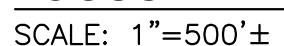


PREPARED FOR:  
EVERGREEN COMMONS LLC  
487 GROTON ROAD , SUITE A  
WESTFORD, MASSACHUSETTS

EVERGREEN COMMONS LLC  
487 GROTON ROAD , SUITE A  
WESTFORD, MASSACHUSETT

#14 BOYD DRIVE / B. WOOD & SOARS  
#12 BOYD DRIVE / R. BAILLY  
FERRY ROAD / CITY OF NEWBURYPORT  
#17 BRIGGS ROAD / J. BELL & L. MATTHEWS  
#14 BRIGGS ROAD / K. CHAMBERS  
#3 BROWN AVE. / S. ASPROGIANNIS  
#5 BROWN AVE. / D. COX  
#7 BROWN AVE. / W. MARGARET & W. BOOK  
#9 BROWN AVE. / P. CUSACK  
#13 LAUREL ROAD / A. & D. MCCARTHY  
#16 LAUREL ROAD / E. KOVACH  
INTERSTATE 95 / COMMONWEALTH OF MASSACHUSETTS  
WOODMAN WAY / VILLAGE AT NEWBURYPORT CONTINUUM  
#12 WOODMAN WAY / ADVANCE INVESTMENT PROPERTIES  
#23 BOYD DRIVE / S. BLANCHETTE & J. RIVERA-BLANCHETTE



THE GRADES SHOWN ARE ON NAD88 VERTICAL DATUM ESTABLISHED BY RTK GPS. HYDRANT BONNET NUT LOCATED AT THE END OF BOYD DRIVE IS ELEVATION 63.05

## DATE \_\_\_\_\_

DATE: June 2, 2014



NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE LOCUS PROPERTY FOR DESIGN PURPOSES AND IS THE RESULT OF AERIAL MAPPING PERFORMED IN 2015 BASED ON 2010 FLIGHTS AS UPDATED BY AN ACTUAL ON THE GROUND SURVEY PERFORMED BETWEEN NOVEMBER 2015 AND JANUARY 2017.

WETLANDS WERE DELINEATED BY HUGHES ENVIRONMENTAL CONSULTANTS IN NOVEMBER 17 AND 18, 2015. ISOLATED LAND SUBJECT TO FLOODING AND WETLAND RESOURCE AREAS AS SHOWN WERE CONFIRMED BY ORDER OF RESOURCE DELINEATION MASS DEP FILE NO. 051-0950.

ELEVATIONS SHOWN HEREON ARE BASED ON NAVD8 DATUM AND HORIZONTAL DATUM IS MASSACHUSETTS STATE PLANE COORDINATES NAD83 ZONE MASS MAINLAND 2001 AS DETERMINED UTILIZING RTK GPS.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CLIENT AND THE CITY OF NEWBURYPORT ASSESSOR'S OFFICE IN NOVEMBER 2015.

ALL PLAN AND DEED REFERENCES REFER TO THE SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS.

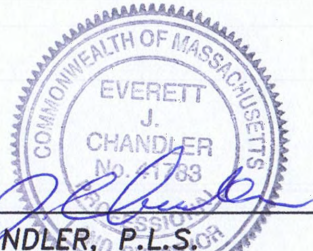
UTILITIES SHOWN HEREON ARE BASED ON RECORD PLANS OBTAINED FROM THE RESPECTIVE UTILITY OWNERS. INVERTS ARE BASED ON ACTUAL FIELD MEASUREMENTS.

THE LOCUS PROPERTY IS LOCATED IN ZONE X, AREA OF MINIMAL FLOODING, AS GRAPHICALLY SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) 25009C0108F WITH AN EFFECTIVE DATE OF 07/03/2012. THE FLOOD ZONE DETERMINATION WAS MADE BY GRAPHIC PLOTTING ONLY AND NO FIELD SURVEYING WAS COMPLETED TO MAKE THIS DETERMINATION.

SEE COVER SHEET FOR LIST OF WAIVERS REQUESTED.

I CERTIFY THAT THE SURVEY PERFORMED TO PREPARE THIS PLAN CONFORMED TO THE PROCEDURAL AND TECHNICAL STANDARDS FOR AN ON-THE-GROUND CADASTRAL SURVEY IN ACCORDANCE WITH COMMONWEALTH OF MASSACHUSETTS 250 CMR SECTION 6.0.1 AND THAT THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.

P.L.S.   
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783  
DATE 8/8/17

LEGEND

- TREES / BUSHES
- DRAIN MANHOLE
- SEWER MANHOLE
- WATER GATE
- CATCHBASIN
- HYDRANT
- MONITORING WELL
- LIGHT
- UTILITY POLE
- SIGN
- WF-A104 WETLAND FLAG
- 58.6 x SPOT GRADE
- CONTOUR
- INDEX CONTOUR
- DRAIN LINE
- SEWER LINE
- ELECTRIC LINE
- GAS LINE
- WATER LINE
- FENCE
- ISOLATED LAND SUBJECT TO FLOODING
- WETLAND BUFFER
- WETLAND LINE
- TREELINE
- RETAINING WALL

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DCI PROJ. NO. 2015-063

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Consulting Engineers and Surveyors

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617-776-3350

68 PLEASANT STREET  
NEWBURYPORT, MA 01950  
978-358-7173

Winter GEC, LLC

34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

LOCUS TITLE INFORMATION

18 BOYD DRIVE "EVERGREEN GOLF COURSE"

OWNER: DDJH LLC

DEED REFERENCE: BOOK 29288 PAGE 376

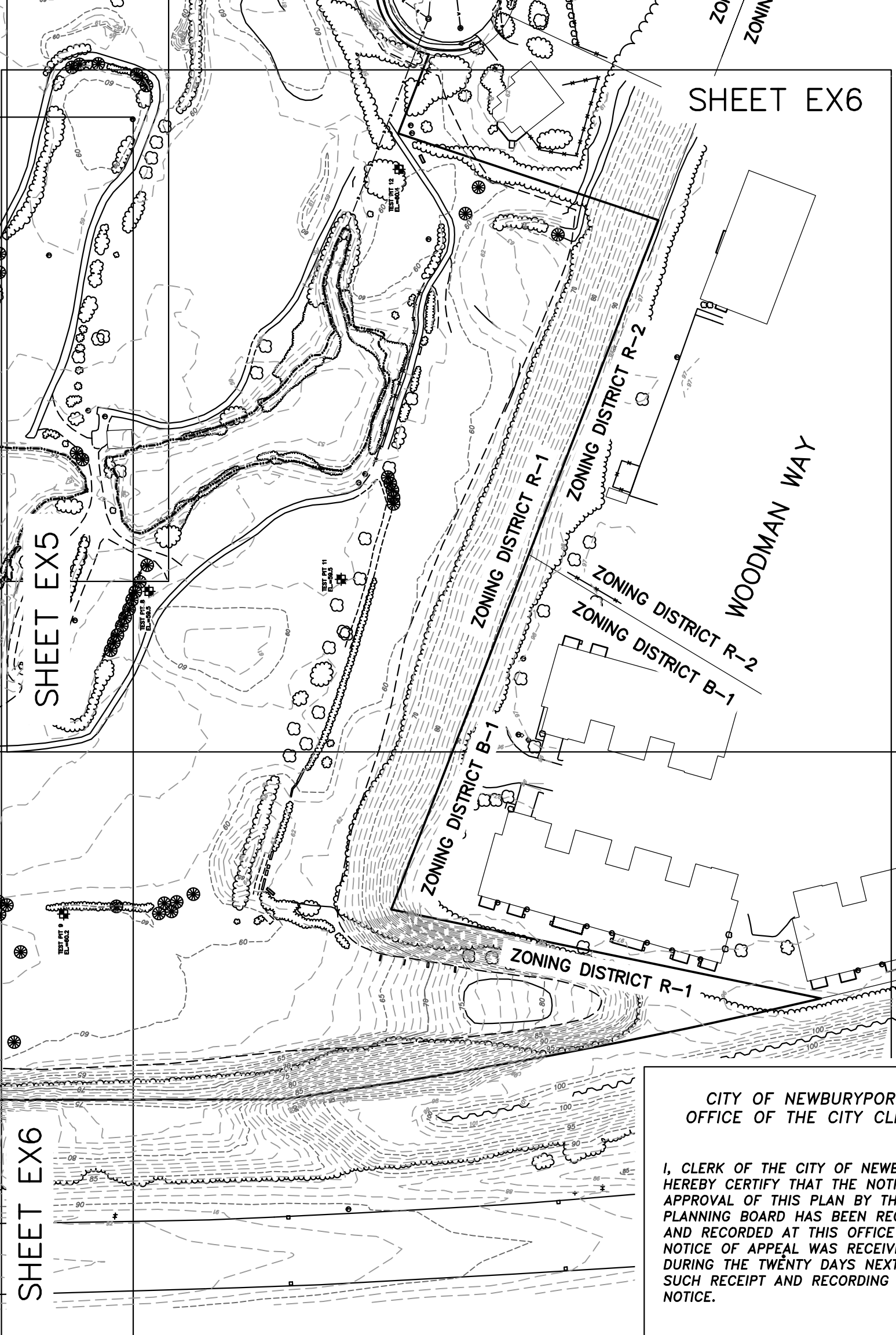
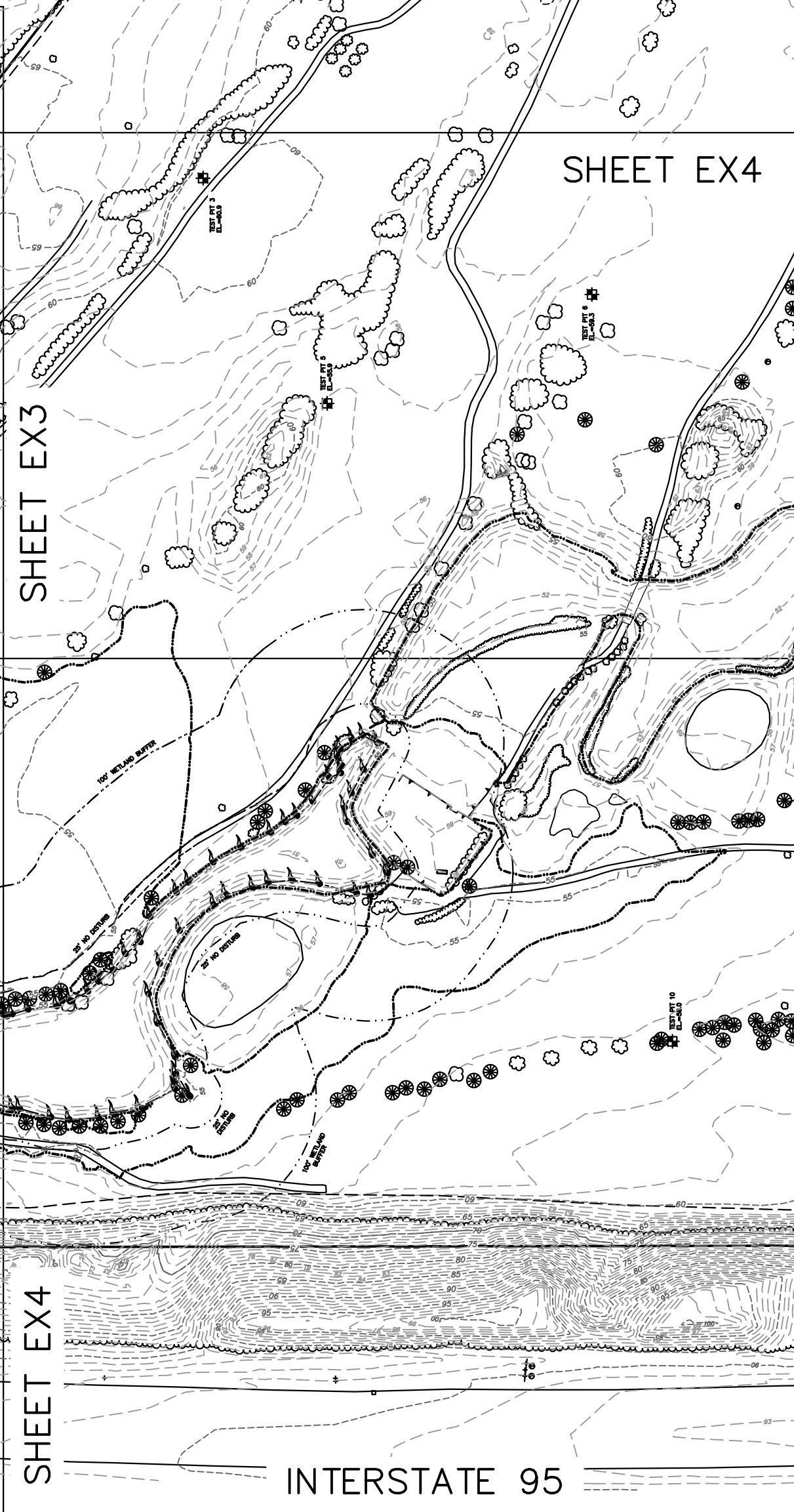
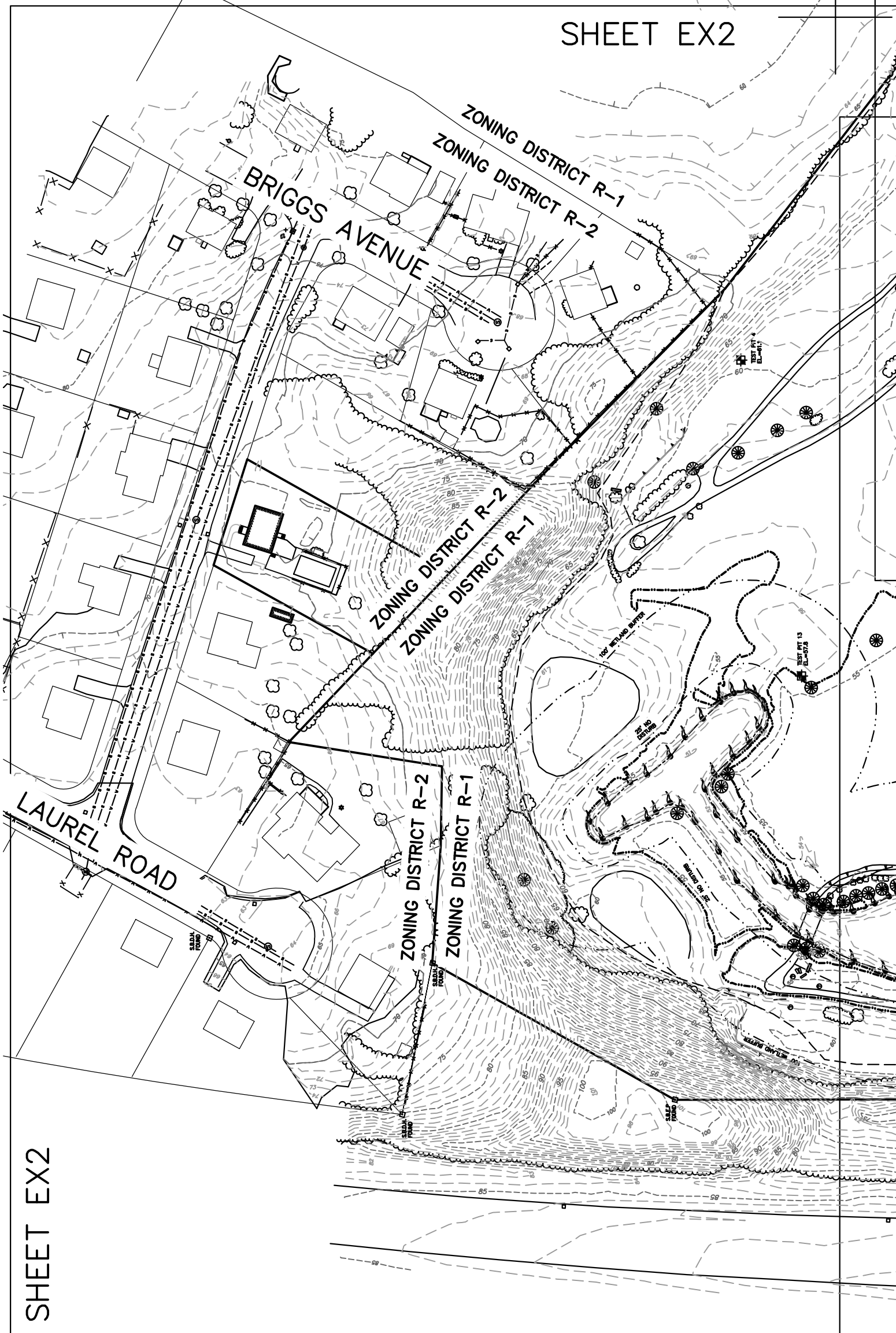
ASSESSORS: MAP 110 PARCEL 20

5 BROWN AVENUE

OWNER: DORIS M. COX

DEED REFERENCE: BOOK 5304 PAGE 173

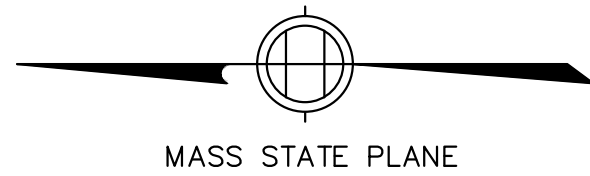
ASSESSORS: MAP 111 PARCEL 13



SHEET EX3

SHEET EX5

SHEET EX6



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0 50 100 200  
SCALE in FEET  
1"=100'

SCALE:

HORIZ: 1"= 100'

VERT: \_\_\_\_\_

NO.	DATE	BY	REVISIONS
1	8/8/17	EJC	REVIEW COMMENTS

FIELD: EC

CALCS: EC

CHECKED: EJC

APPROVED: EJC

EXISTING CONDITIONS PLAN

PORT PLACE  
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
EVERGREEN COMMONS, LLC

PROJECT NO.  
18BOYD

DATE: MAY 22, 2017

SHEET NO.

1 OF 6

EX1

CITY OF NEWBURYPORT  
OFFICE OF THE CITY CLERK

I, CLERK OF THE CITY OF NEWBURYPORT,  
HEREBY CERTIFY THAT THE NOTICE OF  
APPROVAL OF THIS PLAN BY THE  
PLANNING BOARD HAS BEEN RECEIVED  
AND RECORDED AT THIS OFFICE AND NO  
NOTICE OF APPEAL WAS RECEIVED  
DURING THE TWENTY DAYS NEXT AFTER  
SUCH RECEIPT AND RECORDING OF SAID  
NOTICE.

CLERK

DATE

NEWBURYPORT PLANNING BOARD

DATE



RESERVED FOR REGISTERS USE ONLY

LOCUS TITLE INFORMATION  
18 BOYD DRIVE "EVERGREEN GOLF COURSE"  
OWNER: DDJH LLC  
DEED REFERENCE: BOOK 29288 PAGE 376  
ASSESSORS: MAP 110 PARCEL 20  
5 BROWN AVENUE  
OWNER: DORIS M. COX  
DEED REFERENCE: BOOK 5304 PAGE 173  
ASSESSORS: MAP 111 PARCEL 13

NOTES  
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.  
SEE SHEET EX1 FOR ADDITIONAL NOTES.

P.L.S. EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783  
DATE 8/8/17

NEWBURYPORT PLANNING BOARD

DATE

CITY OF NEWBURYPORT  
OFFICE OF THE CITY CLERK

I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CLERK

DATE

Design Consultants, Inc.

Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
617-776-3350

68 PLEASANT STREET  
NEWBURYPORT, MA 01950  
978-358-7173

Winter GEC, LLC

34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

SCALE:  
HORIZ: 1"= 40'  
VERT: \_\_\_\_\_

NO.	DATE	BY	REVISIONS
1	8/8/17	EJC	REVIEW COMMENTS

REVISIONS

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0 20 40 80  
SCALE in FEET  
1"=40'

"DEFINITIVE PLAN"

FIELD: EC  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

EXISTING CONDITIONS PLAN

18 BOYD DRIVE & 5 BROWN AVENUE  
EVERGREEN GOLF COURSE

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
EVERGREEN COMMONS, LLC

PROJECT NO.  
18BOYD  
DATE: MAY 22, 2017  
SHEET NO.  
2 OF 6

EX2

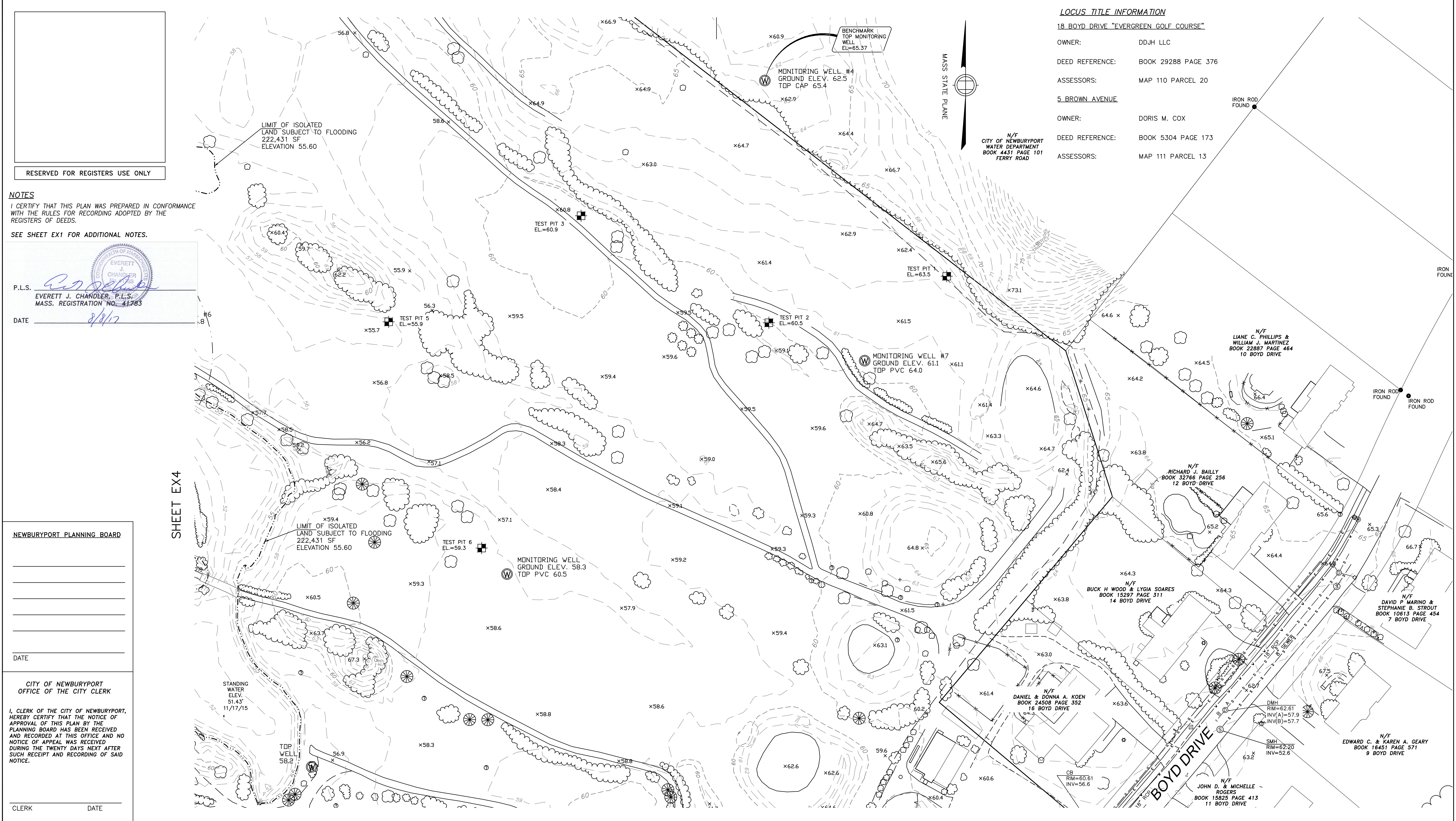
INTERSTATE 95  
NORTH BOUND

SHEET EX4

SHEET EX3

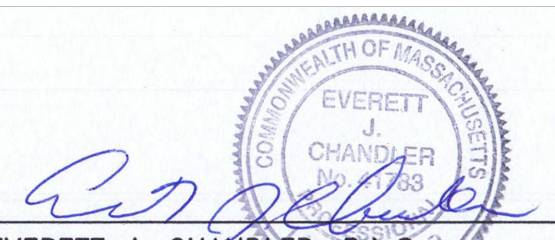
DCI PROJ. NO. 2015-063





**LOCUS TITLE INFORMATION**  
**18 BOYD DRIVE "EVERGREEN GOLF COURSE"**  
OWNER: DDJH LLC  
DEED REFERENCE: BOOK 29288 PAGE 376  
ASSESSORS: MAP 110 PARCEL 20  
**5 BROWN AVENUE**  
OWNER: DORIS M. COX  
DEED REFERENCE: BOOK 5304 PAGE 173  
ASSESSORS: MAP 111 PARCEL 13

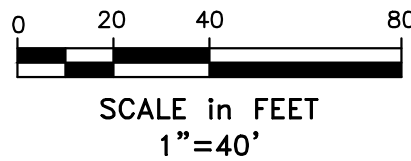
**NOTES**  
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.  
SEE SHEET EX1 FOR ADDITIONAL NOTES.

P.L.S.   
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783  
DATE 8/8/17

**NEWBURYPORT PLANNING BOARD**  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE \_\_\_\_\_  
**CITY OF NEWBURYPORT  
OFFICE OF THE CITY CLERK**  
I, CLERK OF THE CITY OF NEWBURYPORT,  
HEREBY CERTIFY THAT THE NOTICE OF  
APPROVAL OF THIS PLAN BY THE  
PLANNING BOARD HAS BEEN RECEIVED  
AND RECORDED AT THIS OFFICE AND NO  
NOTICE OF APPEAL WAS RECEIVED  
DURING THE TWENTY DAYS NEXT AFTER  
SUCH RECEIPT AND RECORDING OF SAID  
NOTICE.  
CLERK \_\_\_\_\_ DATE \_\_\_\_\_

**Design Consultants, Inc.**  
Consulting Engineers and Surveyors  
120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
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"DEFINITIVE PLAN"

**Winter GEC, LLC**  
34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

SCALE:				
HORIZ: 1"= 40'				
VERT: _____				
1	8/8/17	EJC	REVIEW COMMENTS	
NO.	DATE	BY	REVISIONS	

FIELD: EC  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

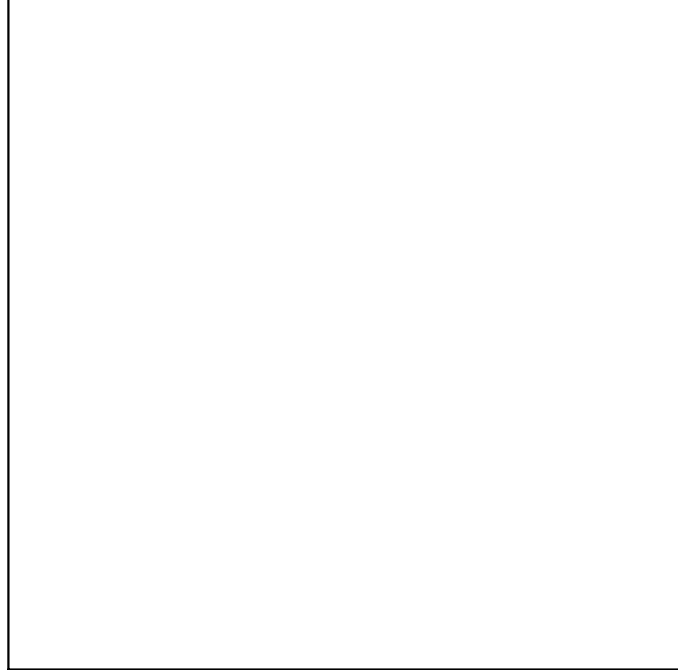
**EXISTING CONDITIONS PLAN**  
**18 BOYD DRIVE & 5 BROWN AVENUE**  
**EVERGREEN GOLF COURSE**

PLAN OF LAND IN  
**NEWBURYPORT, MASSACHUSETTS**  
SURVEYED FOR  
**EVERGREEN COMMONS, LLC**

PROJECT NO.  
**18BOYD**  
DATE: MAY 22, 2017  
SHEET NO.  
3 OF 6

**EX3**





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**NOTES**  
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SEE SHEET EX1 FOR ADDITIONAL NOTES.

P.L.S.   
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783  
DATE 8/8/17

**LOCUS TITLE INFORMATION**  
18 BOYD DRIVE "EVERGREEN GOLF COURSE"  
OWNER: DJH LLC  
DEED REFERENCE: BOOK 29288 PAGE 376  
ASSESSORS: MAP 110 PARCEL 20  
5 BROWN AVENUE  
OWNER: DORIS M. COX  
DEED REFERENCE: BOOK 5304 PAGE 173  
ASSESSORS: MAP 111 PARCEL 13

CITY OF NEWBURYPORT  
OFFICE OF THE CITY CLERK

I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CLERK

DATE

NEWBURYPORT PLANNING BOARD

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DATE

Design Consultants, Inc.  
Consulting Engineers and Surveyors

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SOMERVILLE, MA 02145  
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SCALE:  
HORIZ: 1"= 40'  
VERT: \_\_\_\_\_

NO.	DATE	BY	REVISIONS
1	8/8/17	EJC	REVIEW COMMENTS

0 20 40 80  
SCALE in FEET  
1"=40'

"DEFINITIVE PLAN"

FIELD: EC  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

EXISTING CONDITIONS PLAN  
18 BOYD DRIVE & 5 BROWN AVENUE  
EVERGREEN GOLF COURSE

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
EVERGREEN COMMONS, LLC

PROJECT NO.  
18BOYD  
DATE: MAY 22, 2017  
SHEET NO.  
4 OF 6

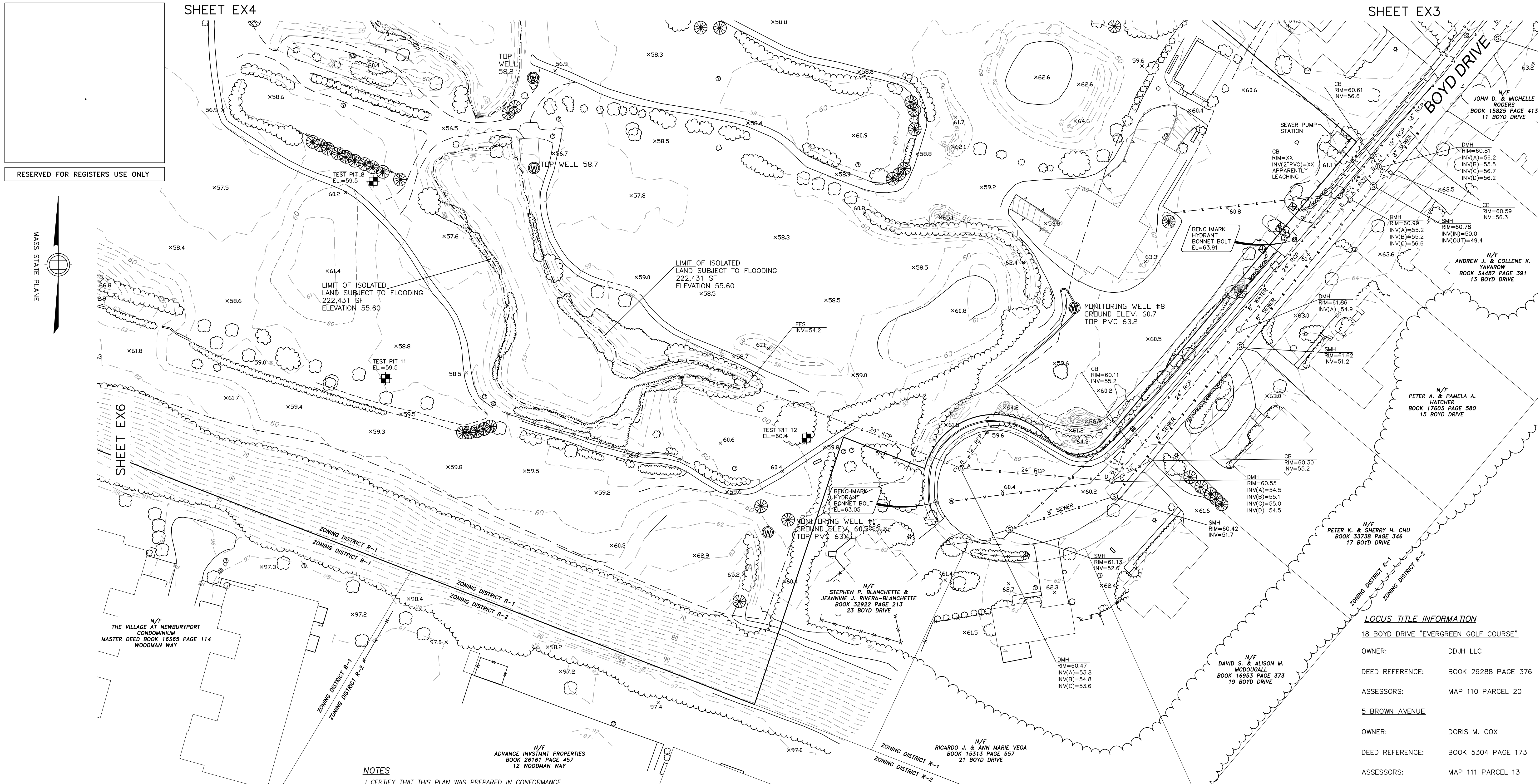
EX4

INTERSTATE 95  
NORTH BOUND

SHEET EX6

SHEET EX5





**NOTES**  
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.  
SEE SHEET EX1 FOR ADDITIONAL NOTES.

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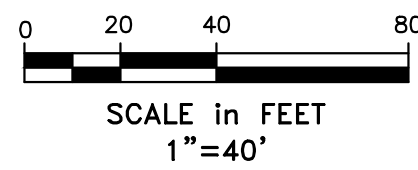
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NEWBURYPORT, MA 01950  
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P.L.S. Everett J. Chandler, P.L.S.  
MASS. REGISTRATION NO. 41783

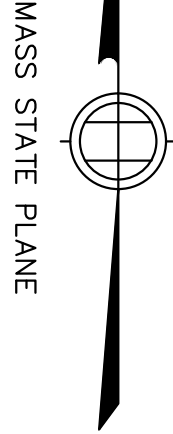
DATE 8/8/17



"DEFINITIVE PLAN"

Winter GEC, LLC  34 WINTER STREET NEWBURYPORT, MA 01950 978-270-8626	SCALE:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
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RESERVED FOR REGISTERS USE ONLY

**NOTES**  
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.  
SEE SHEET EX1 FOR ADDITIONAL NOTES.

P.L.S.   
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783  
DATE 8/8/17

**LOCUS TITLE INFORMATION**  
**18 BOYD DRIVE "EVERGREEN GOLF COURSE"**  
OWNER: DDJH LLC  
DEED REFERENCE: BOOK 29288 PAGE 376  
ASSESSORS: MAP 110 PARCEL 20  
**5 BROWN AVENUE**  
OWNER: DORIS M. COX  
DEED REFERENCE: BOOK 5304 PAGE 173  
ASSESSORS: MAP 111 PARCEL 13

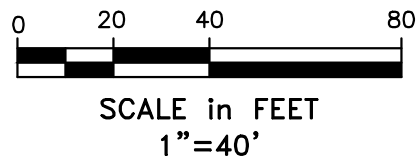
INTERSTATE 95  
NORTH BOUND

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**Design Consultants, Inc.**  
Consulting Engineers and Surveyors  
120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
617-776-3350  
68 PLEASANT STREET  
NEWBURYPORT, MA 01950  
978-358-7173

**Winter GEC, LLC**  
34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

SCALE:				
HORIZ: 1"= 40'				
VERT: _____				
1	8/8/17	EJC	REVIEW COMMENTS	
NO.	DATE	BY	REVISIONS	



"DEFINITIVE PLAN"

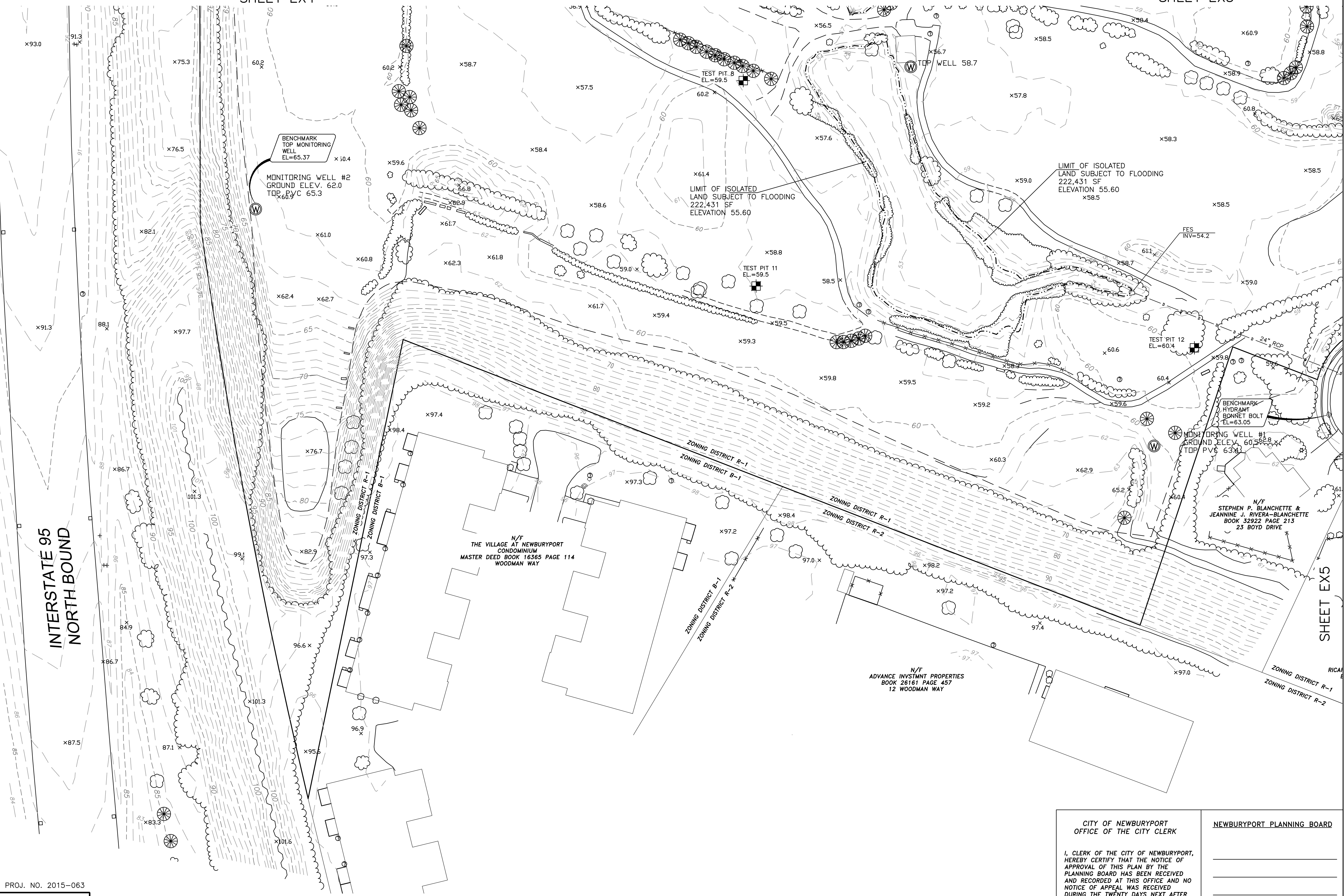
FIELD: EC  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

EXISTING CONDITIONS PLAN  
18 BOYD DRIVE & 5 BROWN AVENUE  
EVERGREEN GOLF COURSE

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
EVERGREEN COMMONS, LLC

PROJECT NO.  
18BOYD  
DATE: MAY 22, 2017  
SHEET NO.  
6 OF 6

EX6



CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK		NEWBURYPORT PLANNING BOARD	
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.		DATE	
		DATE	





RESERVED FOR REGISTERS USE ONLY

NOTES

THE PURPOSE OF THIS PLAN IS TO SHOW THE PRELIMINARY LOT LAYOUT FOR A DEFINITIVE SUBDIVISION OFF BOYD DRIVE AND LAUREL ROAD IN NEWBURYPORT, MASSACHUSETTS. IT IS THE RESULT OF AERIAL MAPPING PERFORMED IN 2015 BASED ON 2010 FLIGHTS AS UPDATED BY AN ACTUAL ON THE GROUND SURVEY PERFORMED BETWEEN NOVEMBER 2015 AND SEPTEMBER 2016 AND ROADWAY AND LOT LAYOUT BY DESIGN CONSULTANTS, INC IN SEPTEMBER 2016.

OWNERSHIP INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CLIENT AND THE CITY OF NEWBURYPORT ASSESSOR'S OFFICE IN NOVEMBER 2015.

ALL PLAN AND DEED REFERENCES REFER TO THE SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS.


UTILITIES SHOWN HEREON ARE BASED ON RECORD PLANS OBTAINED FROM THE RESPECTIVE UTILITY OWNERS. INVERTS ARE BASED ON ACTUAL FIELD MEASUREMENTS.

THE LOCUS PROPERTY IS LOCATED IN ZONE X, AREA OF MINIMAL FLOODING, AS GRAPHICALLY SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) 25009C0108F WITH AN EFFECTIVE DATE OF 07/03/2012. THE FLOOD ZONE DETERMINATION WAS MADE BY GRAPHIC PLOTTING ONLY AND NO FIELD SURVEYING WAS COMPLETED TO MAKE THIS DETERMINATION.

SEE COVER SHEET FOR LIST OF WAIVERS REQUESTED.

I CERTIFY THAT THE SURVEY PERFORMED TO PREPARE THIS PLAN CONFORMED TO THE PROCEDURAL AND TECHNICAL STANDARDS FOR AN ON-THE-GROUND CADASTRAL SURVEY IN ACCORDANCE WITH COMMONWEALTH OF MASSACHUSETTS 250 CMR SECTION 6.0.1 AND THAT THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.

P.L.S.   
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783  
DATE 8/8/17

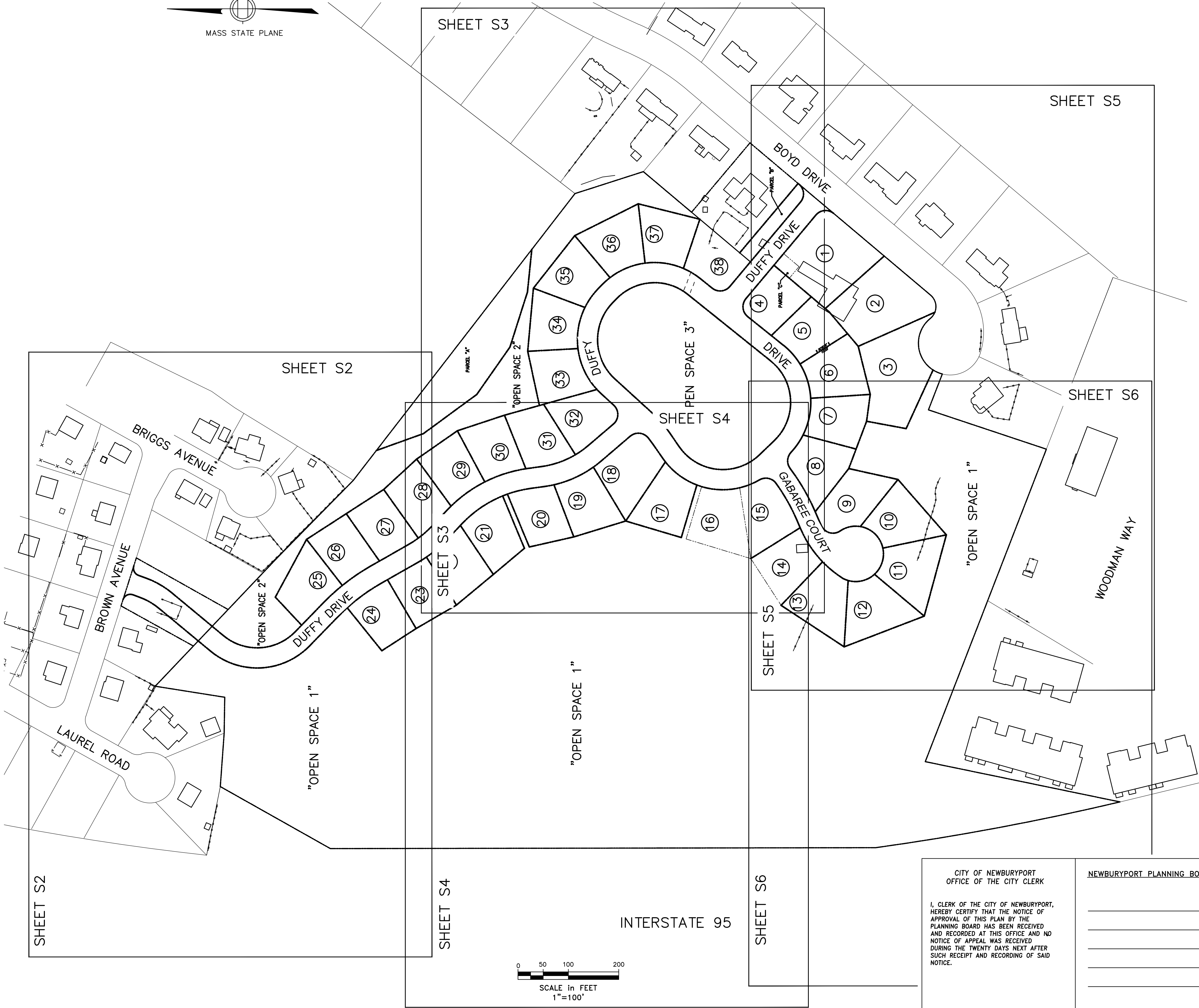
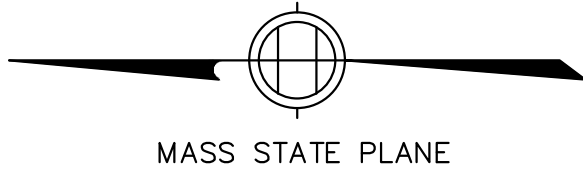
LOCUS TITLE INFORMATION

18 BOYD DRIVE "EVERGREEN GOLF COURSE"

OWNER: DDJH LLC  
DEED REFERENCE: BOOK 29288 PAGE 376  
ASSESSORS: MAP 110 PARCEL 20

15 LAUREL ROAD

OWNER: HOWARD JOHNSTONE & KATHLEEN B. HALL  
DEED REFERENCE: BOOK 34678 PAGE 452  
ASSESSORS: MAP 111 PARCEL 117



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Design Consultants, Inc.  
Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
617-776-3350

68 PLEASANT STREET  
NEWBURYPORT, MA 01950  
978-358-7173

Winter GEC, LLC

34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

SCALE:  
HORIZ: 1"= 100'  
VERT: \_\_\_\_\_

1	8/8/17	EJC	REVIEW COMMENTS	
NO.	DATE	BY	REVISIONS	

FIELD: EC  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

LOT LAYOUT KEY PLAN

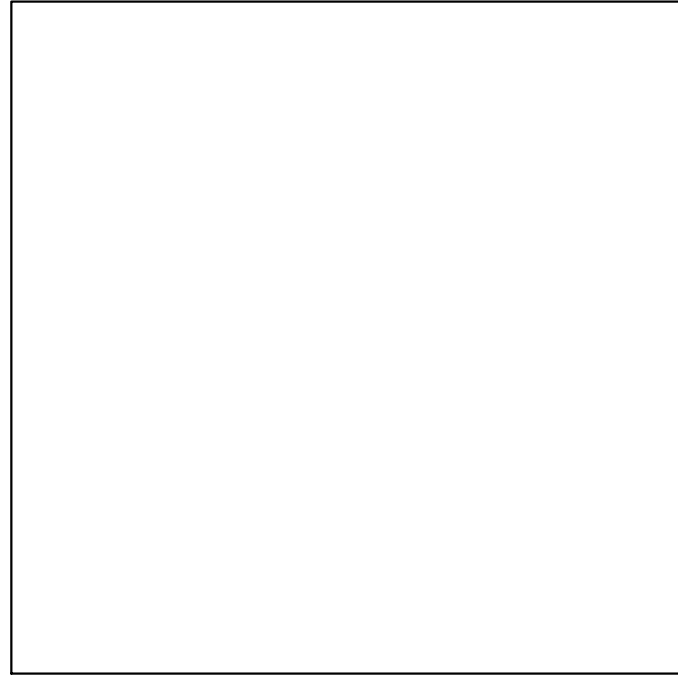
PORT PLACE  
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
EVERGREEN COMMONS, LLC

PROJECT NO.  
18BOYD  
DATE: MAY 22, 2017  
SHEET NO.  
1 OF 6

S1



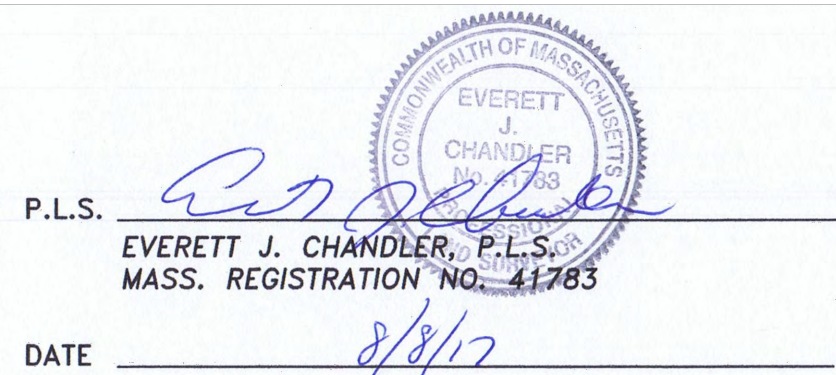


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NOTES

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.

SEE SHEET S1 FOR ADDITIONAL NOTES.



NEWBURYPORT PLANNING BOARD

\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_  
DATE

CITY OF NEWBURYPORT  
OFFICE OF THE CITY CLERK

I, CLERK OF THE CITY OF NEWBURYPORT,  
HEREBY CERTIFY THAT THE NOTICE OF  
APPROVAL OF THIS PLAN BY THE  
PLANNING BOARD HAS BEEN RECEIVED  
AND RECORDED AT THIS OFFICE AND NO  
NOTICE OF APPEAL WAS RECEIVED  
DURING THE TWENTY DAYS NEXT AFTER  
SUCH RECEIPT AND RECORDING OF SAID  
NOTICE.

CLERK DATE

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Design Consultants, Inc.

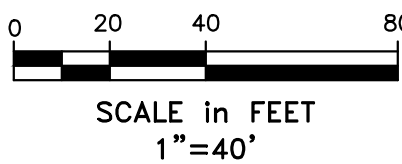
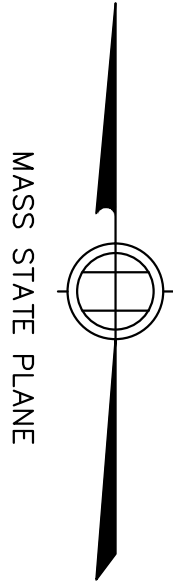
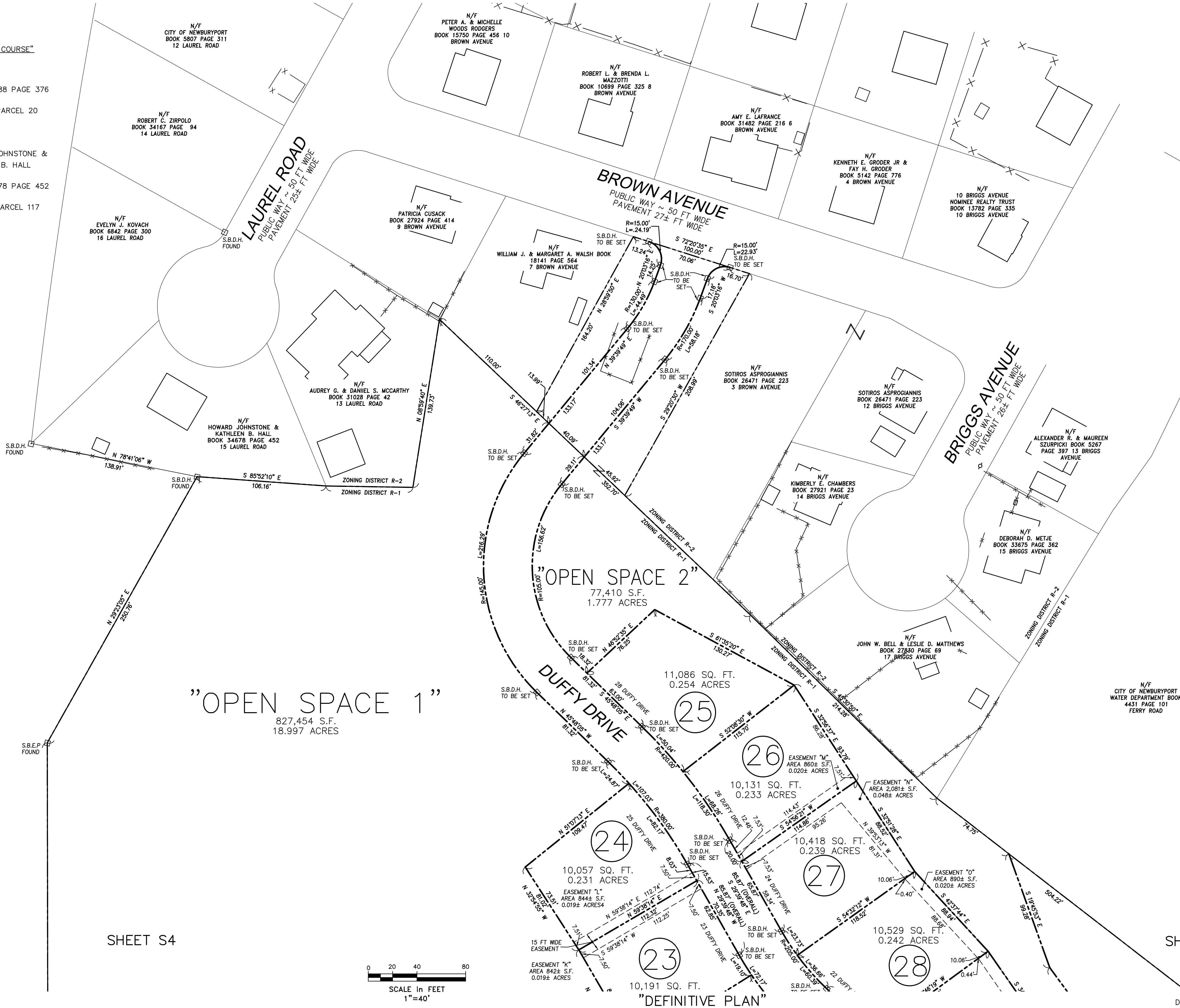
Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
617-776-3350

68 PLEASANT STREET  
NEWBURYPORT, MA 01950  
978-358-7173

Winter GEC, LLC

34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626



SHEET S4

SHEET S3

DCI PROJ. NO. 2015-063

FIELD: EC  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

LOT LAYOUT PLAN  
PORT PLACE  
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
EVERGREEN COMMONS, LLC


PROJECT NO.  
18BOYD  
DATE: MAY 22, 2017  
SHEET NO.  
2 OF 6

S2



NOTES

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.

P.L.S.  EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783

DATE 8/8/17

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DATE \_\_\_\_\_

I, CLERK OF THE CITY OF NEWBURYPORT,  
HEREBY CERTIFY THAT THE NOTICE OF  
APPROVAL OF THIS PLAN BY THE  
PLANNING BOARD HAS BEEN RECEIVED  
AND RECORDED AT THIS OFFICE AND NO  
NOTICE OF APPEAL WAS RECEIVED  
DURING THE TWENTY DAYS NEXT AFTER  
SUCH RECEIPT AND RECORDING OF SAID  
NOTICE.

CLERK DATE

Winter GEC, LLC

34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

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SCALE:

HORIZ: 1" = 40'

VERT: \_\_\_\_\_

1	8/8/17	EJC	REVIEW COMMENTS
NO.	DATE	BY	REVISIONS

SCALE in FEET  
1"=40'

"DEFINITIVE PLAN"

FIELD: EC  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

PORT PLACE  
18 BOYD DRIVE & 5 BROWN AVENUE

N/F  
CITY OF NEWBURYPORT  
WATER DEPARTMENT BOOK  
4431 PAGE 101  
FERRY ROAD

N/F  
LIANE C. PHILLIPS &  
WILLIAM J. MARTINEZ  
BOOK 22887 PAGE 464  
10 BOYD DRIVE

N/F  
\* RICHARD J. BAILLY  
BOOK 32766 PAGE 2  
12 BOYD DRIVE

N/F  
BUCK H WOOD & LYGIA SOARES  
BOOK 15297 PAGE 311  
14 BOYD DRIVE

N/F  
DAVID P MARINO &  
STEPHANIE B. STROUT  
BOOK 10613 PAGE 454  
7 BOYD DRIVE

N/F  
EDWARD C. & KAREN A. GEARY  
BOOK 16451 PAGE 571  
9 BOYD DRIVE

N/F  
JOHN D. & MICHELLE  
ROGERS  
BOOK 15825 PAGE 413  
11 BOYD DRIVE

SHEET S5

PROJECT NO.  
18BOYD

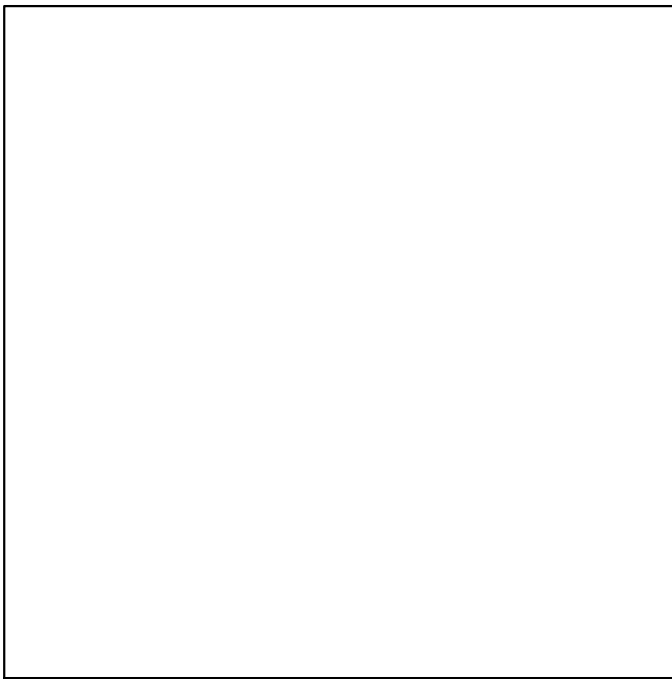
DATE: MAY 22, 2017

SHEET NO.  
3 OF 6

DCI PROJ. NO. 2015-063

S3





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NOTES  
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SEE SHEET S1 FOR ADDITIONAL NOTES.

P.L.S.   
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783  
DATE 8/8/17

LOCUS TITLE INFORMATION

18 BOYD DRIVE "EVERGREEN GOLF COURSE"

OWNER: DDJH LLC

DEED REFERENCE: BOOK 29288 PAGE 376

ASSESSORS: MAP 110 PARCEL 20

5 BROWN AVENUE

OWNER: DORIS M. COX

DEED REFERENCE: BOOK 5304 PAGE 173

ASSESSORS: MAP 111 PARCEL 13

CITY OF NEWBURYPORT  
OFFICE OF THE CITY CLERK

NEWBURYPORT PLANNING BOARD

I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CLERK DATE

DATE

Design Consultants, Inc.

Consulting Engineers and Surveyors

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SCALE:

HORIZ: 1"= 40'

VERT: \_\_\_\_\_

NO.	DATE	BY	REVIEW COMMENTS	REVISIONS
1	8/8/17	EJC	REVIEW COMMENTS	

FIELD: EC  
CALCS: EC  
CHECKED: EJC  
APPROVED: EJC

"DEFINITIVE PLAN"

LOT LAYOUT PLAN

PORT PLACE  
18 BOYD DRIVE & 5 BROWN AVENUE

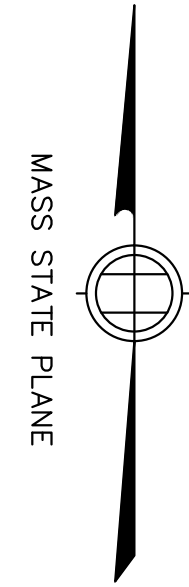
PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
EVERGREEN COMMONS, LLC

PROJECT NO.  
18BOYD  
DATE: MAY 22, 2017  
SHEET NO.  
4 OF 6

S4

SHEET S4

INTERSTATE 95  
NORTH BOUND



N 00°05'32" W  
1082.42'

0 20 40 80  
SCALE in FEET  
1"=40'

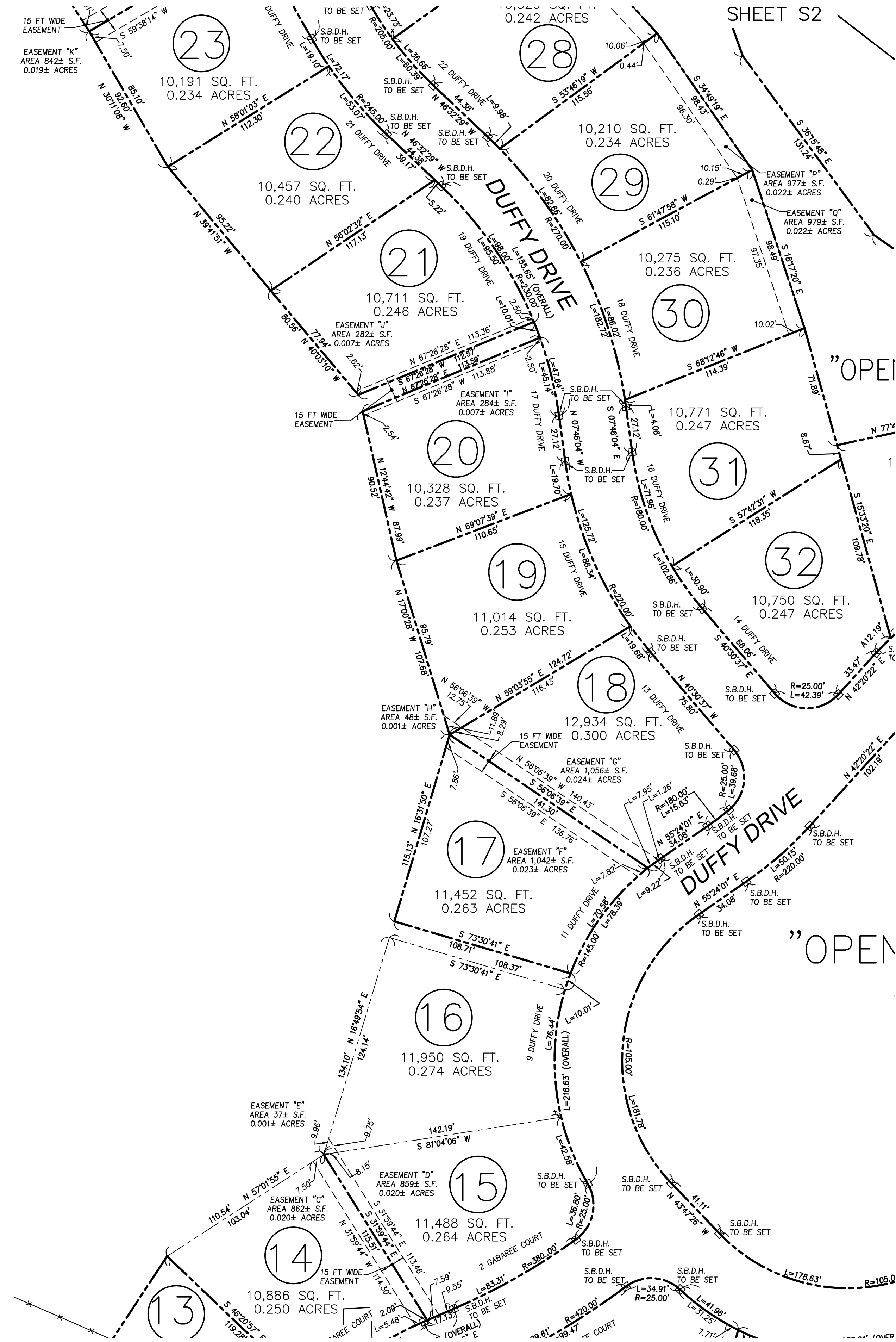
SHEET S2

"OPEN SPACE 1"

827,454 S.F.  
18.997 ACRES

SHEET S6

SHEET S2



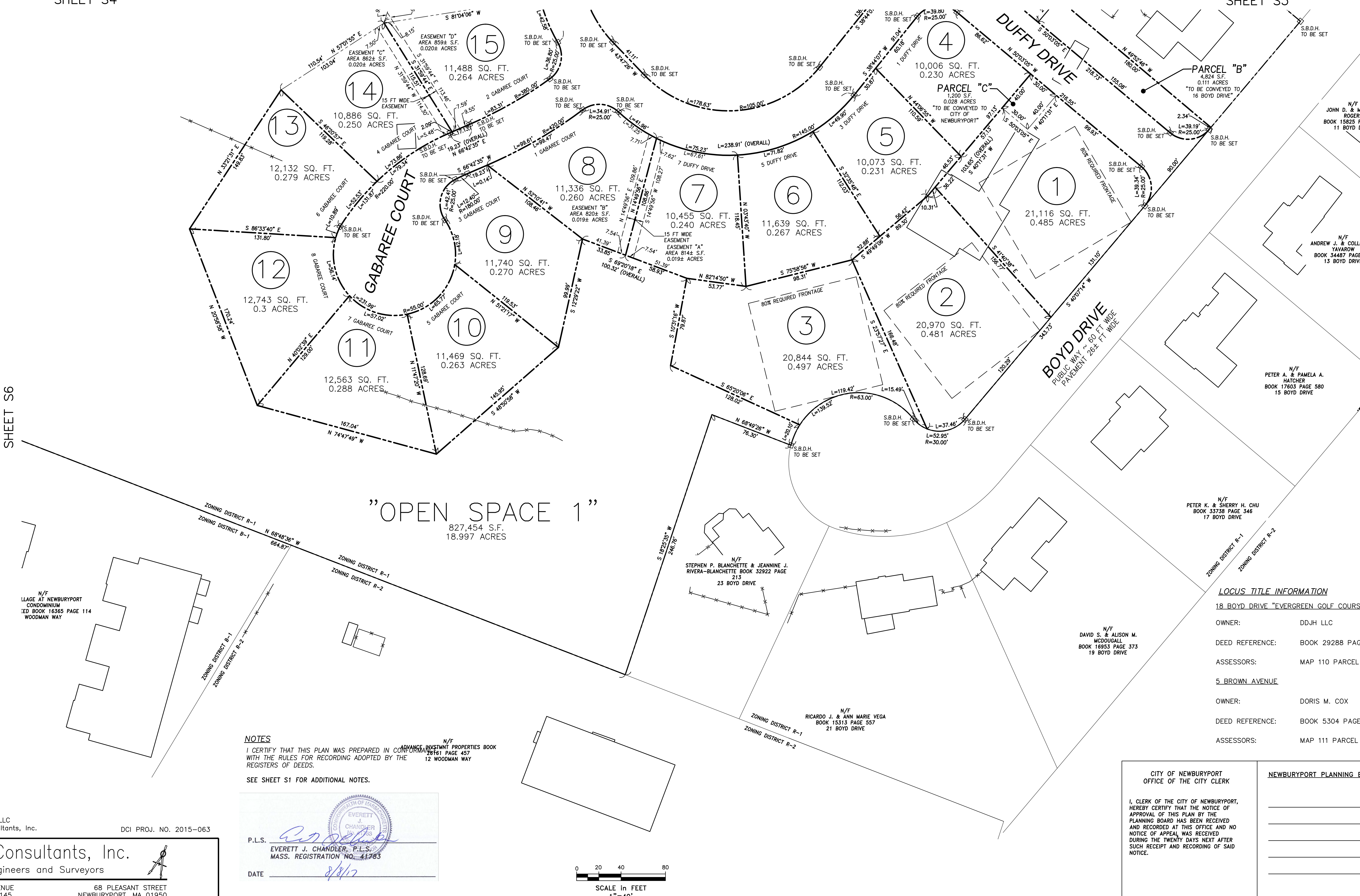
SHEET S5

DCI PROJ. NO. 2015-063



MASS STATE PLANE

SHEET S6



N/F  
LLAGE AT NEWBURYPORT  
CONDUMINIUM  
ED BOOK 16365 PAGE 114  
WOODMAN WAY

N/F  
STEPHEN P. BLANCHETTE & JEANNINE J.  
RIVERA-BLANCHETTE BOOK 32922 PAGE  
213  
23 BOYD DRIVE

N/F  
RICARDO J. & ANN MARIE VEGA  
BOOK 15313 PAGE 557  
21 BOYD DRIVE

N/F  
DAVID S. & ALISON M.  
WDOUGALL  
BOOK 16953 PAGE 373  
19 BOYD DRIVE

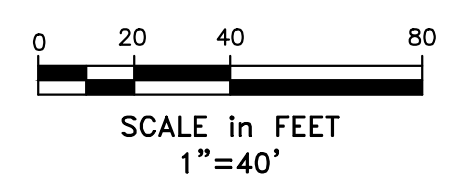
N/F  
PETER K. & SHERRY H. CHU  
BOOK 33738 PAGE 346  
17 BOYD DRIVE

N/F  
ANDREW J. & COLLENE K.  
YAVAROW  
BOOK 34487 PAGE 391  
13 BOYD DRIVE

N/F  
JOHN D. & MICHELLE  
ROGERS  
BOOK 15825 PAGE 413  
11 BOYD DRIVE

NOTES  
I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.  
SEE SHEET S1 FOR ADDITIONAL NOTES.

P.L.S.  
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783  
DATE 8/8/17



LOCUS TITLE INFORMATION  
18 BOYD DRIVE "EVERGREEN GOLF COURSE"  
OWNER: DDJH LLC  
DEED REFERENCE: BOOK 29288 PAGE 376  
ASSESSORS: MAP 110 PARCEL 20  
5 BROWN AVENUE  
OWNER: DORIS M. COX  
DEED REFERENCE: BOOK 5304 PAGE 173  
ASSESSORS: MAP 111 PARCEL 13

CITY OF NEWBURYPORT OFFICE OF THE CITY CLERK		NEWBURYPORT PLANNING BOARD	
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.			
CLERK	DATE	DATE	

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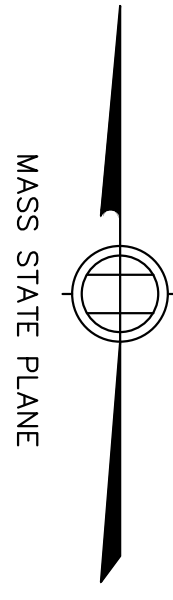
Design Consultants, Inc.  
Consulting Engineers and Surveyors  
120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
617-776-3350  
68 PLEASANT STREET  
NEWBURYPORT, MA 01950  
978-358-7173

Winter GEC, LLC  
34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

SCALE:  HORIZ: 1"= 40'  VERT: _____					FIELD: <u>EC</u> CALCS: <u>EC</u> CHECKED: <u>EJC</u> APPROVED: <u>EJC</u>	LOT LAYOUT PLAN	PLAN OF LAND IN  NEWBURYPORT, MASSACHUSETTS  SURVEYED FOR  EVERGREEN COMMONS, LLC	PROJECT NO. 18BOYD	S5
								DATE: MAY 22, 2017	
							SHEET NO.		
							5 OF 6		
	1	8/8/17	EJC	REVIEW COMMENTS					
	NO.	DATE	BY	REVISIONS		18 BOYD DRIVE & 5 BROWN AVENUE			



RESERVED FOR REGISTERS USE ONLY



NOTES

I CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMANCE WITH THE RULES FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS.

SEE SHEET EX1 FOR ADDITIONAL NOTES.

P.L.S.   
EVERETT J. CHANDLER, P.L.S.  
MASS. REGISTRATION NO. 41783  
DATE 8/8/17

LOCUS TITLE INFORMATION

18 BOYD DRIVE "EVERGREEN GOLF COURSE"

OWNER: DDJH LLC  
DEED REFERENCE: BOOK 29288 PAGE 376  
ASSESSORS: MAP 110 PARCEL 20  
5 BROWN AVENUE  
OWNER: DORIS M. COX  
DEED REFERENCE: BOOK 5304 PAGE 173  
ASSESSORS: MAP 111 PARCEL 13

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Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
617-776-3350

68 PLEASANT STREET  
NEWBURYPORT, MA 01950  
978-358-7173

Winter GEC, LLC

34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

INTERSTATE 95  
NORTH BOUND

L=483.17' R=5238.48'

ZONING DISTRICT R-1  
ZONING DISTRICT B-1

N/F  
THE VILLAGE AT NEWBURYPORT  
CONDOMINIUM  
MASTER DEED BOOK 18365 PAGE 114  
WOODMAN WAY

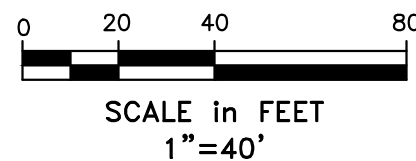
ZONING DISTRICT R-1  
ZONING DISTRICT B-1

ZONING DISTRICT R-1  
ZONING DISTRICT R-2

N/F  
ADVANCE INVSTMT PROPERTIES BOOK  
26161 PAGE 457  
12 WOODMAN WAY

N/F  
STEPHEN P. BLANCHETTE & JEANNINE J.  
RIVERA-BLANCHETTE BOOK 32922 PAGE  
213  
23 BOYD DRIVE

ZONING DISTRICT R-1  
ZONING DISTRICT R-2



"DEFINITIVE PLAN"

LOT LAYOUT PLAN

PORT PLACE  
18 BOYD DRIVE & 5 BROWN AVENUE

PLAN OF LAND IN  
NEWBURYPORT, MASSACHUSETTS  
SURVEYED FOR  
EVERGREEN COMMONS, LLC

CITY OF NEWBURYPORT  
OFFICE OF THE CITY CLERK

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PLANNING BOARD HAS BEEN RECEIVED  
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NOTICE OF APPEAL WAS RECEIVED  
DURING THE TWENTY DAYS NEXT AFTER  
SUCH RECEIPT AND RECORDING OF SAID  
NOTICE.

CLERK

DATE

NEWBURYPORT PLANNING BOARD

PROJECT NO.  
18BOYD

DATE: MAY 22, 2017

SHEET NO.

6 OF 6

S6

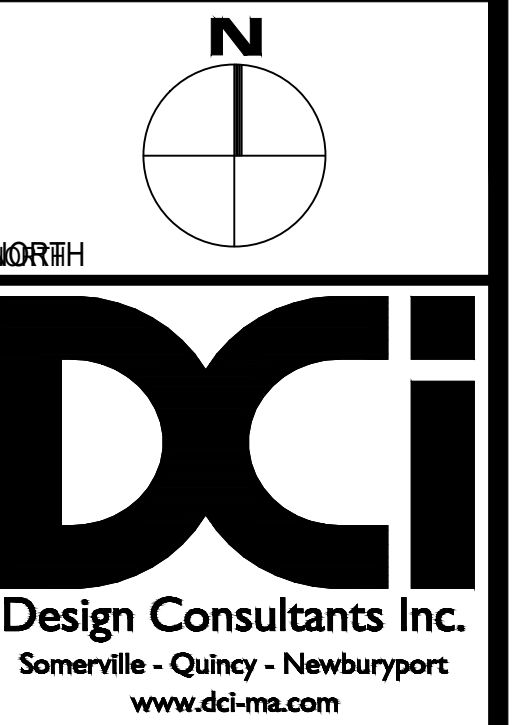


# SHEETS C3, C7

SHEETS C5, C9

# SHEETS C2, C6

# SHEETS C4, C8



## PROJECT TEAM

18 BOYD DRIVE,  
SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

## PROJECT INFO

[illegible]

STAMP:

# CIVIL KEY SHEET

SHEET NAME:

C1

SHEET NO:

WR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: June 2, 2017

SCALE: 1"=80'

A horizontal scale bar with a black and white checkered pattern. It is labeled "SCALE IN FEET" below the bar. The bar has markings at 80, 0, 80, and 160.

CITY OF NEWBURYPORT  
OFFICE OF THE TOWN CLERK

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NOTICE.

CLERK \_\_\_\_\_ DATE \_\_\_\_\_

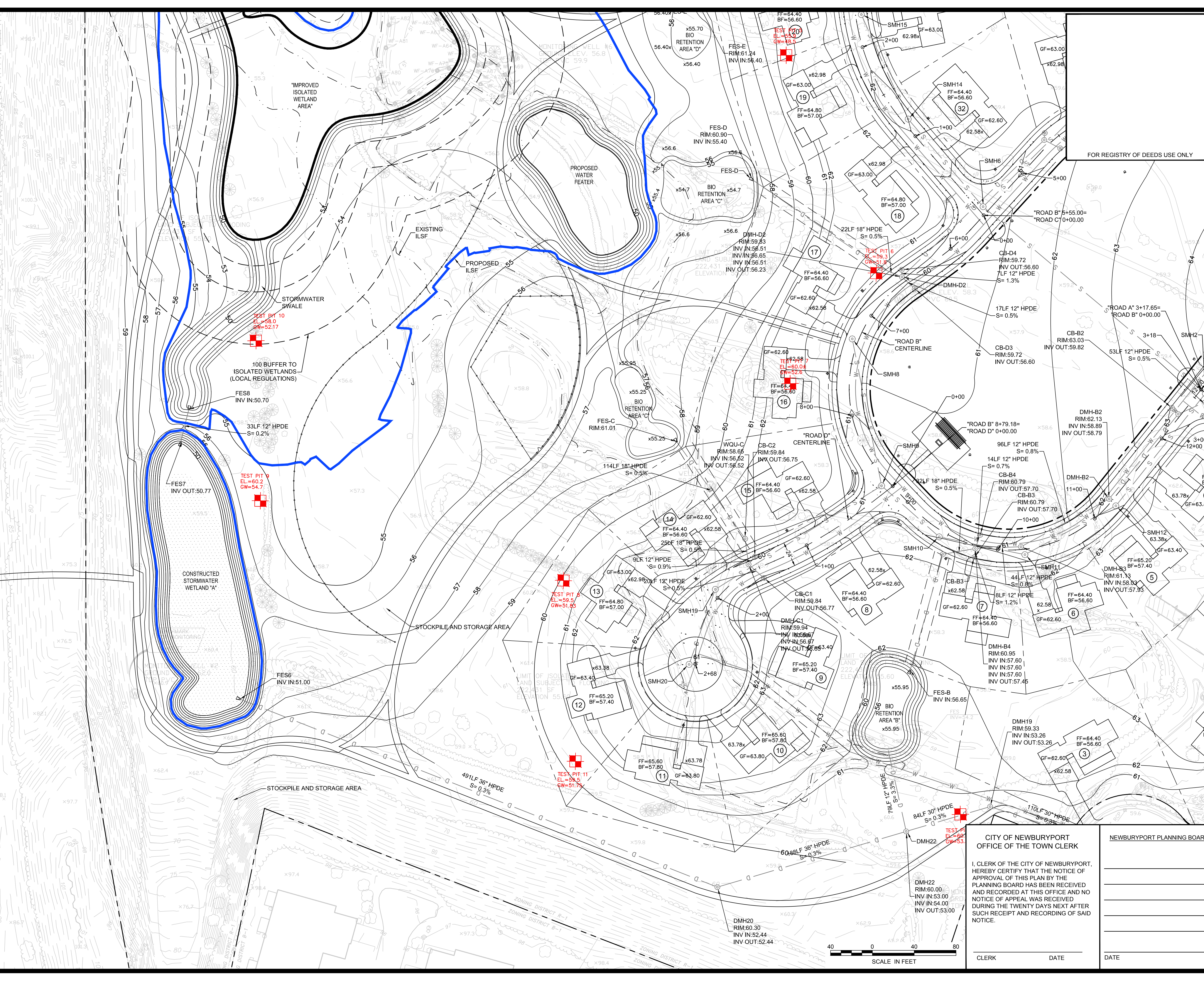
NEWBURYPORT PLANNING BOARD

DATE \_\_\_\_\_



P:\2015 PROJECTS\2015-063 18 BOYD ST. NEWBURYPORT\DWG\_1\ENGINEERING\15-063 C2 GRADING PLANDWG

INTERSTATE 95  
NORTH BOUND



NORTH

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PROJECT TEAM

**18 BOYD DRIVE,  
SUBDIVISION  
NEWBURYPORT, MA**

PREPARED FOR  
**EVERGREEN  
COMMONS, LLC**

PROJECT INFO

1.	REVIEW COMMENTS	8/8/17
REV	DESCRIPTION	DATE



STAMP:

## GRADING PLAN 1

SHEET NAME:

**C2**

SHEET NO:

DR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: June 2, 2017

SCALE: 1"=40'

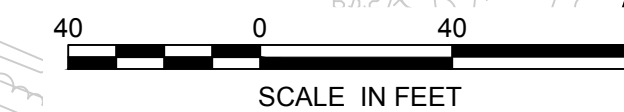
CITY OF NEWBURYPORT  
OFFICE OF THE TOWN CLERK

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NOTICE.

CLERK \_\_\_\_\_ DATE \_\_\_\_\_

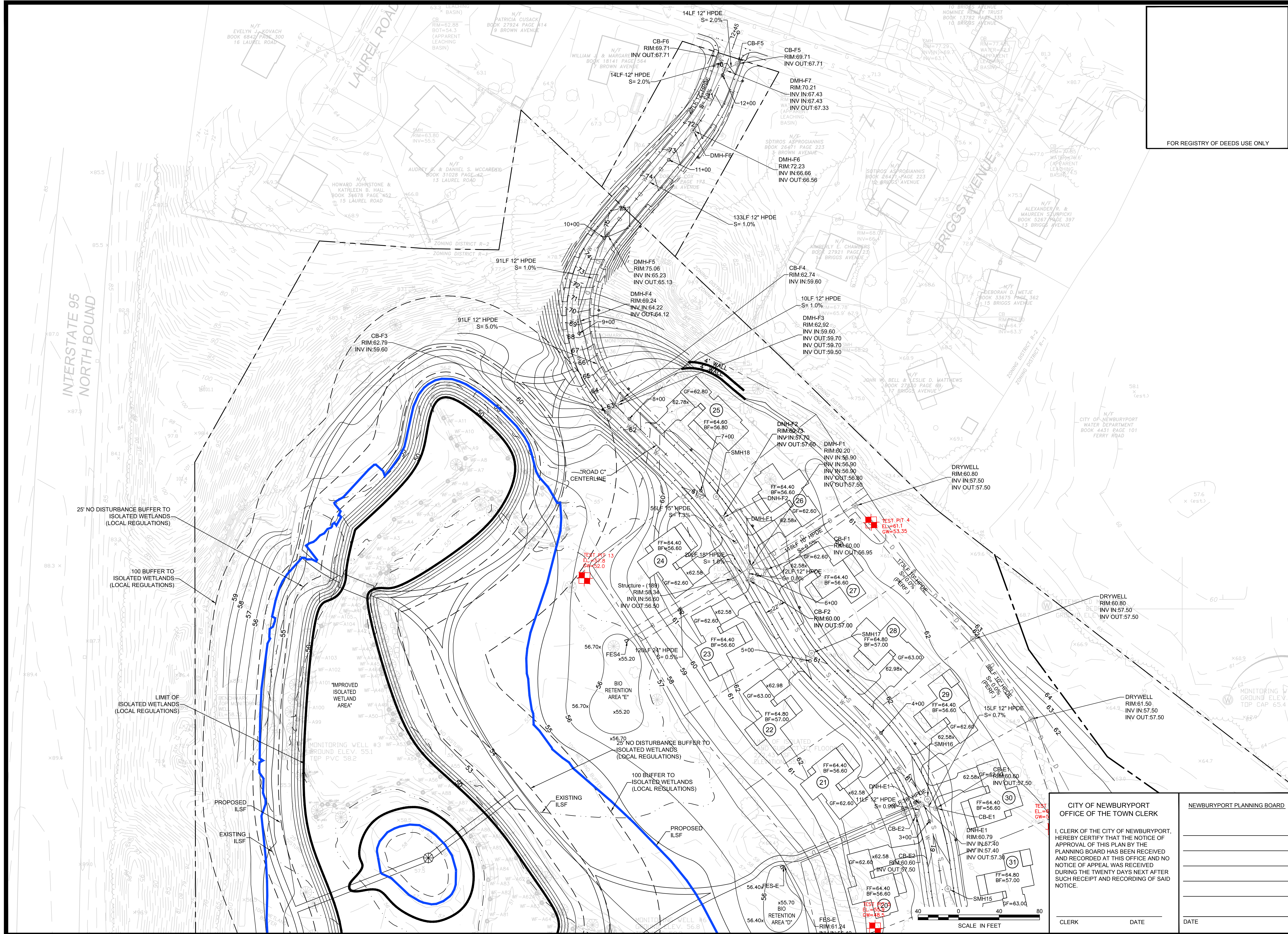
NEWBURYPORT PLANNING BOARD

DATE \_\_\_\_\_





P:\2015 PROJECTS\2015-063 18 BOYD ST. NEWBURYPORT.DWG, \_ENGINEERING\15-063 C2 GRADING PLAN.DWG



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PROJECT TEAM

18 BOYD DRIVE,  
SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

PROJECT INFO		
1.	REVIEW COMMENTS	8/8/17
REV	DESCRIPTION	DATE



STAMP:

**GRADING  
PLAN 2**

SHEET NAME:

**C3**

SHEET NO:

DR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: June 2, 2017

SCALE: 1"=40'

CITY OF NEWBURYPORT  
OFFICE OF THE TOWN CLERK

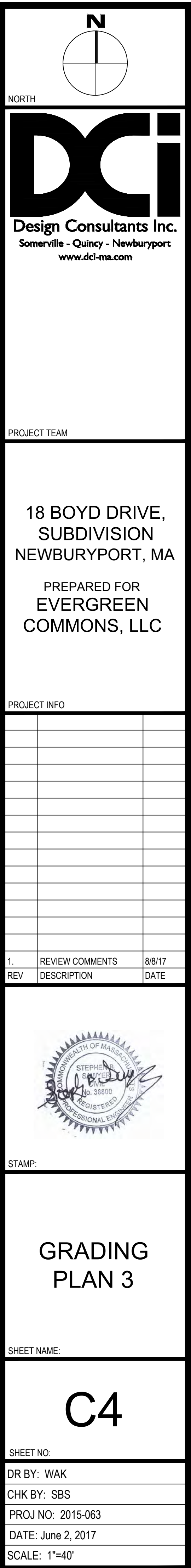
NEWBURYPORT PLANNING BOARD

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SUCH RECEIPT AND RECORDING OF SAID  
NOTICE.

CLERK DATE

DATE













PROJECT TEAM

18 BOYD DRIVE,  
SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

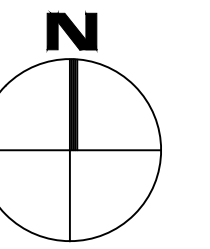
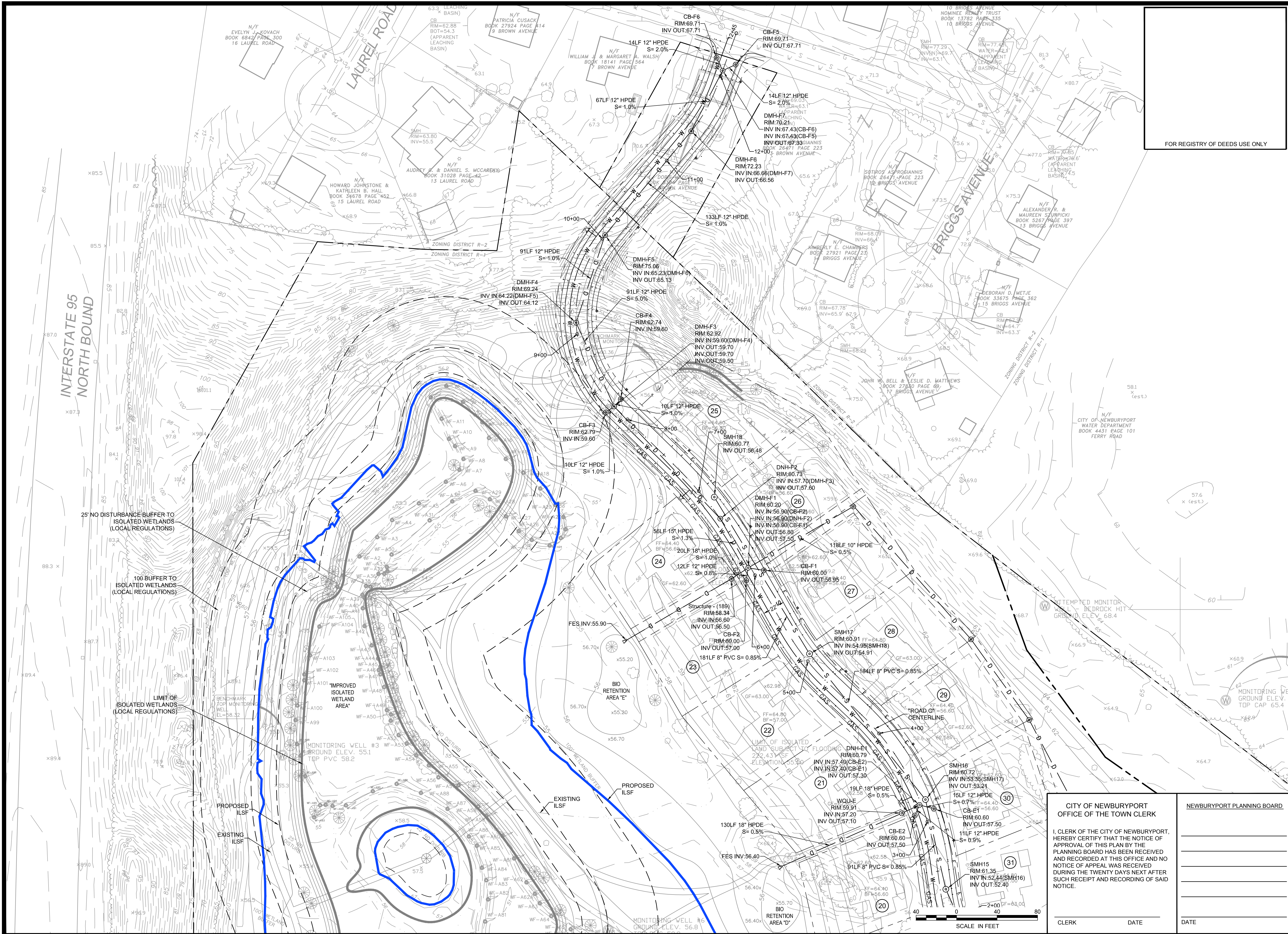
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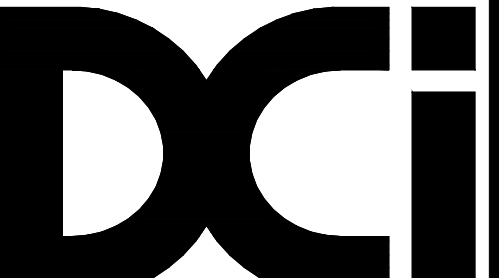
**DRAINAGE  
& UTILITY  
PLAN 1**

SHEET NAME:
C6
SHEET NO:
DR BY: WAK
CHK BY: SBS
PROJ NO: 2015-063
DATE: June 2, 2017
SCALE: 1"=40'





NORTH



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## PROJECT TEAM

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SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

## PROJECT INFO

[illegible]

STAMP:

# DRAINAGE & UTILITY PLAN 2

SHEET NAME:

C7

SHEET NO:

BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: June 2, 2017

SCALE: 1"=40'

CITY OF NEWBURYPORT  
OFFICE OF THE TOWN CLERK

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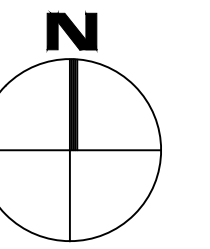
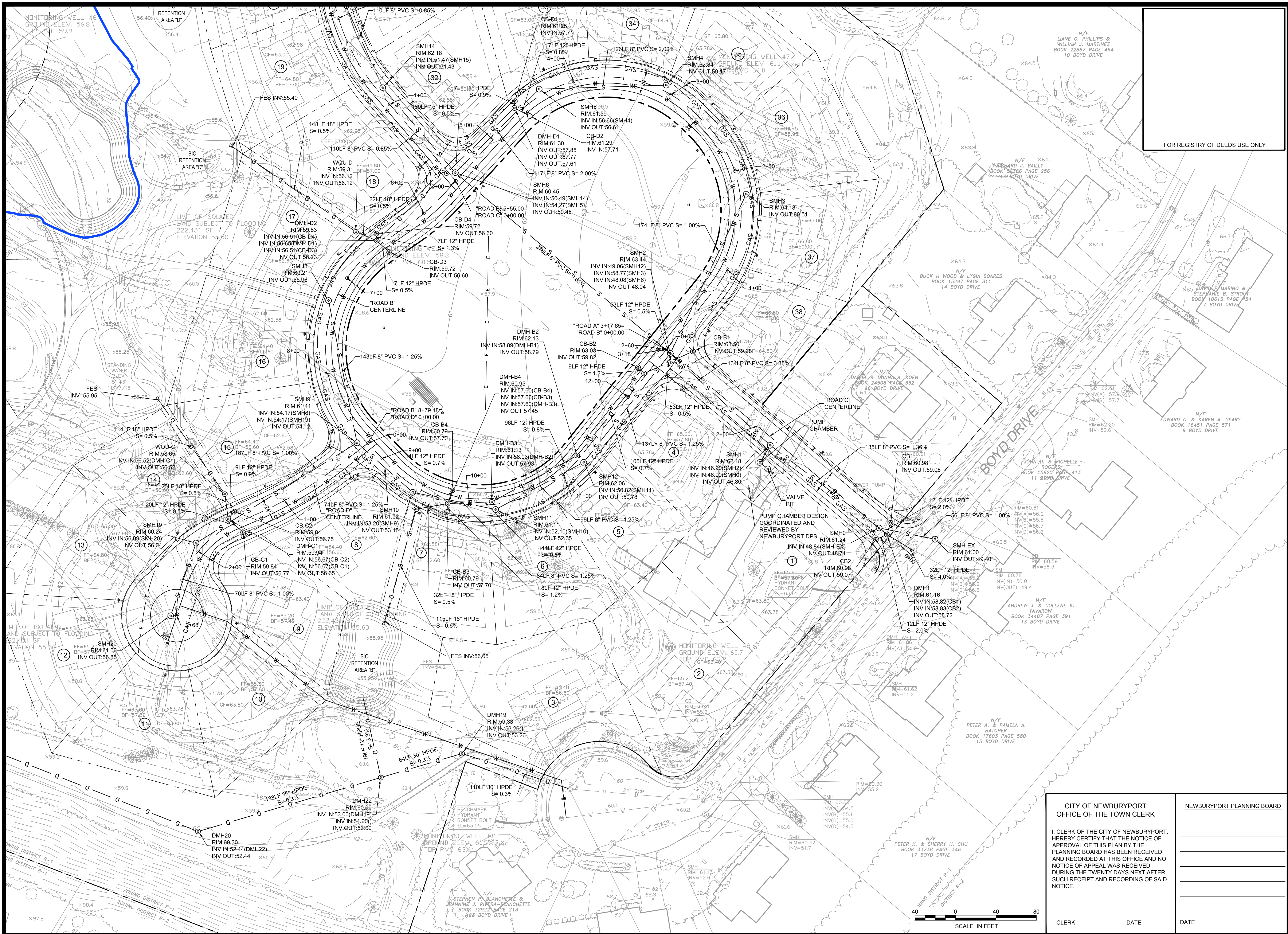
CLERK

DATE \_\_\_\_\_

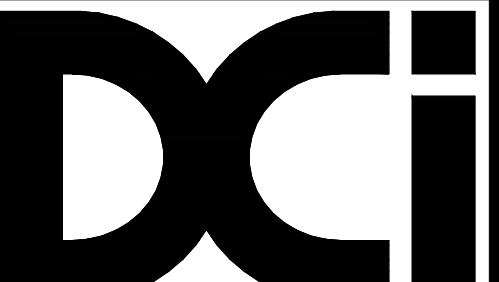
NEWBURYPORT PLANNING BOARD

DATE \_\_\_\_\_





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## PROJECT TEAM

18 BOYD DRIVE,  
SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

## PROJECT INFO

[illegible]

STAMP:

### DRAINAGE & UTILITY PLAN 3

SHEET NAME:

C8

SHEET NO:

WR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: June 2, 2017

SCALE: 1"=40'

CITY OF NEWBURYPORT  
OFFICE OF THE TOWN CLERK

I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CLERK

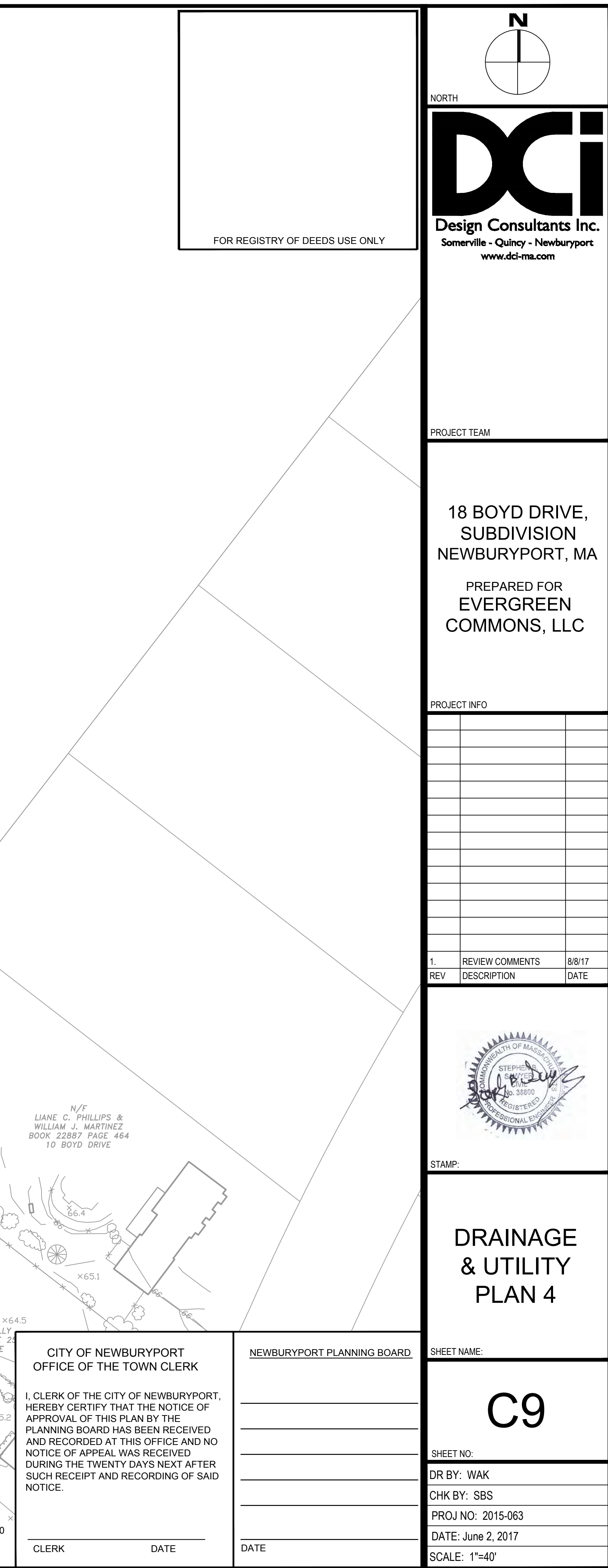
DATE \_\_\_\_\_

NEWBURYPORT PLANNING BOARD

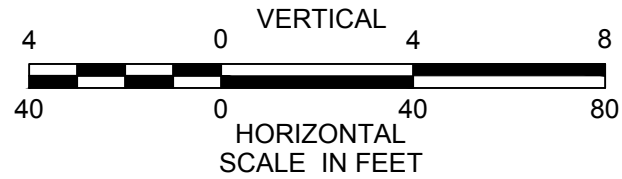
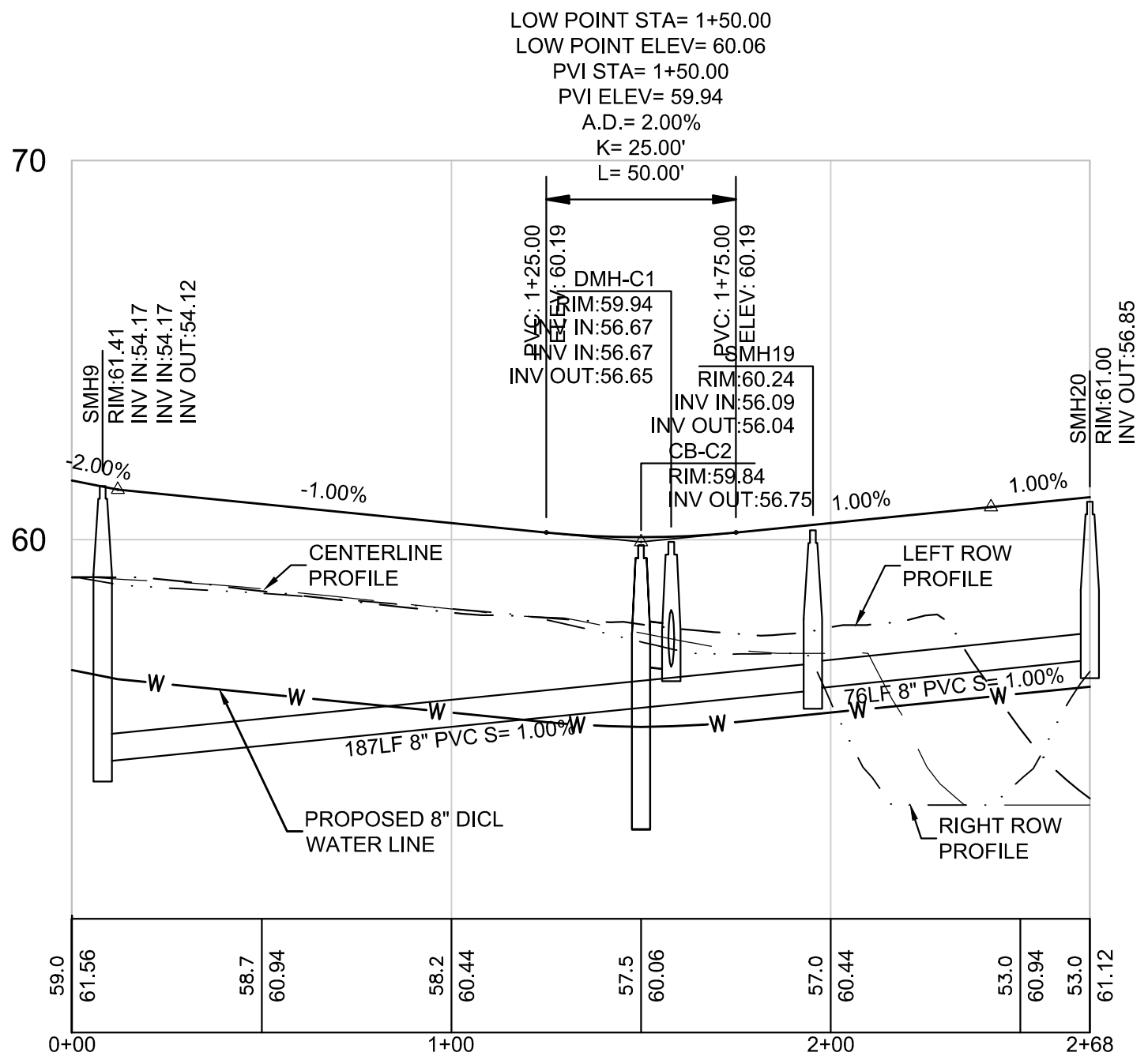
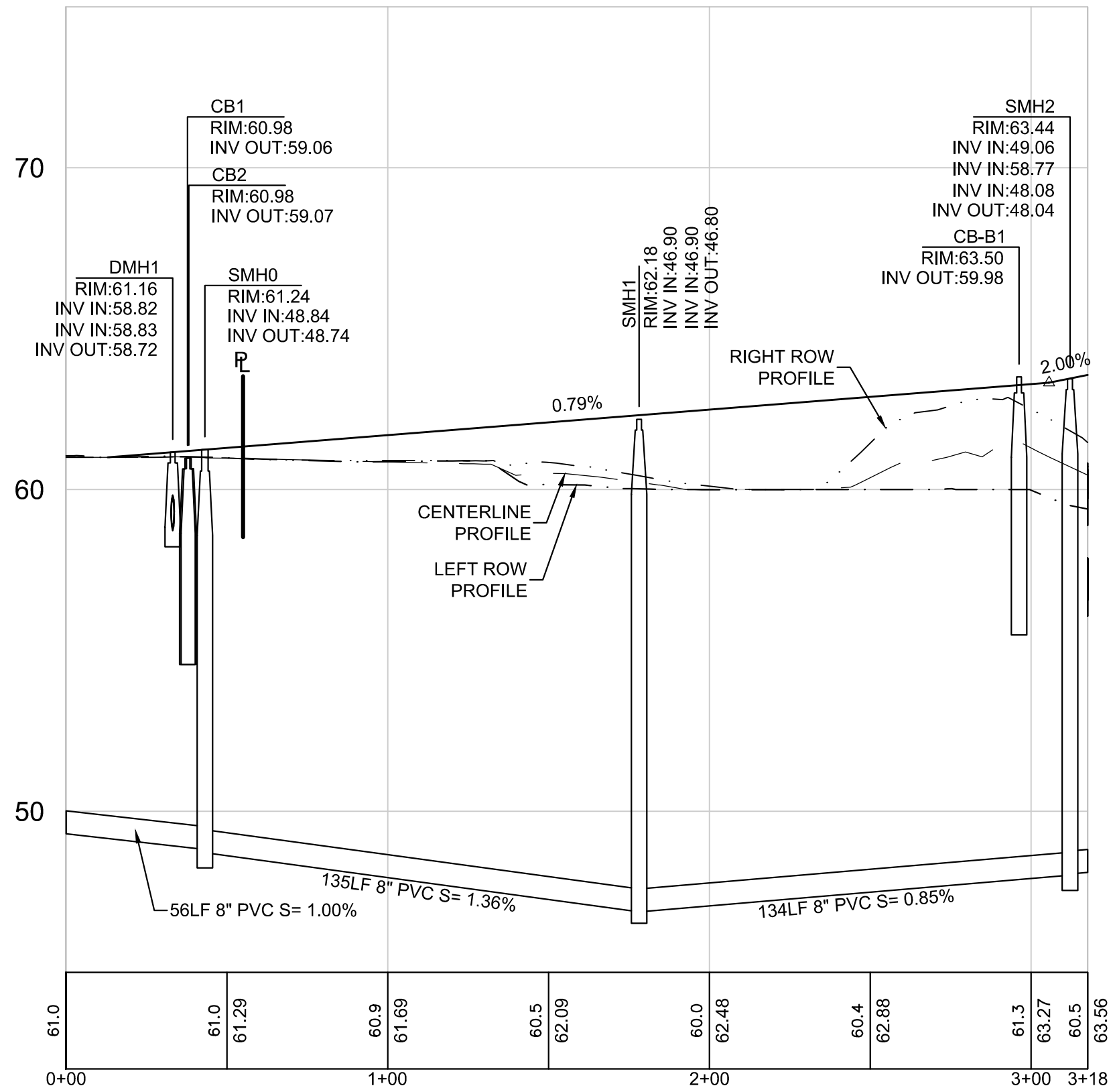
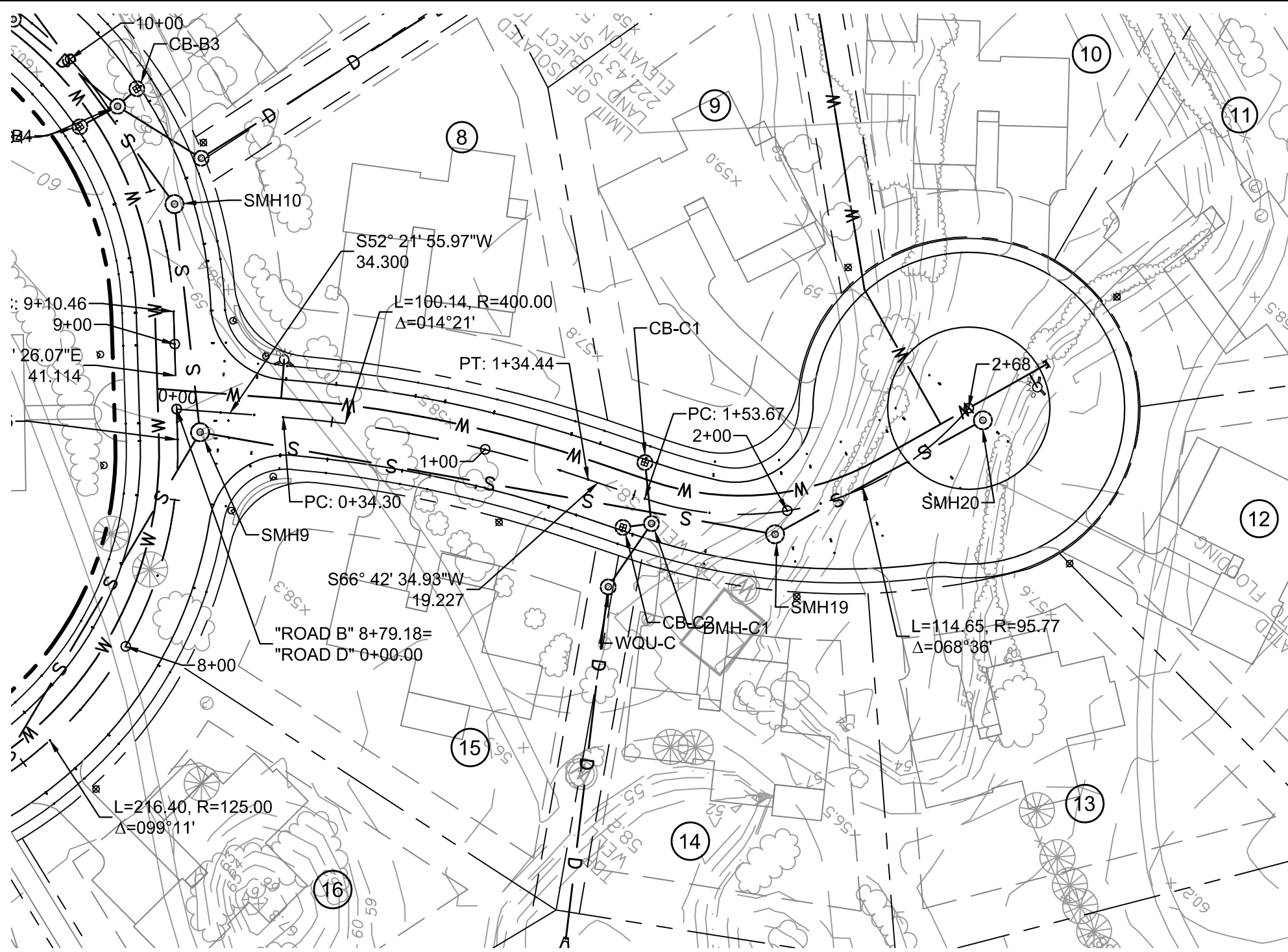
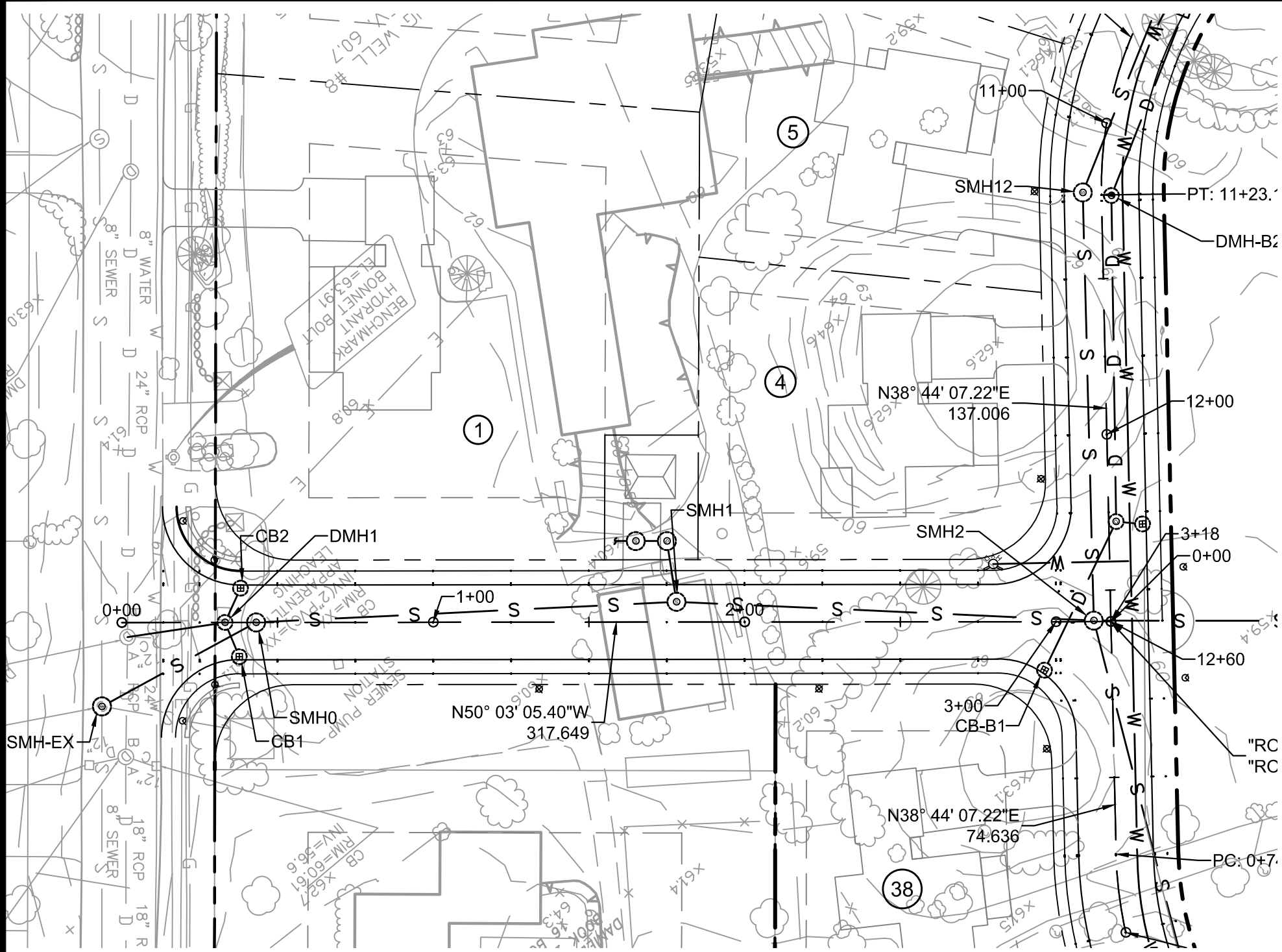
DATE \_\_\_\_\_











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PROJECT TEAM

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SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

PROJECT INFO

1.	REVIEW COMMENTS	8/8/17
REV	DESCRIPTION	DATE

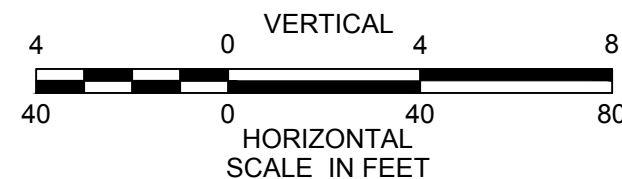
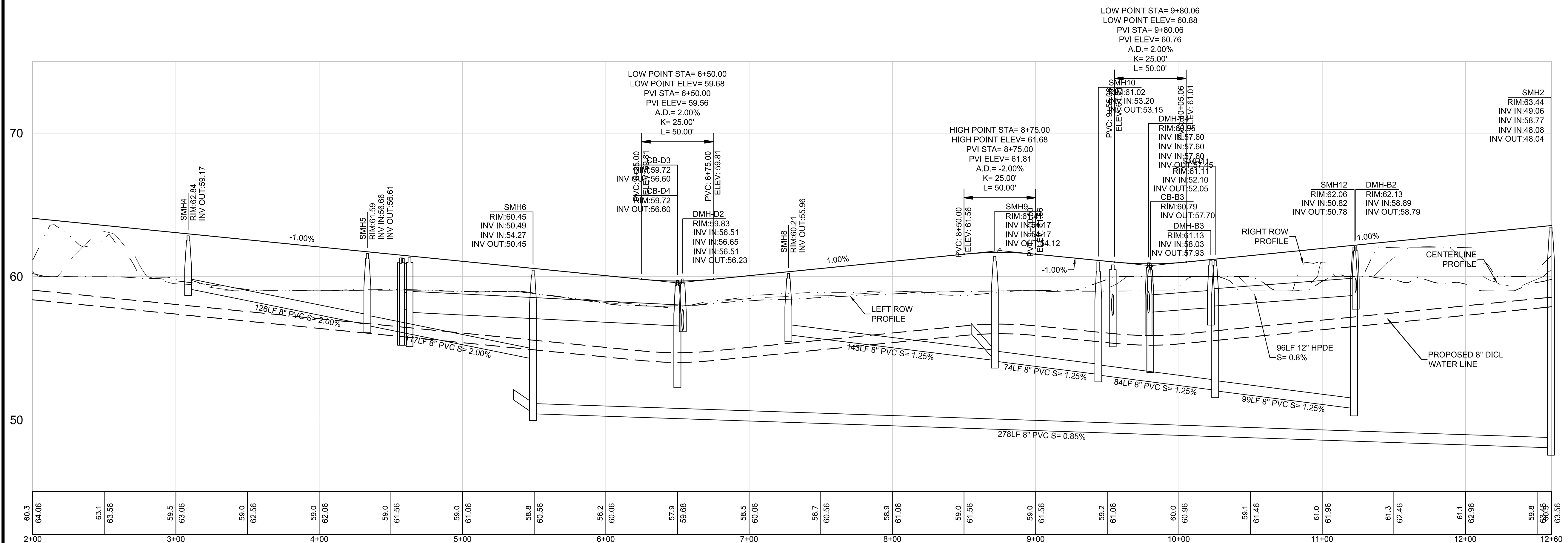
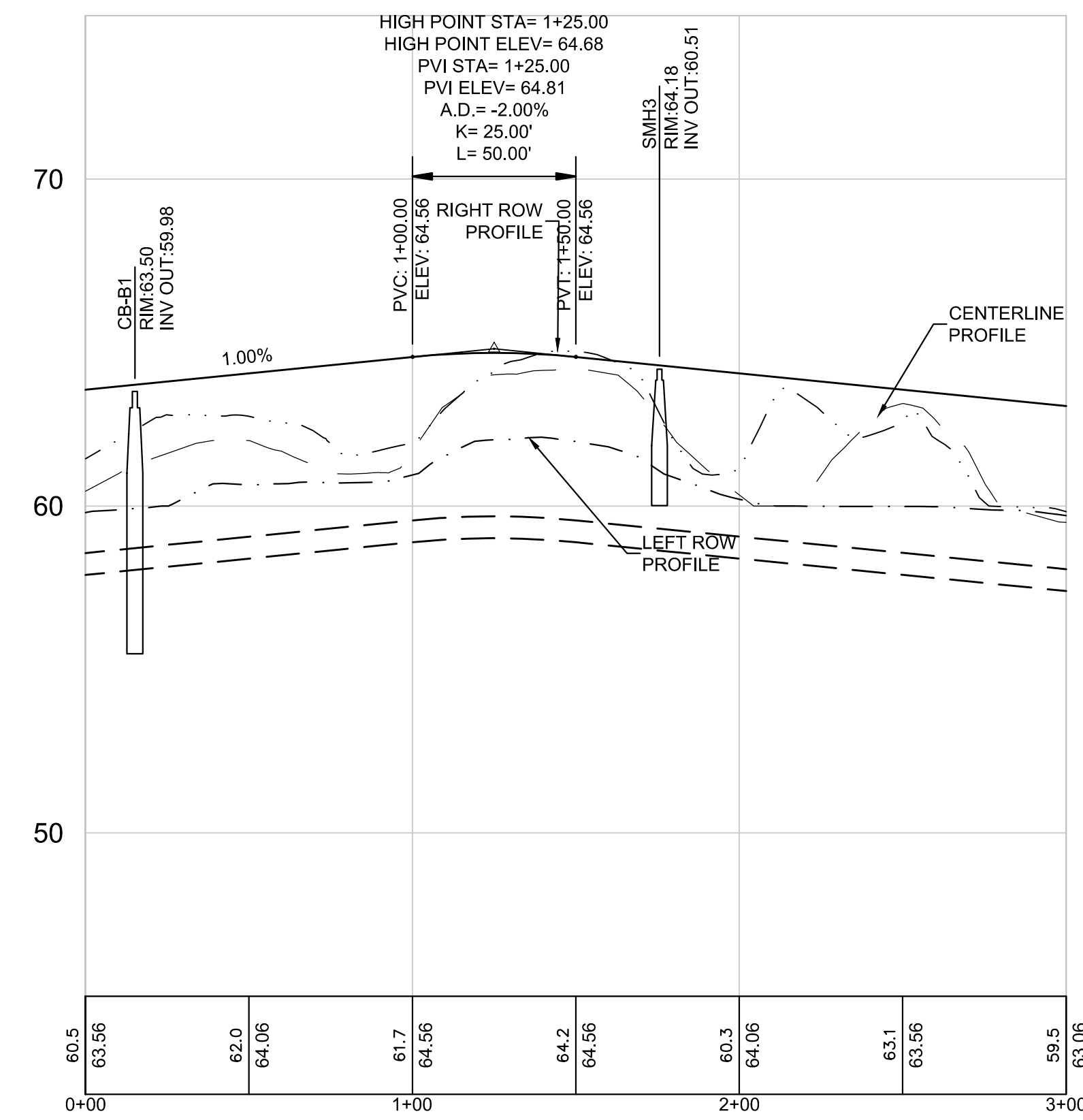
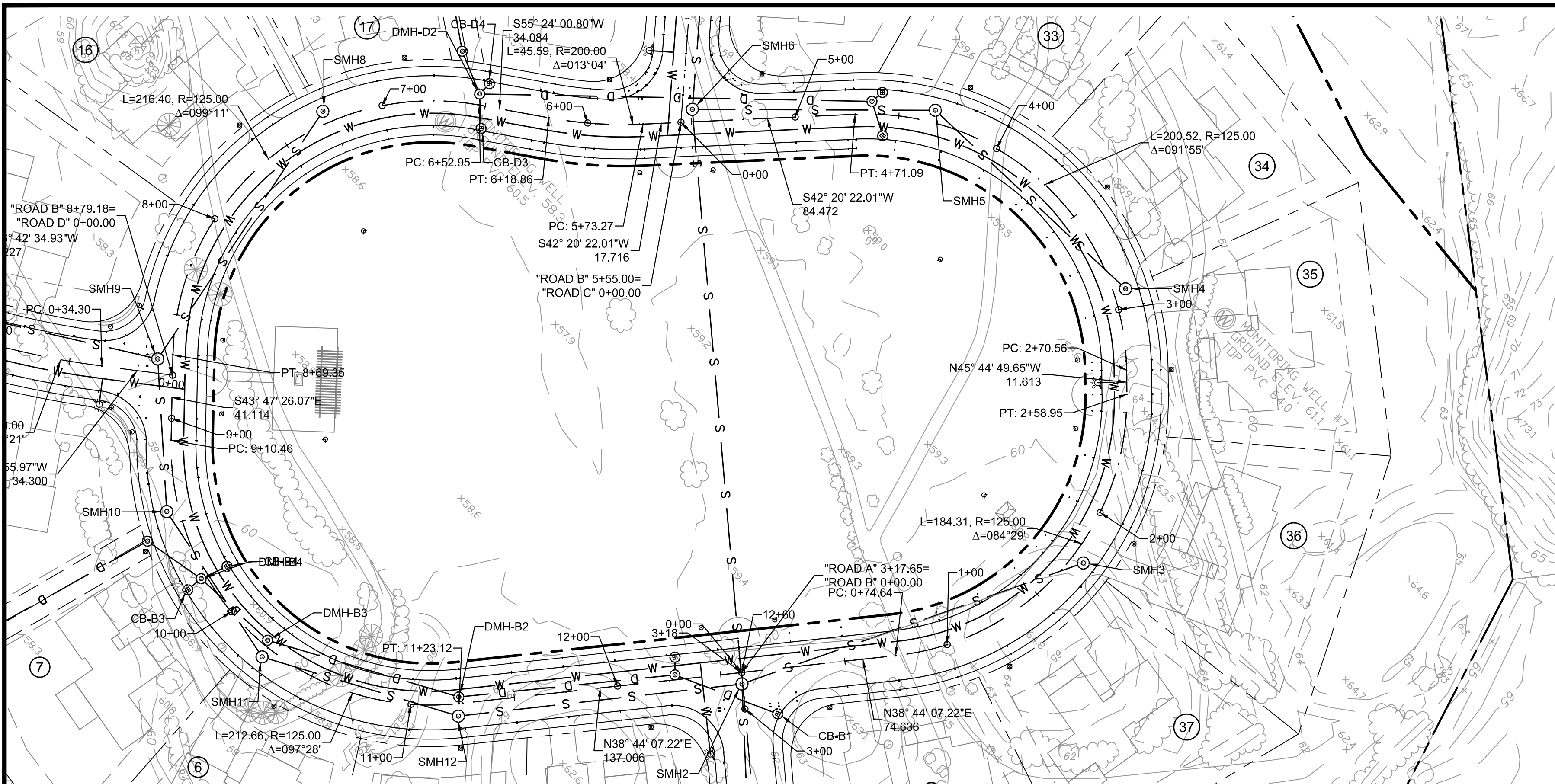


STAMP:

STREET PLAN  
& PROFILE  
"ROADS A & D"

CITY OF NEWBURYPORT OFFICE OF THE TOWN CLERK	NEWBURYPORT PLANNING BOARD	SHEET NAME:
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.		C10
CLERK	DATE	SHEET NO:
		DR BY: WAK
		CHK BY: SBS
		PROJ NO: 2015-063
		DATE: June 2, 2017
		SCALE: HORIZ: 1"=40', VERT: 1"=4'





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PROJECT TEAM

18 BOYD DRIVE,  
SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

PROJECT INFO		
1.	REVIEW COMMENTS	8/8/17
REV	DESCRIPTION	DATE



STAMP:

**STREET PLAN  
& PROFILE  
"ROAD B"**

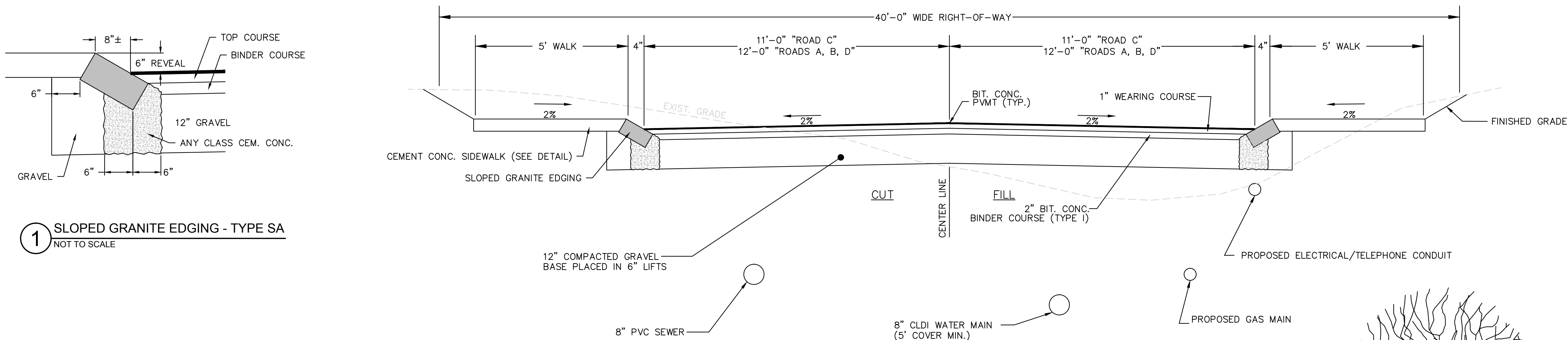
<b>CITY OF NEWBURYPORT OFFICE OF THE TOWN CLERK</b>	<b>NEWBURYPORT PLANNING BOARD</b>	SHEET NAME:
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.		<b>C11</b>
CLERK	DATE	SHEET NO:
		DR BY: WAK
		CHK BY: SBS
		PROJ NO: 2015-063
		DATE: June 2, 2017
		SCALE: HORIZ: 1"=40', VERT: 1"=4'





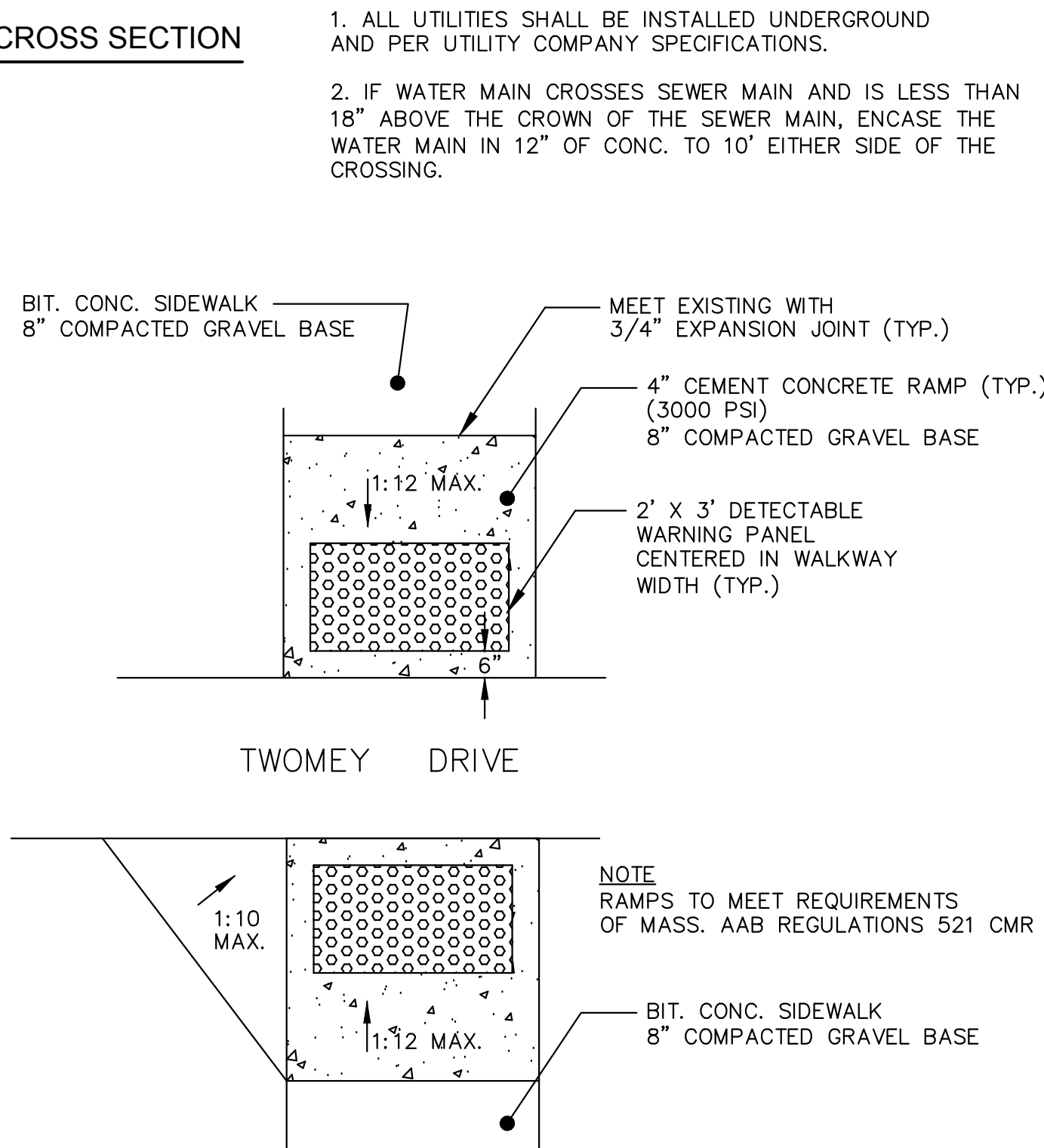


P:\2015 PROJECTS\2015-063 18 BOYD ST. NEWBURYPORT.DWG; \_ENGINEERING\15-063 C13 TYPICAL SECTIONS DETAILS & NOTES.DWG

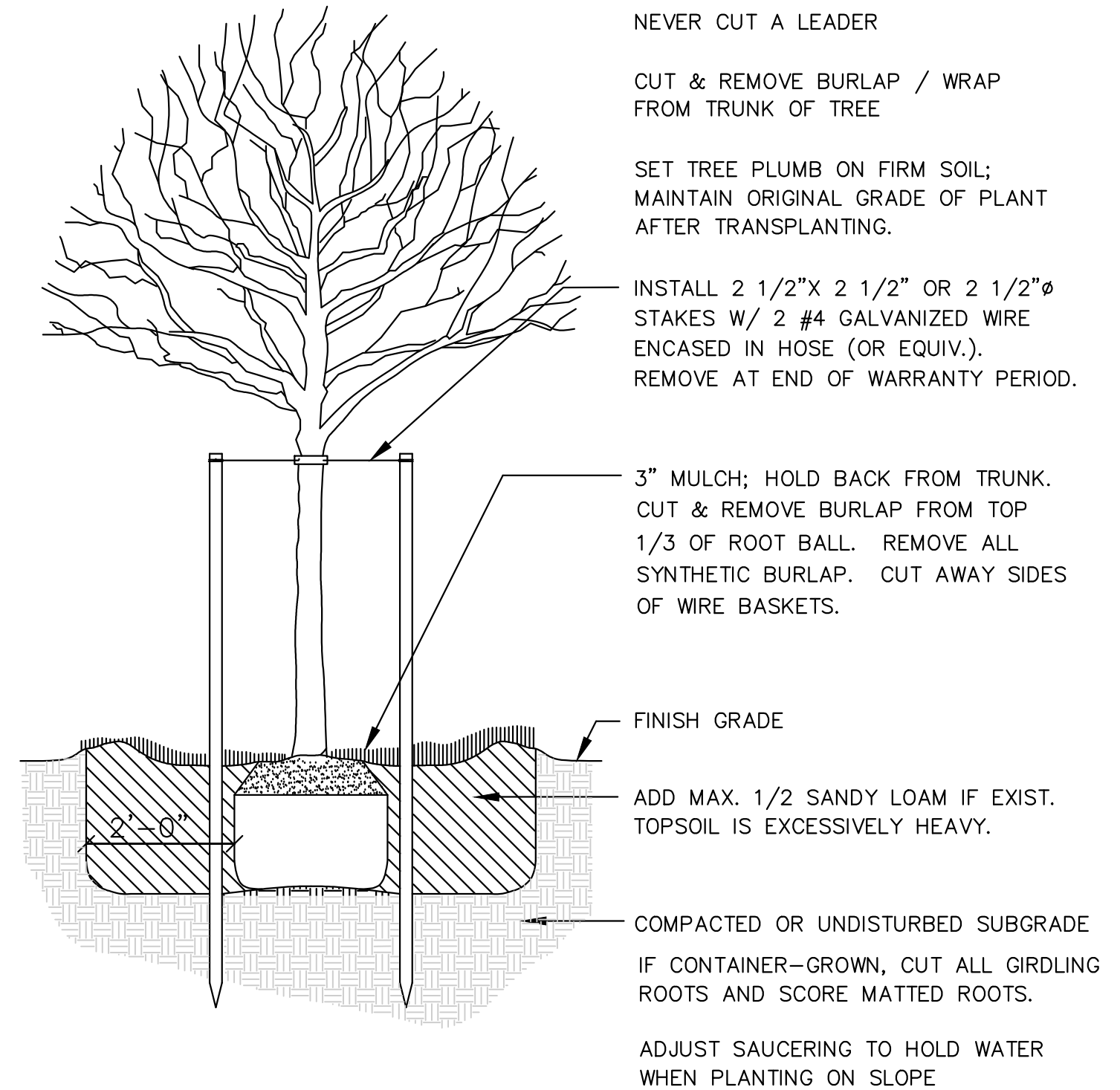


1 SLOPED GRANITE EDGING - TYPE SA  
NOT TO SCALE

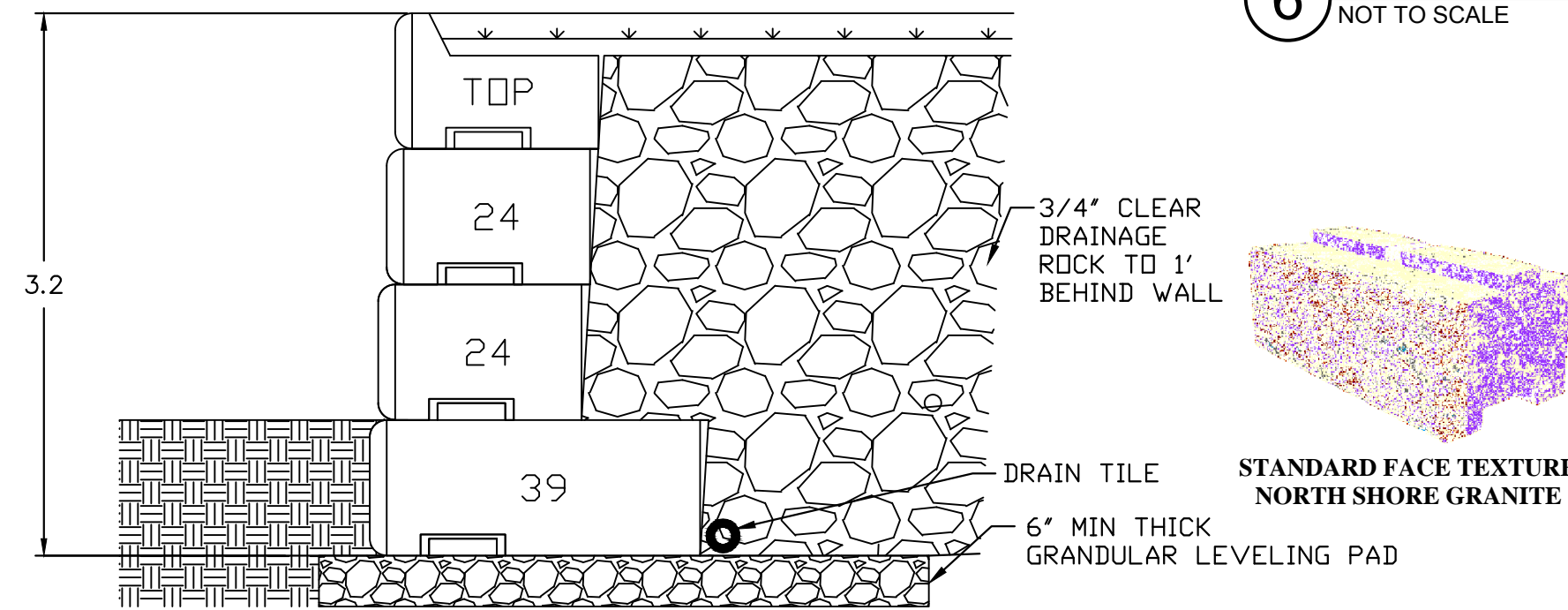
2 TYPICAL ROADWAY CROSS SECTION  
NOT TO SCALE



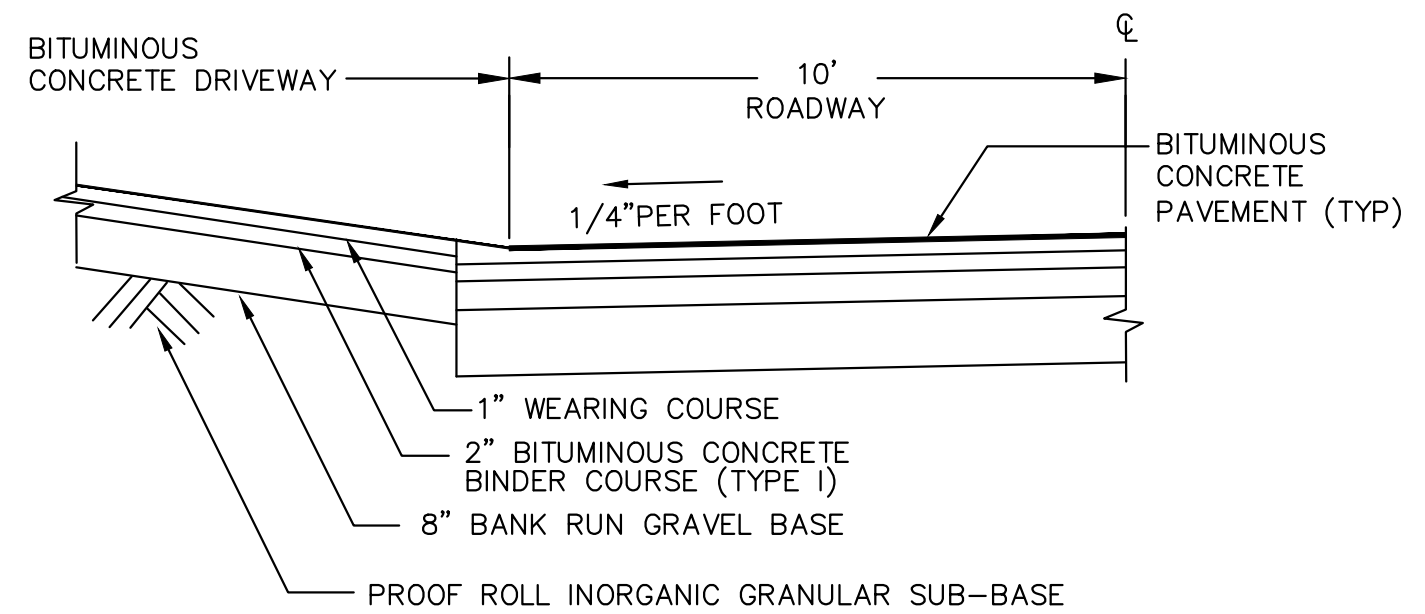
7 TREE PLANTING  
NOT TO SCALE



6 HANDICAP ACCESS RAMP  
NOT TO SCALE

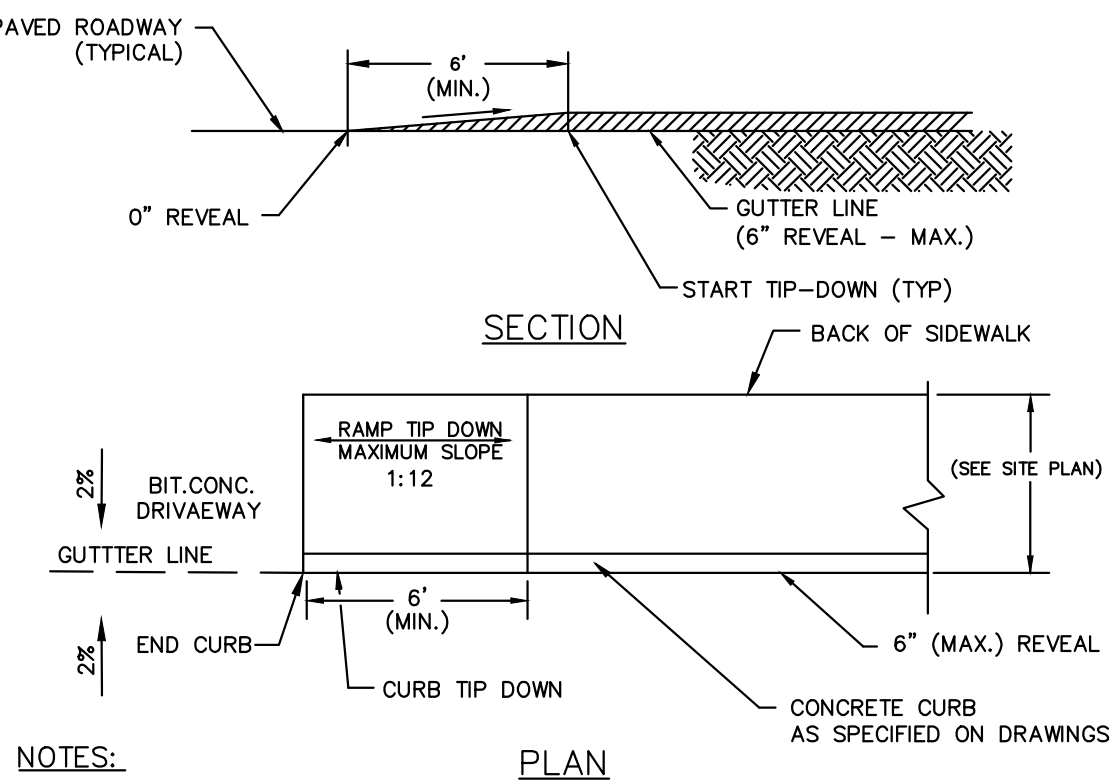


4 TYPICAL DRIVEWAY CROSS SECTION  
NOT TO SCALE



NOTES:

1. ALL DRIVEWAY APRONS WILL BE CONSTRUCTED AND PAVED AT THE SAME TIME AS THE ROADWAY PAVEMENT



3 CONCRETE SIDEWALK  
NOT TO SCALE

KEY ASSUMPTIONS AND NOTES:

1. MAXIMUM HEIGHT NON REINFORCED WALLS VARIES DEPENDING ON SOILS AND SITE CONDITIONS HIGHER WALLS BUILT USING GEO-GRID.
2. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
3. STANDARD FACE TEXTURE: NORTH SHORE GRANITE OR AVAILABLE BY SPECIAL ORDER: RUSTIC, LIMESTONE, OLD WORLD.
4. MINIMUM TURNING RADIUS 15 FEET.
5. 1" SETBACK PER ROW ON A STRAIGHT WALL (ANGLE OF BATTER 3.6°) CURVED WALL 1-2.7" PER ROW.
6. THIS WALL CROSS SECTION IS FOR A SPECIFIC SET OF SITE CONDITIONS. EACH WALL SHOULD BE PROPERLY DESIGNED AND ENGINEERED FOR SITE CONDITIONS.

8 TYPICAL RETAINING WALL CROSS SECTION  
NOT TO SCALE

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Winter GEC, LLC  
34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

PROJECT TEAM

18 BOYD DRIVE,  
SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

PROJECT INFO

1.	REVIEW COMMENTS	8/8/17
REV	DESCRIPTION	DATE

1.	REVIEW COMMENTS	8/8/17
REV	DESCRIPTION	DATE



STAMP:

TYPICAL  
SECTIONS,  
DETAILS &  
NOTES 1

SHEET NAME:

C13

SHEET NO:

DR BY: WAK

CHK BY: SBS

PROJ NO: 2015-063

DATE: June 2, 2017

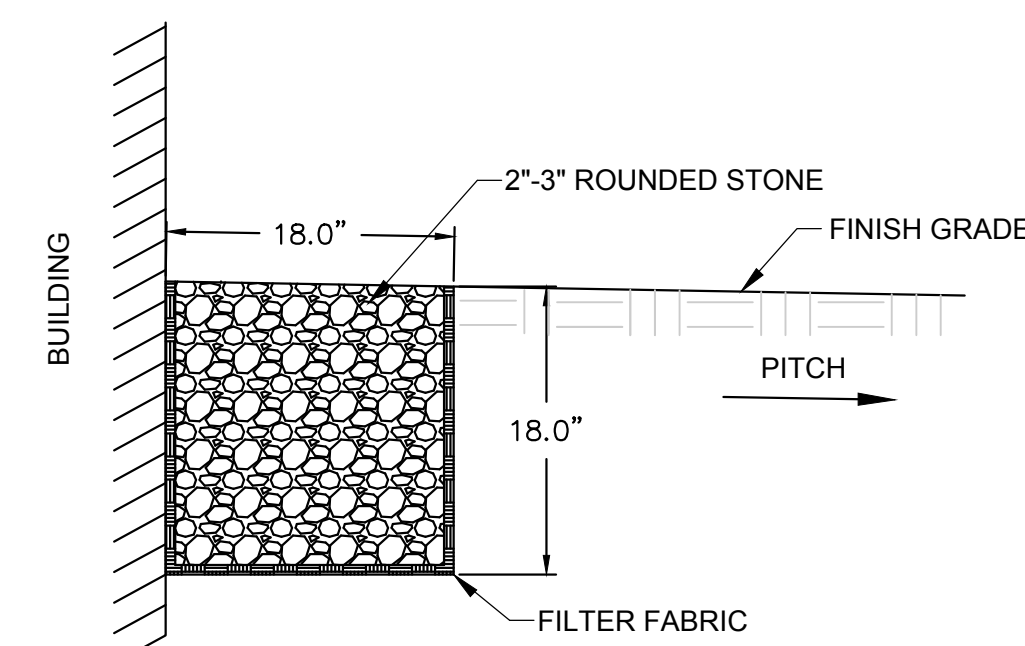
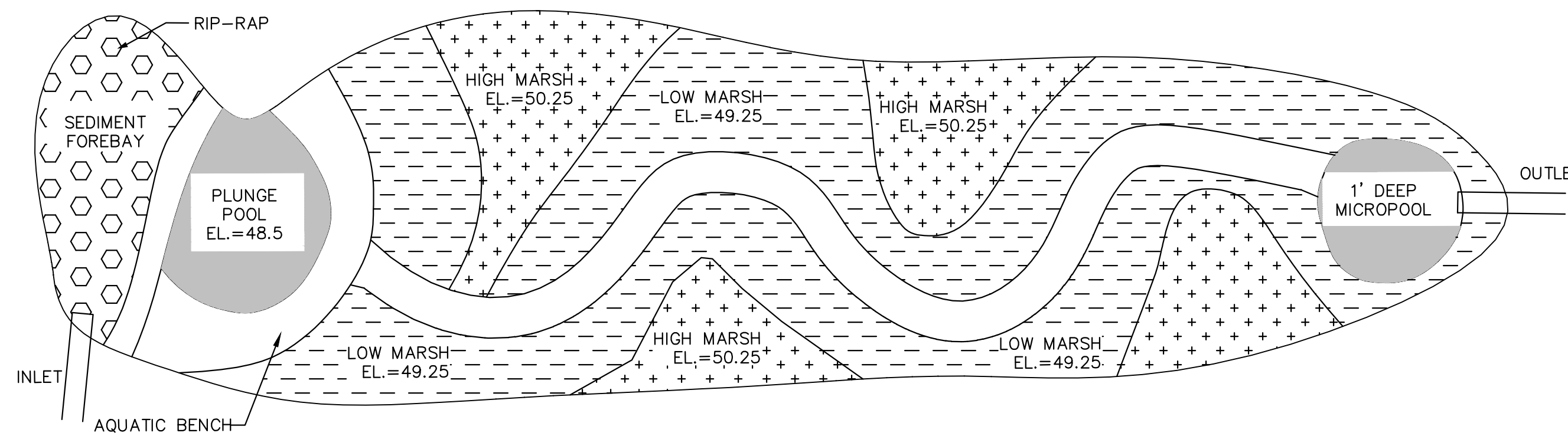
SCALE: N.T.S.

CITY OF NEWBURYPORT OFFICE OF THE TOWN CLERK	NEWBURYPORT PLANNING BOARD
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CLERK	DATE

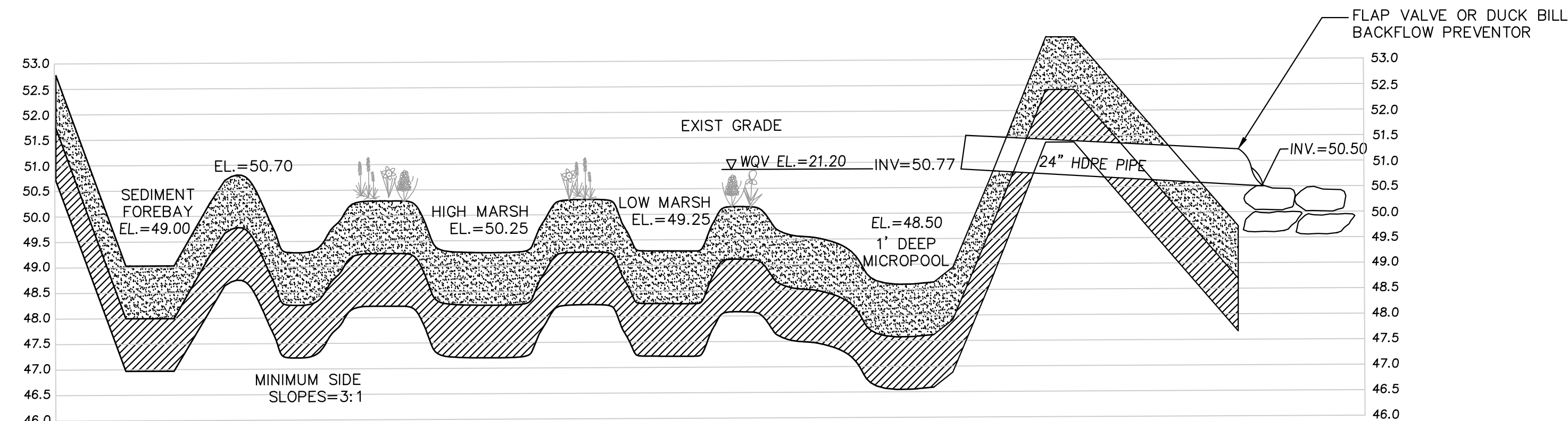




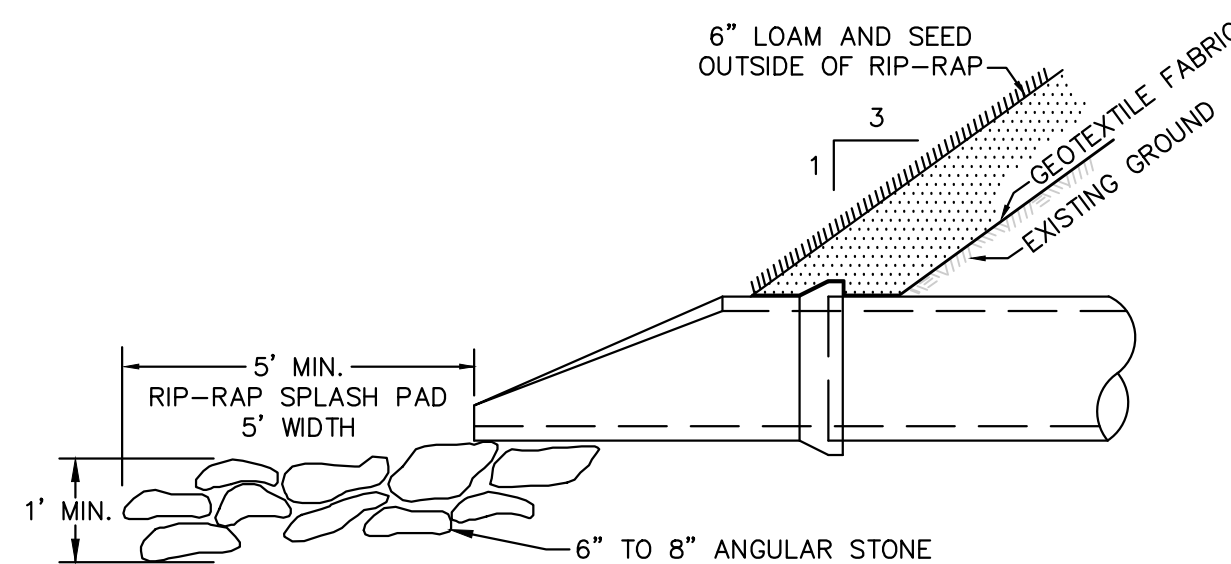




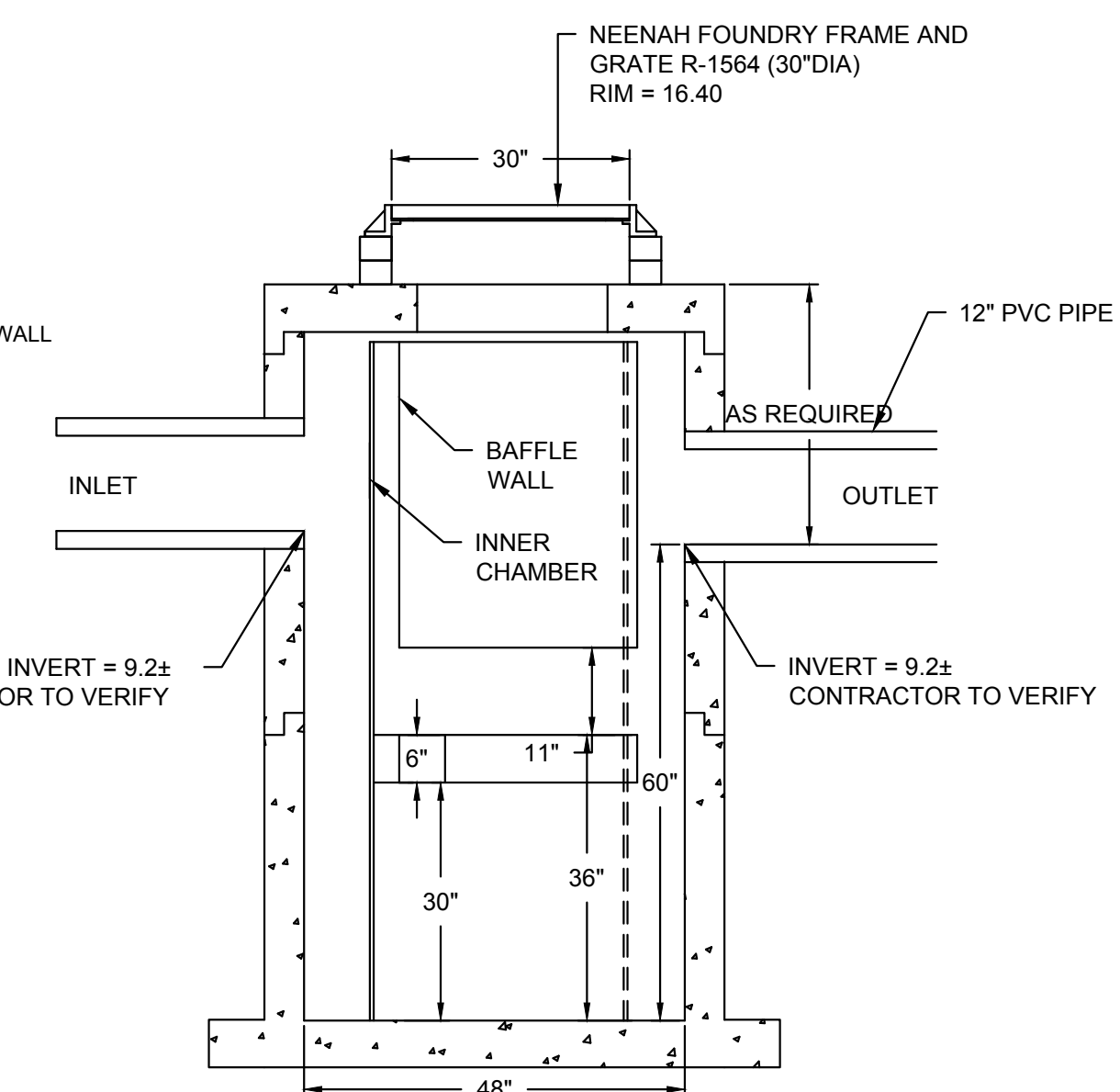
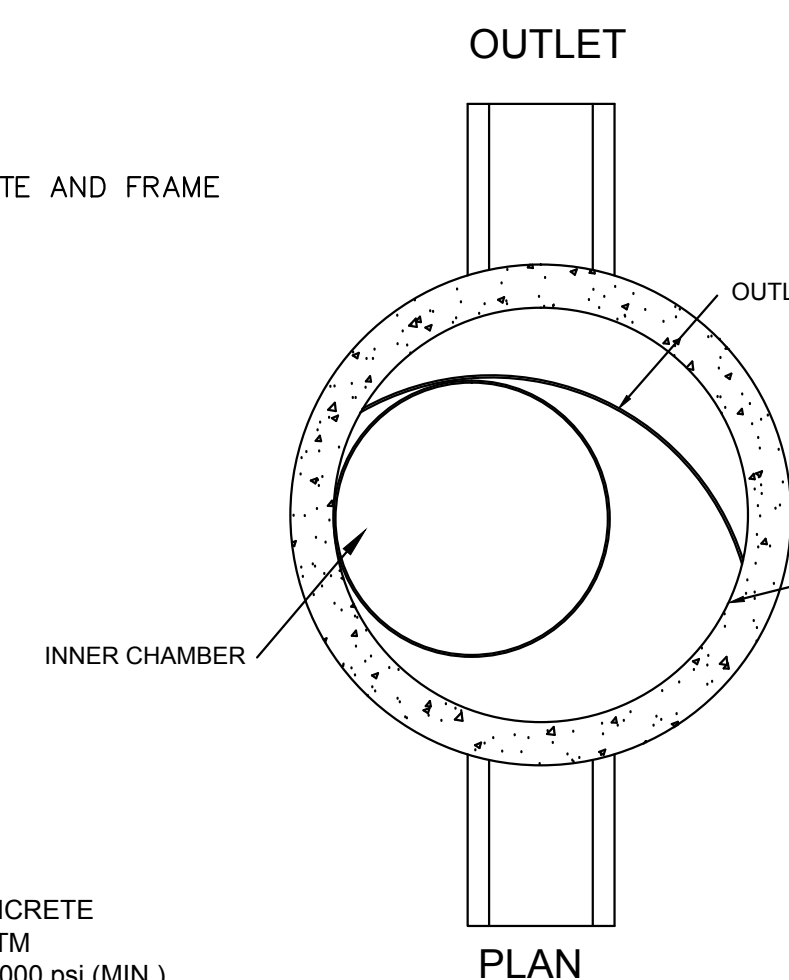
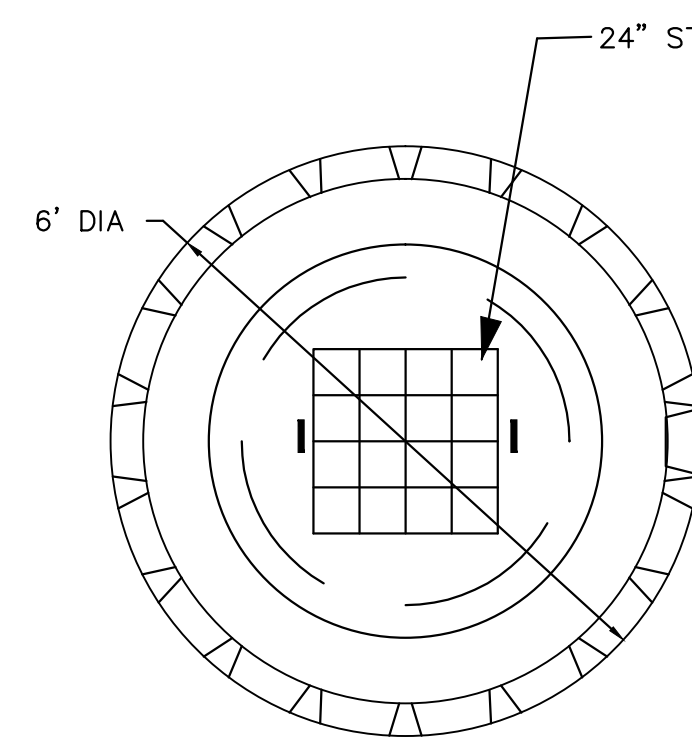
4 STORMWATER DRIP EDGE  
NOT TO SCALE



3 CONSTRUCTED STOMRWATER WETLAND BASIN "A"  
NOT TO SCALE

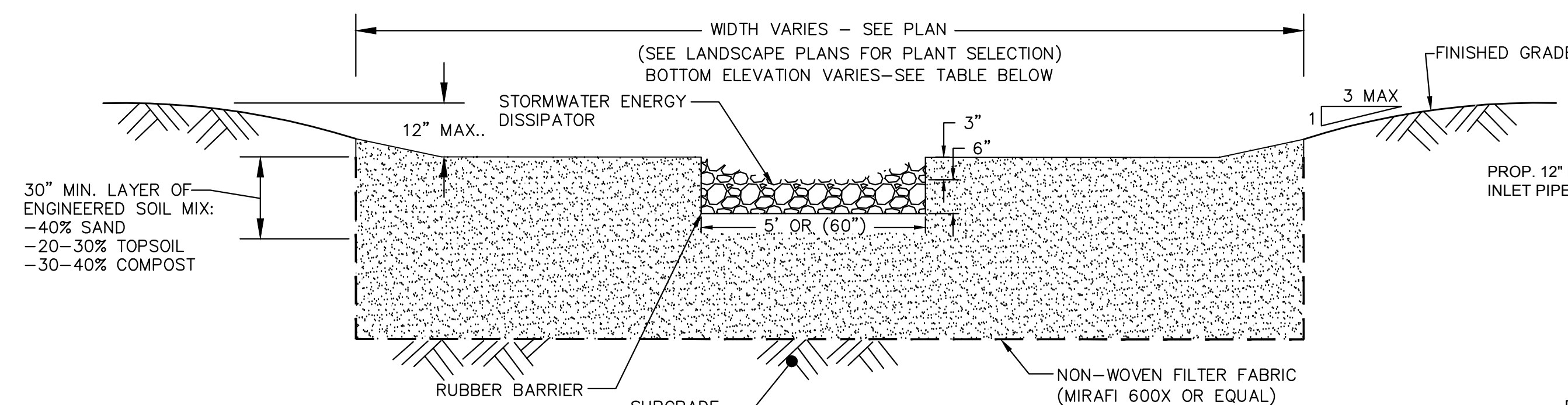


2 FLARED END W/ RIP-RAP SPLASH PAD  
NOT TO SCALE



DIMENSIONS IN INCHES	PROFILE
PERMANENT POOL VOLUME = 450 US GALLONS	
THE HYDROGUARD MUST BE CLEANED AFTER THE CONSTRUCTION PERIOD IF IT IS USED AS A SEDIMENT AND EROSION CONTROL MEASURE	
THE HYDROGUARD SHOULD BE INSPECTED ONCE PER YEAR FOR STABILIZED SITES	
INSPECTION WILL DETERMINE THE MAINTENANCE FREQUENCY (ANNUAL MAINTENANCE ONCE EVERY TWO YEARS TYPICAL FOR STABILIZED SITES)	
SITES WITH UNSTABLE CONDITIONS (EXPOSED SOIL OR MATERIALS STORAGE) WILL REQUIRE MORE FREQUENT INSPECTION AND MAINTENANCE	

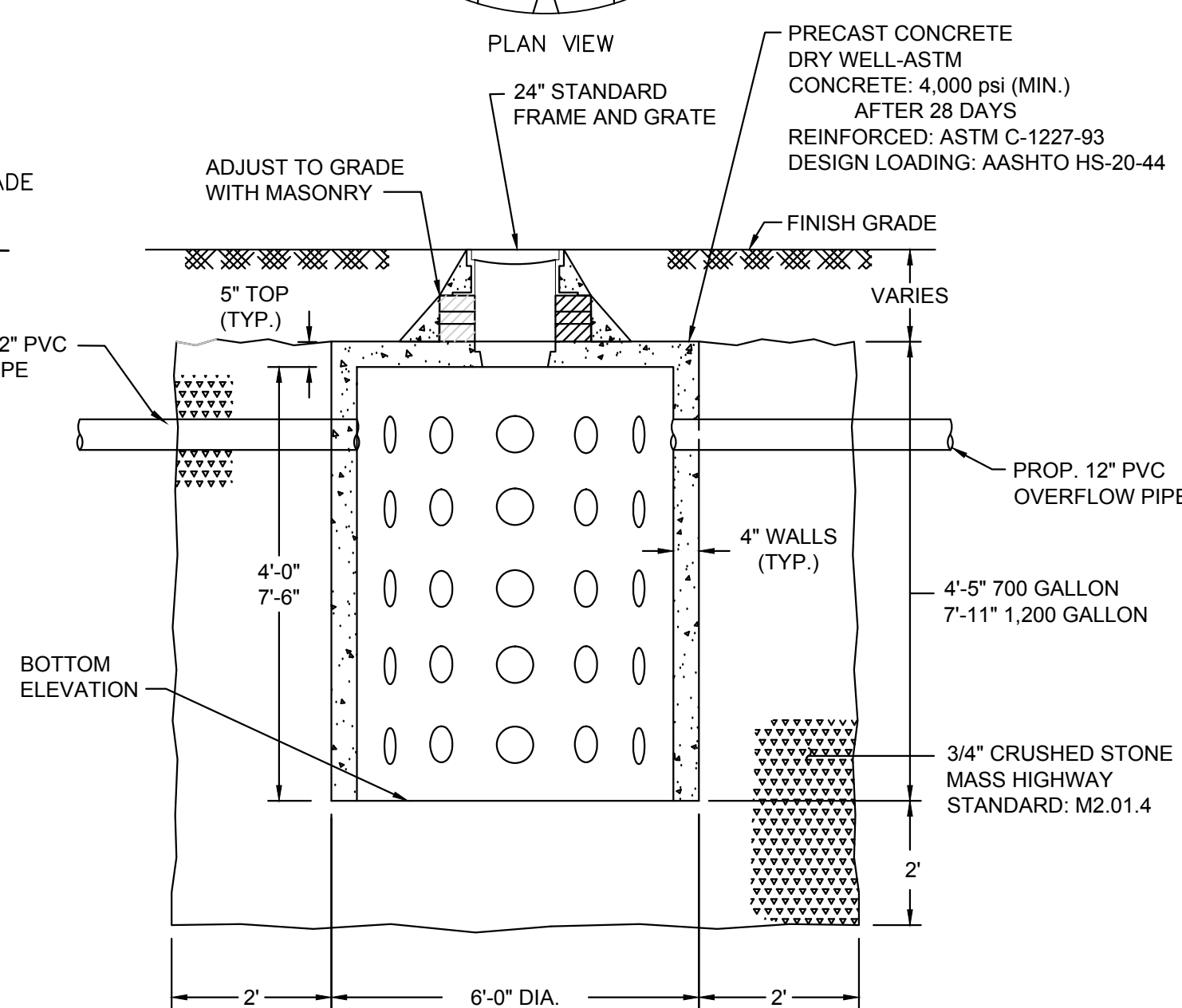
6 HYDROGUARD WATER QUALITY UNIT  
NOT TO SCALE



BIORETENTION AREA INFORMATION TABLE

BIORETENTION AREA #	BOTTOM ELEV.	TOP OF BERM ELEV.	EXIT GRADE ELEV.	ESHGW ELEV.
B	55.45	55.65 (CULV)	61± MAX.	52.5
C	55.25	55.95	55± MAX.	52.0
D	54.70	55.40	58± MAX.	52.0
E	55.70	56.50	59± MAX.	52.0
F	55.20	55.90	55± MAX.	52.0

1 BIORETENTION AREA DETAIL  
NOT TO SCALE



5 DRY WELL  
NOT TO SCALE

CITY OF NEWBURYPORT  
OFFICE OF THE TOWN CLERK

I, CLERK OF THE CITY OF NEWBURYPORT  
HEREBY CERTIFY THAT THE NOTICE OF  
APPROVAL OF THIS PLAN BY THE  
PLANNING BOARD HAS BEEN RECEIVED  
AND RECORDED AT THIS OFFICE AND NO  
NOTICE OF APPEAL WAS RECEIVED  
DURING THE TWENTY DAYS NEXT AFTER  
SUCH RECEIPT AND RECORDING OF SAID  
NOTICE.

CLERK	DATE
-------	------

NEWBURYPORT PLANNING BOARD

DATE \_\_\_\_\_

NORTH

**DCI**

**Design Consultants Inc.**  
Somerville - Quincy - Newburyport  
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Winter GEC, LLC

34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

## PROJECT TEAM

18 BOYD DRIVE,  
SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

## PROJECT INFO

[illegible]

STAMP:

TYPICAL  
SECTIONS,  
DETAILS &  
NOTES 3

SHEET NAME:

# C15

SHEET NO:

DR. P. V. WAK

CHK BY: SPS

DDO LNO: 2015 063

DATE: June 2, 2017

DATE: 04/10/2012



PROJECT NAME AND LOCATION

PORT PLACE, 18 BOYD DRIVE  
NEWBURYPORT, MASSACHUSETTS

DESCRIPTION

THE PROJECT CONSISTS OF SUBDIVIDING A 36.8 ACRE PARCEL AND THE CONSTRUCTION OF ASSOCIATED SITE IMPROVEMENTS INCLUDING ROADWAY, DRAINAGE SYSTEMS AND UNDERGROUND UTILITIES.

SOIL CHARACTERISTICS

THE EXISTING SITE IS PRESENTLY DEVELOPED WITH A PORTION OF UNDEVELOPED WOODED ARAE. SOILS CONSIST PRIMARILY OF WELL DRAINING SOILS.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 20± ACRES.

SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL TEMPORARY EROSION CONTROL SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, CLEAR CONSTRUCTION STAGING AREA AND LANDSCAPE PLANTING IN OPEN SPACES OUTSIDE OF DISTURBED AREAS. SEE SITE PLANS FOR LOCATIONS.
2. DEMOLISH EXISTING BUILDING, UTILITIES AND PAVEMENT AND FILL SITE TO ROUGH GRADE.
3. CLEAR AND GRUB SITE. NO TREES TO BE CLEARED NOT INDICATED ON PLANS. CONTRACTOR SHALL NOTIFY NEWBURYPORT PLANNING DEPARTMENT OF ANY VARIATION FROM PLAN OR ADDITIONAL TREE CUTTING OR CLEARING REQUIREMENTS DUE TO UNFORESEEN SITE CONDITIONS.
4. ROUGH GRADING OF SITE.
5. CONSTRUCT ACCESS DRIVES, STORMWATER SYSTEM, UTILITIES AND ROUGH GRADE BUILDING LOTS.
6. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL HAY BALES, SILT FENCES AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PROCEDURES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:

- A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
- B. A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED
- C. A MINIMUM OF 3' OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 60 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:

- A. TEMPORARY SEEDING.
- B. MULCHING.
- C. STONE RIP RAP.
- D. JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS. RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED. STONE RIP RAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSION VELOCITIES ARE ENCOUNTERED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL EGRESSES TO THE SITE AND MAINTAINED FOR THE DURATION OF CONSTRUCTION.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE AND SILT FENCES SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES OF EROSION AND SEDIMENT CONTROLS

- A. GENERAL INSPECTION
  1. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
  2. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
  3. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

MAINTENANCE

1. STABILIZATION OF ALL SWALES, DITCHES AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
2. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
3. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE OR HAY BALE BARRIERS WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE FENCE OR BALE.
4. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
5. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.

FILTERS

DISTURBED CONTRIBUTING AREA SHOULD NOT EXCEED 0.25 ACRES PER 100 LINEAR FEET OF FILTER BARRIER.

- A. STRAW/HAY BALES
  1. SHEET FLOW APPLICATIONS
    1. BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.
    2. ALL BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED. BALES SHALL BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS OR BOTTOMS OF THE BALES TO PREVENT DETERIORATION OF THE BINDINGS.
    3. THE BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR (4) INCHES. AFTER THE BALES ARE STAKED AND CHINKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHALL CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO FOUR (4) INCHES AGAINST THE UPHILL SIDE OF THE BARRIER. IDEALLY, BALES SHOULD BE PLACED TEN (10) FEET AWAY FROM THE TOE OF SLOPE.
    4. EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST SAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.
    5. THE GAPS BETWEEN BALES SHALL BE CHINKED (FILLED BY WEDGING) WITH STRAW/HAY TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES.
  2. SILT FENCE
    - A. SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER OR ETHYLENE YARN AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE FOLLOWING REQUIREMENTS:

PHYSICAL PROPERTY	TEST	REQUIREMENTS
FILTERING EFFICIENCY	VTM-51	75% MINIMUM
TENSILE STRENGTH AT 20% MAXIMUM ELONGATION*	VTM-52	EXTRA STRENGTH 50 LB/LIN IN (MIN) STANDARD STRENGTH 30 LB/LIN IN (MIN)
FLOW RATE	VTM-51	0.3 GAL/SF/MIN (MIN)

\* REQUIREMENTS REDUCED BY 50 PERCENT AFTER SIX (6) MONTHS OF INSTALLATION.
    - B. SYNTHETIC FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF SIX (6) MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES F TO 120 DEGREES F.
    - C. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED THIRTY-SIX (36) INCHES.
    - D. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT SUPPORT POST, WITH A MINIMUM SIX (6) INCH OVERLAP, AND SECURELY SEALED.
    - E. POSTS SHALL BE SPACED A MAXIMUM OF TEN (10) FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES).
    - F. A TRENCH SHALL BE EXCAVATED APPROXIMATELY SIX (6) INCHES WIDE AND SIX (6) INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

- F. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE (1) INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND NO MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACES.
- G. THE "STANDARD STRENGTH" FILTER FABRIC SHALL BE STAPLED OR WRED TO THE FENCE, AND EIGHT (8) INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- H. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WURED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ITEM (G) APPLYING.
- I. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- J. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.

SEQUENCE OF INSTALLATION

SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

MAINTENANCE

- A. STRAW/HAY BALE BARRIER AND SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THE SILT FENCE SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR ACCUMULATING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
- B. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
- D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

MULCHING

1. TIMING

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS.

- A. APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100 FEET OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE IN CONCORD, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.
- B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON A AREA. THE LENGTH OF TIME VARYING WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

2. GUIDELINES FOR WINTER MULCH APPLICATION.

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

3. MAINTENANCE

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

D. VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS FROM EARLY SPRING TO SEPTEMBER 30:

AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF FOUR INCHES. THEN FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED FOUR INCH THICKNESS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND REROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.

ALL LARGE STIFF CLOUDS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER AND OTHER FOREIGN MATERIAL AS WELL AS STONES OVER ONE INCH IN DIAMETER SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE, AND THE LOAM SHALL BE RAKED SMOOTH AND EVEN.

THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.

SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.

ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT OR GRASS SHALL BE LOAMED AND SEED. LIME/STONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.

IF REQUIRED, FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER. USE OF FERTILIZER SHOULD BE AVOIDED IN INFILTRATION AREAS.

SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.

SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.

HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEED, AND ALL NOXIOUS WEEDS REMOVED.

THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDER AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.

UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	POUNDS PER ACRE	MINIMUM	MINIMUM
CREeping RED FESCUE	50	85%	96%
KENTUCKY BLUE GRASS	50	85%	97%
	100	GERMINATION	PURITY
		85%	96%
		80%	95%

IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PLANTINGS AFTER SEPTEMBER TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

- O FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
- O FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 300 POUNDS PER ACRE.
- O MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

	2.5 LBS./1,000 S.F.
WINTER RYE (FALL SEEDING)	2 LBS./1,000S.F.
OATS (SPRING SEEDING)	1.5 TONS/ACRE

MULCH

PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.

F. CRITERIA FOR GEOTEXTILE: THE FABRICS SHALL BE TREMA SPUNBOND 1135, MIRAFI 600X OR EQUAL.

2. MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

WASTE DISPOSAL

A. WASTE MATERIALS

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LOADED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

B. HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.

C. SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

ADDITIONAL NOTES FOR WINTER CONSTRUCTION.

A) ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND.

B) ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

C) AFTER NOVEMBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT

DUST CONTROL

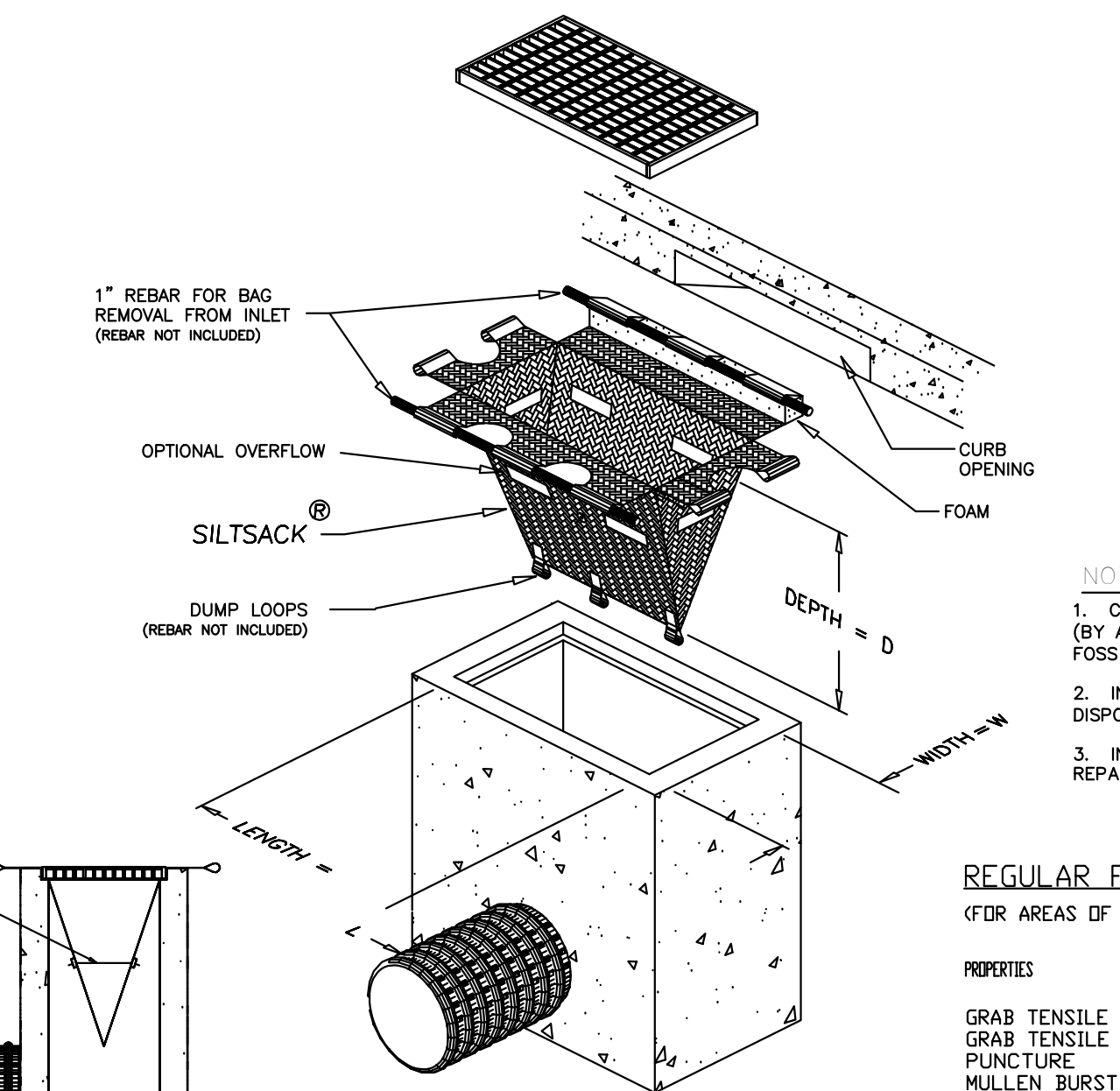
- A. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

BIORETENTION BASIN MAINTENANCE

A) INFILTRATION BASINS SHALL NOT BE USED AS TEMPORARY SEDIMENTATION BASINS. ALL DRAINAGE SHOULD BE DIRECTED AWAY FROM AREAS DESIGNATED FOR BIORETENTION WITH TEMPORARY SEDIMENT CONTROL BASINS, DIVERSION SWALES, OR STAKED HAY BALES.

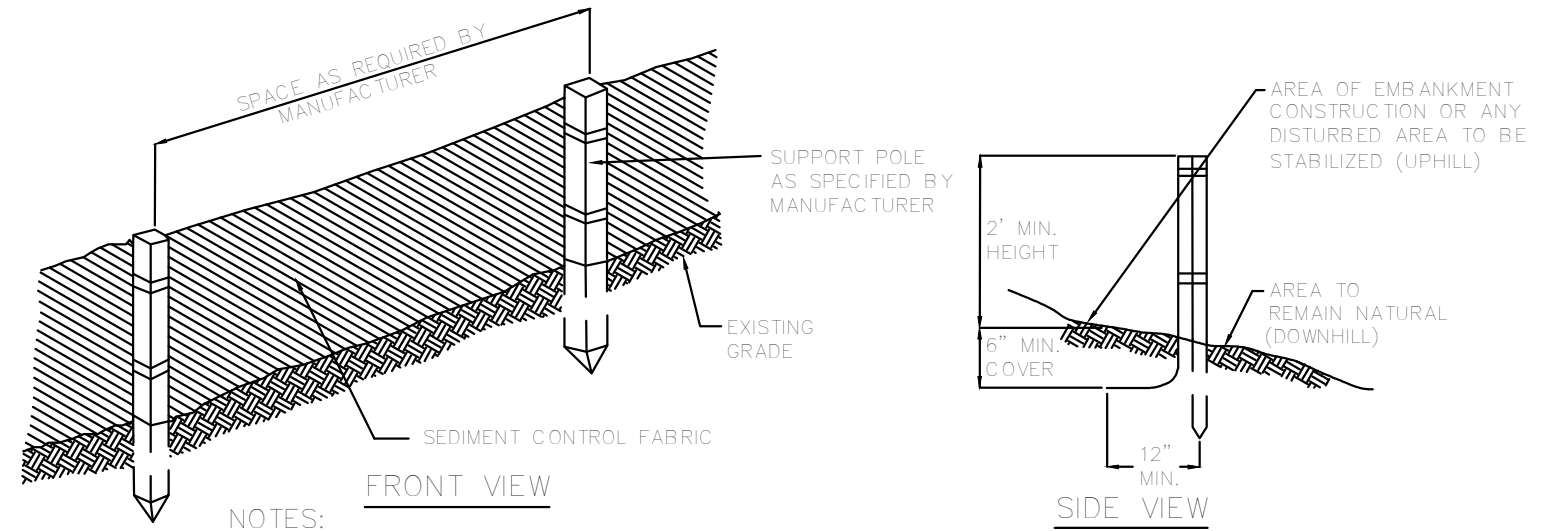
B) FERTILIZERS SHOULD NOT BE OVER INFILTRATION BED UNLESS ABSOLUTELY NECESSARY TO ESTABLISH VEGETATION.

C) INFILTRATION BASINS SHOULD BE INSPECTED A FEW TIMES A YEAR AND PARTICULARLY AFTER LARGE STORM EVENTS. SEDIMENT SHOULD BE REMOVED AT LEAST ANNUALLY TO PREVENT CLOGGING.



SILT SACK  
NOT TO SCALE

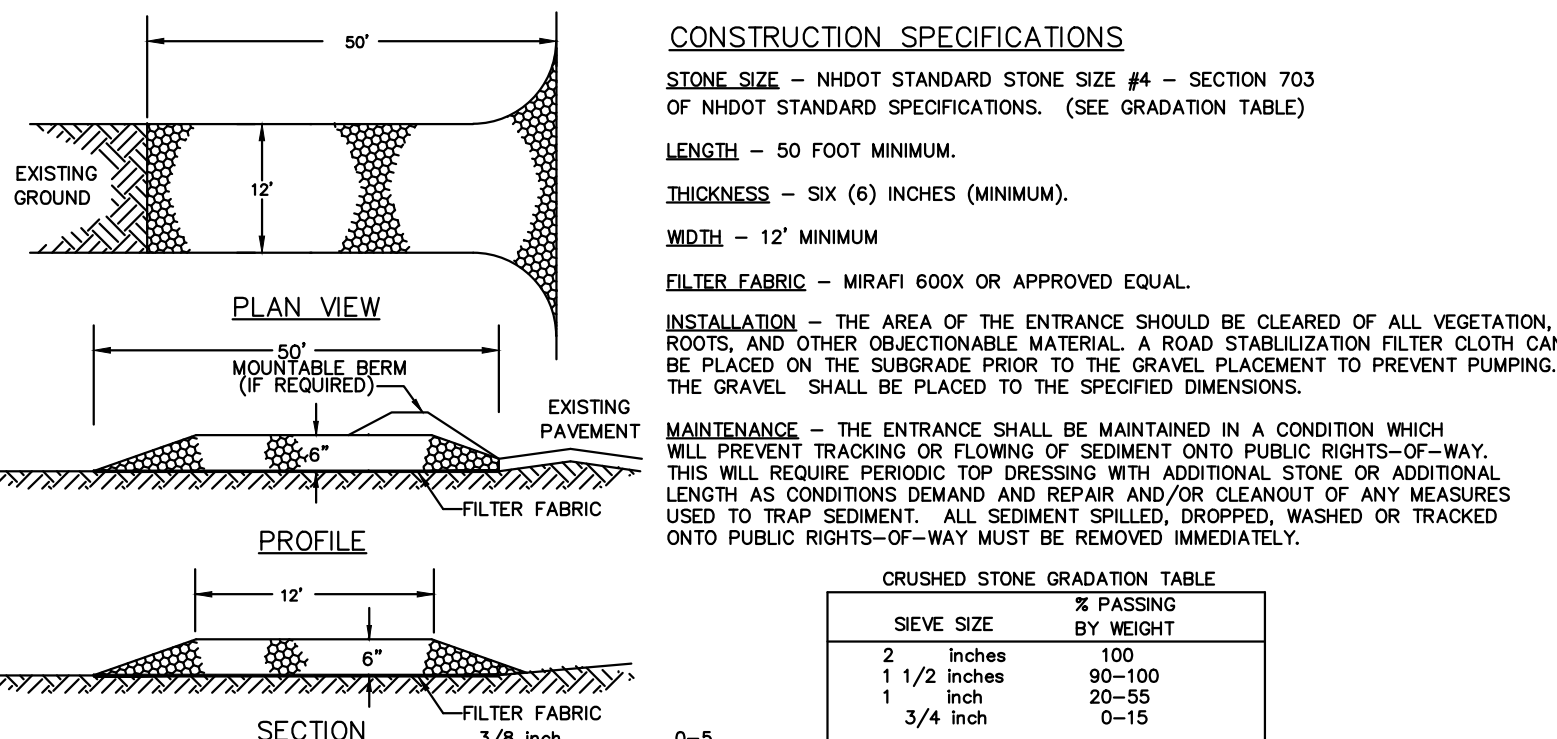
INSTALLATION DETAIL  
(SIDE VIEW)



NOTES:

1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR BEST MANAGEMENT PRACTICE FOR SILT FENCES.
2. THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES.
3. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATIONS.
4. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL BE AS MANUFACTURER RECOMMENDS.
5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH RECOMMENDATIONS.
6. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE, AND WILL EXTEND TO A MINIMUM OF 8 INCHES INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. FILTER BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
9. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
11. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
12. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SILT FENCE  
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

STONE SIZE - NHDOT STANDARD STONE SIZE #4 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS. (SEE GRADATION TABLE)

LENGTH - 50 FOOT MINIMUM.

THICKNESS - SIX (6) INCHES (MINIMUM).

WIDTH - 12' MINIMUM

FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL.

INSTALLATION - THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A ROAD STABILIZATION FILTER CLOTH CAN BE PLACED ON THE GRADE PRIOR TO THE GRAVEL PLACEMENT TO PREVENT PUMPING. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

SIEVE SIZE	% PASSING	% WEIGH
2 inches	100	
1 1/2 inches	90-100	
1 inch	20-55	
3/4 inch	0-15	

STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

NOTES

1. CATCH BASIN PROTECTION TO BE "SILTSACK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY POSS ENVIRONMENTAL SERVICES) OR EQUAL.
2. INSERT TO BE EMPTIED AND PROPERLY DISPOSED OF WHEN IT IS 1/2 FULL OF SEDIMENT.
3. INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

REGULAR FLOW SILTSACK®

(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/50 FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

CITY OF NEWBURYPORT OFFICE OF THE TOWN CLERK	NEWBURYPORT PLANNING BOARD
I, CLERK OF THE CITY OF NEWBURYPORT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.	
CLERK	DATE
	DATE

NORTH



Winter GEC, LLC

34 WINTER STREET  
NEWBURYPORT, MA 01950  
978-270-8626

PROJECT TEAM

18 BOYD DRIVE,  
SUBDIVISION  
NEWBURYPORT, MA

PREPARED FOR  
EVERGREEN  
COMMONS, LLC

PROJECT INFO

REV	DESCRIPTION	DATE
1.	REVIEW COMMENTS	8/8/17



STAMP:

TYPICAL  
SECTIONS,  
DETAILS &  
NOTES 4

SHEET NAME:

C16

SHEET NO: