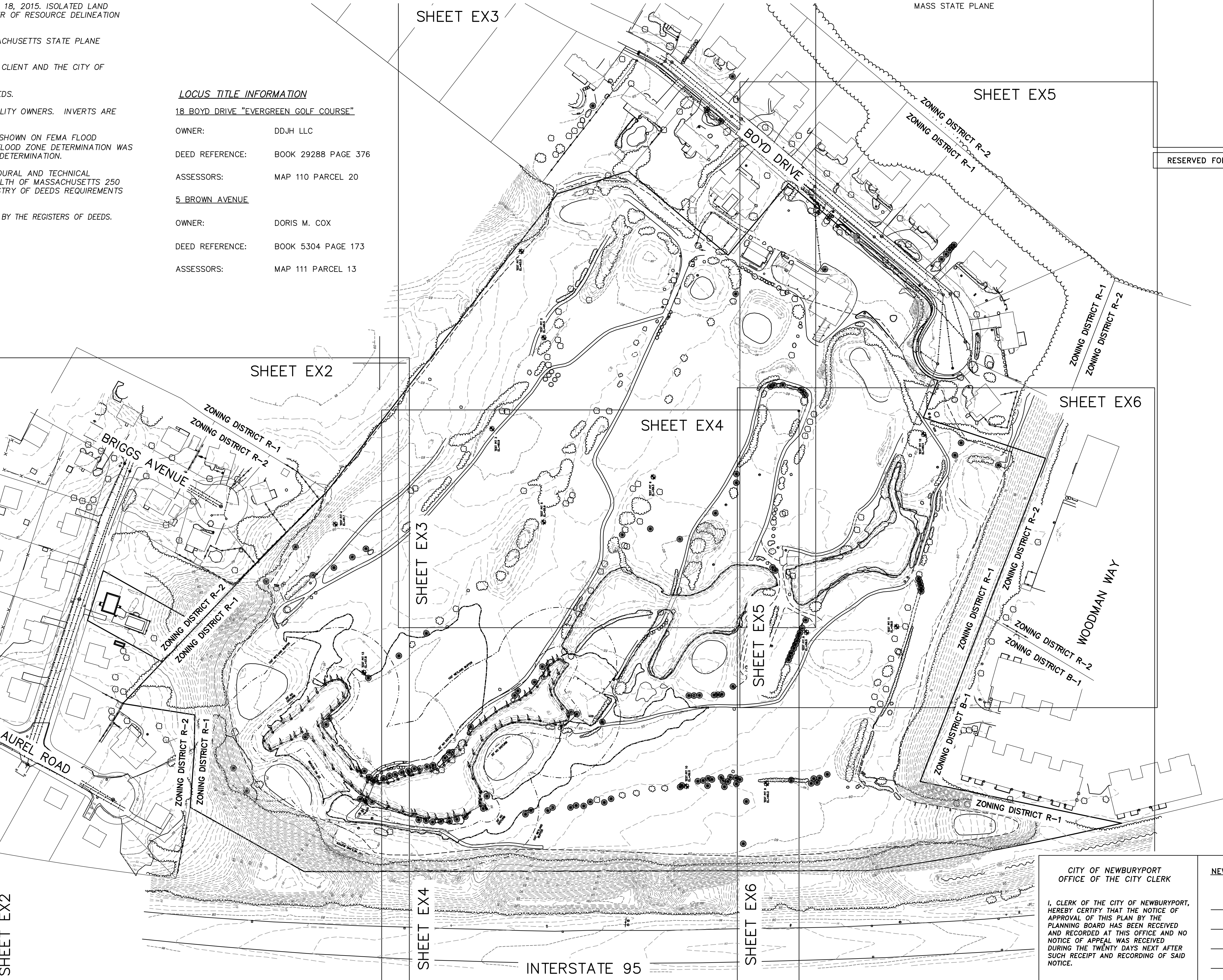
Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350

68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

Winter GEC, LLC

34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626



SCALE:
HORIZ: 1"= 100'
VERT: _____

NO. DATE BY REVISIONS

FIELD: EC
CALCS: EC
CHECKED: EJC
APPROVED: EJC

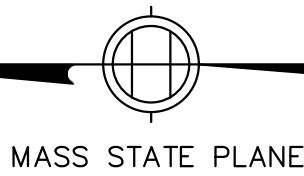
EXISTING CONDITIONS PLAN

PORT PLACE
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
1 OF 6

EX1



RESERVED FOR REGISTERS USE ONLY

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK

I, CLERK OF THE CITY OF NEWBURYPORT,
HEREBY CERTIFY THAT THE NOTICE OF
APPROVAL OF THIS PLAN BY THE
PLANNING BOARD HAS BEEN RECEIVED
AND RECORDED AT THIS OFFICE AND NO
NOTICE OF APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT AFTER
SUCH RECEIPT AND RECORDING OF SAID
NOTICE.

CLERK

DATE

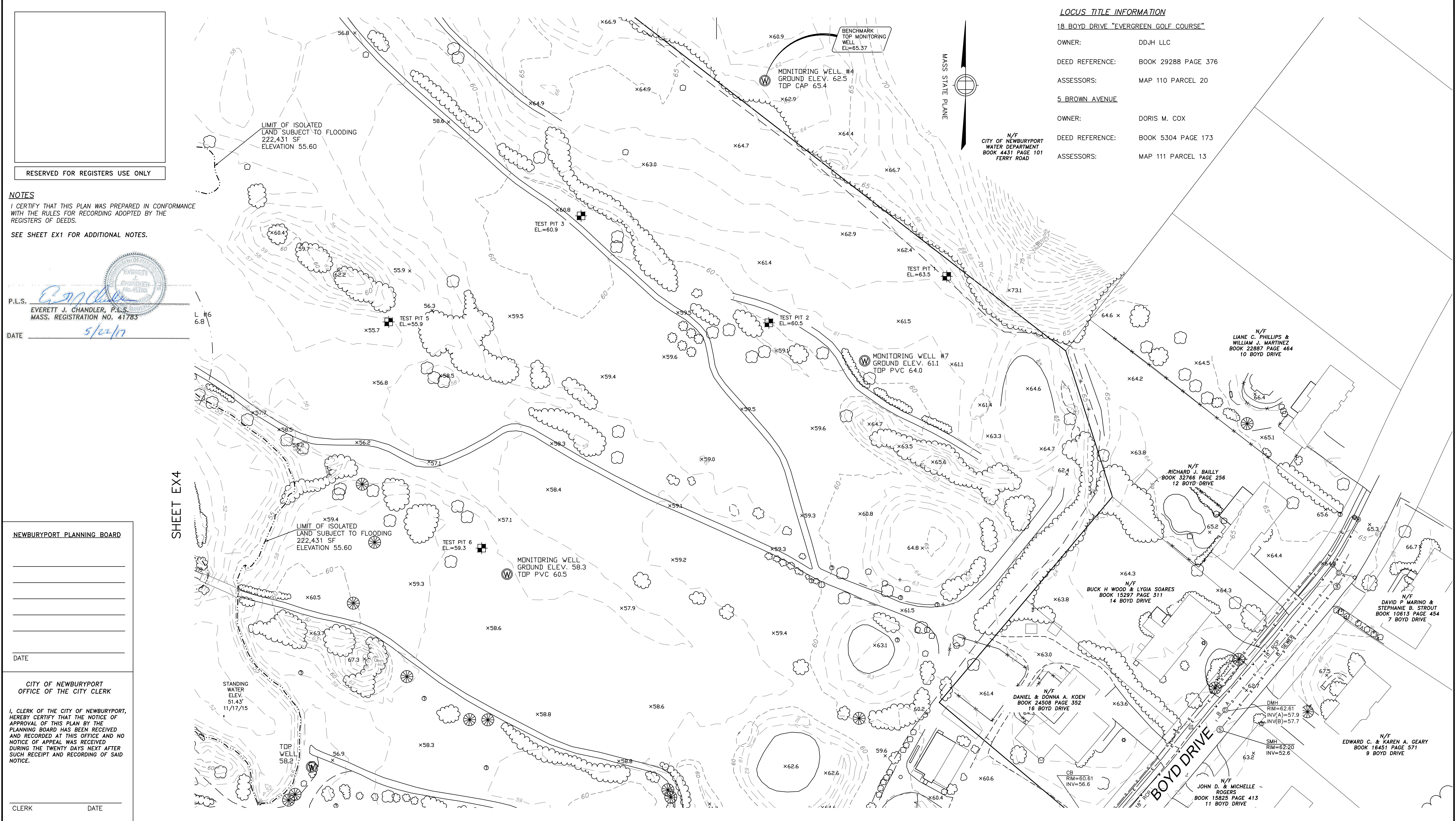
NEWBURYPORT PLANNING BOARD

DATE

ASSESSORS: MAP 111 PARCEL 13

DATE _____

EX2



LOCUS TITLE INFORMATION
18 BOYD DRIVE "EVERGREEN GOLF COURSE"
OWNER: DDJH LLC
DEED REFERENCE: BOOK 29288 PAGE 376
ASSESSORS: MAP 110 PARCEL 20
5 BROWN AVENUE
OWNER: DORIS M. COX
DEED REFERENCE: BOOK 5304 PAGE 173
ASSESSORS: MAP 111 PARCEL 13

NOTES
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.
SEE SHEET EX1 FOR ADDITIONAL NOTES.

P.L.S.
EVERETT J. CHANDLER, P.L.S.
MASS. REGISTRATION NO. 41783
DATE 5/22/17

NEWBURYPORT PLANNING BOARD

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.
CLERK DATE

Design Consultants, Inc.
Consulting Engineers and Surveyors
120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350
68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

Winter GEC, LLC
34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626

SHEET EX6
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SCALE:
HORIZ: 1"= 40'
VERT: _____

NO. DATE BY REVISIONS

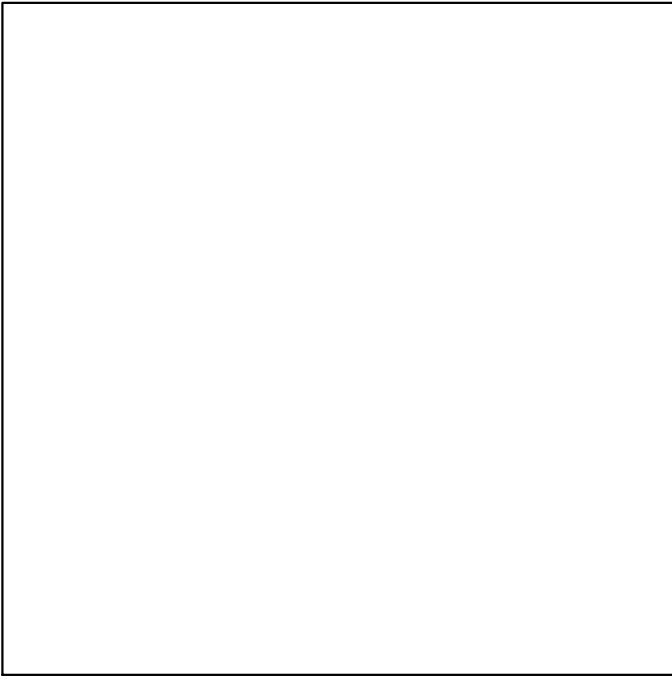
FIELD: EC
CALCS: EC
CHECKED: EJC
APPROVED: EJC

EXISTING CONDITIONS PLAN
18 BOYD DRIVE & 5 BROWN AVENUE
EVERGREEN GOLF COURSE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

PROJECT NO. 18BOYD
DATE: MAY 22, 2017
SHEET NO. 3 OF 6


EX3



RESERVED FOR REGISTERS USE ONLY

NOTES
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.

SEE SHEET EX1 FOR ADDITIONAL NOTES.

P.L.S. 
EVERETT J. CHANDLER, P.L.S.
MASS. REGISTRATION NO. 41783
DATE 5/22/17

LOCUS TITLE INFORMATION
18 BOYD DRIVE "EVERGREEN GOLF COURSE"
OWNER: DJH LLC
DEED REFERENCE: BOOK 29288 PAGE 376
ASSESSORS: MAP 110 PARCEL 20
5 BROWN AVENUE
OWNER: DORIS M. COX
DEED REFERENCE: BOOK 5304 PAGE 173
ASSESSORS: MAP 111 PARCEL 13

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK

I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CLERK

DATE

NEWBURYPORT PLANNING BOARD

DATE

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Consulting Engineers and Surveyors

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SCALE:
HORIZ: 1"= 40'
VERT: _____

NO.	DATE	BY	REVISIONS		

0 20 40 80
SCALE in FEET
1"=40'

"DEFINITIVE PLAN"

FIELD: EC
CALCS: EC
CHECKED: EJC
APPROVED: EJC

EXISTING CONDITIONS PLAN

18 BOYD DRIVE & 5 BROWN AVENUE
EVERGREEN GOLF COURSE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

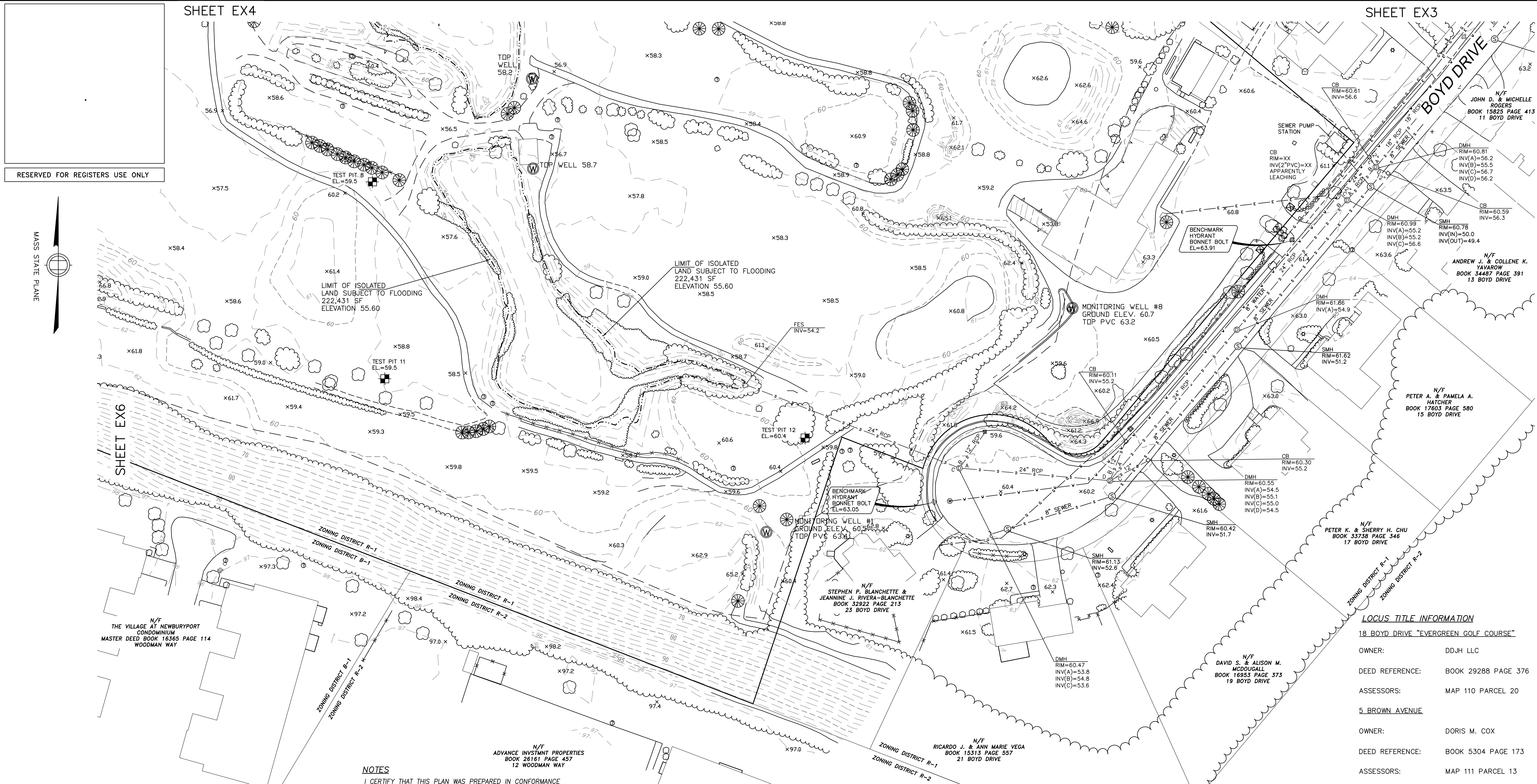
DCI PROJ. NO. 2015-063
PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
4 OF 6

EX4

INTERSTATE 95
NORTH BOUND

SHEET EX6

SHEET EX5



NOTES
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.
SEE SHEET EX1 FOR ADDITIONAL NOTES.

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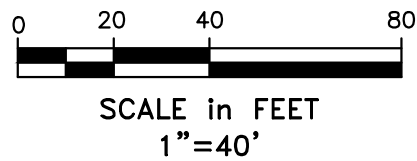
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Consulting Engineers and Surveyors

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617-776-3350

68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

P.L.S. *Everett J. Chandler*
EVERETT J. CHANDLER, P.L.S.
MASS. REGISTRATION NO. 41783

DATE: 5/22/17



"DEFINITIVE PLAN"

Winter GEC, LLC

34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626

SCALE:
HORIZ: 1"= 40'
VERT: _____

NO.	DATE	BY	REVISIONS

FIELD: EC
CALCS: EC
CHECKED: EJC
APPROVED: EJC

EXISTING CONDITIONS PLAN

18 BOYD DRIVE & 5 BROWN AVENUE
EVERGREEN GOLF COURSE

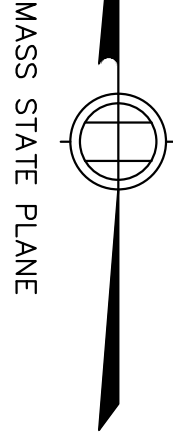
PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
5 OF 6

EX5

CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK		NEWBURYPORT PLANNING BOARD
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.		
CLERK	DATE	DATE

LOCUS TITLE INFORMATION	
18 BOYD DRIVE "EVERGREEN GOLF COURSE"	
OWNER:	DDJH LLC
DEED REFERENCE:	BOOK 29288 PAGE 376
ASSESSORS:	MAP 110 PARCEL 20
5 BROWN AVENUE	
OWNER:	DORIS M. COX
DEED REFERENCE:	BOOK 5304 PAGE 173
ASSESSORS:	MAP 111 PARCEL 13



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NOTES
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.
SEE SHEET EX1 FOR ADDITIONAL NOTES.

P.L.S.
EVERETT J. CHANDLER, P.L.S. SURVEYOR
MASS. REGISTRATION NO. 41783
DATE 5/22/17

LOCUS TITLE INFORMATION
18 BOYD DRIVE "EVERGREEN GOLF COURSE"
OWNER: DDJH LLC
DEED REFERENCE: BOOK 29288 PAGE 376
ASSESSORS: MAP 110 PARCEL 20
5 BROWN AVENUE
OWNER: DORIS M. COX
DEED REFERENCE: BOOK 5304 PAGE 173
ASSESSORS: MAP 111 PARCEL 13

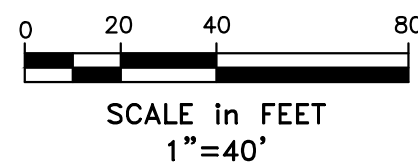
INTERSTATE 95
NORTH BOUND

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978-270-8626

SCALE:					
HORIZ: 1"= 40'					
VERT: _____					
NO.	DATE	BY	REVISIONS		



"DEFINITIVE PLAN"

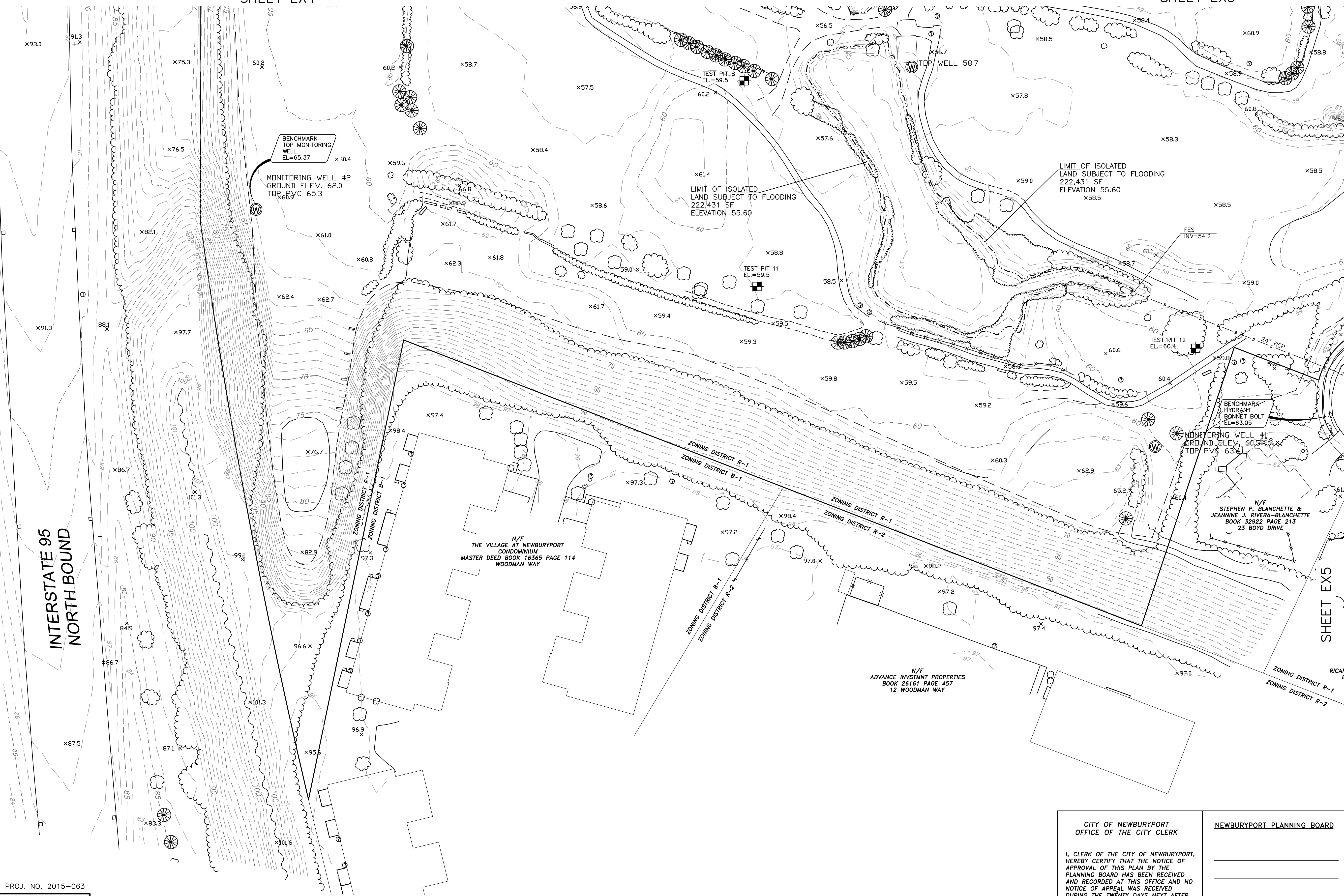
FIELD: EC
CALCS: EC
CHECKED: EJC
APPROVED: EJC

EXISTING CONDITIONS PLAN
18 BOYD DRIVE & 5 BROWN AVENUE
EVERGREEN GOLF COURSE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
6 OF 6

EX6



CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK		NEWBURYPORT PLANNING BOARD	
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.			
CLERK	DATE	DATE	DATE

RESERVED FOR REGISTERS USE ONLY

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE PRELIMINARY LOT LAYOUT FOR A DEFINITIVE SUBDIVISION OFF BOYD DRIVE AND LAUREL ROAD IN NEWBURYPORT, MASSACHUSETTS. IT IS THE RESULT OF AERIAL MAPPING PERFORMED IN 2015 BASED ON 2010 FLIGHTS AS UPDATED BY AN ACTUAL ON THE GROUND SURVEY PERFORMED BETWEEN NOVEMBER 2015 AND SEPTEMBER 2016 AND ROADWAY AND LOT LAYOUT BY DESIGN CONSULTANTS, INC IN SEPTEMBER 2016.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CLIENT AND THE CITY OF NEWBURYPORT ASSESSOR'S OFFICE IN NOVEMBER 2015.

ALL PLAN AND DEED REFERENCES REFER TO THE SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS.

UTILITIES SHOWN HEREON ARE BASED ON RECORD PLANS OBTAINED FROM THE RESPECTIVE UTILITY OWNERS. INVERTS ARE BASED ON ACTUAL FIELD MEASUREMENTS.

THE LOCUS PROPERTY IS LOCATED IN ZONE X, AREA OF MINIMAL FLOODING, AS GRAPHICALLY SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) 25009C0108F WITH AN EFFECTIVE DATE OF 07/03/2012. THE FLOOD ZONE DETERMINATION WAS MADE BY GRAPHIC PLOTTING ONLY AND NO FIELD SURVEYING WAS COMPLETED TO MAKE THIS DETERMINATION.

I CERTIFY THAT THE SURVEY PERFORMED TO PREPARE THIS PLAN CONFORMED TO THE PROCEDURAL AND TECHNICAL STANDARDS FOR AN ON-THE-GROUND CADASTRAL SURVEY IN ACCORDANCE WITH COMMONWEALTH OF MASSACHUSETTS 250 CMR SECTION 6.0.1 AND THAT THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.

P.L.S. EVERETT J. CHANDLER, P.L.S., MASS. REGISTRATION NO. 41783
DATE 5/22/17

LOCUS TITLE INFORMATION

18 BOYD DRIVE "EVERGREEN GOLF COURSE"

OWNER: DDJH LLC
DEED REFERENCE: BOOK 29288 PAGE 376
ASSESSORS: MAP 110 PARCEL 20

15 LAUREL ROAD

OWNER: HOWARD JOHNSTONE & KATHLEEN B. HALL
DEED REFERENCE: BOOK 34678 PAGE 452
ASSESSORS: MAP 111 PARCEL 117

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DCI PROJ. NO. 2015-063

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Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE
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NEWBURYPORT, MA 01950
978-358-7173

Winter GEC, LLC

34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626

SCALE:
HORIZ: 1"= 100'
VERT: _____

NO.	DATE	BY	REVISIONS

FIELD: EC
CALCS: EC
CHECKED: EJC
APPROVED: EJC

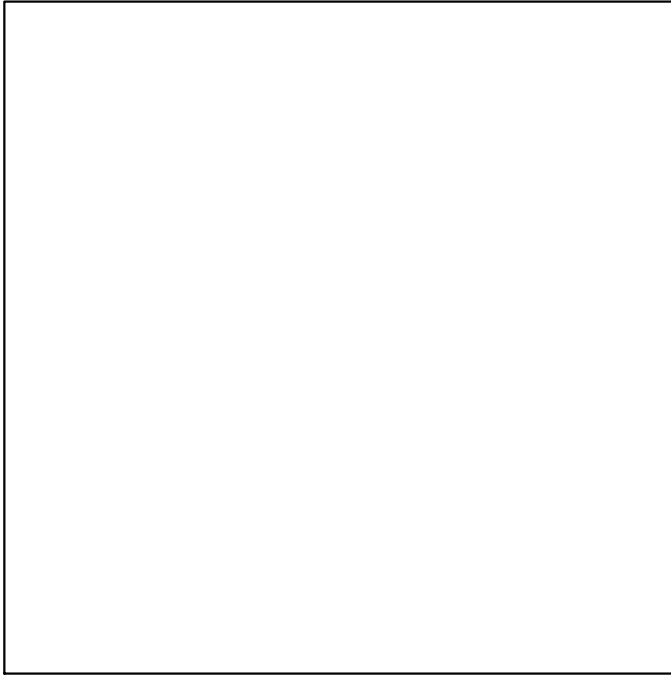
LOT LAYOUT KEY PLAN

PORT PLACE
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
1 OF 6

S1

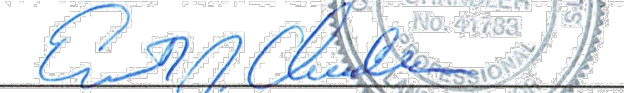


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NOTES

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SEE SHEET S1 FOR ADDITIONAL NOTES.

P.L.S. 
EVERETT J. CHANDLER, P.L.S.
MASS. REGISTRATION NO. 41783
DATE 5/22/17

NEWBURYPORT PLANNING BOARD

DATE

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK

I, CLERK OF THE CITY OF NEWBURYPORT,
HEREBY CERTIFY THAT THE NOTICE OF
APPROVAL OF THIS PLAN BY THE
PLANNING BOARD HAS BEEN RECEIVED
AND RECORDED AT THIS OFFICE AND NO
NOTICE OF APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT AFTER
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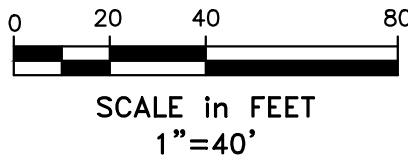
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NEWBURYPORT, MA 01950
978-358-7173

Winter GEC, LLC

34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626



"DEFINITIVE PLAN"

LOT LAYOUT PLAN

PORT PLACE
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

DCI PROJ. NO. 2015-063
PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
2 OF 6

S2

RESERVED FOR REGISTERS USE ONLY

NOTES
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.
SEE SHEET S1 FOR ADDITIONAL NOTES.

P.L.S. EVERETT J. CHANDLER, P.L.S.
MASS. REGISTRATION NO. 41783
DATE 5/22/17

NEWBURYPORT PLANNING BOARD

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK

I, CLERK OF THE CITY OF NEWBURYPORT,
HEREBY CERTIFY THAT THE NOTICE OF
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SUCH RECEIPT AND RECORDING OF SAID
NOTICE.

CLERK DATE

Design Consultants, Inc.
Consulting Engineers and Surveyors
120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350
68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

Winter GEC, LLC
34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626

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SCALE:				
HORIZ: 1"= 40'				
VERT: _____				
NO.	DATE	BY	REVISIONS	

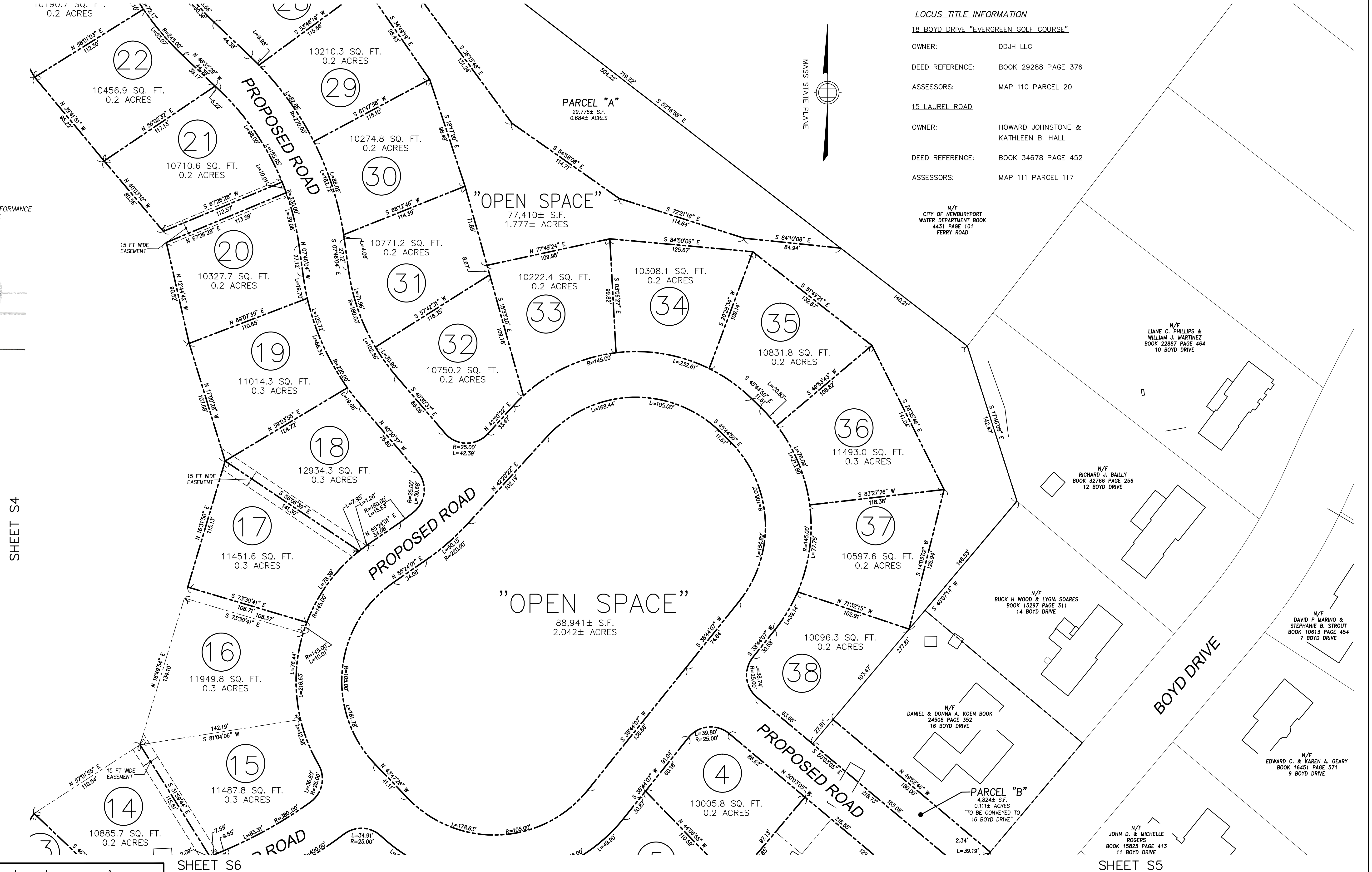
FIELD:	EC
CALCS:	EC
CHECKED:	EJC
APPROVED:	EJC

LOT LAYOUT PLAN
PORT PLACE
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
3 OF 6

S3



LOCUS TITLE INFORMATION
18 BOYD DRIVE "EVERGREEN GOLF COURSE"
OWNER: DDJH LLC
DEED REFERENCE: BOOK 29288 PAGE 376
ASSESSORS: MAP 110 PARCEL 20
15 LAUREL ROAD
OWNER: HOWARD JOHNSTONE & KATHLEEN B. HALL
DEED REFERENCE: BOOK 34678 PAGE 452
ASSESSORS: MAP 111 PARCEL 117

N/F
CITY OF NEWBURYPORT
WATER DEPARTMENT BOOK
4431 PAGE 101
FERRY ROAD

N/F
LIANE C. PHILLIPS &
WILLIAM J. MARTINEZ
BOOK 22887 PAGE 464
10 BOYD DRIVE

N/F
RICHARD J. BAILLY
BOOK 32786 PAGE 256
12 BOYD DRIVE

N/F
BUCK H. WOOD & LYDIA SOARES
BOOK 15297 PAGE 311
14 BOYD DRIVE

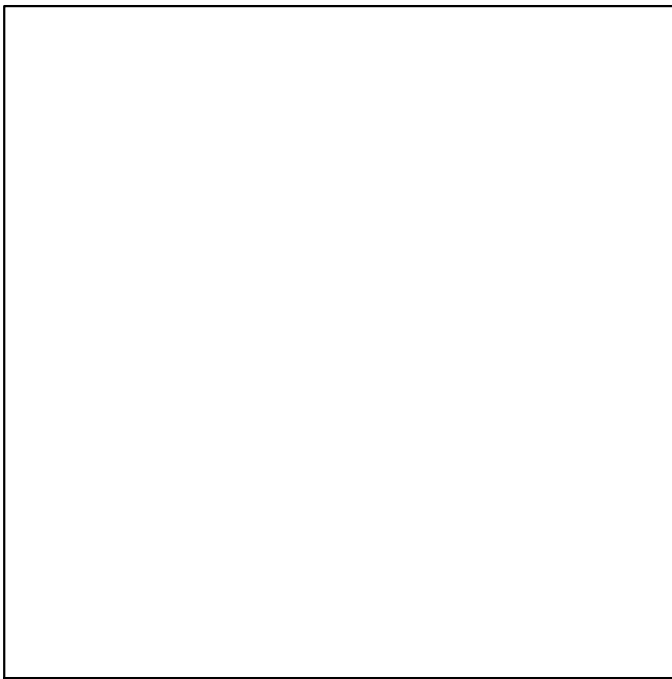
N/F
DAVID P. MARINO &
STEPHANIE B. STROUT
BOOK 10613 PAGE 454
7 BOYD DRIVE

N/F
EDWARD C. & KAREN A. GEARY
BOOK 16451 PAGE 571
9 BOYD DRIVE

N/F
DANIEL & DONNA A. KOEN BOOK
24508 PAGE 352
16 BOYD DRIVE

PARCEL "B"
4,824± S.F.
0.111± ACRES
"TO BE CONVEYED TO
16 BOYD DRIVE"

N/F
JOHN D. & MICHELLE
ROGERS
BOOK 15825 PAGE 413
11 BOYD DRIVE



SHEET S4

RESERVED FOR REGISTERS USE ONLY

NOTES
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.

SEE SHEET S1 FOR ADDITIONAL NOTES.

P.L.S.
EVERETT J. CHANDLER, P.L.S. SURVEYOR
MASS. REGISTRATION NO. 41783
DATE 5/22/17

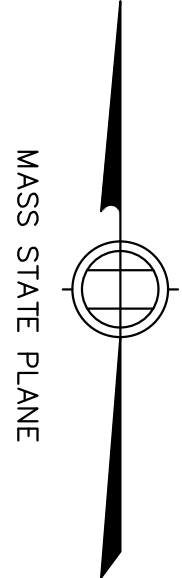
LOCUS TITLE INFORMATION
18 BOYD DRIVE "EVERGREEN GOLF COURSE"
OWNER: DDJH LLC
DEED REFERENCE: BOOK 29288 PAGE 376
ASSESSORS: MAP 110 PARCEL 20
5 BROWN AVENUE
OWNER: DORIS M. COX
DEED REFERENCE: BOOK 5304 PAGE 173
ASSESSORS: MAP 111 PARCEL 13

CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK	NEWBURYPORT PLANNING BOARD
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.	
CLERK	DATE
	DATE

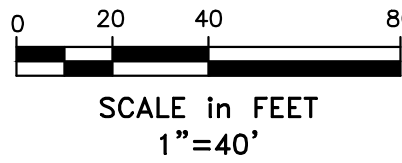
Design Consultants, Inc.
Consulting Engineers and Surveyors
120 MIDDLESEX AVENUE
SOMERVILLE, MA 02145
617-776-3350
68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

Winter GEC, LLC
34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626

INTERSTATE 95
NORTH BOUND



N 00°03'32" W
1082.42'



SHEET S2

"OPEN SPACE"
827,454± S.F.
18.997± ACRES

SHEET S6

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SCALE:				
HORIZ: 1"= 40'				
VERT: _____				
NO.	DATE	BY	REVISIONS	

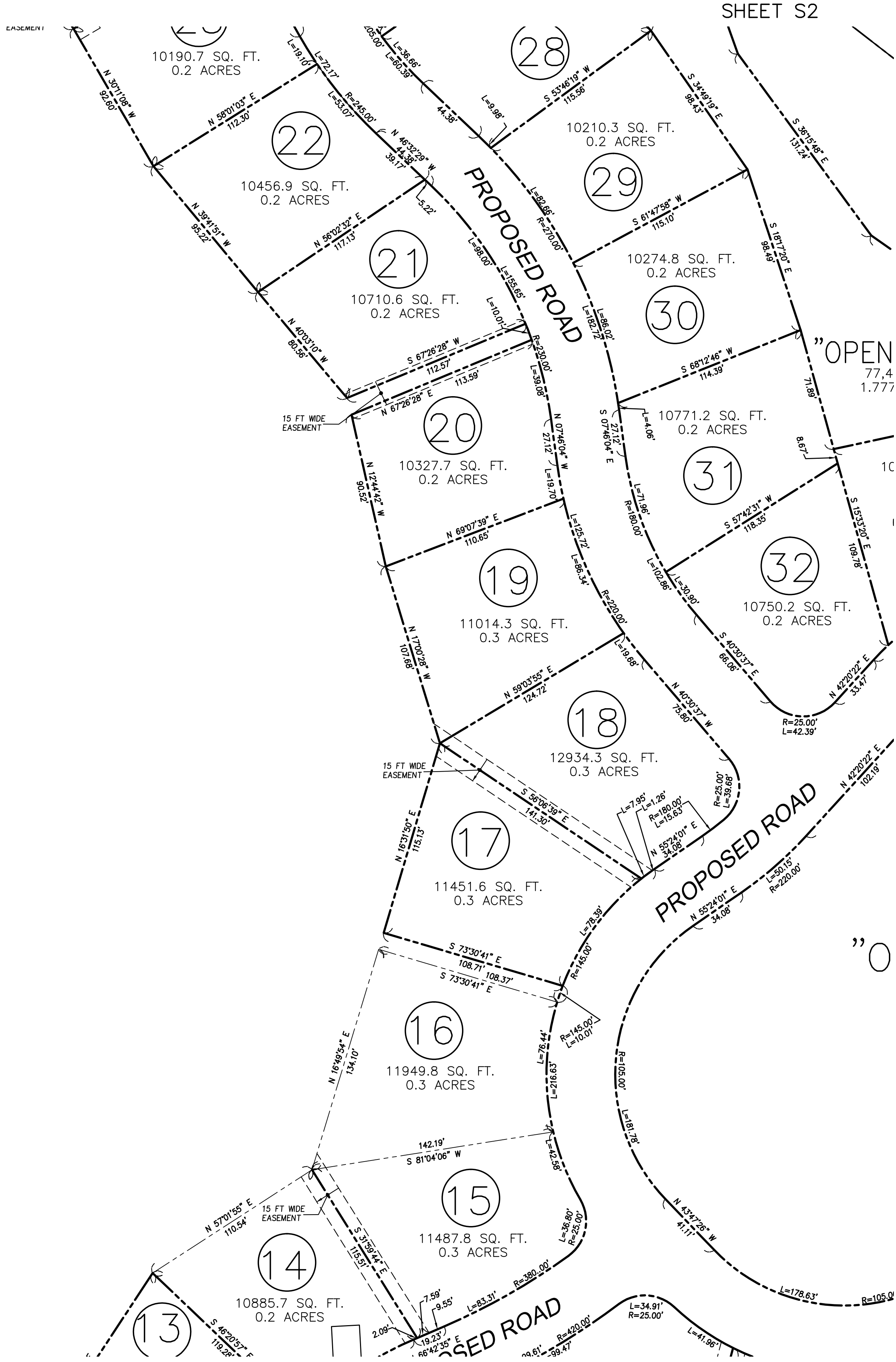
FIELD: EC
CALCS: EC
CHECKED: EJC
APPROVED: EJC

LOT LAYOUT PLAN
PORT PLACE
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
4 OF 6

S4

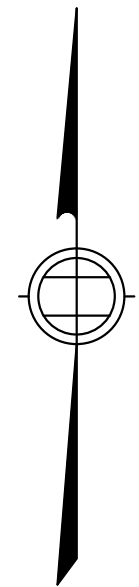


SHEET S2

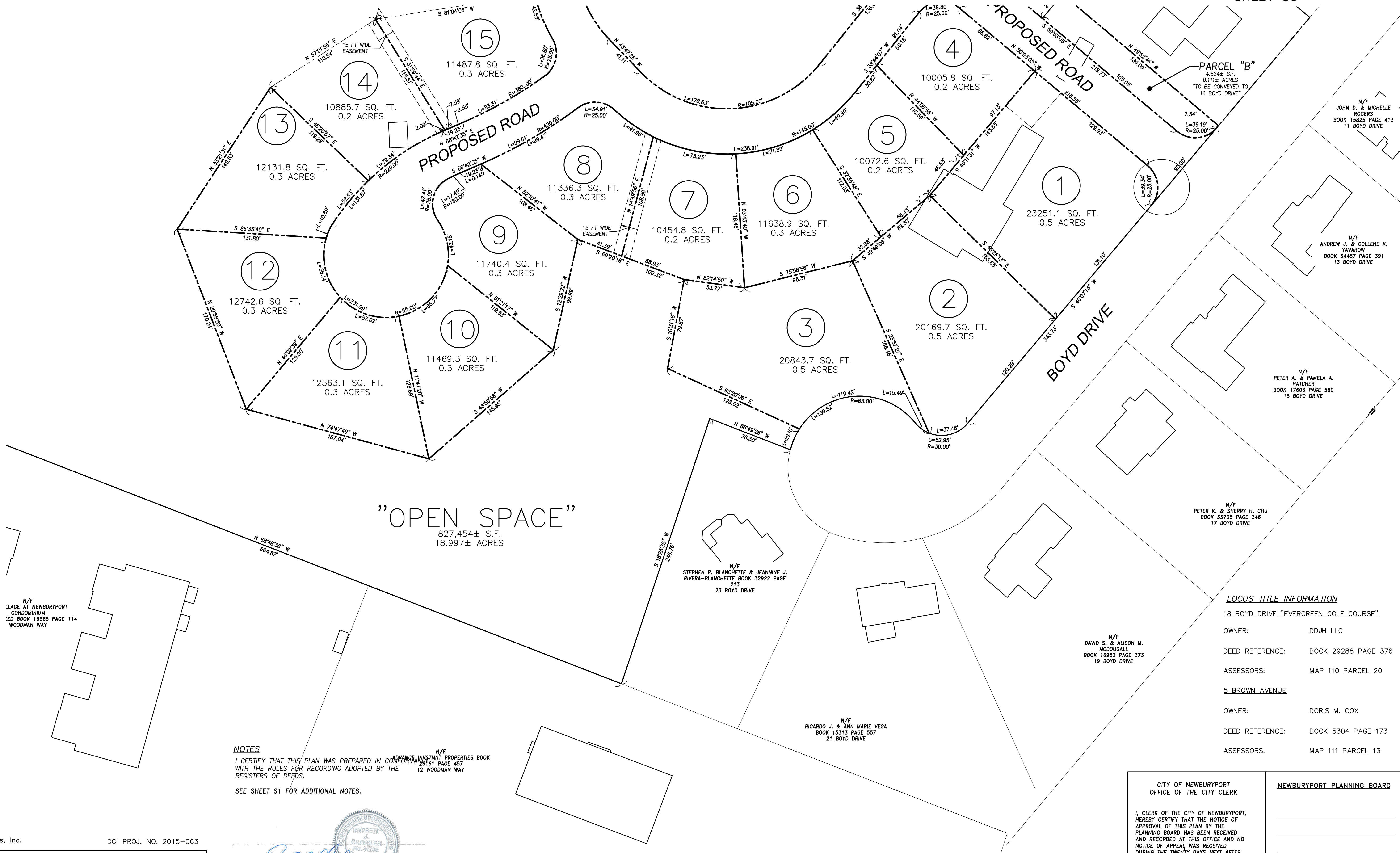
SHEET S5

DCI PROJ. NO. 2015-063

MASS STATE PLANE



SHEET S6



N/F
LAGE AT NEWBURYPORT
CONDOMINIUM
ED BOOK 16365 PAGE 114
WOODMAN WAY

N/F
STEPHEN P. BLANCHETTE & JEANNINE J.
RIVERA-BLANCHETTE BOOK 32922 PAGE
213
23 BOYD DRIVE

N/F
RICARDO J. & ANN MARIE VEGA
BOOK 15313 PAGE 557
21 BOYD DRIVE

N/F
DAVID S. & ALISON M.
MCDOUGALL
BOOK 16953 PAGE 373
19 BOYD DRIVE

N/F
PETER K. & SHERRY H. CHU
BOOK 33738 PAGE 346
17 BOYD DRIVE

N/F
PETER A. & PAMELA A.
HATCHER
BOOK 17603 PAGE 580
15 BOYD DRIVE

N/F
ANDREW J. & COLLENE K.
YAVAROW
BOOK 34487 PAGE 391
13 BOYD DRIVE

N/F
JOHN D. & MICHELLE
ROGERS
BOOK 15825 PAGE 413
11 BOYD DRIVE

NOTES

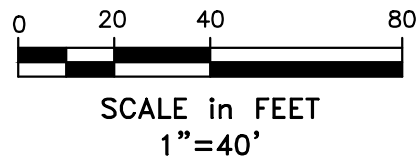
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.
SEE SHEET S1 FOR ADDITIONAL NOTES.

N/F
ADVANCE INVESTMENT PROPERTIES BOOK
32161 PAGE 457
12 WOODMAN WAY

P.L.S.

EVERETT J. CHANDLER, P.L.S.
MASS. REGISTRATION NO. 41783

DATE



SCALE in FEET
1"=40'

"DEFINITIVE PLAN"

LOCUS TITLE INFORMATION

18 BOYD DRIVE "EVERGREEN GOLF COURSE"

OWNER: DDJH LLC
DEED REFERENCE: BOOK 29288 PAGE 376
ASSESSORS: MAP 110 PARCEL 20
5 BROWN AVENUE
OWNER: DORIS M. COX
DEED REFERENCE: BOOK 5304 PAGE 173
ASSESSORS: MAP 111 PARCEL 13

CITY OF NEWBURYPORT
OFFICE OF THE CITY CLERK

I, CLERK OF THE CITY OF NEWBURYPORT,
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APPROVAL OF THIS PLAN BY THE
PLANNING BOARD HAS BEEN RECEIVED
AND RECORDED AT THIS OFFICE AND NO
NOTICE OF APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT AFTER
SUCH RECEIPT AND RECORDING OF SAID
NOTICE.

CLERK

DATE

NEWBURYPORT PLANNING BOARD

DATE

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DCI PROJ. NO. 2015-063

Design Consultants, Inc.
Consulting Engineers and Surveyors

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SOMERVILLE, MA 02145
617-776-3350

68 PLEASANT STREET
NEWBURYPORT, MA 01950
978-358-7173

Winter GEC, LLC

34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626

SCALE:

HORIZ: 1"= 40'

VERT: _____

NO.	DATE	BY	REVISIONS

FIELD: EC
CALCS: EC
CHECKED: EJC
APPROVED: EJC

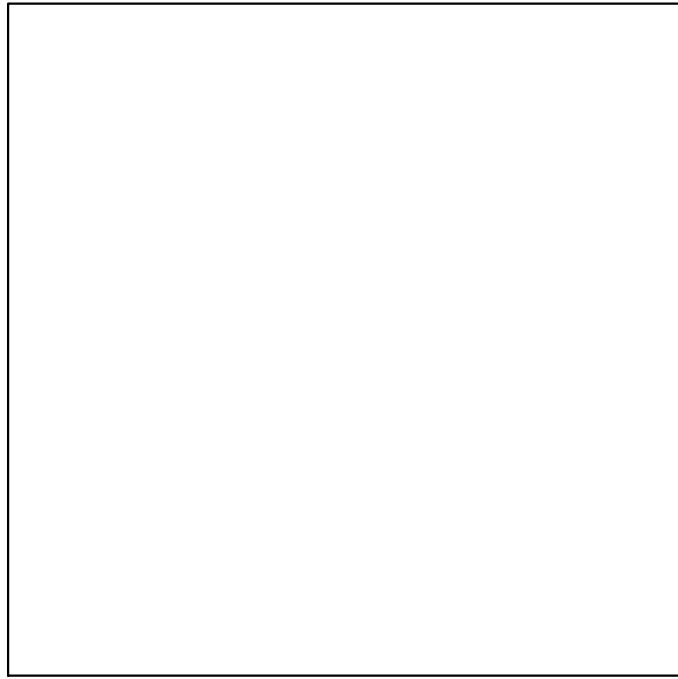
LOT LAYOUT PLAN

PORT PLACE
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
5 OF 6

S5



NOTES
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE
WITH THE RULES FOR RECORDING ADOPTED BY THE
REGISTERS OF DEEDS.
SEE SHEET EX1 FOR ADDITIONAL NOTES.

P.L.S.
EVERETT J. CHANDLER, P.L.S.
MASS. REGISTRATION NO. 41783
DATE 5/22/17

LOCUS TITLE INFORMATION
18 BOYD DRIVE "EVERGREEN GOLF COURSE"
OWNER: DDJH LLC
DEED REFERENCE: BOOK 29288 PAGE 376
ASSESSORS: MAP 110 PARCEL 20
5 BROWN AVENUE
OWNER: DORIS M. COX
DEED REFERENCE: BOOK 5304 PAGE 173
ASSESSORS: MAP 111 PARCEL 13

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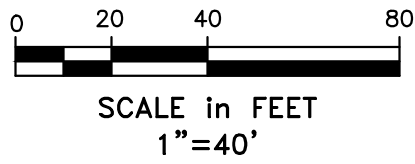
Design Consultants, Inc.
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Winter GEC, LLC
34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626

INTERSTATE 95
NORTH BOUND

SCALE:
HORIZ: 1"= 40'
VERT: _____

NO.	DATE	BY	REVISIONS	



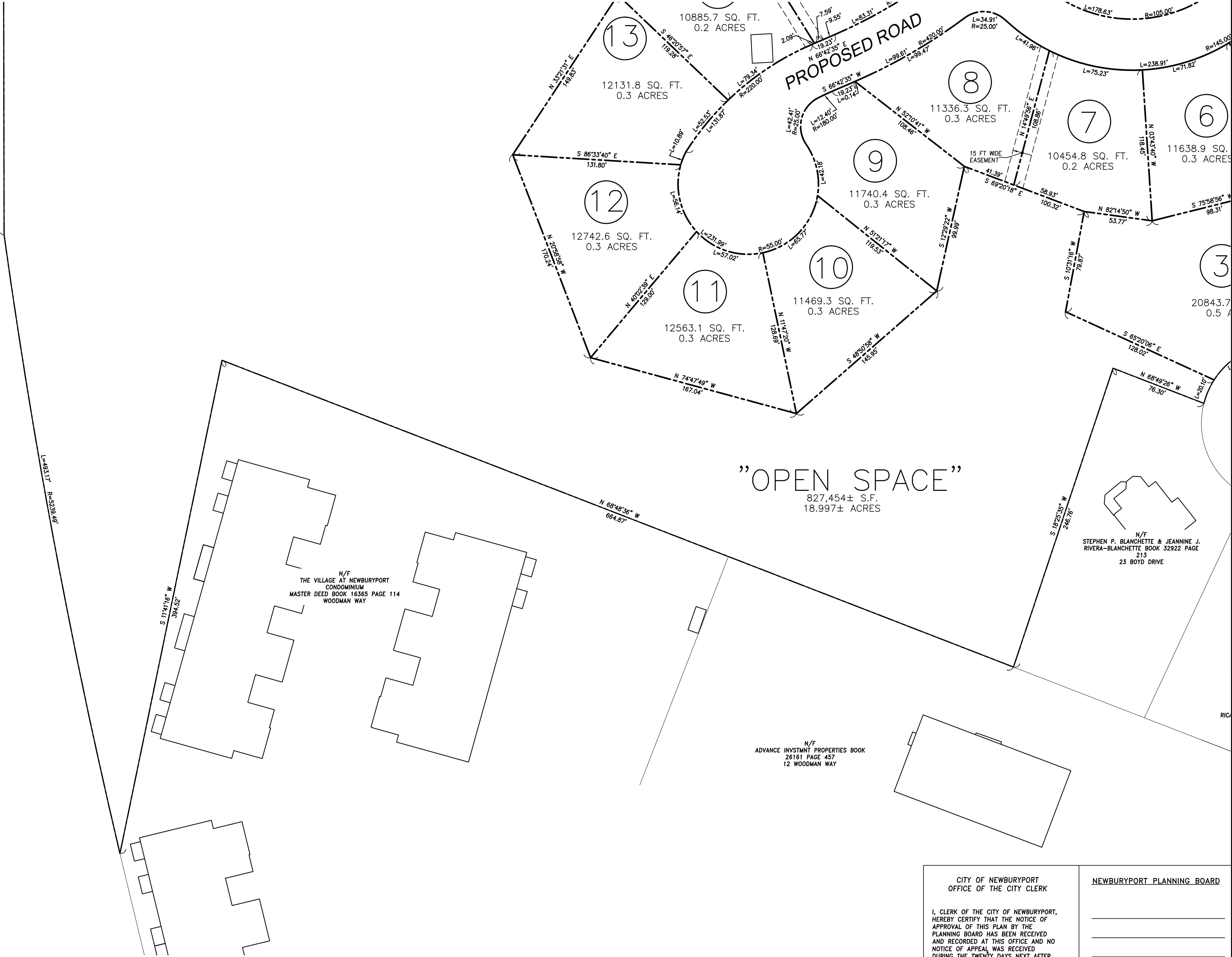
FIELD: EC
CALCS: EC
CHECKED: EJC
APPROVED: EJC

"DEFINITIVE PLAN"
LOT LAYOUT PLAN
PORT PLACE
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN
NEWBURYPORT, MASSACHUSETTS
SURVEYED FOR
EVERGREEN COMMONS, LLC

PROJECT NO.
18BOYD
DATE: MAY 22, 2017
SHEET NO.
6 OF 6

S6



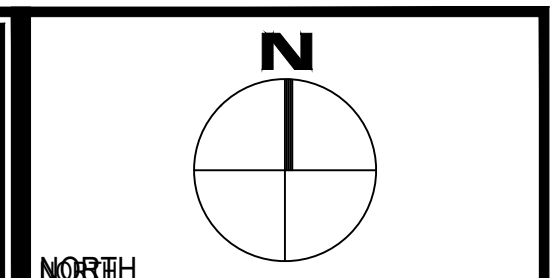
CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE. CLERK _____ DATE _____	NEWBURYPORT PLANNING BOARD _____ _____ _____ _____ _____ _____ DATE _____
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[illegible]

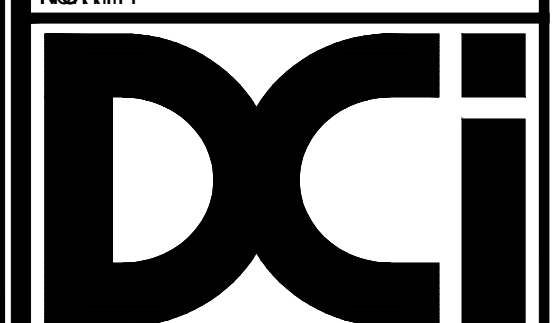
SHEETS C5, C9

SHEETS C2, C6

SHEETS C4, C8



NORTH



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PROJECT TEAM

18 BOYD DRIVE,
SUBDIVISION
NEWBURYPORT, MA

PREPARED FOR
EVERGREEN
COMMONS, LLC

PROJECT INFO

[illegible]

REV	DESCRIPTION	DATE
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STAMP:

CIVIL KEY SHEET

SHEET NAME:

C1

SHEET NO:

SHEET NO:

DR BY: WAK

CHK BY: SBS

CHK BY: SBS
PROJ NO: 2015-063

PROJ NO: 2015-063
DATE: MAY 22 2017

DATE: MAY 22, 20

CITY OF NEWBURYPORT
OFFICE OF THE TOWN CLERK

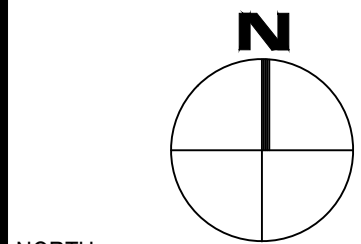
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NOTICE

CLERK	DATE
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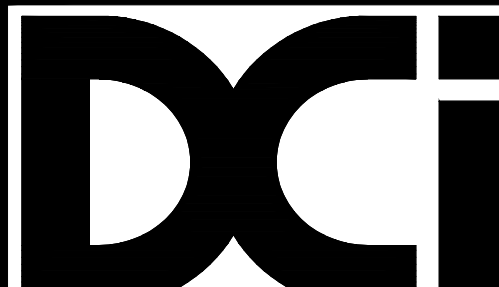
NEWBURYPORT PLANNING BOARD

DATE _____

DATE: MAY 22, 20



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PROJECT TEAM

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SUBDIVISION
NEWBURYPORT, MA

PREPARED FOR
EVERGREEN
COMMONS, LLC

PROJECT INFO

[illegible]

STAMP:

GRADING PLAN 1

SHEET NAME:

C2

SHEET NO:

DR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: MAY 22, 2017

SCALE: 1"=40'

CITY OF NEWBURYPORT
OFFICE OF THE TOWN CLERK

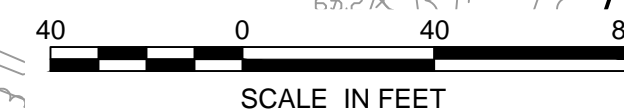
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CLERK

DAT

NEWBURYPORT PLANNING BOARD

DATE _____





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PROJECT TEAM

PREPARED FOR
EVERGREEN
COMMONS, LLC

PROJECT INFO

REV	DESCRIPTION	DATE
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SHEET NAME:

SHEET NO:

OR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: MAY 22 2017

SCALE: 1"=40'

CITY OF NEWBURYPORT
OFFICE OF THE TOWN CLERK

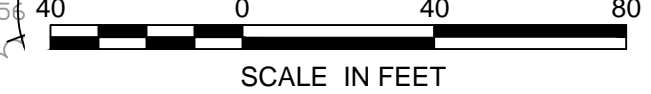
CLERK OF THE CITY OF NEWBURYPORT,
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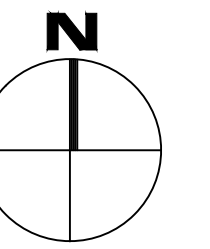
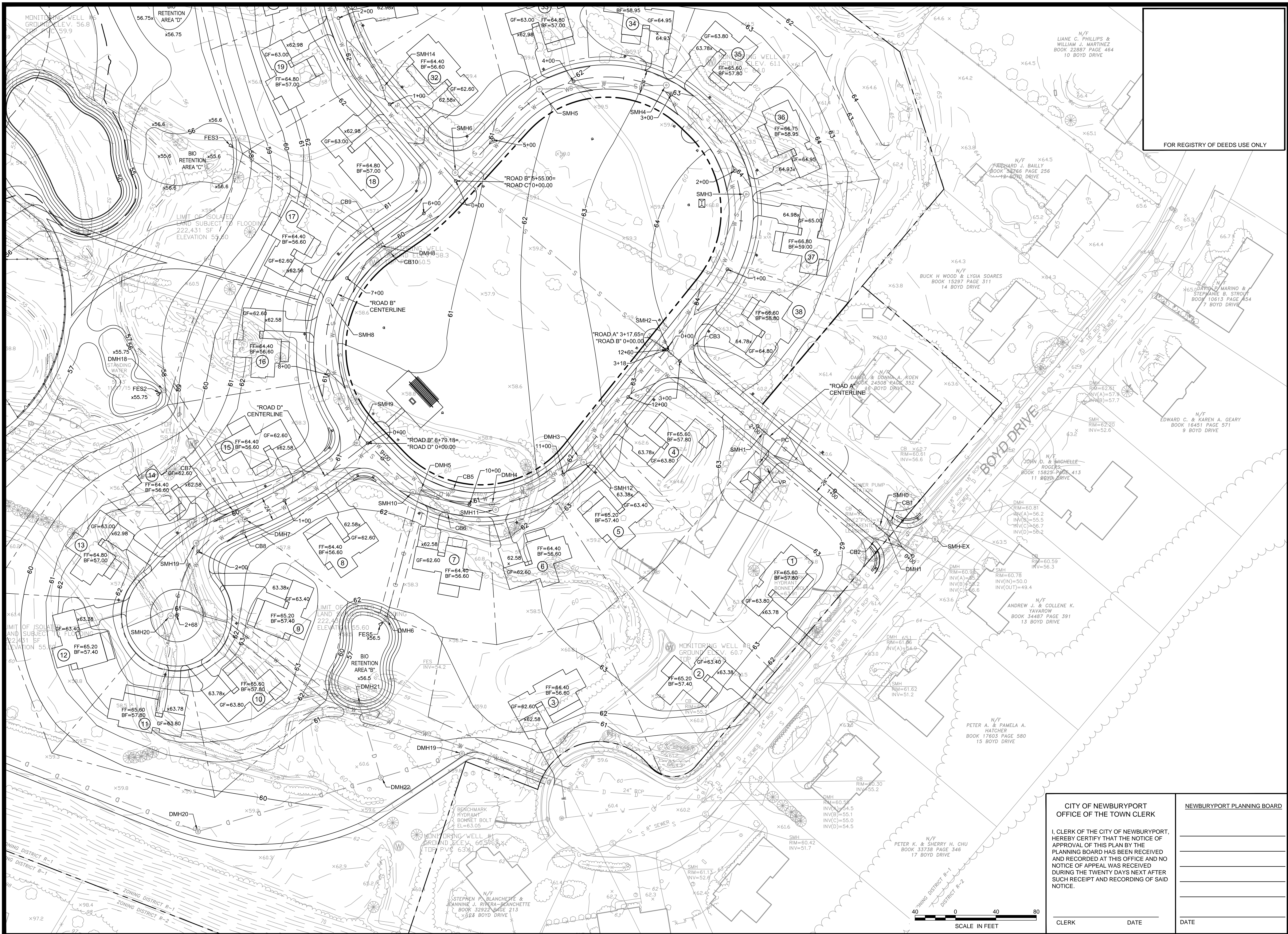
CLERK

DATE _____

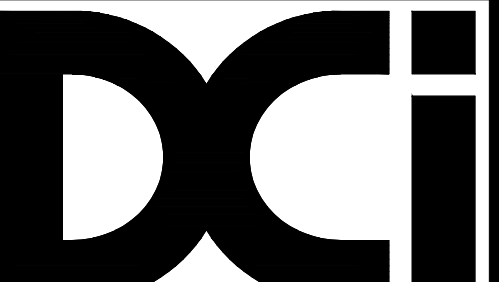
NEWBURYPORT PLANNING BOARD

ATE





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PROJECT TEAM

18 BOYD DRIVE,
SUBDIVISION
NEWBURYPORT, MA

PREPARED FOR
EVERGREEN
COMMONS, LLC

PROJECT INFO

[illegible]

STAMP:

GRADING PLAN 3

SHEET NAME:

C4

SHEET NO:

BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: MAY 22, 2017

SCALE: 1"=40'

CITY OF NEWBURYPORT
OFFICE OF THE TOWN CLERK

CLERK OF THE CITY OF NEWBURYPORT,
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SUCH RECEIPT AND RECORDING OF SAID
NOTICE.

CLERK

DATE _____

NEWBURYPORT PLANNING BOARD

ATE





PROJECT TEAM

PREPARED FOR
EVERGREEN
COMMONS, LLC

PROJECT INFO

[illegible]

EV	DESCRIPTION	DATE
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SHEET NAME:

SHEET NO:

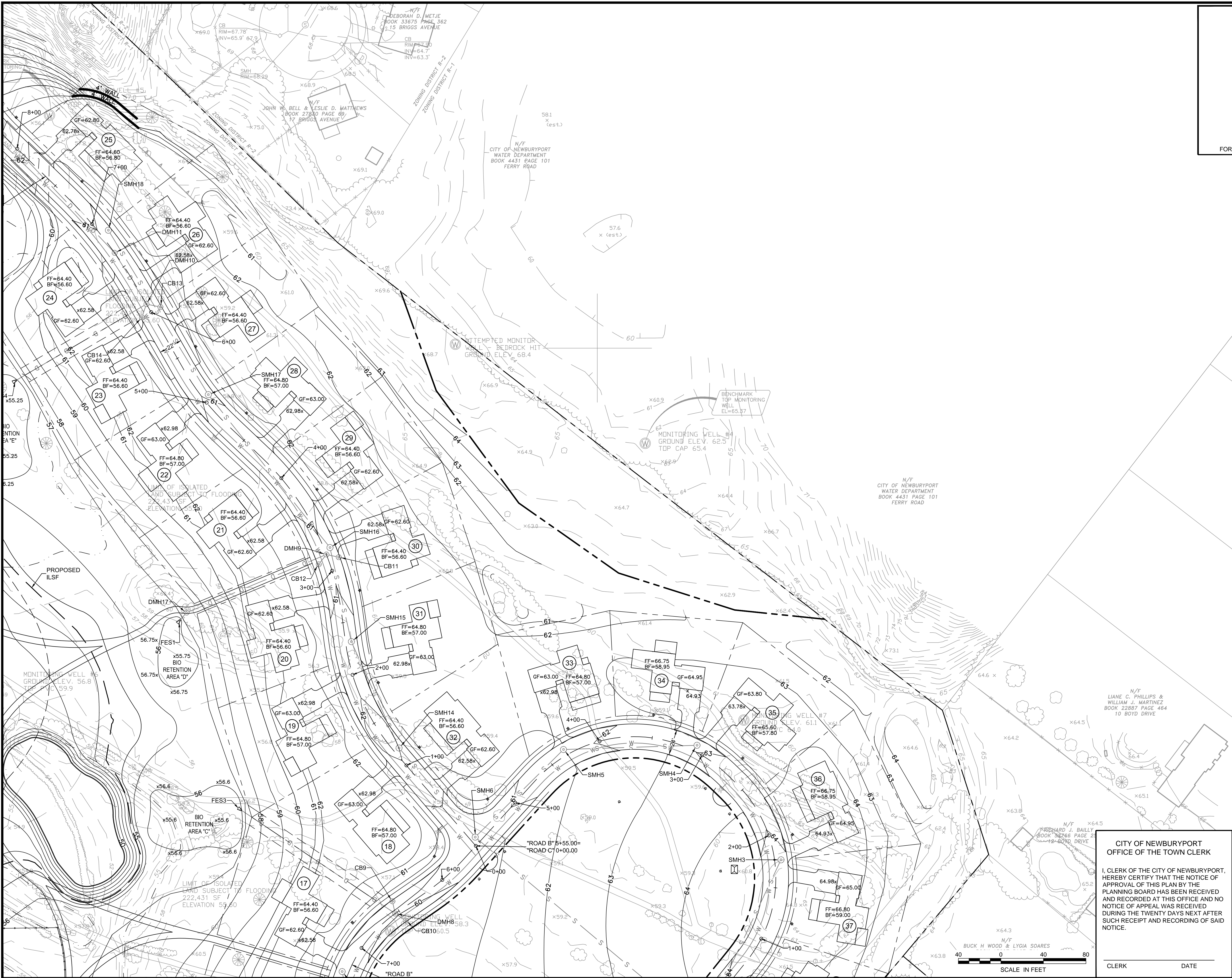
WR BY: WAK

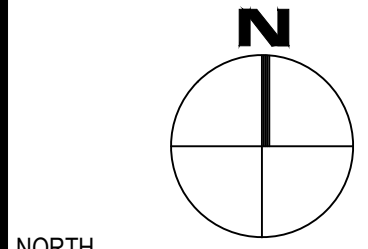
CHK BY: SBS

PROJ NO: 2015-063

DATE: MAY 22, 2017

SCALE: 1"=40'



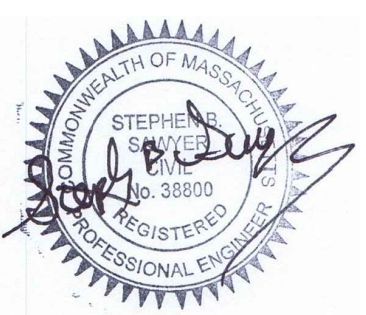


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NEWBURYPORT, MA

PREPARED FOR
EVERGREEN
COMMONS, LLC

REV	DESCRIPTION	DATE
-----	-------------	------



DRAINAGE
& UTILITY
PLAN 1

C6

SCALE: 1"=40'

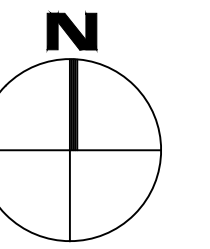
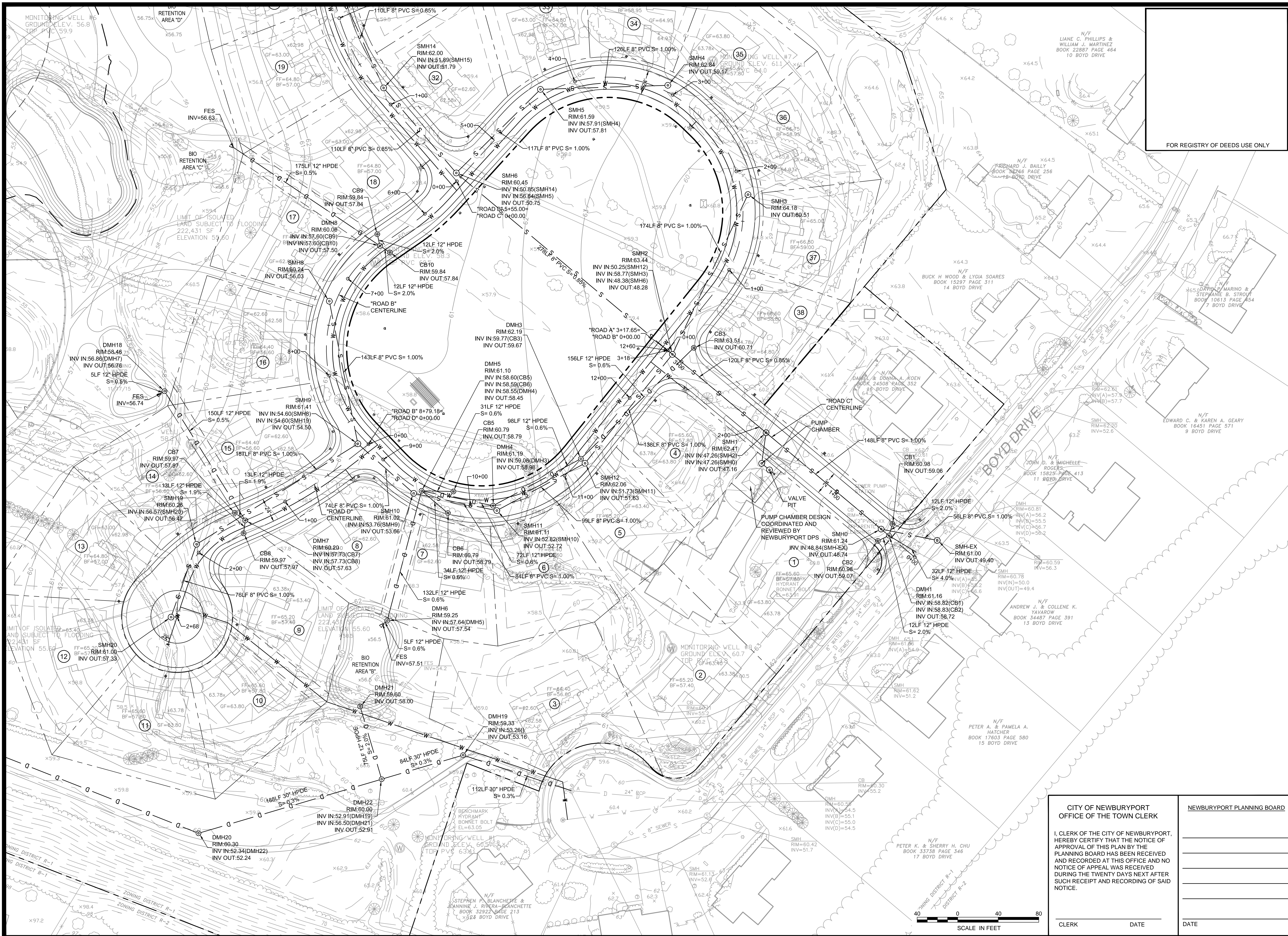
CITY OF NEWBURYPORT
OFFICE OF THE TOWN CLERK

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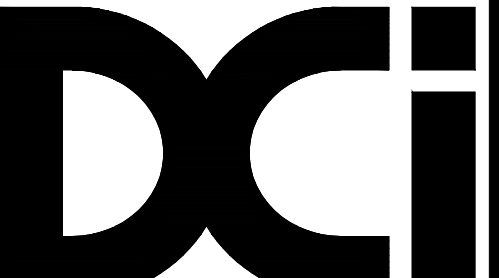
CLERK _____ DATE _____

NEWBURYPORT PLANNING BOARD

DATE _____



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NEWBURYPORT, MA

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EVERGREEN
COMMONS, LLC

PROJECT INFO

[illegible]

STAMP:

DRAINAGE & UTILITY PLAN 3

SHEET NAME:

C8

SHEET NO:

OR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: MAY 22, 2017

SCALE: 1"=40'

CITY OF NEWBURYPORT
OFFICE OF THE TOWN CLERK

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NOTICE.

CLERK

DATE _____

NEWBURYPORT PLANNING BOARD

DATE _____





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PROJECT TEAM

18 BOYD DRIVE,
SUBDIVISION
NEWBURYPORT, MA

PREPARED FOR
EVERGREEN
COMMONS, LLC

PROJECT INFO

[illegible]

DRAINAGE & UTILITY PLAN 4

SHEET NAME:

C9

SHEET NO:

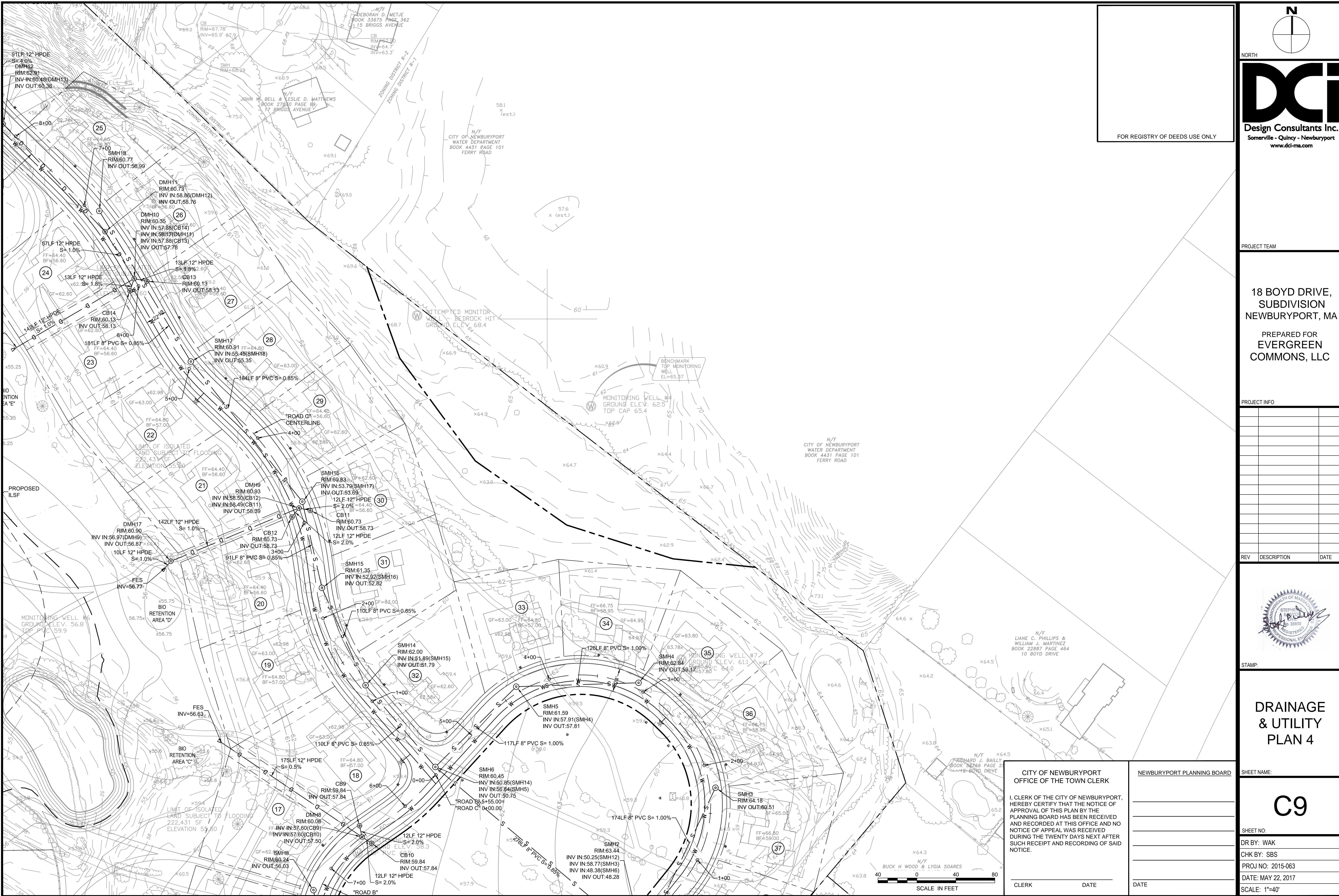
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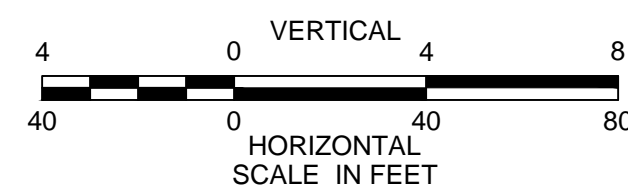
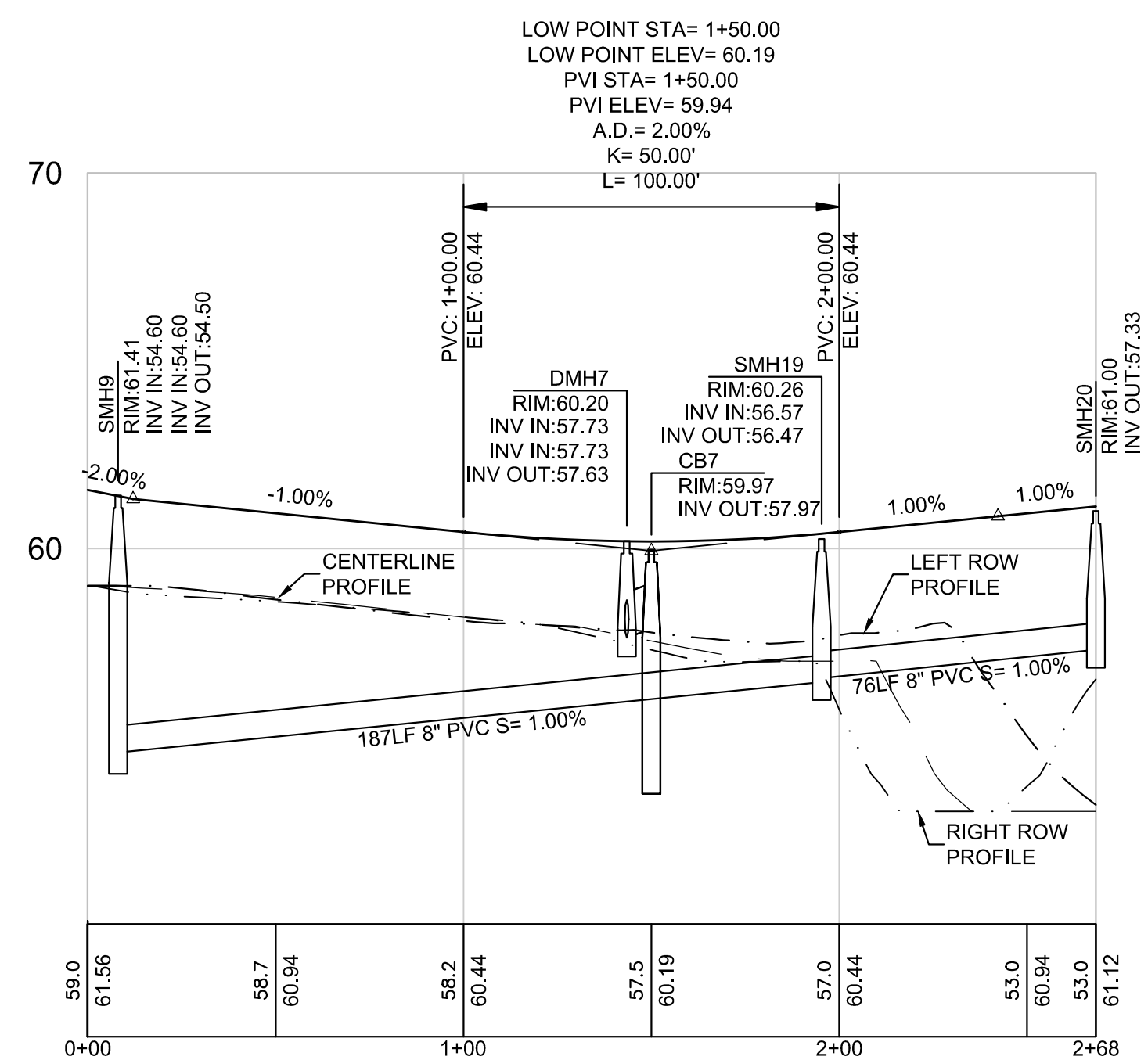
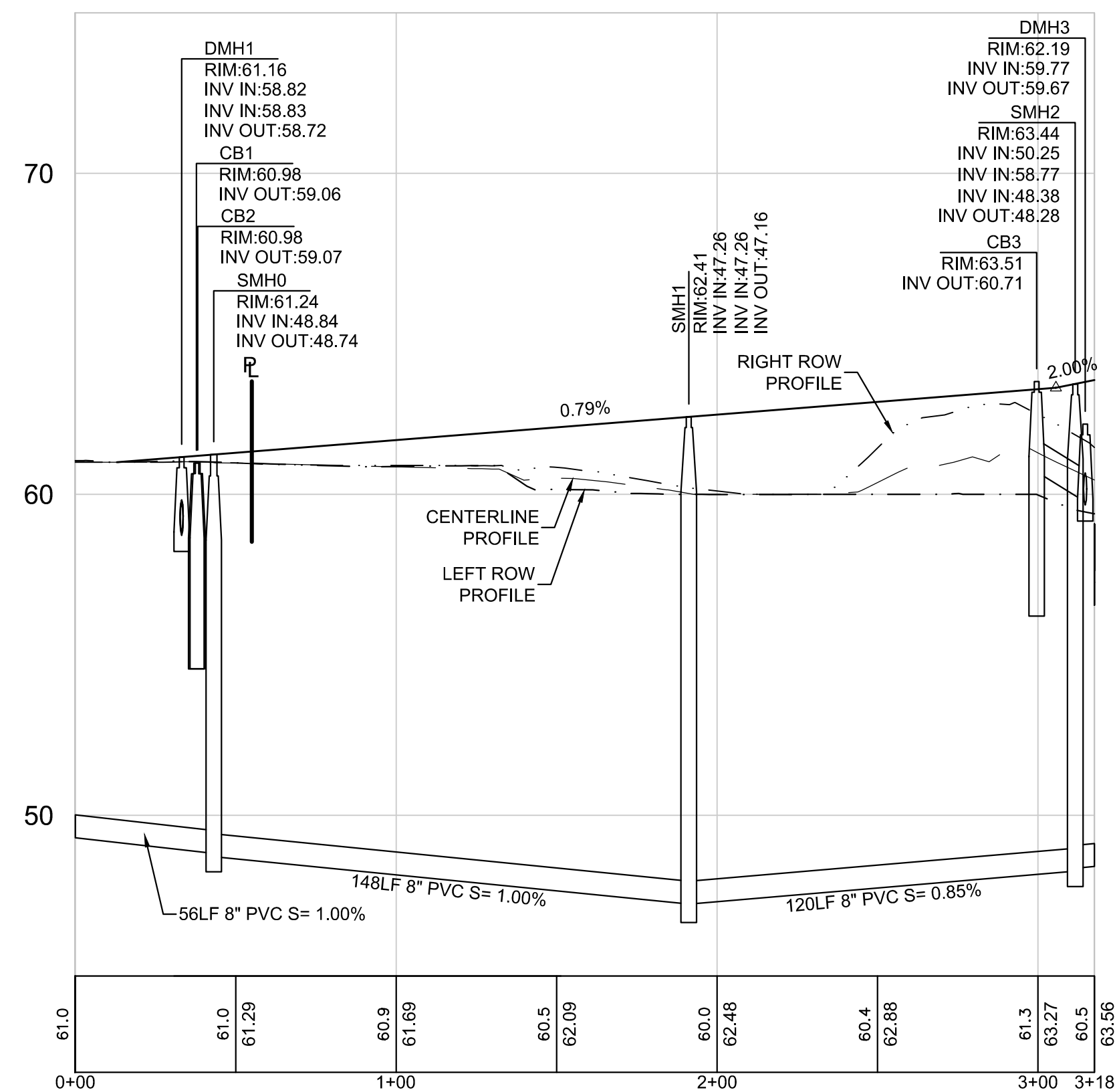
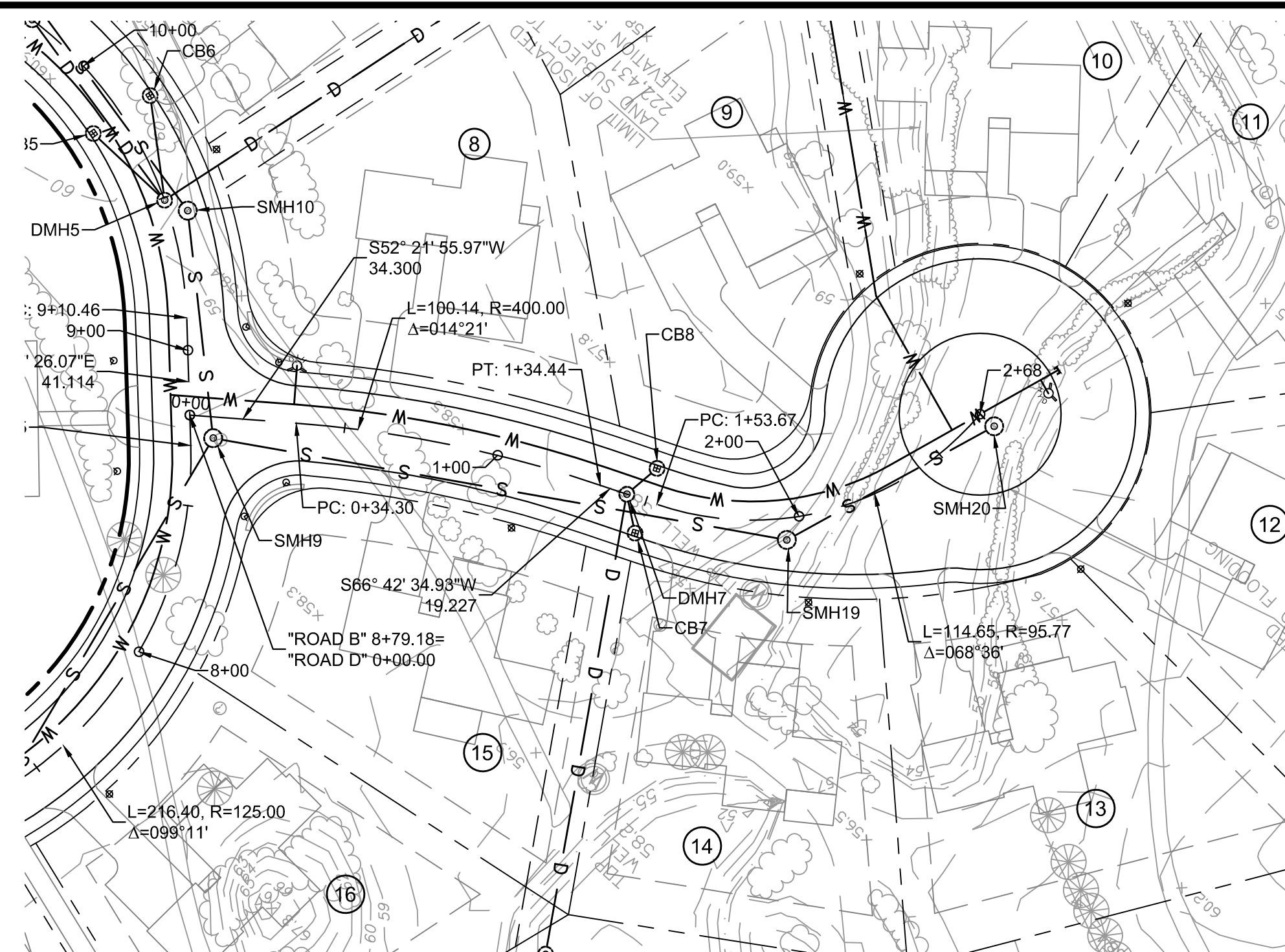
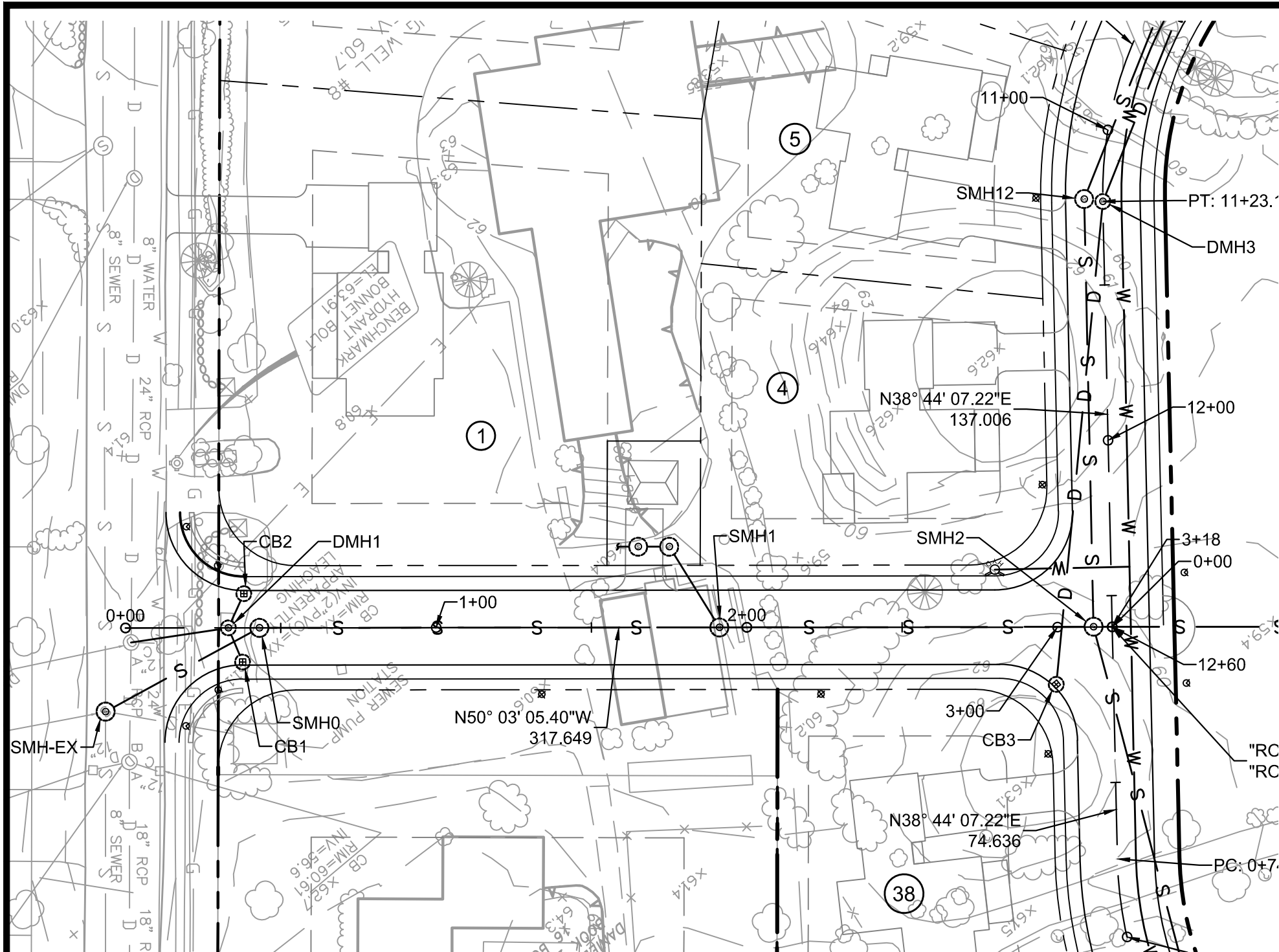
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PROJ NO: 2015-063

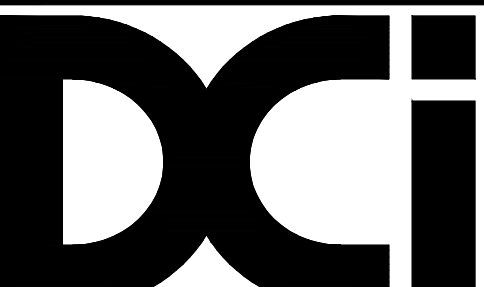
DATE: MAY 22, 2017

SCALE: 1"=40'





NORTH



Design Consultants Inc.
Somerville - Quincy - Newburyport
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PROJECT TEAM

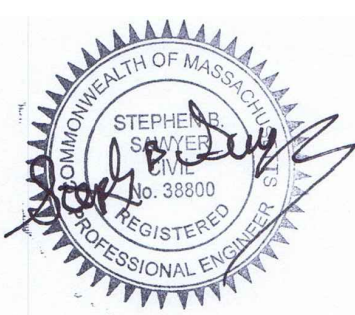
18 BOYD DRIVE,
SUBDIVISION
NEWBURYPORT, MA

PREPARED FOR
EVERGREEN
COMMONS, LLC

PROJECT INFO

[illegible]

EV	DESCRIPTION	DATE
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STAMP:

STREET PLAN & PROFILE 'ROADS A & D'

SHEET NAME:

C10

SHEET NO:

OR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: MAY 22, 2017

SCALE: HORIZ: 1"=40' VERT: 1"=4'

CITY OF NEWBURYPORT
OFFICE OF THE TOWN CLERK

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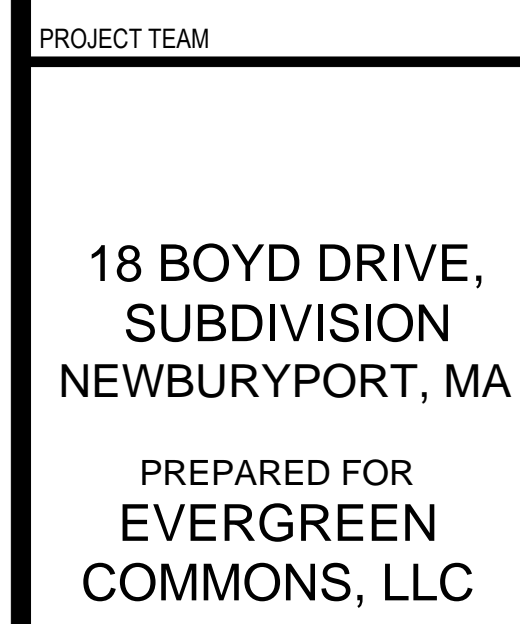
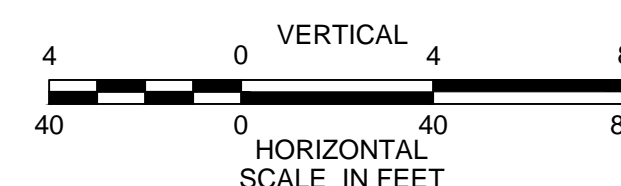
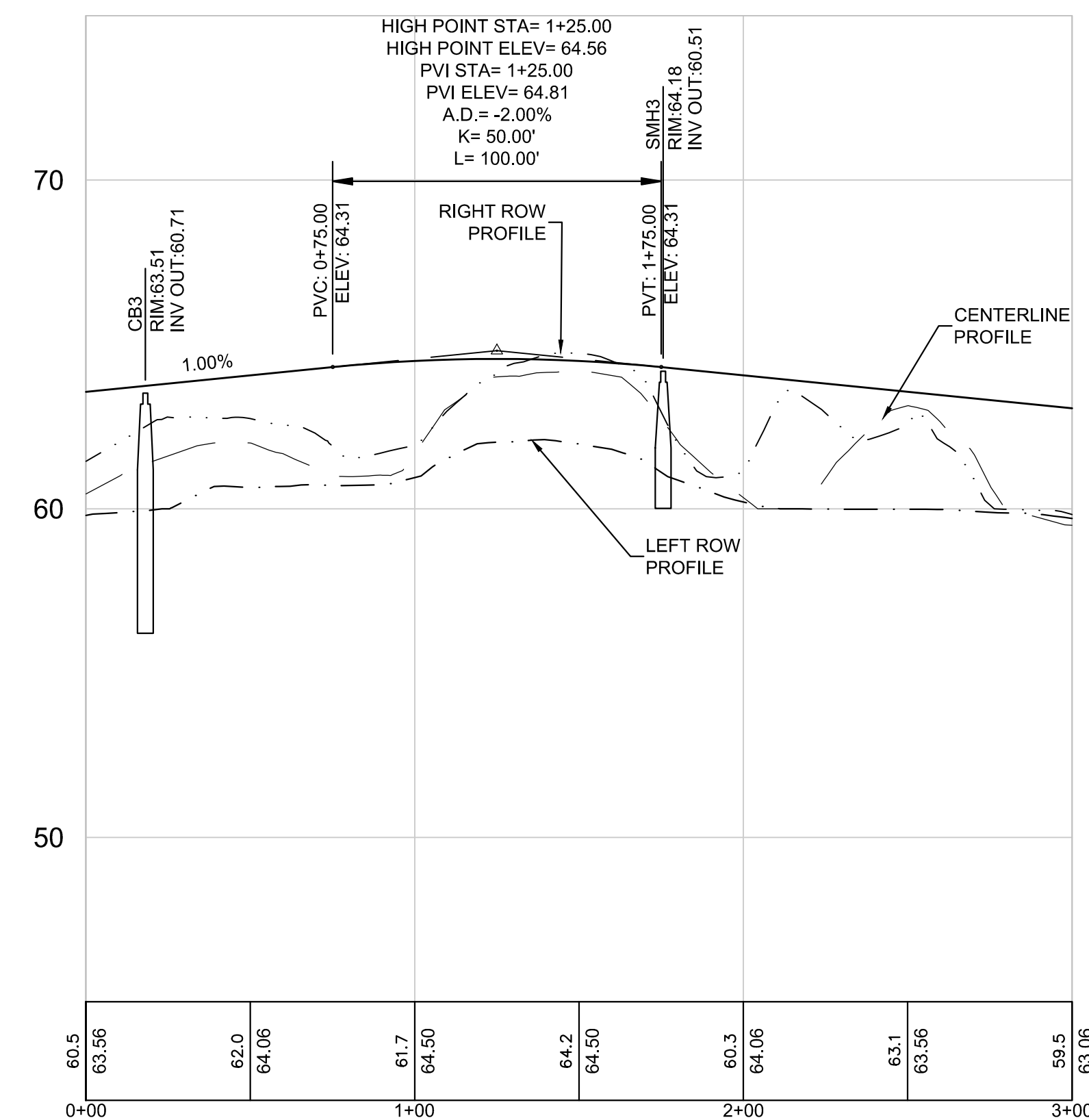
CLERK

DATE _____

NEWBURYPORT PLANNING BOARD

DATE _____

SHEET NAME:

[illegible]

STREET PLAN & PROFILE "ROAD B"

<p>CITY OF NEWBURYPORT OFFICE OF THE TOWN CLERK</p>	<p><u>NEWBURYPORT PLANNING BOARD</u></p>	<p>SHEET NAME:</p>
<p>I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>C11</p> <p>SHEET NO:</p> <p>DR BY: WAK</p> <p>CHK BY: SBS</p> <p>PROJ NO: 2015-063</p> <p>DATE: MAY 22, 2017</p>
<p>_____ CLERK DATE</p>	<p>_____ DATE</p>	<p>SCALE: HORIZ. 1"=40', VERT. 1"=4'</p>



DCi
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Somerville - Quincy - Newburyport
www.dci-ma.com

PROJECT TEAM

18 BOYD DRIVE,
SUBDIVISION
NEWBURYPORT, MA

PREPARED FOR
EVERGREEN
COMMONS, LLC

PROJECT INFO

[illegible]

STAMP

STREET PLAN & PROFILE "ROAD C"

SHEET NAME

C12

SHEET NO.

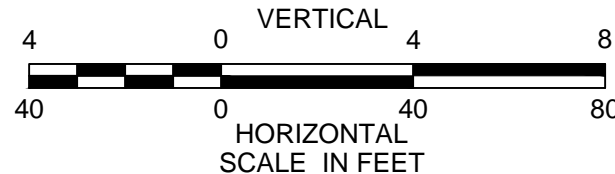
DR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: MAY 22, 2017

SCALE: HORIZ: 1"=40'. VERT: 1"=4'



CITY OF NEWBURYPORT
OFFICE OF THE TOWN CLERK

I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CLERK

DATE _____

NEWBURYPORT PLANNING BOARD

DATE _____

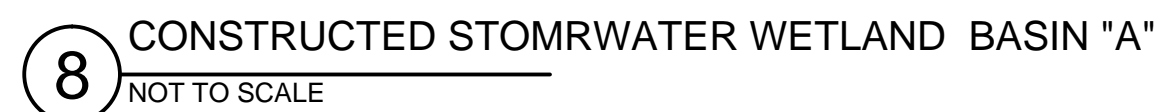
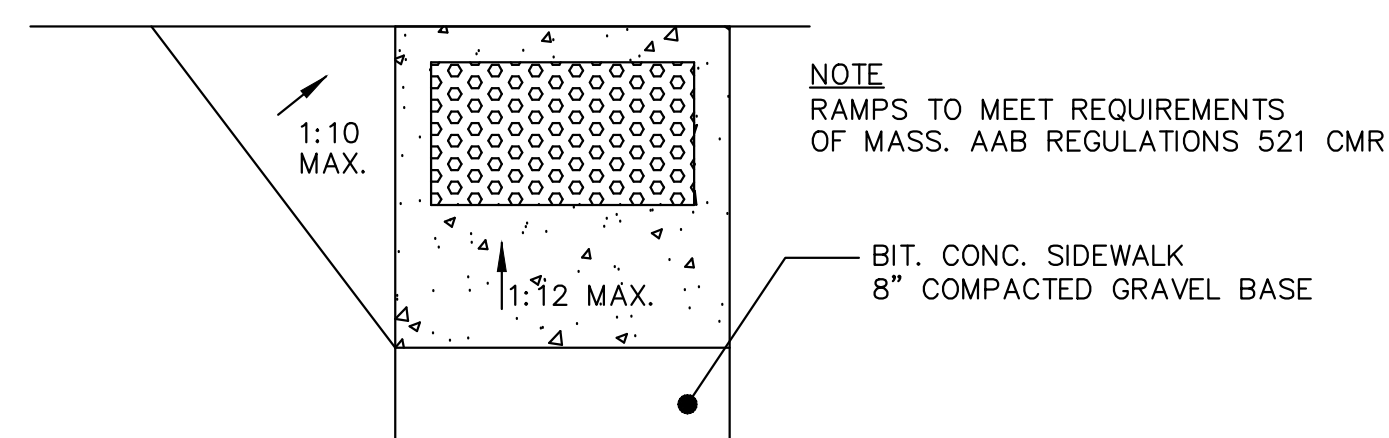
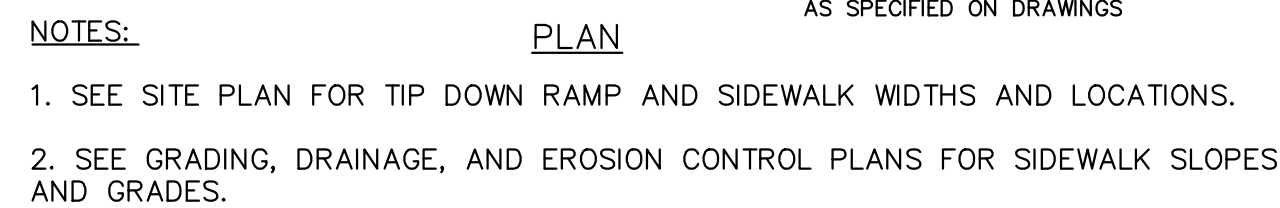
SHEET NO.

DR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

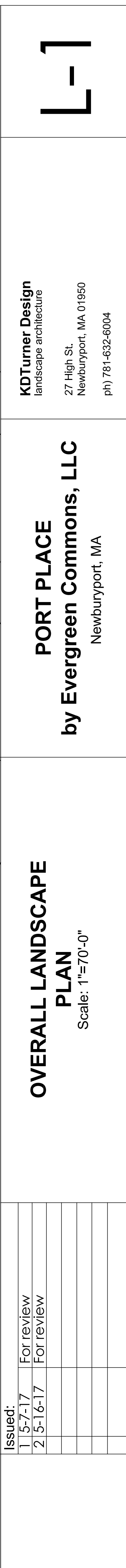
DATE: MAY 22, 2017

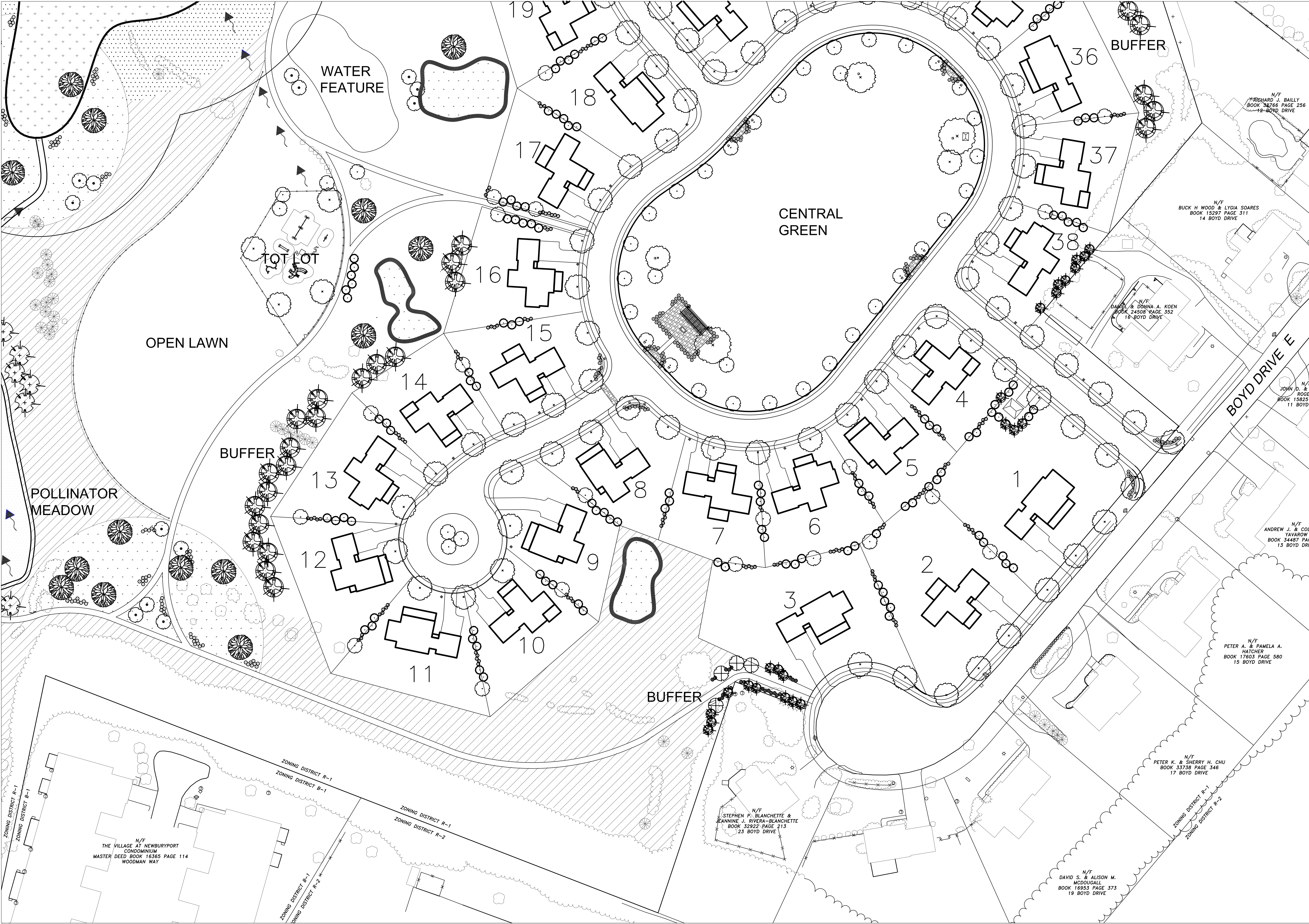


SCALE: N.T.S.

DATE _____

2:\2015 PROJECTS\2015-063 18 BOYD ST. NEWBURYPORT\DWG_ENGINEERING\15-063 C13 TYPICAL SECTIONS DETAILS & NOTES.DWG





Issued:	1 5-7-17	For review			
	2 5-16-17	For review			



L-4

KOTurner Design

landscape architecture

27 High St.

Newburyport, MA 01950

ph) 781-632-6004

PORT PLACE

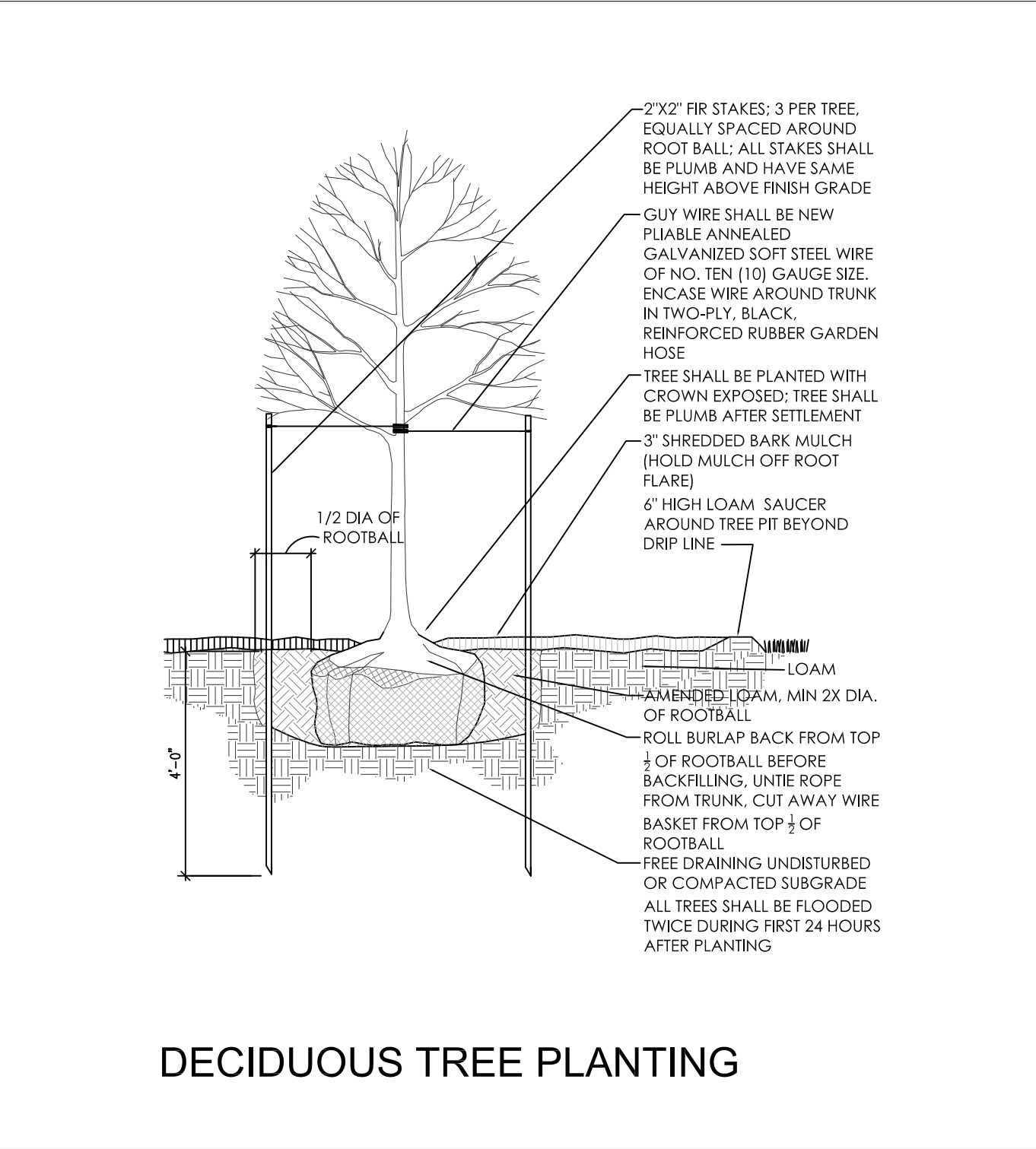
by Evergreen Commons, LLC

Newburyport, MA

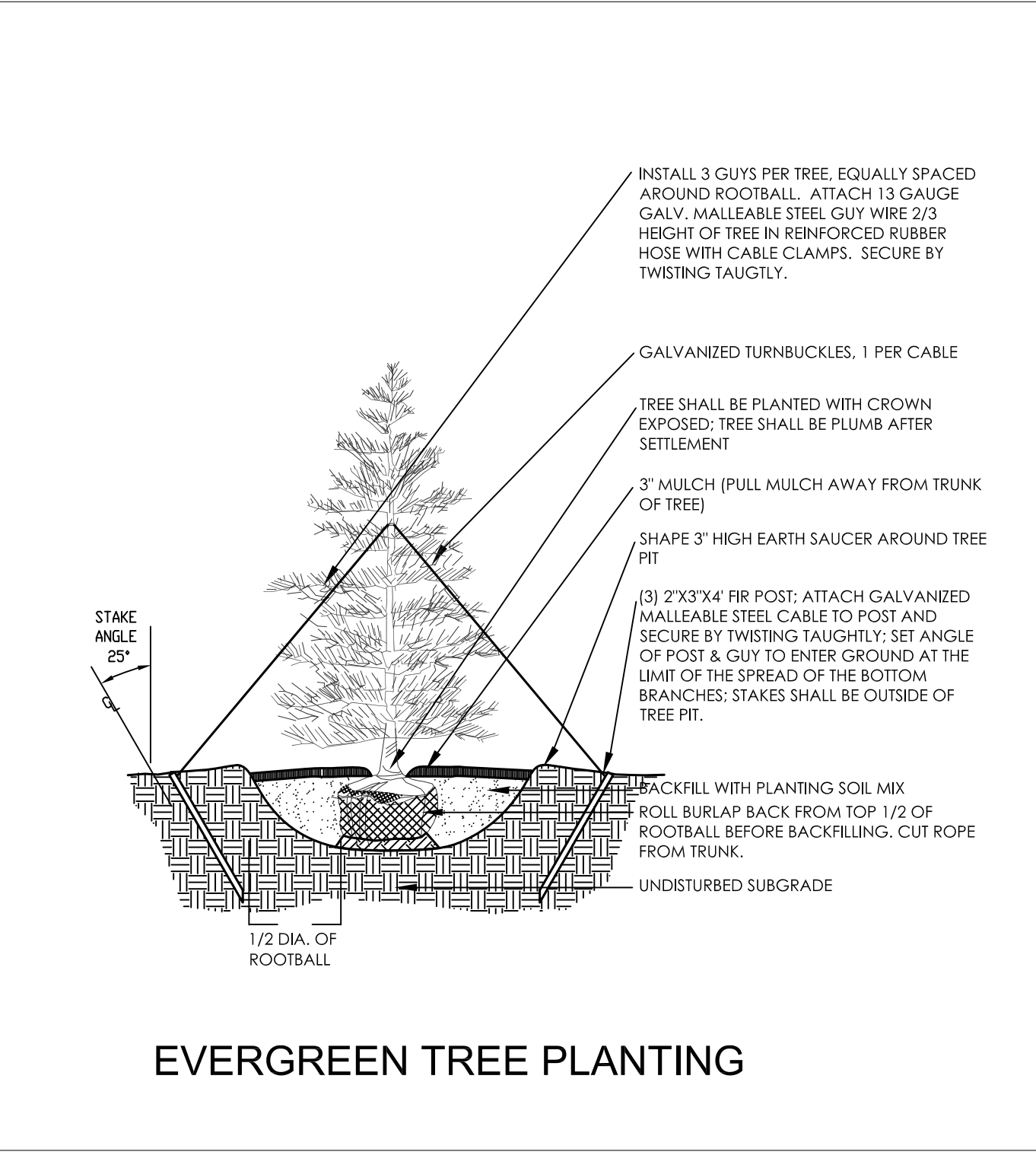
LANDSCAPE PLAN

Scale: 1"=40'-0"

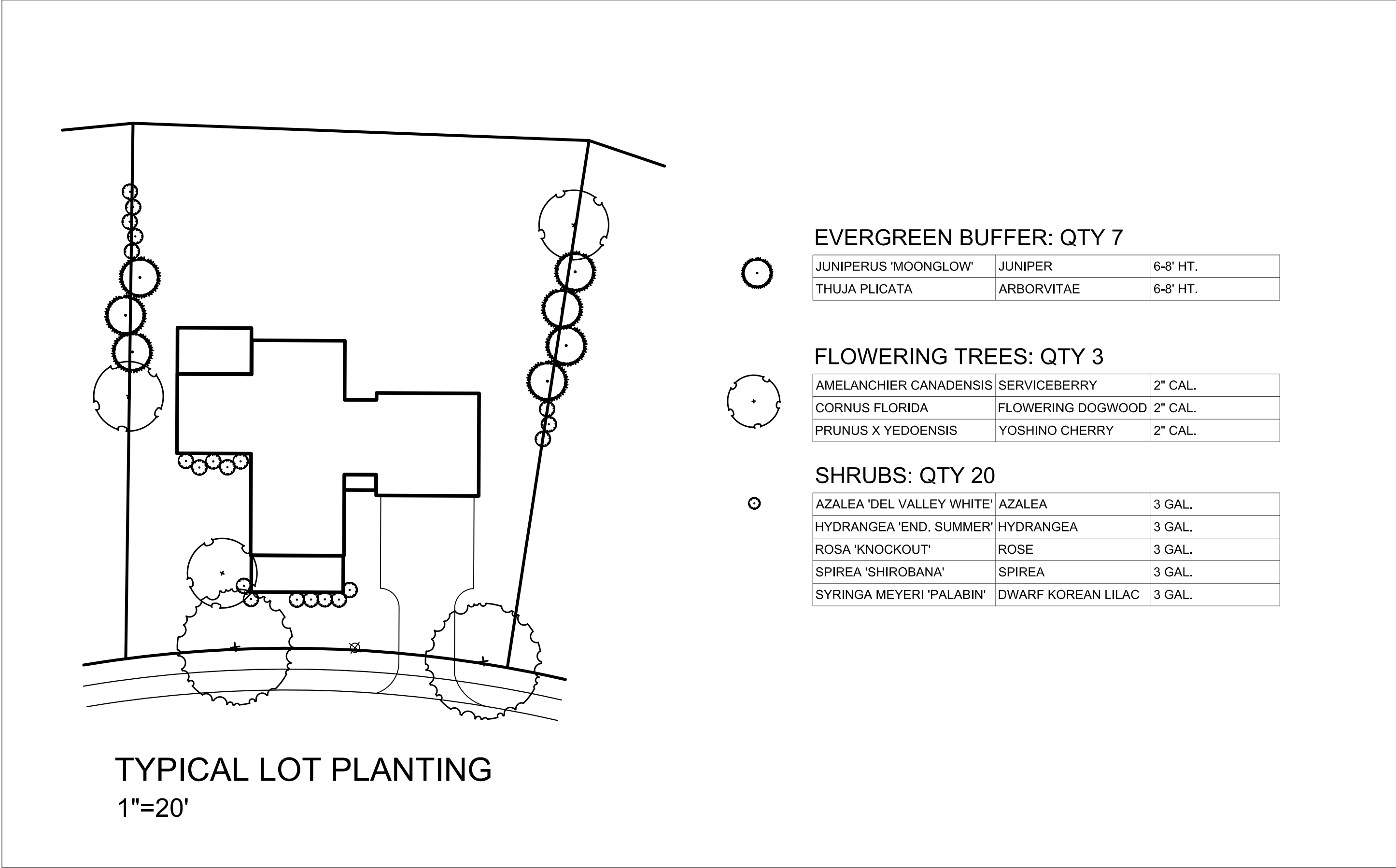
Issued:	1 5-7-17	For review
	2 5-16-17	For review



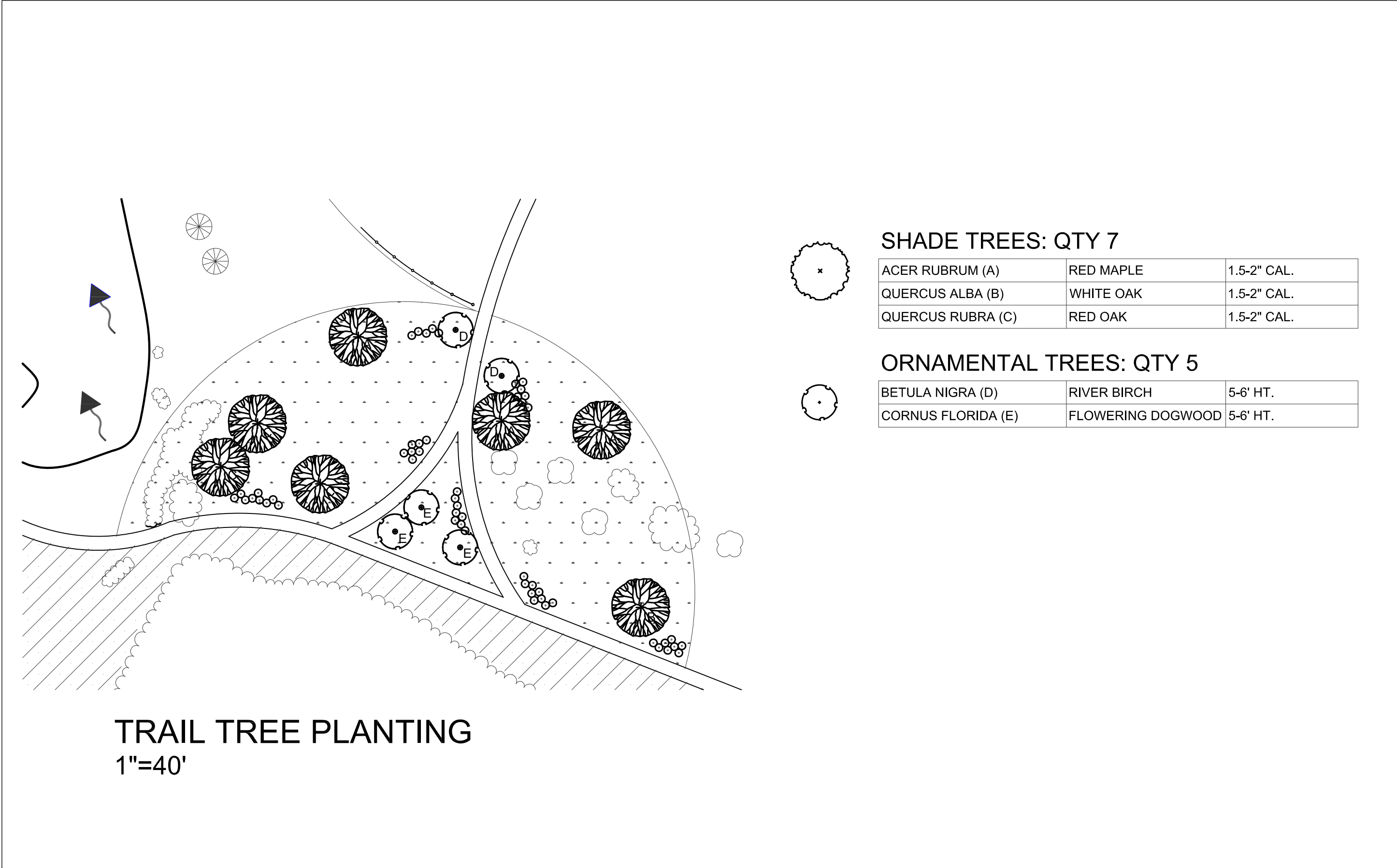
DECIDUOUS TREE PLANTING



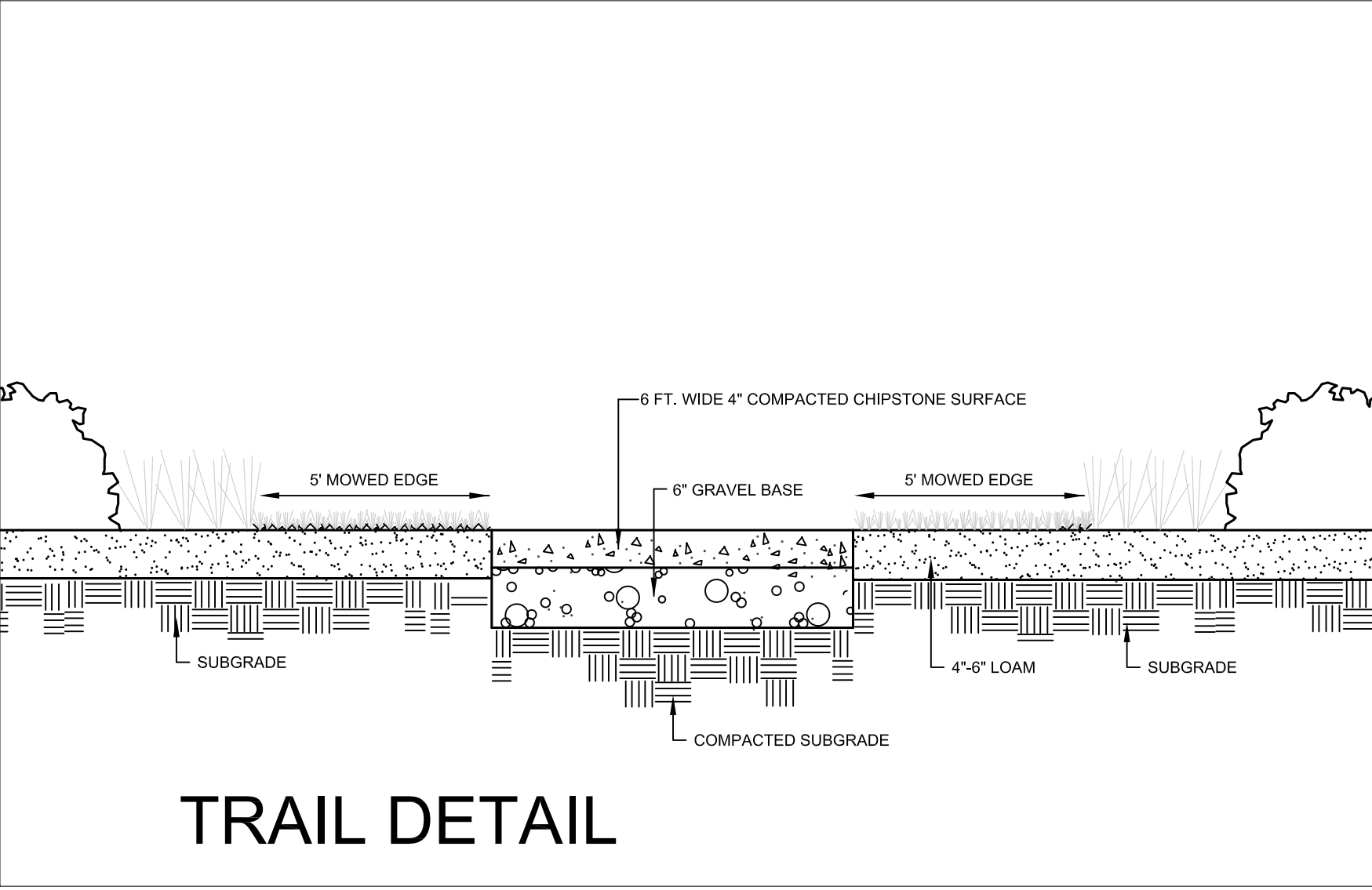
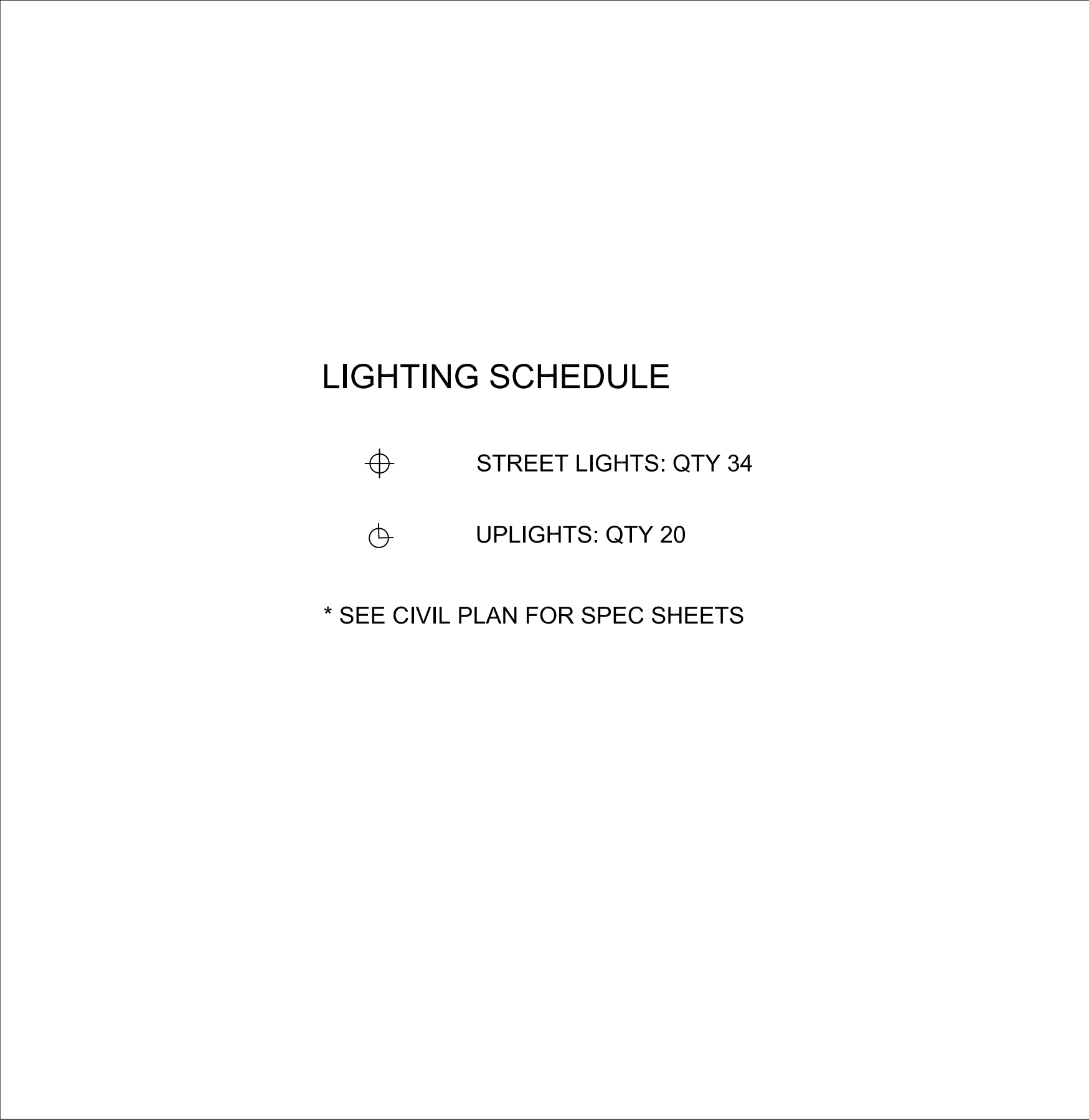
EVERGREEN TREE PLANTING



TYPICAL LOT PLANTING
1"=20'



TRAIL TREE PLANTING
1"=40'



TRAIL DETAIL



FOR REGISTRY OF DEEDS USE ONLY

NORTH



DCi
Design Consultants Inc.
 Somerville - Quincy - Newburyport
www.dci-ma.com

Winter GEC, LLC

34 WINTER STREET
NEWBURYPORT, MA 01950
978-270-8626

PROJECT TEAM

18 BOYD DRIVE,
SUBDIVISION
NEWBURYPORT, MA

PREPARED FOR
EVERGREEN
COMMONS, LLC

PROJECT INFO

[illegible]

STAMP:

ARCHITECTURAL ELEVATIONS

SHEET NAME:

A1

SHEET NO:

DR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: MAY 22, 2017

SCALE: N.T.S.

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