

**City of Newburyport Planning Board**  
**Application for SITE PLAN REVIEW**

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Applicant: Hillside Living LLC

Address: c/o Lisa Mead, Blatman, Bobrowski, Mead & Talerman, LLC

30 Green Street, Newburyport MA 01950

Phone: 978 463 7700

Property Address: End of Cottage Court Extension

Assessor's Map and Lot(s): portion of 35-120

Zoning District: R3

Deed Reference: Book and Page(s) #: B30377 P467

or Certificate of Title: \_\_\_\_\_

Type of Project: ☒ Major ☐ Minor

Brief description of request:

Construct ten room lodging house.

Engineer: Westcott Site Services

Address: 60 Prospect St, Waltham MA 02453

Phone: 781 647 0062

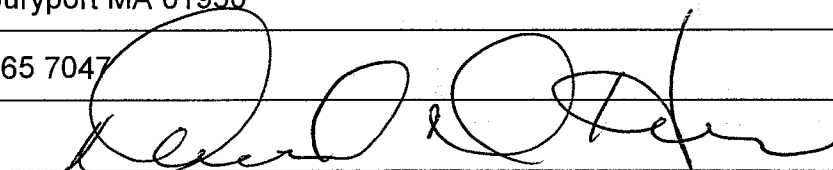
Owner: Hall & Moskow Corp, See Also Attached Power of Atty.

Address: 75 Water Street

Newburyport MA 01950

Phone: 978 465 7047

Owner's Signature: \_\_\_\_\_



**BLATMAN, BOBROWSKI, MEAD & TALERMAN, LLC**  
ATTORNEYS AT LAW

30 GREEN STREET  
NEWBURYPORT, MA 01950  
PHONE 978.463.7700  
FAX 978.463.7747

*Concord Office*  
9 DAMONMILL SQUARE, SUITE 4A4  
CONCORD, MA 01742  
PHONE 978.371.2226  
FAX 978.371.2296

*Millis Office*  
730 MAIN STREET, SUITE 2B  
MILLIS, MA 02054  
PHONE 508.376.8400  
FAX 508.376.8440

**LISA L. MEAD**  
Lisa@bbmatlaw.com

February 2, 2016

James McCarthy, Chair  
Newburyport Planning Board  
City Hall  
60 Pleasant Street  
Newburyport, Massachusetts 01950

RE: Cottage Court Extension / Route One  
Southern Portion of Map 35 Parcel 120 (south) (the "Property")  
Site Plan Review

Dear Chairman McCarthy and Members of the Board;

Reference is made to the above captioned matter. In that connection, this firm represents Hillside Living LLC., (the "Applicant") who along with the YWCA of Newburyport are developing the Property which is located in the R-3 zoning district.

**I Overview**

The parties are proposing to develop the Property as a Lodging House to service individuals being served by the YWCA. The Property consists of 8,515 square feet and includes 185.44 feet of frontage on Route One and the private way. The Applicant proposed to locate the structure, given the topography of the Property, so that there is a front yard setback of 7.5 feet, side yard setbacks of 40 and 7 feet and a rear yard setback of 11 feet. There is proposed to be ten room consisting of private bedrooms with common living, bathroom and kitchen facilities. (The "Project").

As required, the Petitioner has received a denial from the Building Commissioner for the proposed renovations. Said denial dated November 18, 2015 and attached hereto. The Applicant has attended a Technical Review Committee Meetings over the past year with various department representatives within the City including, Water, Sewer, Fire, Police, Engineering and Planning. The Applicant has received letters from the Water, Sewer, Fire and Police Departments noting that they are satisfied with the Applicant's proposal with regards to their areas of responsibility.

In order to construct the proposed Project, the Applicant will require a Major Sit Plan Review under Section XV-C of the Ordinance from this Board.

## **II. The Requirements Under Section XV-E(a)**

Under Section XV-C of the Ordinance, site plan review is required “for any structure intended for residential use which includes five (5) or more residential units on one property...” Major site plan review is mandated where a project consists of construction of ten (10) or more new or additional parking or loading spaces and where there is renovation to 25% or more of the existing gross floor area. Accordingly, this project is subject to major site plan review.

In accordance with Section XV-E(a) of the Ordinance, the following information is provided, all as shown on the Plans included herewith:

1. Location and boundaries. The location and boundaries of the Property and adjacent roadways, to the extent feasible, are shown on the Plans.
2. Structures. Both existing and proposed structures are shown on the Plans.
3. Signage. Signage is shown on the plan.
4. Landscaping. The Landscape Plan is provided.
5. Traffic. Traffic patterns, site access and circulation within the site are all shown on Site Plans included in the Plan Package by Moskow Linn Architects , Inc. and dated November 16, 2015, revised date February 1, 2016 (the “Plans”) and as more specifically reviewed in the traffic impact and access study provided by MDM Transportation Consultant’s, Inc., dated November 2015 and attached hereto.
6. Parking. The locations of parking spaces, entrances and exits to the parking lot and the Property area are all shown on the Plans.
7. Public access. All access through the property is shown on the Plans and the interconnection between the private ways and the public ways are set forth as well.
8. Lighting. The lighting is shown on the Lighting Plan in the Plans. There will be low level lighting in various areas of the site as well as typical residential fixtures located at the entry to the building and adjacent to the ways. The cut sheets for same are a part of the Plans.
9. Topography. Both existing and proposed topography of the site, with contours, are shown on the Plans.
10. Water and waste disposal, drainage and other utilities. The locations of water and sewer systems, other utilities and connections thereto are shown on the Plans.

## **III. Narrative Submittals Under Section XV-E(b)**

As required by Section XV-E(b) of the Ordinance, the following narrative submittals are provided to assist with the Board’s review of the Project:

1. Surface and groundwater pollution. The Storm Water Report prepared by Westcott

Site Services is attached hereto. (the “Storm water Report”).

2. Soils. Please see Storm Water Report.

3. Environmental and community impact analysis. The Applicant requests a Waiver from a full Environmental and community impact analysis. However, the Applicant provides that it has undertaken significant hazardous material remediation from the Property which was for years operated essentially as a salvage yard. The lodging house will be integrated into the adjacent Hillside Sustainable Community and together proposed project is projected to have a “Net Zero” impact on energy consumption through the inclusion of solar panels throughout the project, methods of construction, sources and methods of heat, production of food on site, permeable roadways, rainwater collection, LED lighting and implementation of recycling and reuse to name a few employed techniques. The Applicant has provided letters from the water and sewer department which indicate there will be no negative impact on those aspects of the city infrastructure. Additionally, the Applicant will be employing the use of electric car sharing among its residents to reduce the number and type of cars on the public roads. Stormwater will also be all taken care of on site. (Please see attached letters of the Water, Sewer, Fire and Police Departments).

Given the initial cleanup of the site and the proposed reuse the actual impacts to the environment and the community are a net positive with little to no negative impact.

4. Traffic impacts. As provided in the Traffic Report attached, “Traffic impacts associated with the proposed lodging house and adjacent development are not expected to notably affect travel or safety conditions in the site vicinity.”

5. Architectural style. The architect is providing a style which will nicely integrate into the existing style of homes in the Cottage Court Hillside Avenue neighborhood.

6. Other permits required. In addition to site plan approval, the Project requires: a Special Permit for lodging house use, and dimensional variances for lot area and reduced the setbacks from the Zoning Board.

#### **IV. Criteria for Site Plan Review**

Pursuant to Section XV-G of the Ordinance, I address each of the criteria for site plan review as follows:

1. Community character. The Hillside Avenue Cottage Court Area consists of a mix of architectural styles. The Cottage Court area resembles a cottage style architecture. The area generally is residential on three sides but also is bounded by a state highway and cemetery. The Project is in keeping with the residential area and compliments the character of the architecture as well as making use of the unique topography of the site.

2. Traffic, parking and public access. Traffic impacts, or the absence thereof, are referenced above, and analyzed in detail in the Traffic Study annexed hereto. As noted previously the project will have a negligible impact on the surrounding roads. All parking is accommodated on site and importantly the creation of the private parking lot will utilize a solar canopy for cover.



3. Health. The Project will have no negative effect on the public health or safety. In fact, by remediating the hazardous materials on site, constructing the Project to be Net Zero and including the ability for the residents of the lodging house to grow food will be a benefit to the health of the residents of the Project and the community at large.

4. Public services and utilities. Both the water and sewer demand of the Project have been reviewed by the Water and Sewer Departments who have determined that there is sufficient capacity to handle the additional residential units. All storm water will be treated on site.

5. Land use planning. The Project implements the use of the density bonus available in the Zoning Ordinance to allow for a restriction on providing rental units for at least 40 years. The Master Plan as well as other goals of the city include reusing former “dirty” sites in a productive manner such as is being proposed. The design of the lodging house and locating it into the side of the hill takes advantage both for energy efficiency as well as design, of the existing topography of the site.

6. Open space and environmental protection. The proposal has only positive impacts on the environment, beginning with the cleanup of the site to the creation of a Net Zero project. Further, as time goes on, the environment both locally, at the Property, and on the community at large will be positive.

## **V. Development and Performance Standards**

Pursuant to Section XV-H of the Ordinance, I address each of the required development and performance standards, to the extent the same are applicable, as follows:

1. Pedestrian and vehicular access and traffic impacts. Pedestrian and vehicular access, circulation on-site and traffic concerns are all addressed, above, and in detail in the traffic study annexed hereto.

2. Site plan and architectural design. The Project has been designed so as to address the design elements identified in the Ordinance and, as noted above, to be consistent with and complimentary too the surrounding neighborhood and takes advantage of the topography of the site.

3. Lighting. The lighting uses low level, low located, LED lights at various spaces throughout the Property. Additionally, typical residential lighting is placed at the front entry of the building. The lighting will not spill onto the neighboring properties.

4. Landscaping. Landscaping is an integral part of the Project’s design, both for aesthetics and for the practical purpose gardening and sustainable development.

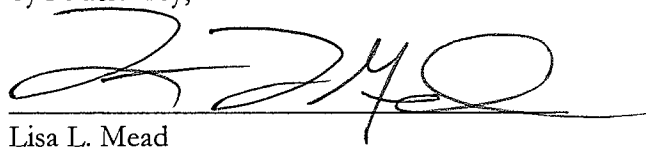
5. Storm water runoff. The project complies with the Massachusetts Storm Water Guidelines.

6. Water quality. The Project does not result in any negative impact on the quality of groundwater.
7. Wetlands. The Project does not result in any impact on wetland resources.
8. Erosion control. Erosion control measures will be implemented during construction.
9. Environmental performance standards. The Project complies with the performance standards set forth in Section XI of the Ordinance, governing fire and explosive hazards, radioactivity, smoke, air pollution, wastes, vibration, noise, odors and glare.
10. Utilities. All new locations and connections are represented on the Site Plans. The Applicant will be providing a new looped water main from Cottage Court, through the Fireman's Lane to Hillside. The City does not currently have a looped system. A new fire hydrant will be installed on the south end of the site. All electricity, telephone and cable will be underground.

## **VI. Conclusion**

Wherefore, the Petitioners respectfully request that the Board grant site plan approval for the Project in accordance with Section X-V of the Ordinance.

Respectfully submitted,  
Hillside Living, LLC  
by its attorney,

  
Lisa L. Mead

**BLATMAN, BOBROWSKI, MEAD & TALERMAN, LLC**  
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PHONE 508.376.8400  
FAX 508.376.8440

SARAH E. BELLINO  
Sarahb@bbmatlaw.com

February 2, 2016

IN HAND  
Planning Board  
Pleasant Street  
Newburyport MA 01950

RE: Waiver Request / Site Plan Review / Cottage Court and Hillside Ave.

Dear Members of the Board;

Reference is made to the above captioned matter. In that connection, this letter shall serve as a waiver request from the requirements of a portion of section XV-H-C.2 of the City of Newburyport Zoning Ordinance as follows:

1. Environmental and Community Impact Analysis

Given the limited nature of the modification and that there are no new or additional uses and no impacts on surrounding roadways, the Applicant requests that the requirement for this specific reports be waived and that the information provided in this submittal be deemed sufficient.

2. Landscape Plan Executed by a Registered Landscape Architect.

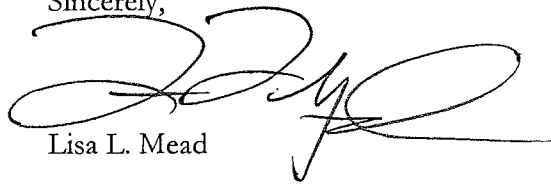
Whole Systems Design LLC (WSD) is imminently qualified to prepare a landscape and permaculture plan to the Board. WSD was developed as a land-based response to biological and cultural extinction and the increasing separation between people and elemental things. WSD identifies, designs, and develops human habitats - landscape and infrastructure systems - that yield perennial abundance and enduring value. The product is adaptive, resilient and secure places in a future of peak oil, climate instability, and deepening economic insolvency. WSD's studio and homestead in Vermont's Mad River Valley serves as a proving ground for the regenerative land developments featured throughout their work. Conducting nearly 200 site development consultations across New England and beyond, Ben and his highly skilled team have generated widespread acclaim for their revolutionary approach to mitigate today's pressing issues, as they develop into a world class design shop - one of their most notable projects being the redesign of Burlington's city center into an interactive landscape full of edible vegetation and stormwater infiltration features. Their services integrate the many aspects of sustainable landscape architecture, including ecological analysis, land planning, sustainable architecture and green building, renewable energy systems integration, planting and hardscape construction, and project management. Ben is also the author of the award-winning

book the Resilient Farm and Homestead (Chelsea Green, 2013), illustrated by his partner at Whole Systems Design, Cornelius Murphy.

The landscape design required for this project must incorporate both the traditional landscape techniques but also integrate the agricultural needs of the Property.

I thank you for your time and attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lisa L. Mead', with a large, stylized initial 'L' and a long horizontal flourish extending to the right.

Lisa L. Mead



# WHOLE SYSTEMS DESIGN, LLC

WHOLE HUMAN HABITATS

## FIRM PROFILE

Whole Systems Design, LLC (WSD) identifies, designs and develops human habitats; integrated landscape and building systems, that yield perennial abundance and enduring value. We go beyond current trends in sustainability by implementing regenerative food, fuel, and shelter systems that thrive on current solar energy. We differ from other designers in that we actually live inside of our work everyday, amidst the spaces and ecosystems we design. Our direct interaction with our designs allows us to provide clients with enhanced connections to place, increased levels of self-sufficiency, and tangible learning opportunities through integration with the ecological systems that surround them. These places become more adaptive, resilient and vibrant over time, while requiring less input from distant and ancient energy sources.

We are a multi-faceted design studio rooted in ecological analysis and holistic practices, known for our pioneering work in the research and development of regenerative land management strategies. These strategies include a diverse array of stormwater management and perennial food system techniques. Our process involves a multi-disciplinary approach integrating ecology, agriculture, architecture, pedagogy, and project management. We assist clients in all areas of project development from visioning and goals articulation to site selection, construction management, project communications, and research/education.

We facilitate 1-day to 10-day courses that equip citizens with the capacity to grow their own food, medicine and fuel; plan and develop a resilient home and farm infrastructure; and cultivate a high level of self-reliance while creating durable and vibrant livelihoods for themselves and their family. This allows our firm continual practice and interaction with what it means to design and develop optimal learning landscapes.

LAND PROCUREMENT | DESIGN | DEVELOPMENT | MANAGEMENT

[www.wholesystemsdesign.com](http://www.wholesystemsdesign.com) | Mad River Valley, VT | [design@wholesystemsdesign.com](mailto:design@wholesystemsdesign.com)



## **BEN FALK, M.A.L.D.**

**WHOLE SYSTEMS DESIGN, LLC**

Ben developed Whole Systems Design, LLC as a land-based response to biological and cultural extinction and the increasing separation between people and elemental things. Life as a designer, builder, ecologist, tree-tender, and backcountry traveler continually informs Ben's integrative approach to developing landscapes and buildings. His home landscape and the WSD studio site in Vermont's Mad River Valley serve as a proving ground for the regenerative land developments featured in the projects of Whole Systems Design. Ben has studied architecture and landscape architecture at the graduate level and holds a master's degree in land-use planning and design. He has conducted nearly 200 site development consultations across New England and facilitated dozens of courses on permaculture design, property selection, microclimate design, and design for climate change.

**EDUCATION**    2005    **The Conway School of Landscape Design**  
Master of Arts, Landscape Design

2000    **The University of Vermont**  
Bachelor of Science, Environmental Studies

**PROFESSIONAL**    **Author | The Resilient Farm & Homestead** - published by Chelsea Green Press

**Founder & Director, Planner, Teacher | Whole Systems Design, LLC** - Moretown, VT

**Speaker | TEDx, Keynotes & Conferences**

**Instructor | Yestermorrow Design/Build School** - Warren, VT

**Teacher, Design/Builder, Campus Designer | The Island School** - Cape Eleuthera, BS

**RELEVANT EXPERIENCE**    **Riverdale Country School** - New York, NY  
Edible Landscape Plan and curriculum development  
**The Lawrenceville School** - Lawrenceville, NJ  
Campus Food Garden  
**The Hotchkiss School** - Lakeville, CT  
Central Heating Facility | THS Farm Working Master Plan | Campus Trail Map  
**Farm & Wilderness** - Plymouth, VT  
Saltash Mountain Master Plan | Tamarack Farm Master Plan  
**Northfield Mount Hermon** - Gill, MA  
Campus Map & Sustainability Programming  
**CEF & The Island School** - Cape Eleuthera, Bahamas  
Campus Master Plan  
**State of Vermont Department of Buildings, Grounds & Services** - Windsor, VT  
Windsor Integral Sustainability Initiative



**BEN FALK, M.A.L.D.**  
WHOLE SYSTEMS DESIGN, LLC

**AWARDS, HONORS &  
PUBLICATIONS**

Board of Directors (past & present)

Yestermorrow Design/Build School  
Bright Blue Ecomedia  
Whole Systems Health  
Compost Power Network

- 2013 American Horticultural Society Book Award - *The Resilient Farm & Homestead*  
2013 Falk, B. *The Resilient Farm & Homestead: An Innovative Permaculture and Whole Systems Design Approach*. Chelsea Green Press  
2011 "Future Farmers" Utne Reader  
"Post-Oil Groceries" Landscape Architecture Magazine  
2010 "Wild Farms" Northern Woodlands  
"Cleaner Energy from Firewood" Mother Earth News  
Vermont Commons - Regular Columnist  
2008 "Promised Land" Fast Company Magazine



## CORNELIUS MURPHY

WHOLE SYSTEMS DESIGN, LLC

Cornelius is an ecologically minded designer, illustrator, and project manager focusing on the research and development of regenerative and ecological design principles in the areas of agriculture, community planning, education and the public realm. Over the last eight years, he has helped Whole Systems Design grow into a recognized leader in ecological design, permaculture, regenerative agriculture and landscape master planning. His professional experience includes academic and corporate campus, estate and public park planning and design while working for several California-based landscape architecture studios. Cornelius also manages 40 acres of prime farmland along the Lamoille River in Johnson, VT for Laraway Youth & Family Services, a state-wide social services agency focusing on the empowerment of at-risk youth through strengthening families and building community.

### EDUCATION

- 2007    **Regenerative Design Institute**  
Permaculture Design Certificate
- 2005    **Santa Barbara City College**  
Course studies in sustainability and ecology
- 2004    **Temple University Rome Campus**  
Advanced Architecture Studio, Photography
- 2004    **Temple University Ambler Campus**  
Bachelor of Science (BSLA),  
Department of Landscape Architecture and Horticulture

### PROFESSIONAL

- Land Steward | Laraway Youth & Family Services - Johnson, VT
- Designer, Project Manager | Whole Systems Design, LLC - Moretown, VT
- Designer | Land Goodkind Landscape Architects - Santa Barbara, CA
- Project Manager | Van Atta Associates, Inc. - Santa Barbara, CA

### RELEVANT EXPERIENCE

- The Hotchkiss School - Lakeville, CT  
Central Heating Facility | THS Farm Working Master Plan | Campus Trail Map
- Farm & Wilderness - Plymouth, VT  
Saltash Mountain Master Plan | Tamarack Farm Master Plan
- Northfield Mount Hermon - Gill, MA  
Campus Map & Sustainability Programming
- CEF & The Island School - Cape Eleuthera, Bahamas  
Campus Master Plan





## CORNELIUS MURPHY

WHOLE SYSTEMS DESIGN, LLC

State of Vermont Department of Buildings, Grounds & Services - Windsor, VT  
Windsor Integral Sustainability Initiative

Westmont College - Santa Barbara, CA  
Landscape Mater Plan

University of California Santa Barbara - Santa Barbara, CA  
UCSB Lagoon Park | North Campus Housing

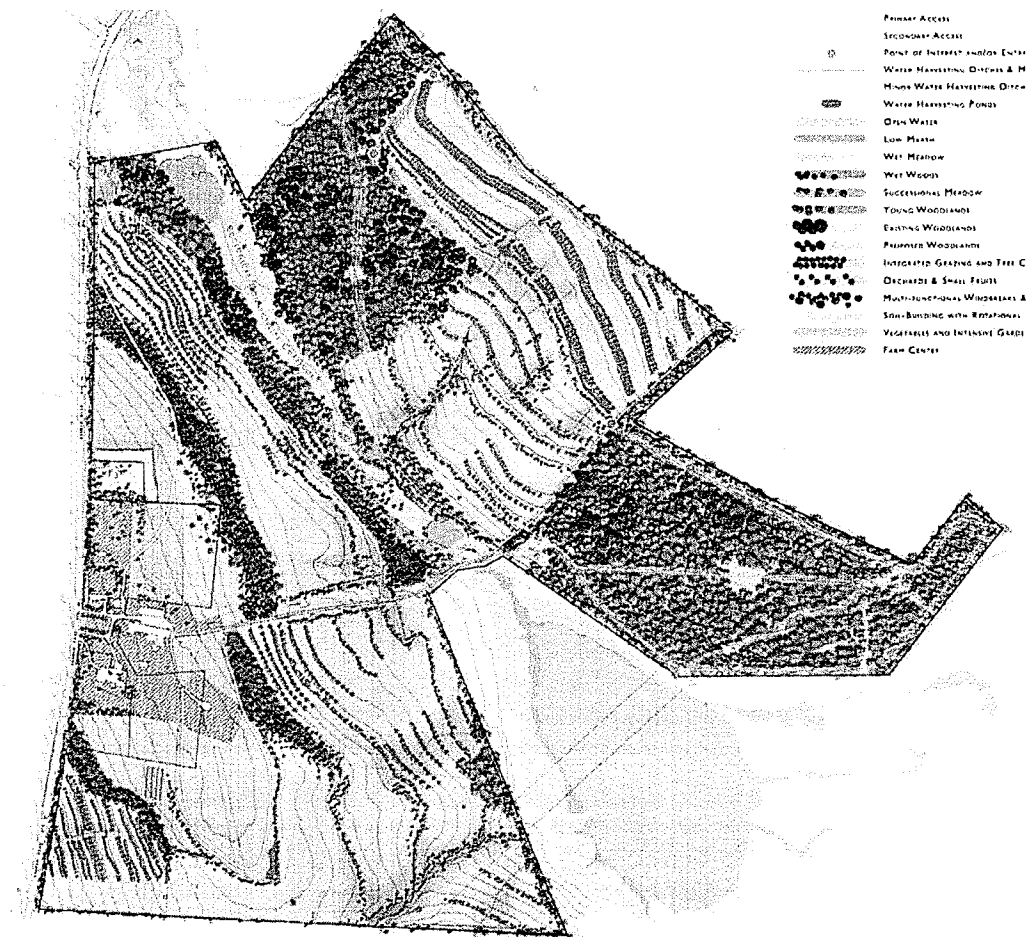
### AWARDS, HONORS & PUBLICATIONS

- 2013 American Horticultural Society Book Award - *The Resilient Farm & Homestead*
- 2013 Falk, B. *The Resilient Farm & Homestead: An Innovative Permaculture and Whole Systems Design Approach*. Chelsea Green, 2013; Illustrations.
- 2011 "Future Farmers" Utne Reader
- "Post-Oil Groceries" Landscape Architecture Magazine
- 2010 "Wild Farms" Northern Woodlands
- "Cleaner Energy from Firewood" Mother Earth News
- Vermont Commons - Staff Cartoonist & Illustrator
- 2008 "Promised Land" Fast Company Magazine
- ASLA General Design Award of Honor
- UCSB Lagoon Park
- 2004 ASLA Certificate of Honor Award
- ASLA Honor Society, Alpha Row Chapter
- Cum Laude Honors, Temple University
- 2003 Greywater Gardens, Philadelphia Flower Show
- Best in Show, Educational Category
- Bulkley Medal, Garden Club of America
- ASLA Honor Award, Communications Category



## WHOLE SYSTEMS DESIGN, LLC

RELEVANT EXPERIENCE



### THE HOTCHKISS SCHOOL

Lakeville, CT

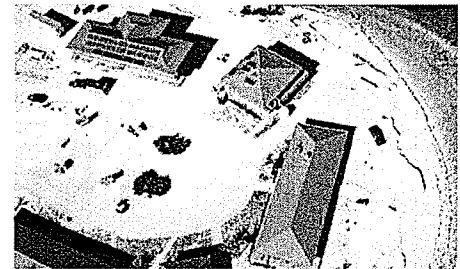
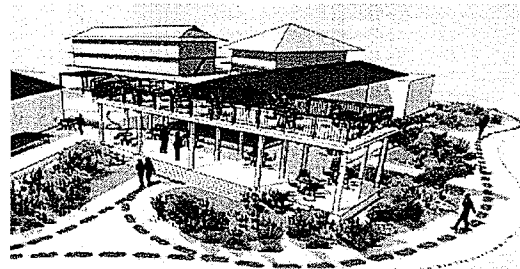
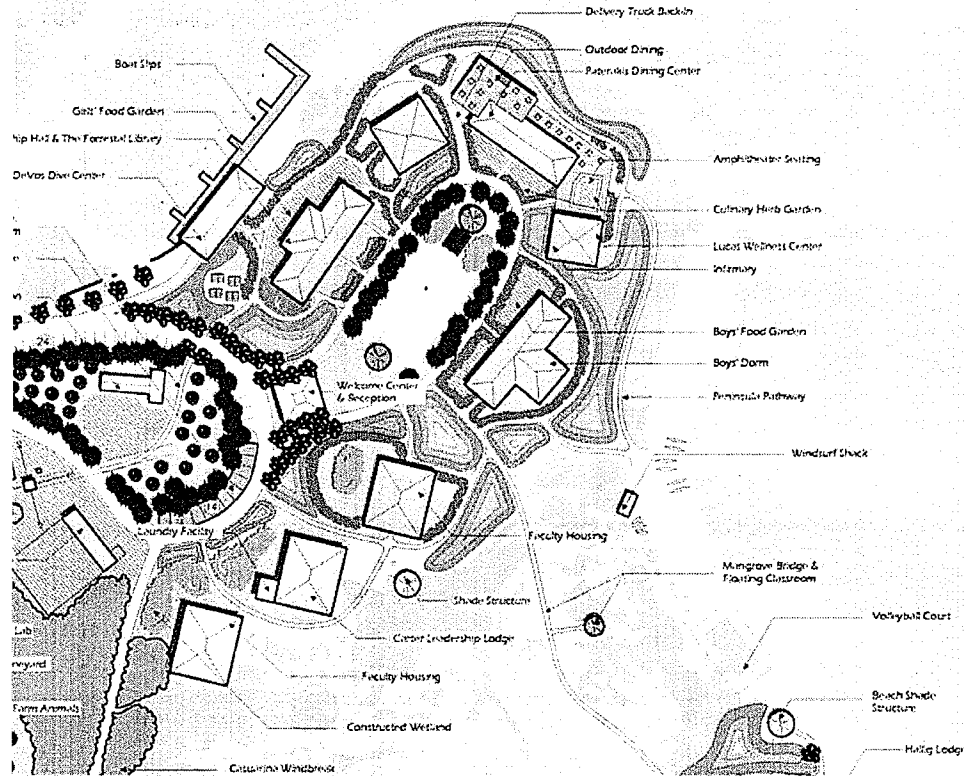
The Hotchkiss School (THS) is a selective, independent boarding school striving to develop a lifelong love of learning, responsible citizenship, and personal integrity in their students. THS is a nationally recognized secondary school with students from across the United States and 37 foreign countries.

WSD was hired to create a forward looking campus master plan, an agricultural master plan for a newly acquired farm property, a campus trail map and provide overall consulting for sustainable campus strategies. WSD also provided interpretative graphics, programmatic consultation, and resource management strategies for THS's new Central Heating Facility.



## WHOLE SYSTEMS DESIGN, LLC

RELEVANT EXPERIENCE

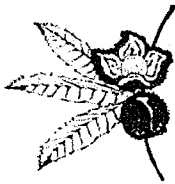


### THE ISLAND SCHOOL

Cape Eleuthera, BS

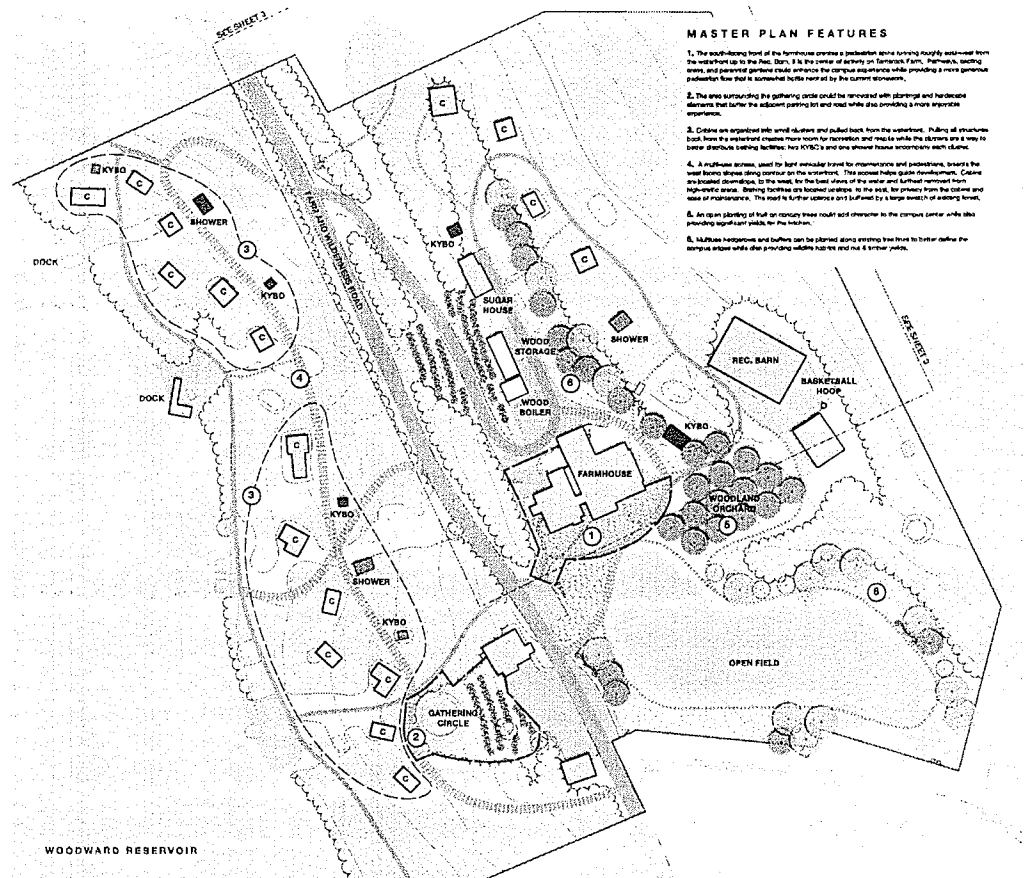
The Island School (IS) offers a transformative educational semester and summer journey for high school students from around the world. IS engages in the process of inquiry in order to discover sustainable solutions to real world problems.

WSD provided master planning services and program development for the 18-acre school and research facility. The CEF Master Plan integrated various ongoing initiatives to create and solidify plans for future growth and expansion while also improving the resiliency and adaptability of a landscape facing both immediate and long-term threats due to global climate change.



## WHOLE SYSTEMS DESIGN, LLC

RELEVANT EXPERIENCE



### MASTER PLAN FEATURES

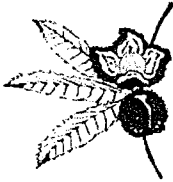
1. The south-facing front of the farmhouse provides a pedestrian route running roughly east-west from the yardfront up to the Pond Barn. It is the center of activity on Tamarack Farm, Farmhouse, bathing area, and parking lot. The route provides a more generous pedestrian flow that is connected to the rest of the campus.
2. The area surrounding the gathering circle could be reimagined with plantings and landscape elements that further the adjacent parking lot and road while also providing a more enjoyable experience.
3. Cisterns are proposed into wind shelters and pulled back from the waterfront. Pulling all structures back from the waterfront creates more room for recreation and makes the shoreline a way to better distribute existing facilities like KYBO's and one shower house incorporates with others.
4. A multi-use stream, used for both vehicle travel for emergency and recreation, flows through the water front along contour on the waterfront. This stream helps guide development, create a natural connection to the water, for both shore of the water and further inland from the waterfront. Stream facilities are located at the water front, for primary from the cistern and use of maintenance. The road is further defined and further by a large stretch of existing forest.
5. An open planting of tall or canopy trees could add character to the campus center while also providing significant shade for the visitors.
6. Multi-use responses and buffers can be planned along existing tree lines to further define the campus edges while also providing walking paths and not a better path.

## FARM & WILDERNESS

Plymouth, VT

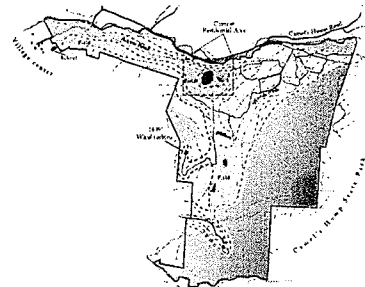
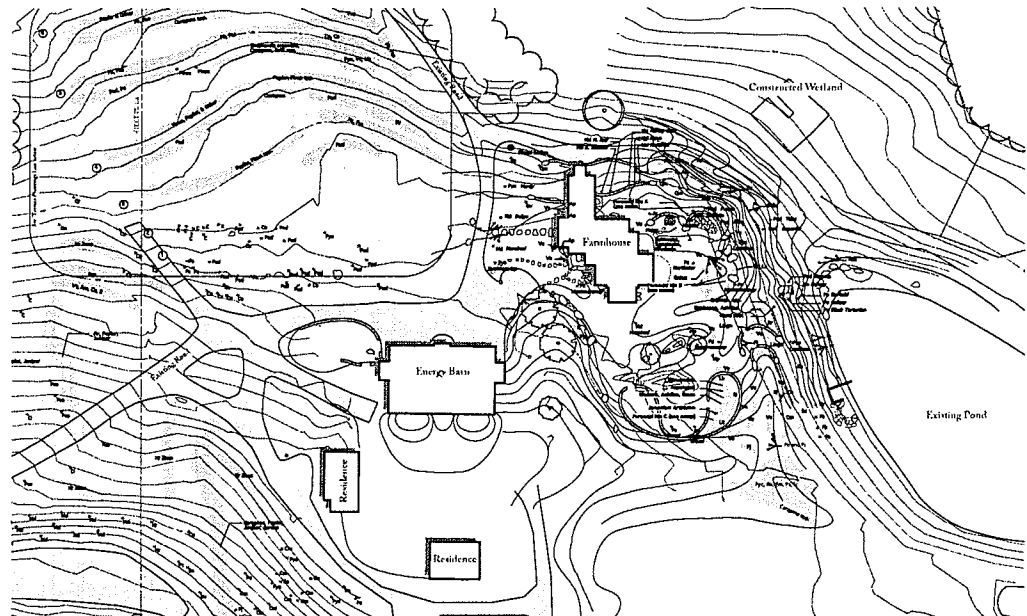
Farm & Wilderness offers six overnight camps for children ages nine through seventeen, a day camp and a family camp. At F&W, activities grow out of a closeness to the land and the people. Campers delve into the farm and garden, the woods and lake, and are living within a close-knit community. The strength of the F&W program is that use of daily activities and the simple tasks of daily life to teach the intangible skills of living respectfully and happily.

WSD consulted with Leadership staff to re-think the layout and development of two F&W campuses, Tamarack Farm & Saltash Mountain. While the organization and their programs have been incredibly successful over the years, their campuses have suffered from an ad-hoc approach to growth. WSD provided strategies to improve campus circulation, utility & resource management, and create a more aesthetic but still highly functioning and working landscape.



## WHOLE SYSTEMS DESIGN, LLC

RELEVANT EXPERIENCE



### TEAL FARM

Huntington, VT

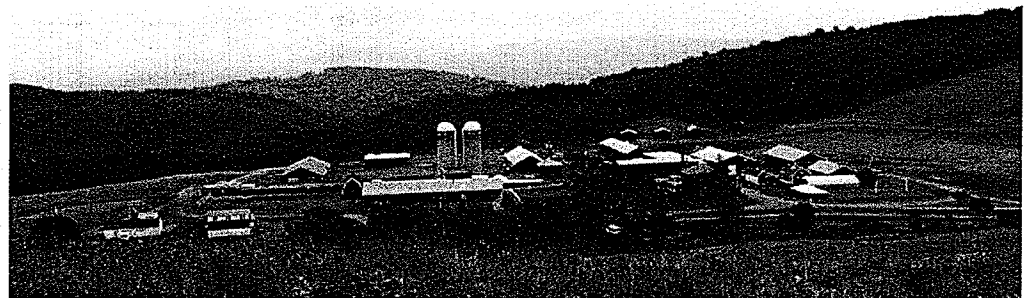
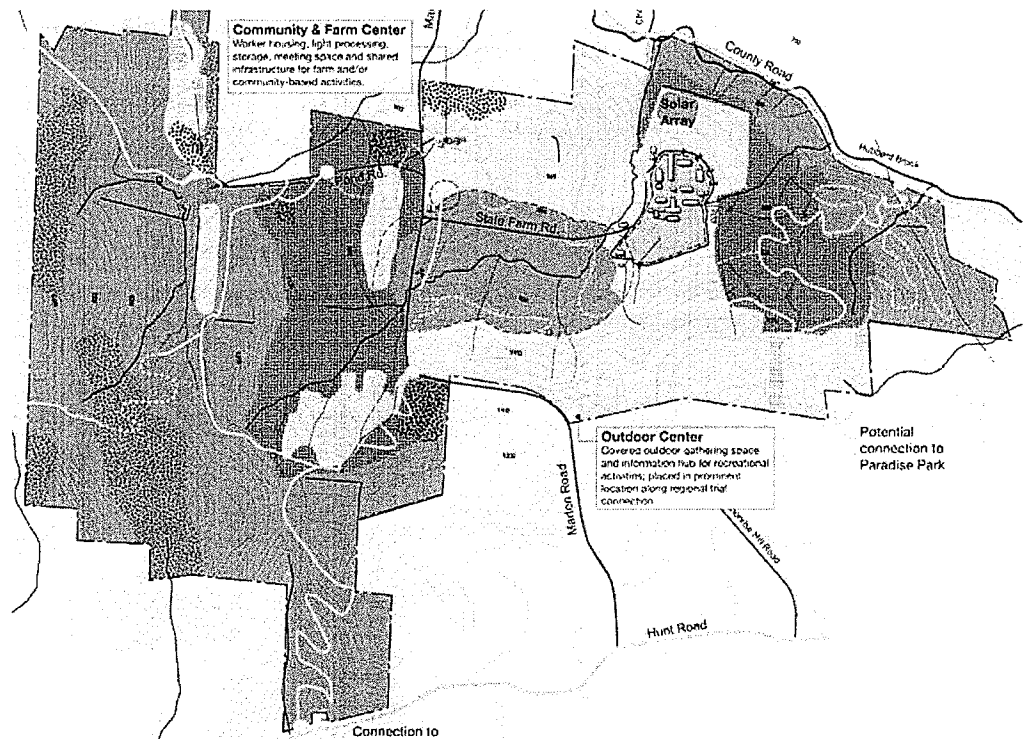
Teal Farm is a 1200 acre future-looking farm, ecological preserve, and residence seeking to prototype perpetual agriculture and energy systems capable of meeting regional food and energy needs within the tumultuous conditions of global warming, fluctuating energy supplies, and an oil-dependent global economy.

Whole Systems Design (WSD) created a Master Plan that outlined agricultural and infrastructure development potential for the next 10-25 years. The first phase began implementation in spring of 2007 with WSD responsible for planting thousands of trees and overseeing all landscape construction.



## WHOLE SYSTEMS DESIGN, LLC

RELEVANT EXPERIENCE



### WINDSOR INTEGRAL SUSTAINABILITY INITIATIVE Windsor, VT

The State of Vermont hired a team led by WSD to develop a master plan for 900 acres of surplus property around the Southeast State Correctional Facility in Windsor, VT. The WSD team crafted a vision, program and plan to enhance inmate rehabilitation through involvement in agricultural practices, wildlife management, recreation and other site services.

The plan articulates a new model for local economic growth and investment by integrating inmate rehabilitation, a more localized and sustainable food system and community stewardship that is facilitated and supported by state agencies. Aspects of Phase 1 implementation as outlined in the plan began in 2012 with new inmate programming led by a local non-profit.

# OFFICE OF THE BUILDING COMMISSIONER/ZONING CODE ENFORCEMENT OFFICER

## ZONING DENIAL

City APR#: 61

Name: HALL AND MOSCOW CORP.

Address: COTTAGE CT/Hillside Ave MAP 35

Zoning District: 12-III

Recalls: 110, 117, 118, 119, 120, 121

Request: CONSTRUCT (48) UNITS IN EIGHT RESIDENTIAL BLOCS REQUIRING

SPECIAL PERMITS FOR SPACING, USE (MULTIFAMILY PARKING), MAJOR SITE PLAN

☒ ZONING BOARD Review, VTC Special Permit

### Dimensional Variance

☐ Dimensional Controls (VI)

\_\_\_ Lot Area \_\_\_ Open Space \_\_\_ Front Yard  
\_\_\_ Lot Frontage \_\_\_ Height \_\_\_ Side Yard  
\_\_\_ Lot Coverage \_\_\_ Lot Width \_\_\_ Rear Yard

☐ PIOD (XXI)

\_\_\_ FAR  
\_\_\_ 2 1/2 stories

☐ Parking (VII)

### Use Variance

☐ Not permitted use (V)

### Sign Variance

☐ Sign Location/Replacement (VIII-D)

### Special Permit

☒ Special Permit for Use (V.D) Use #: 104  
☒ Spacing (VI.D)  
☐ In-Law Apartment (XIIA)  
☒ Bonus for Multifamily Developments (XVI)  
☐ Personal Wireless Communication Services (XX)  
☐ Demolition Control Overlay District (XXVIII)  
☐ Wind Energy Conversion Facilities (XXVI)

### Special Permit for Non-Conformities

☐ Extension or Alteration (IX.B.2)  
\_\_\_ Parking \_\_\_ Rear Yard  
\_\_\_ Upward Extension \_\_\_ Lot Coverage  
\_\_\_ Open Space \_\_\_ Side Yard  
\_\_\_ Height \_\_\_ Lot Frontage  
\_\_\_ Lot Area \_\_\_ Front Yard  
☐ Over 500 s.f. increase (IX.B.3.c)  
☐ Plum Island Overlay District (XXI-G-3)  
\_\_\_ FAR  
\_\_\_ Footprint Expansion  
\_\_\_ Height Increase

☒ PLANNING BOARD

### Special Permit

☒ One residential structure per lot (VI.C)  
☐ Floodplain (XIII)  
☐ Open Space Residential Development (XIV)  
☐ Water Resource Protection District (XIX)  
☐ Federal Street Overlay District (XXII)

☐ Courts and Lanes (XXIII)  
☐ Waterfront West Overlay District (XXIV)  
☐ Towle Complex Redev. Overlay District (XXV)  
☐ Downtown Overlay District (XXVII)

### Site Plan Review (XV)

☒ Major ☐ Minor

☐ HISTORICAL COMMISSION

☐ Demo. Delay ☐ Advisory Review

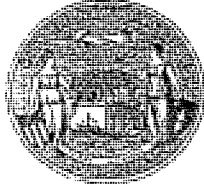
☐ CONSERVATION COMMISSION

☐ CITY COUNCIL

☐ GACM (X.H.9)

11/18/15  
Date

Robert B. Blazquez  
Building Commissioner/Zoning Code Enf. Officer



CITY OF NEWBURYPORT  
DEPARTMENT OF PUBLIC SERVICES

16A PERRY WAY  
NEWBURYPORT, MA 01950  
TEL: 978-465-4463 EXT. 1701

ANTHONY J. FURNARI, DIRECTOR OF DPS  
WAYNE S. AMARAL, DEPUTY DIRECTOR/DIRECTOR OF OPERATIONS

November 13, 2015

Ed Ramsdell  
Chair  
Zoning Board of Appeals  
60 Pleasant Street  
Newburyport MA 01950

RE: Cottage Court and Hillside Avenue Development.

Dear Chair and Members of the Board;

I have reviewed the plans from Hall and Moskow Corp dated 11-05-15 showing the creation of 48 multifamily units on 149,153 square feet along with the accessory structures and proposed parking. The City of Newburyport sewer collection system has sufficient capacity to handle the proposed development. The proposed development will discharge into the Pond Street gravity sewer. The sewer division has no issues at this time with the proposed development.

Should you have any questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jamie Tuccolo', written over a horizontal line.

Jamie Tuccolo  
Collection System Superintendent





# CITY OF NEWBURYPORT

## POLICE DEPARTMENT

MARK R. MURRAY  
INTERIM CITY MARSHAL

4 GREEN STREET  
NEWBURYPORT, MA 01950

TEL: 978-462-4411  
FAX: 978-462-0396

November 13, 2015

Ed Ramsdell  
Chair  
Zoning Board of Appeals  
60 Pleasant Street  
Newburyport MA 10950

RE: Cottage Court and Hillside Avenue Development by Hall and Moskow,  
Corp.

Dear Chair and Members of the Board;

I have reviewed the plans from Hall and Moskow Corp dated 11-05-15 showing the creation of 48 multifamily units on 149, 153 square feet along with the accessory structures and proposed parking. There is sufficient access in and around the structures on the site and through the site for the police department. Given the various methods of access to and from the site, I see no public safety issues from a traffic or police enforcement point of view. The Police Department has no issues with the proposed plan.

Should you have any questions, please let me know.

Sincerely,

Mark Murray  
Interim City Marshal

*Excellence In Policing Through Superior Service*



CITY OF NEWBURYPORT  
DEPARTMENT OF PUBLIC SERVICES  
16A PERRY WAY  
NEWBURYPORT, MA 01950

TOM FURNARI, DIRECTOR  
DAN LYNCH, WATER DISTRIBUTION SYSTEM MANAGER

PHONE: 978-465-4464  
FAX: 978-465-1623

November 13, 2015

Ed Ramsdell  
Chair  
Zoning Board of Appeals  
60 Pleasant Street  
Newburyport MA 01950

RE: Cottage Court and Hillside Avenue Development by Hall and Moskow, Corp.

Dear Chair and Members of the Board;

I have reviewed the plans from Hall and Moskow Corp dated 11-05-15 showing the creation of 48 multifamily units on 149,153 square feet along with the accessory structures and proposed parking. The City has sufficient water capacity to service this project and the Applicant has agreed to loop the water mains servicing the site from Pond Street and replace the existing mains in Hillside Avenue and Cottage Court as determined necessary by our Department.

Should you have any questions, please let me know.

Sincerely



Daniel Lynch



CHRISTOPHER J. LECLAIRE  
FIRE CHIEF

CITY OF NEWBURYPORT  
**FIRE DEPARTMENT**

9 Greenleaf Street, Newburyport, MA 01950  
(978) 465-4427 FAX (978) 463-9177



STEPHEN H. BRADBURY, III  
DEPUTY CHIEF

November 20, 2015

To: Ed Ramsdell, Zoning Board of Appeals  
From: Deputy Bradbury  
Re: Cottage Court & Hillside Ave, Hall and Moscow

I have reviewed the site plans in regards to fire department vehicle access and location of fire hydrants. The fire department has no objections to this development proceeding.

If I can be of further assistance to you do not hesitate to call.

Sincerely,

Steve Bradbury  
Deputy Fire Chief

Cc: building department and planning office.

**18 COTTAGE CT****Location** 18 COTTAGE CT**Assessment** \$6,300**Mblu** 35/ 120/ / /**PID** 2064**Owner** HALL & MOSKOW CORP**Building Count** 1**Current Value**

Assessment			
Valuation Year	Improvements	Land	Total
2015	\$0	\$6,300	\$6,300

**Owner of Record**

**Owner** HALL & MOSKOW CORP  
**Co-Owner**  
**Address** 75 WATER ST STE 503  
 NEWBURYPORT, MA 01950

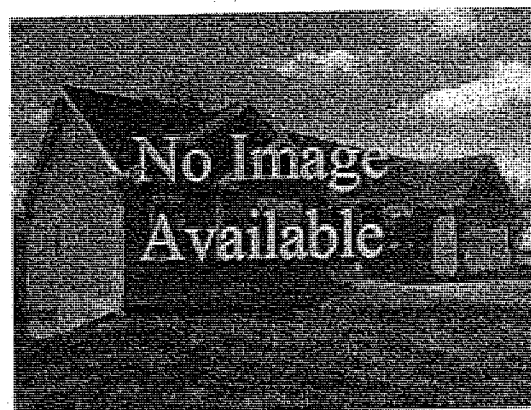
**Sale Price** \$0  
**Certificate**  
**Book & Page** 30377/0467  
**Sale Date** 04/29/2011  
**Instrument** 1F

**Ownership History**

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
HALL & MOSKOW CORP			30377/0467	1F	04/29/2011
HALL & MOSKOW CORP	\$355,000		29959/0455	1V	11/12/2010
HART MICHAEL J & LORNA HILLER TRS			28209/0182	1F	12/22/2008
HILLER BRUCE W	\$0		5147/ 193		

**Building Information****Building 1 : Section 1****Year Built:****Living Area:** 0

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Stories:	
Occupancy	
Exterior Wall 1	
Exterior Wall 2	
Roof Structure:	
Roof Cover	

**Building Photo**

(<http://images.vgsi.com/photos/NewburyportMAPPhotos/default.aspx>)

Interior Wall 1	
Interior Wall 2	
Interior Flr 1	
Interior Flr 2	
Heat Fuel	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Bthrms:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	

**Building Layout**☒ Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

**Extra Features**

Extra Features	Legend
No Data for Extra Features	

**Land****Land Use**

**Use Code** 1320  
**Description** RES ACLNUD  
**Zone** R3

**Land Line Valuation**

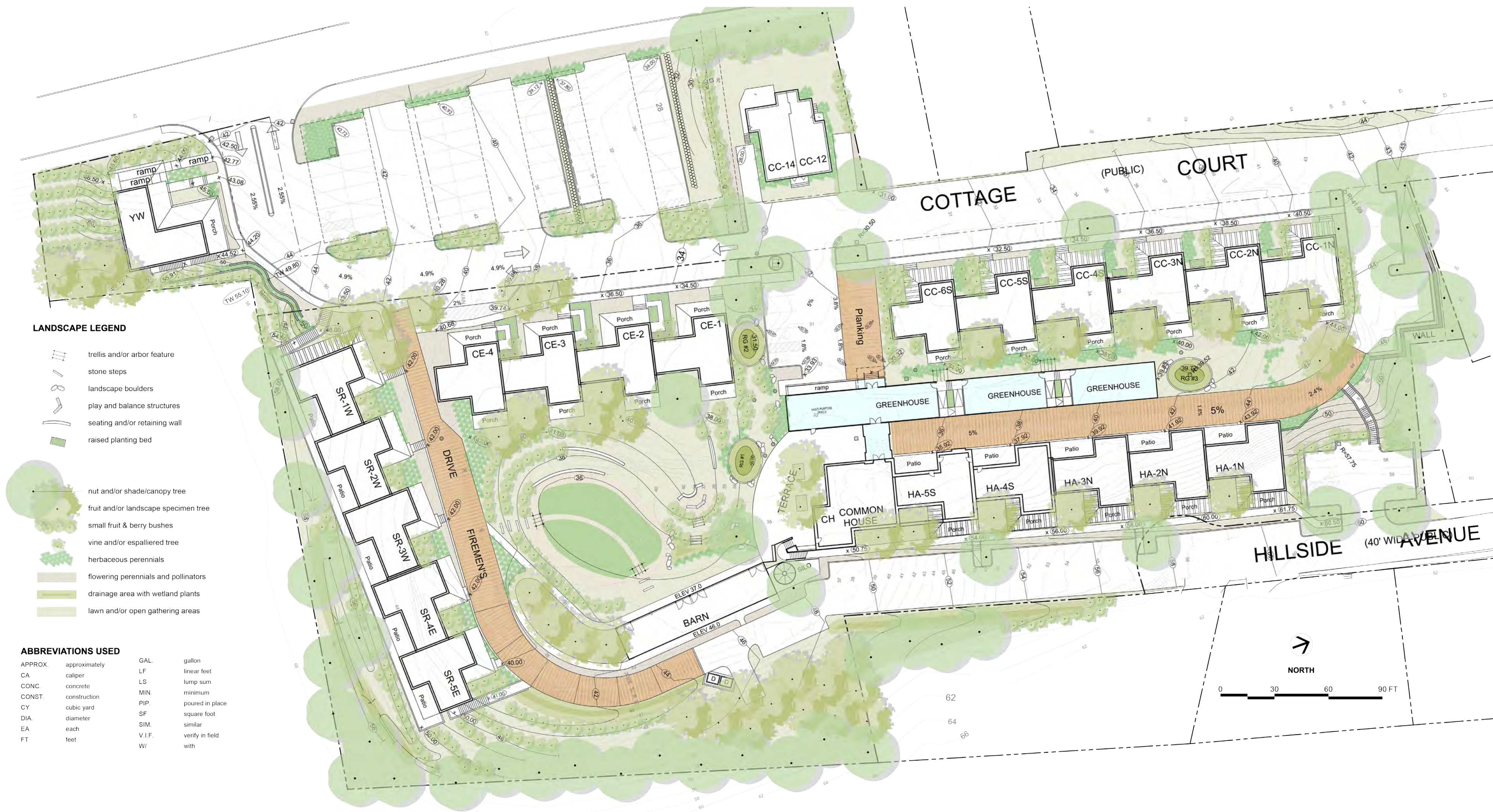
**Size (Acres)** 0.35  
**Depth** 0  
**Assessed Value** \$6,300

**Outbuildings**

Outbuildings	Legend
No Data for Outbuildings	

(c) 2014 Vision Government Solutions, Inc. All rights reserved.





LANDSCAPE LEGEND

- trellis and/or arbor feature
- stone steps
- landscape boulders
- play and balance structures
- seating and/or retaining wall
- raised planting bed
- nut and/or shade/canopy tree
- fruit and/or landscape specimen tree
- small fruit & berry bushes
- vine and/or espalliered tree
- herbaceous perennials
- flowering perennials and pollinators
- drainage area with wetland plants
- lawn and/or open gathering areas

ABBREVIATIONS USED

- |         |               |        |                 |
|---------|---------------|--------|-----------------|
| APPROX. | approximately | GAL.   | gallon          |
| CA      | caliper       | LF     | linear foot     |
| CONC.   | concrete      | LS     | lump sum        |
| CONST.  | construction  | MIN.   | minimum         |
| CY      | cubic yard    | PIP.   | poured in place |
| DIA.    | diameter      | SF     | square foot     |
| EA      | each          | SIM.   | similar         |
| FT      | feet          | V.I.F. | verify in field |
|         |               | W.     | with            |

ILLUSTRATIVE LANDSCAPE PLAN (provided by WSD)

# HILLSIDE - CENTER FOR SUSTAINABLE LIVING

NEWBURYPORT, MA

OWNER	DEVELOPER	ARCHITECT	CIVIL ENGINEER	LANDSCAPE & PERMACULTURE	SOLAR ENGINEER	TRAFFIC ENGINEER	ATTORNEY OF RECORD
Hillside Living LLC 2 Federal Street Newburyport, MA 01950 978.465.7047	Hall & Moskow 75 Water Street Newburyport, MA 01950 978.465.7047	Moskow Linn Architects 88 Broad Street Boston, MA 02110 617.292.2000	Westcott Site Services 60 Prospect Street Waltham, MA 02453 781.647.0062	Whole Systems Design 66 Dean's Mountain Road Moretown, VT 05660 802.496.3128	Solar Market 25 Limerick Road Arundel, ME 04046 207.985.0088	MDM Transportation Consultants 28 Lord Road Marlborough, MA 01752 508.303.0370	Lisa L. Mead Blatman, Bobrowski, Mead & Talerman 30 Green Street Newburyport MA 01950

## GENERAL NOTES

1. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES. INCLUDING BUT NOT LIMITED TO, THE MASSACHUSETTS STATE BUILDING CODE (8th ADDITION), MASSACHUSETTS FUEL, GAS AND PLUMBING CODES, MASSACHUSETTS ELECTRICAL CODE, OSHA REGULATIONS, ORDINANCES OF THE CITY OF NEWBURYPORT, AND THE REQUIREMENTS OF THE NEWBURYPORT FIRE DEPARTMENT.
2. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL DIMENSIONS. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL CONDITIONS AFFECTING THE WORK. ANY CONDITIONS FOUND THAT ALTER OR OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
3. THE CONTRACTOR SHALL COORDINATE THE WORK SHOWN ON THESE DRAWINGS WITH WORK OF ALL TRADES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) AND BRING ANY CONFLICT TO THE ATTENTION OF THE ARCHITECT.

## DRAWING LIST

- |      |                                    |
|------|------------------------------------|
| A0.0 | COVER SHEET & GENERAL NOTES        |
| C-0  | EXISTING TOPOGRAPHIC PLAN          |
| C-1  | EROSION CONTROL PLAN               |
| C-2  | LAYOUT PLAN                        |
| C-3  | PROPOSED GRADING PLAN              |
| C-4  | PROPOSED DRAIN PLAN                |
| C-5  | PROPOSED SEWER, WATER, & ELEC PLAN |
| A0.2 | GFA CALCULATIONS                   |
| A0.3 | SIGNAGE PLAN                       |
| A0.4 | EXTERIOR LIGHTING PLAN             |
| A1.1 | YWCA FLOOR PLANS                   |
| A1.2 | YWCA ELEVATIONS                    |

02.01.2016	PERMIT SET

SCALE:	NTS
DATE:	02.01.2016
DRAWN BY:	DF

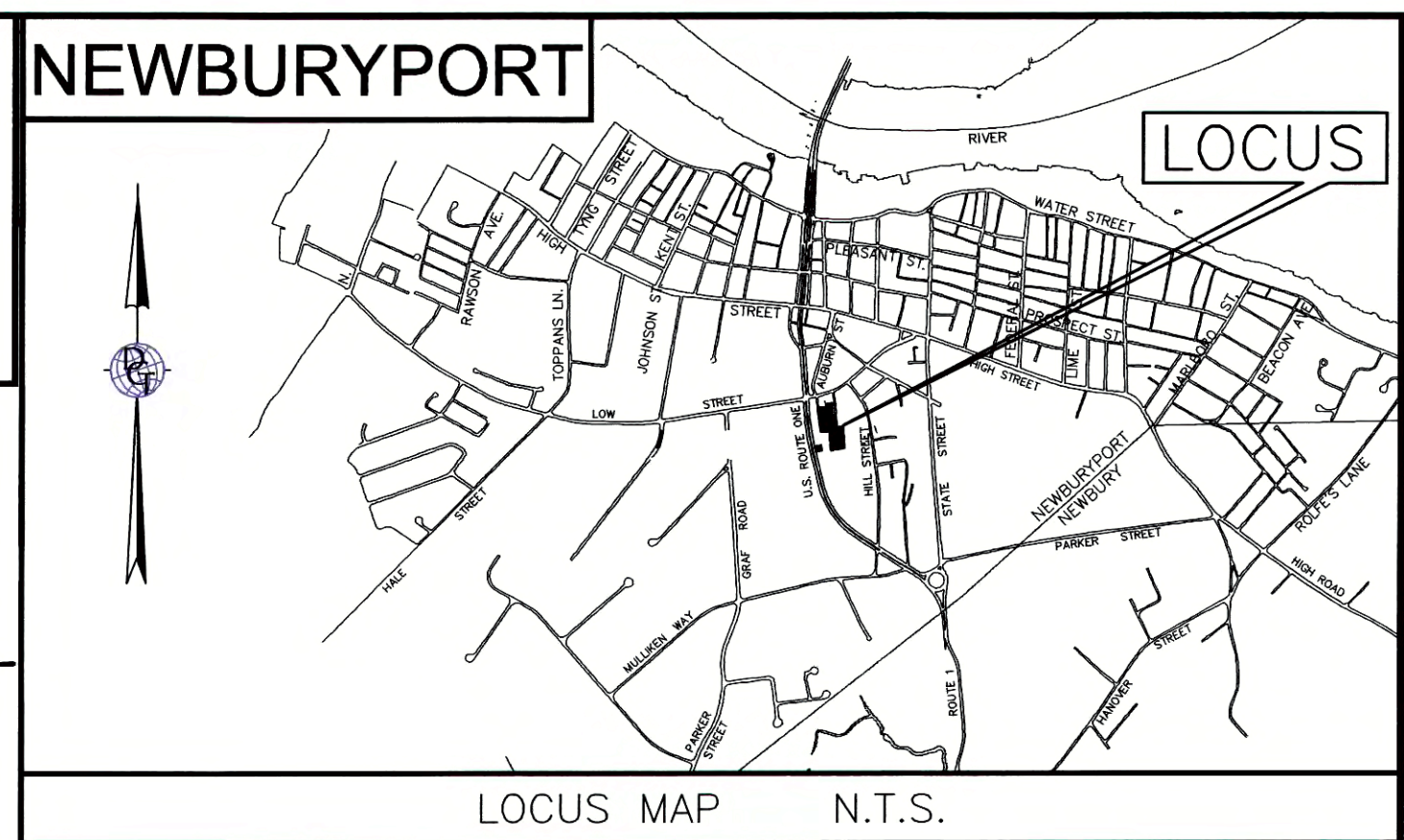
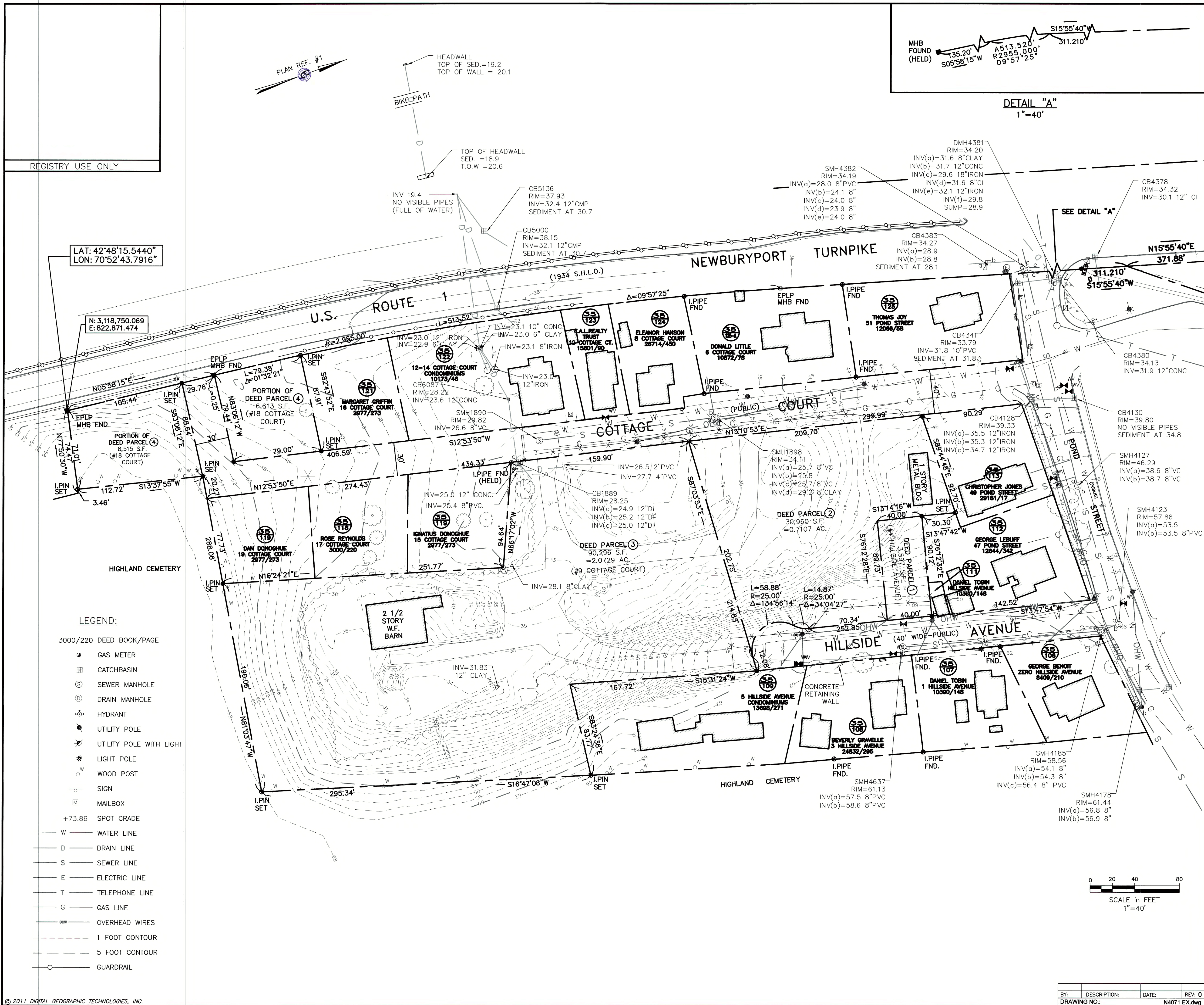
MOSKOW LINN ARCHITECTS, INC.  
88 BROAD STREET, BOSTON, MA 02110  
tel. 617.292.2000 fax. 617.426.4701  
WWW.MOSKOWLINN.COM



Hillside - Center for Sustainable Living  
NEWBURYPORT, MA  
COVER SHEET - YWCA

A0.0





- NOTES:
- THIS PLAN IS THE RESULT OF A LIMITED TOPOGRAPHIC SURVEY (AREA WITHIN LIMIT LINE AS DEPICTED HEREON) AND A COMPILATION OF A PREVIOUS FIELD SURVEY BY OTHERS (SEE PLAN REFERENCE #1).
  - THIS PLAN IS PREPARED FOR OUR CLIENT USE ONLY FOR THE SPECIFIC PURPOSE OF OBTAINING PERMITS AND LOCAL APPROVALS, AND IS NOT TO BE USED OR RELIED UPON AS A CONSTRUCTION DOCUMENT OR ANY OTHER USE BY OTHERS WITHOUT THE WRITTEN CONSENT OF DGT.
  - THE VERTICAL DATUM IS NAVD 88 AS DERIVED FROM PLAN REFERENCE # 1 AND CONFIRMED BY GPS OBSERVATIONS
  - THE UTILITIES DEPICTED HEREON ARE DERIVED FROM PLAN REFERENCE #1 AND HAVE NOT BEEN CONFIRMED BY DGT.

- REFERENCES:
- ESSEX COUNTY REGISTRY OF DEEDS  
DEED BOOK 28209 PAGE 182
  - COMMONWEALTH OF MASSACHUSETTS 1934 NEWBURYPORT TURNPIKE (US ROUTE ONE) LAYOUT.
  - PLAN ENTITLED "TOPOGRAPHIC PLAN OF LAND IN NEWBURYPORT PREPARED FOR HALL AND MOSKOW, PREPARED BY NORTHSTAR LAND SURVEY SERVICES 4/15/10

I HEREBY CERTIFY THAT:

THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY. AND THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS AND THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR THE NEW WAYS ARE SHOWN AND THAT THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN.

EDWARD DIXON  
No. 34394  
REGISTERED  
PROFESSIONAL LAND SURVEYOR

2-29-16  
DATE

PROFESSIONAL LAND SURVEYOR

4 HILLSIDE STREET  
ASSESSOR'S MAP 35 LOT 110

EXISTING CONDITIONS  
PLAN OF LAND  
IN  
NEWBURYPORT, MASSACHUSETTS  
ESSEX COUNTY

PREPARED FOR:  
HALL & MOSKOW

PREPARED BY:  
DGT SURVEY GROUP - NORTH SHORE  
A DIVISION OF DIGITAL GEOGRAPHIC TECHNOLOGIES, INC.

18 CENTER STREET  
SUITE 1  
NEWBURYPORT, MA  
01950

TEL: 978-465-9992  
info@dgtsurvey.com  
www.dgtsurvey.com

RESEARCH:  
EDX

FIELD:  
CA/HK

CALCULATION:  
EDX

DRAFTING:  
EDX

CHECK:  
EDX

PROJ. MANAGER:  
EDX

DATE:  
7-30-2015

D.G.T. JOB NO.  
N-4071.00

CRD FILE  
N4071.CRD

SHEET NO.  
1 OF 1



STANDARD 8 – CONSTRUCTION PERIOD CONTROLS

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

Spill management and emergencies:

- If a hazardous material spill occurs, or other environmental hazard, the Fire Department shall be called.
- The responsibility for the cleanup will be upon the entity that caused the hazard. That entity shall immediately engage a qualified Environmental Cleanup Company to remove the hazard.

Principles:

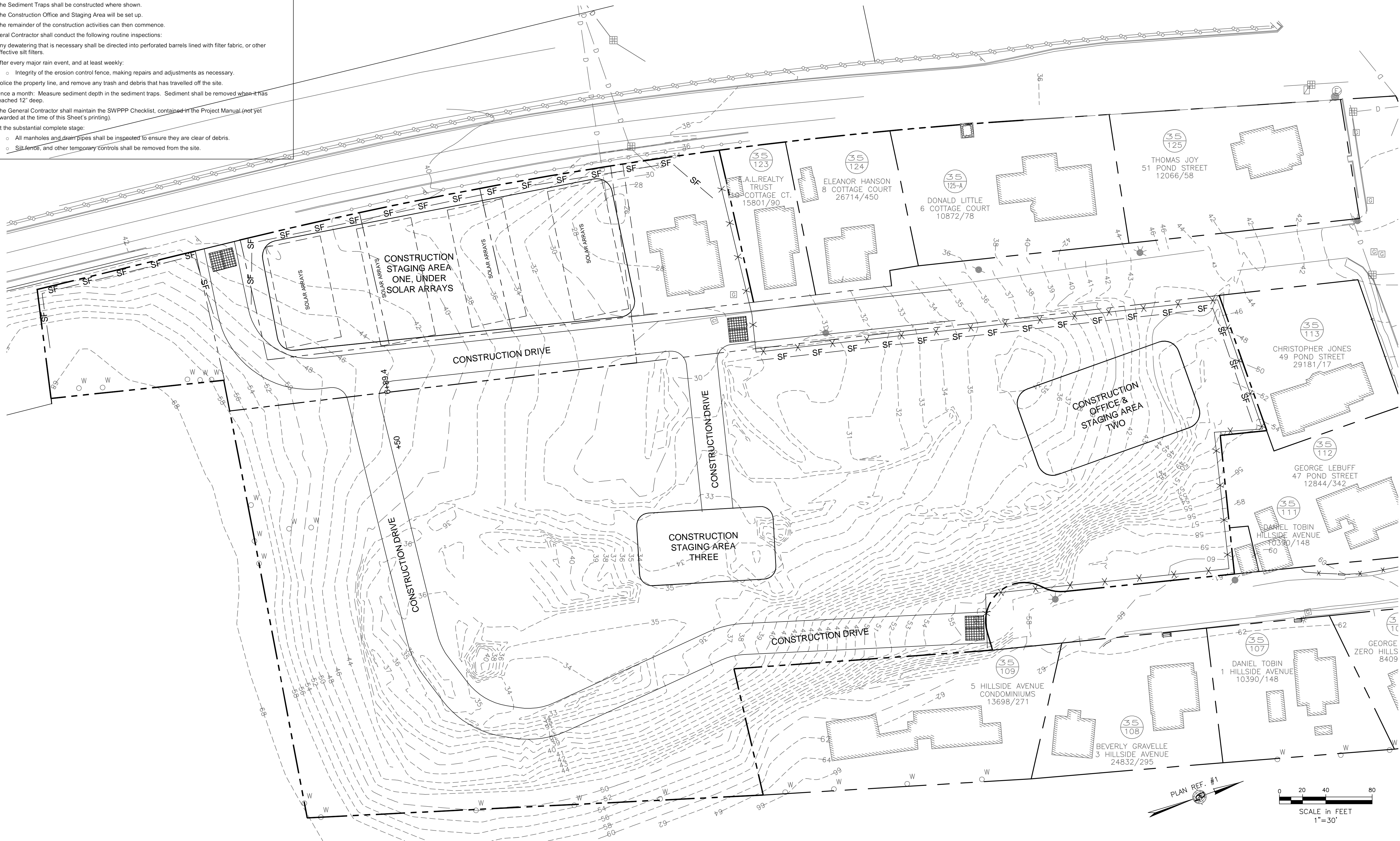
- The total area of exposed earth shall be kept to the practical minimum.
- No earth shall be left exposed when heavy rain is expected. All disturbed areas shall be stabilized with temporary jute mesh, or equal, if the permanent surface will not be applied within a week.

Schedule of Activities:

- Stone Entrance Aprons shall be constructed where shown. These are intended to minimize the tracking of dirt off the site. The stone in the apron shall be renewed as necessary to maintain effectiveness. These shall be maintained throughout the major construction, and be removed only when the major site construction is complete.
- Solar arrays shall be placed, and used as a protected Staging Area.
- The silt fence shall be erected, as shown at a minimum, with additional fence placed as needed.
- Construction drive shall be graded and located as shown on Sheet C-1. It shall be surfaced with base course gravel.
- The Sediment Traps shall be constructed where shown.
- The Construction Office and Staging Area will be set up.
- The remainder of the construction activities can then commence.

The General Contractor shall conduct the following routine inspections:

- Any dewatering that is necessary shall be directed into perforated barrels lined with filter fabric, or other effective silt filters.
- After every major rain event, and at least weekly:
  - Integrity of the erosion control fence, making repairs and adjustments as necessary.
- Police the property line, and remove any trash and debris that has travelled off the site.
- Once a month: Measure sediment depth in the sediment traps. Sediment shall be removed when it has reached 12" deep.
- The General Contractor shall maintain the SWPPP Checklist, contained in the Project Manual (not yet awarded at the time of this Sheet's printing).
- At the substantial complete stage:
  - All manholes and drain pipes shall be inspected to ensure they are clear of debris.
  - Silt fence, and other temporary controls shall be removed from the site.



LEGEND

EXISTING CONTOUR

SILT FENCE

STONE ENTRANCE APRON  
20' WIDE x 50' LONG x 12" DEEP PAD OF 1" MAX. WASHED CRUSHED STONE.

TEMPORARY CHAIN LINK CONSTRUCTION FENCE. WILL BE RELOCATED AT BOUNDARY OF SITE AS APPROPRIATE FOR THE PHASE OF WORK.

TEMPORARY SEDIMENT TRAP

Issue				
Date				

SCALE: 1" = 30'	DATE: 02-01-16	DRAWN BY: RTW
-----------------	----------------	---------------

MOSKOW LINN ARCHITECTS, INC.

88 BROAD STREET, BOSTON, MA 02110

tel. 617.292.2000 fax. 617.426.4701

WWW.MOSKOWLINN.COM



Hillside Center for Sustainable Living

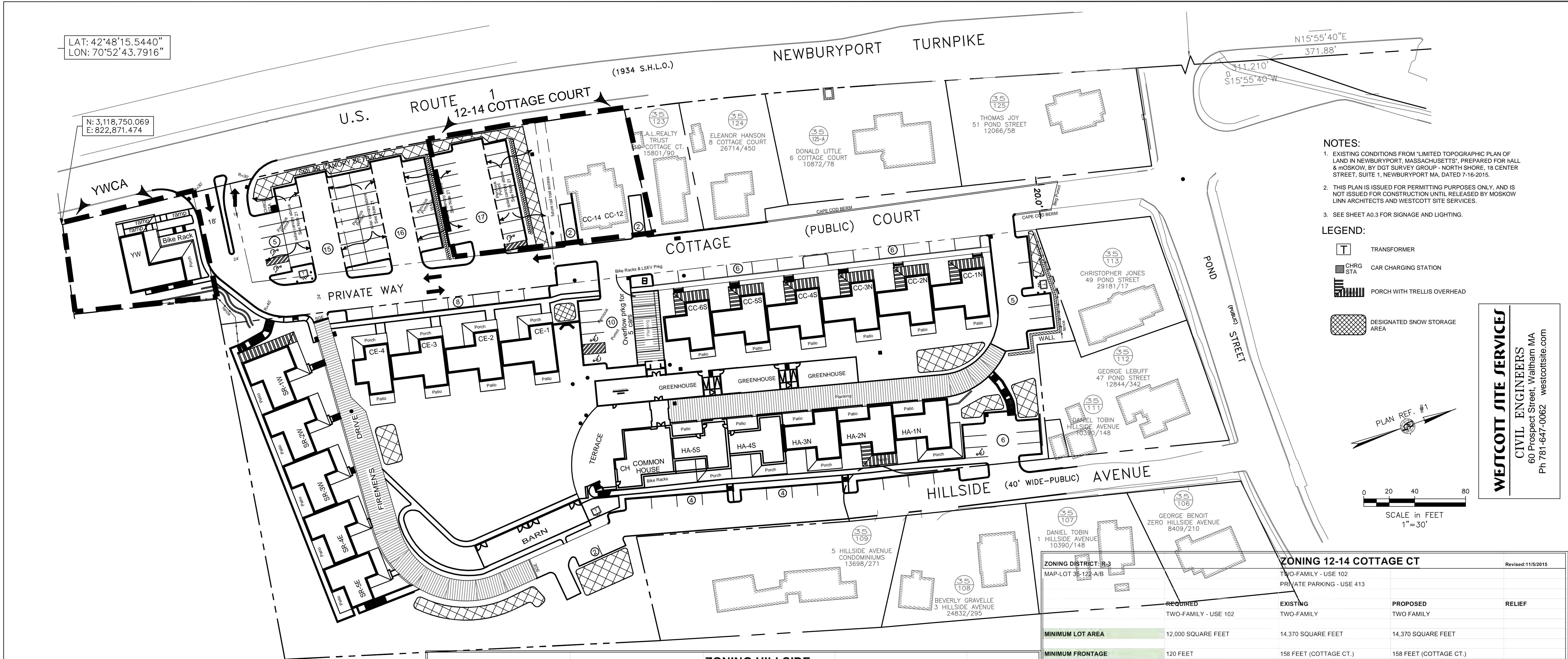
NEWBURYPORT MA 01950

Erosion Control Plan



LAT: 42°48'15.5440"  
LON: 70°52'43.7916"

N: 3,118,750.069  
E: 822,871.474



#### NOTES:

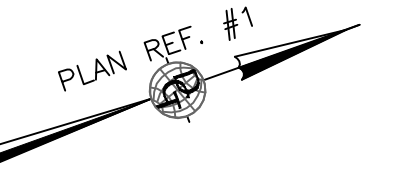
- EXISTING CONDITIONS FROM "LIMITED TOPOGRAPHIC PLAN OF LAND IN NEWBURYPORT, MASSACHUSETTS", PREPARED FOR HALL & MOSKOW, BY DGT SURVEY GROUP - NORTH SHORE, 18 CENTER STREET, SUITE 1, NEWBURYPORT, MA, DATED 7-16-2015.
- THIS PLAN IS ISSUED FOR PERMITTING PURPOSES ONLY, AND IS NOT ISSUED FOR CONSTRUCTION UNTIL RELEASED BY MOSKOW LINN ARCHITECTS AND WESTCOTT SITE SERVICES.
- SEE SHEET A0.3 FOR SIGNAGE AND LIGHTING.

#### LEGEND:

- TRANSFORMER
- CAR CHARGING STATION
- PORCH WITH TRELLIS OVERHEAD
- DESIGNATED SNOW STORAGE AREA

WESTCOTT SITE SERVICES

CIVIL ENGINEERS  
60 Prospect Street, Waltham MA  
Ph 781-647-0062 westcotsite.com



SCALE in FEET  
1"=30'

BUILDING DETAIL					Revised: 11/6/15
HA-1N	HA-2N	HA-3N		Hillside Ave-North Unit TOTAL	
HA Access	1	1	1		
CC Access	2	2	2		
Units	3	3	3		9
HA-4S	HA-5S	CH*		Hillside Ave-South Unit TOTAL	
HA Access	1	1	2		
CC Access	2	1	0		
Units	3	2	2		7
CC-1N	CC-2N	CC-3N		Cottage Court-North Unit TOTAL	
CC Access	2	2	2		
Units	2	2	2		6
CC-4S	CC-5S	CC-6S		Cottage Court-South Unit TOTAL	
CC Access	2	2	2		
Units	2	2	2		6
CE-1	CE-2	CE-3	CE-4	Cottage Court Extension Unit TOTAL	
CC Access	2	2	2	2	
Units	2	2	2	2	8
SR-1W	SR-2W	SR-3W		South Rise-West Unit TOTAL	
SR Access	3	3	2		
Units	3	3	2		8
SR-4E	SR-5E			South Rise-East Unit TOTAL	
SR Access	2	2			
Units	2	2			4
Total # of Units					48
Guest BR	Offices	Common Space Sq. Ft.	Basmt./Utility Space Sq. Ft.		
Greenhouse	0	0	3605	0	
Guest BR	Offices	Common Space Sq. Ft.	Basmt./Utility Space Sq. Ft.		
Barn	0	0	0	3870	
YWCA BUILDING					
YW BUILDING				YW Unit TOTAL	
CC Access	1 LODGING HOUSE		10 ROOM		1
Guest BR	Offices	Common Space Sq. Ft.	Basmt./Utility Space Sq. Ft.		
*Common House Detail	3	2	3715	2700	

ZONING DISTRICT: R-3		ZONING HILLSIDE		Revised: 11/5/15
MAP-LOT - 35-110, 35-117, 35-118, 35-119, 35-120-N, 35-121		OVER 20 UNITS - USE 104 AGRICULTURAL - USE 301 PRIVATE PARKING - USE 413		
		REQUIRED	EXISTING	PROPOSED
		OVER 20 UNITS - (USE 104)	SHED, BARN, 2-FAMILY	48 UNITS- USE 104, 301
				SPECIAL PERMIT
MINIMUM LOT AREA		134,666 SQUARE FEET*	149,153 SQUARE FEET	149,153 SQUARE FEET
MAP-LOT - 35-110, 35-117, 35-118, 35-119				
MAP-LOT - 35-120-N, 35-121 (PARKING LOTS)		N/A	13,593 SQUARE FEET	13,593 SQUARE FEET
MINIMUM FRONTAGE		120 FEET	358 FEET (COTTAGE CT.)	358 FEET (COTTAGE CT.)
FRONT SETBACK				
COTTAGE CT		20 FEET	32 FEET	20 FEET
HILLSIDE AVE		20 FEET	5 FEET (avg of 2 principal structures)	8 FEET
SIDE SETBACK				
COTTAGE CT		10 FEET	5 FEET	47 FEET NORTH, 10 FEET SOUTH
HILLSIDE AVE		10 FEET	100 FEET	75 FEET NORTH
SIDE SETBACK FOR >1 BUILDING/LOT		10 FEET	450 FEET	0 FEET
REAR SETBACK**				SPECIAL PERMIT
REAR SETBACK >1 BUILDING/LOT		20 FEET	100 FEET	10 FEET
REAR SETBACK >1 BUILDING/LOT				SPECIAL PERMIT
MAXIMUM LOT COVERAGE (%)		40%	1.80%	21.10%
MAXIMUM HEIGHT				
RESIDENTIAL STRUCTURES		35 FEET	33 FEET	35 FEET
BARN		35 FEET	n/a	18 FEET
WOOD PELLET SILO		35 FEET	n/a	32.1 FEET
MINIMUM OPEN SPACE		40.00%	98.20%	78.90%
MINIMUM PARKING		73	14	76
2 spaces for 1st 2 units + 1.5 spaces per unit				SPECIAL PERMIT
*See density bonus XVI-C Market rate rental units. If a multi-family development project proposes twenty-five (25) percent of its total housing units to be developed as market rate rental housing as outlined below, the number of allowable units and the number of units per structure may be increased by fifty (50) percent.				
**Where a side or rear yard of a structure is adjacent to a park, cemetery, or other permanent public open space, all but ten (10) feet of the required yard may be measured from the center of said open space.				
*** 43 Parking spaces are located on the other side of the Cottage Ct. Extension ROW / within 300ft of parcel				

ZONING DISTRICT: R-3		ZONING 12-14 COTTAGE CT		Revised: 11/5/2015
MAP-LOT 35-123-A/B		TWO-FAMILY - USE 102 PRIVATE PARKING - USE 413		
		REQUIRED	EXISTING	PROPOSED
		TWO-FAMILY - USE 102	TWO-FAMILY	TWO FAMILY
				RELIEF
MINIMUM LOT AREA		12,000 SQUARE FEET	14,370 SQUARE FEET	14,370 SQUARE FEET
MINIMUM FRONTAGE		120 FEET	158 FEET (COTTAGE CT.)	158 FEET (COTTAGE CT.)
FRONT SETBACK		20 FEET	10.5 FEET	10.5 FEET
SIDE SETBACK***		10 FEET	14.5/95 FEET	14.5/95 FEET
REAR SETBACK		20 FEET	40 FEET	40 FEET
MAXIMUM LOT COVERAGE (%)		40%	11.70%	11.70%
MAXIMUM HEIGHT		35 FEET	EXISTING	EXISTING (NO CHANGE)
MINIMUM OPEN SPACE		40.00%	88.30%	88.30%
MINIMUM PARKING		4	4	21
				SPECIAL PERMIT
***Where a side or rear yard of a structure is adjacent to a park, cemetery, or other permanent public open space, all but ten (10) feet of the required yard may be measured from the center of said open space.				
ON-LINE ZONING ORDINANCES CITY OF NEWBURYPORT WEBSITE <a href="http://www.cityofnewburyport.com/Planning/index.html">http://www.cityofnewburyport.com/Planning/index.html</a> PLANNING DEPARTMENT - MAIN PHONE 978-465-4400				
INFORMATION REGARDING ZONING, INCLUDING PARKING ABOVE, SHOWN HEREON IS NOT INTENDED TO BE A DEFINITE ZONING OPTION AND IS FOR INFORMATIONAL PURPOSES ONLY. ALL INFORMATION SHOULD BE VERIFIED BY LEGAL COUNSEL PRIOR TO RELIANCE UPON THE SAME.				
ZONING DISTRICT: R-3		ZONING YWCA		Revised: 11/5/15
MAP-LOT 35-120-S		LODGEHOUSE - USE 106		
		REQUIRED	EXISTING	PROPOSED
		LODGING HOUSE (USE 106)	VACANT LAND	10 ROOM LODGING HOUSE
				RELIEF
				SPECIAL PERMIT
MINIMUM LOT AREA		20,000 SQUARE FEET	8,515 SQUARE FEET	8,515 SQUARE FEET
MINIMUM FRONTAGE		120 FEET	105.44 FEET (RT. 1)	105.44 FEET (RTE. 1)
FRONT SETBACK		20 FEET	VACANT	7.5 FEET
SIDE SETBACK***		20 FEET	VACANT	41 FEET, 7 FEET
REAR SETBACK		20 FEET	VACANT	11 FEET
MAXIMUM LOT COVERAGE (%)		40%	0.00%	15.40%
MAXIMUM HEIGHT		35 FEET	VACANT	25 FEET
MINIMUM OPEN SPACE		40.00%	100.00%	84.60%
MINIMUM PARKING		10	0	10
				SPECIAL PERMIT
***Where a side or rear yard of a structure is adjacent to a park, cemetery, or other permanent public open space, all but ten (10) feet of the required yard may be measured from the center of said open space.				

Hillside Center for Sustainable Living  
& YWCA at Hillside  
NEWBURYPORT MA 01950

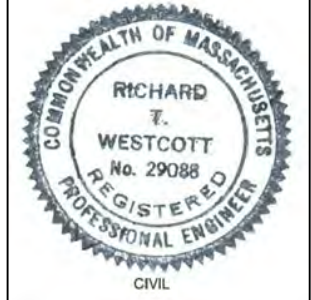
Layout Plan

C-2

Issue	Date

SCALE: 1" = 40'	DATE: 02-01-16	DRAWN BY: RTW
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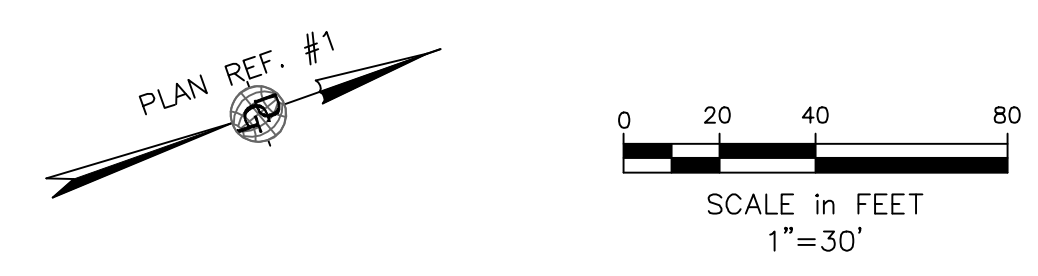






LEGEND:

- BRK BRICK
  - CCB CAPE COD BERM
  - CLF CHAIN LINK FENCE
  - CONC CONCRETE
  - COR CORNER
  - CB CATCH BASIN
  - DH DRILL HOLE
  - DMH DRAIN MANHOLE
  - EMH ELECTRIC MANHOLE
  - EP EDGE PAVEMENT
  - FND FOUND
  - GG GAS GATE
  - HH HAND HOLE
  - LP LIGHT POLE
  - SGC SLOPED GRANITE CURB
  - STY STORY
  - SMH SEWER MANHOLE
  - UG UNDERGROUND
  - OHV OVERHEAD WIRES
  - UP UTILITY POLE
  - VGC VERTICAL GRANITE CURB
  - WG WATER GATE
- 8271/27 DEED BOOK / PAGE AS RECORDED IN THE XXXXXXXX REGISTRY OF DEEDS



Issue

Date

SCALE: 1" = 30'

DATE: 02-01-16

DRAWN BY: RTW

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tel. 617.292.2000 fax. 617.426.4701

WWW.MOSKOWLINN.COM

RICHARD WESTCOTT

REGISTERED PROFESSIONAL ENGINEER

CIVIL

CITY OF BOSTON

REGISTERED PROFESSIONAL ENGINEER

CIVIL

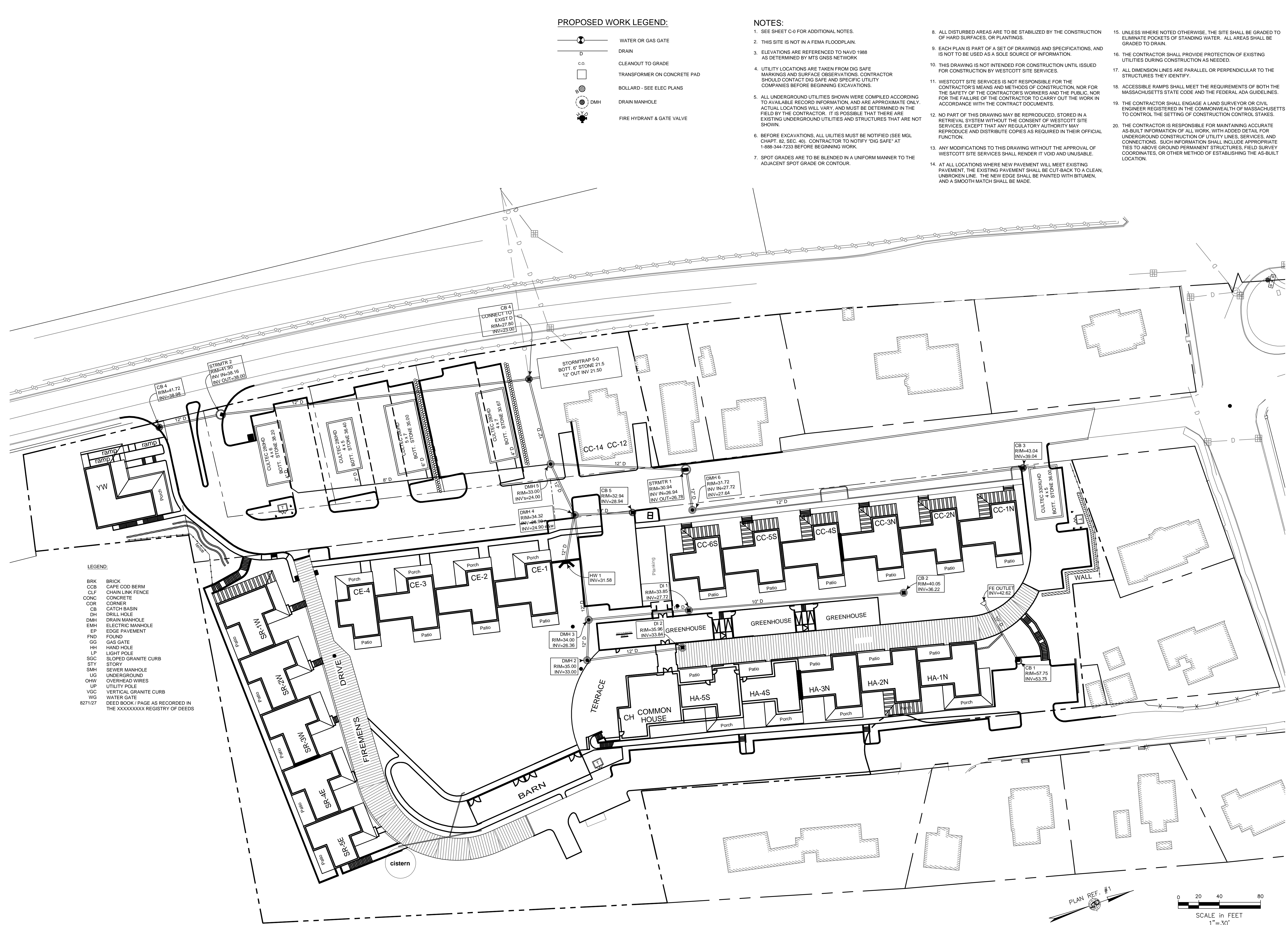
Hillside Center for Sustainable Living

NEWBURYPORT MA 01950

Proposed Grading Plan

C-3





Issue	
GENERAL REVISIONS	
Date	01-15-16

SCALE:	1" = 30'
DATE:	02-01-16
DRAWN BY:	RTW

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Hillside Center for Sustainable Living  
NEWBURYPORT MA 01950

Proposed Drain Plan



LAT: 42°48'15.5440"  
LON: 70°52'43.7916"

N: 3,118,750.069  
E: 822,871.474

LEGEND:

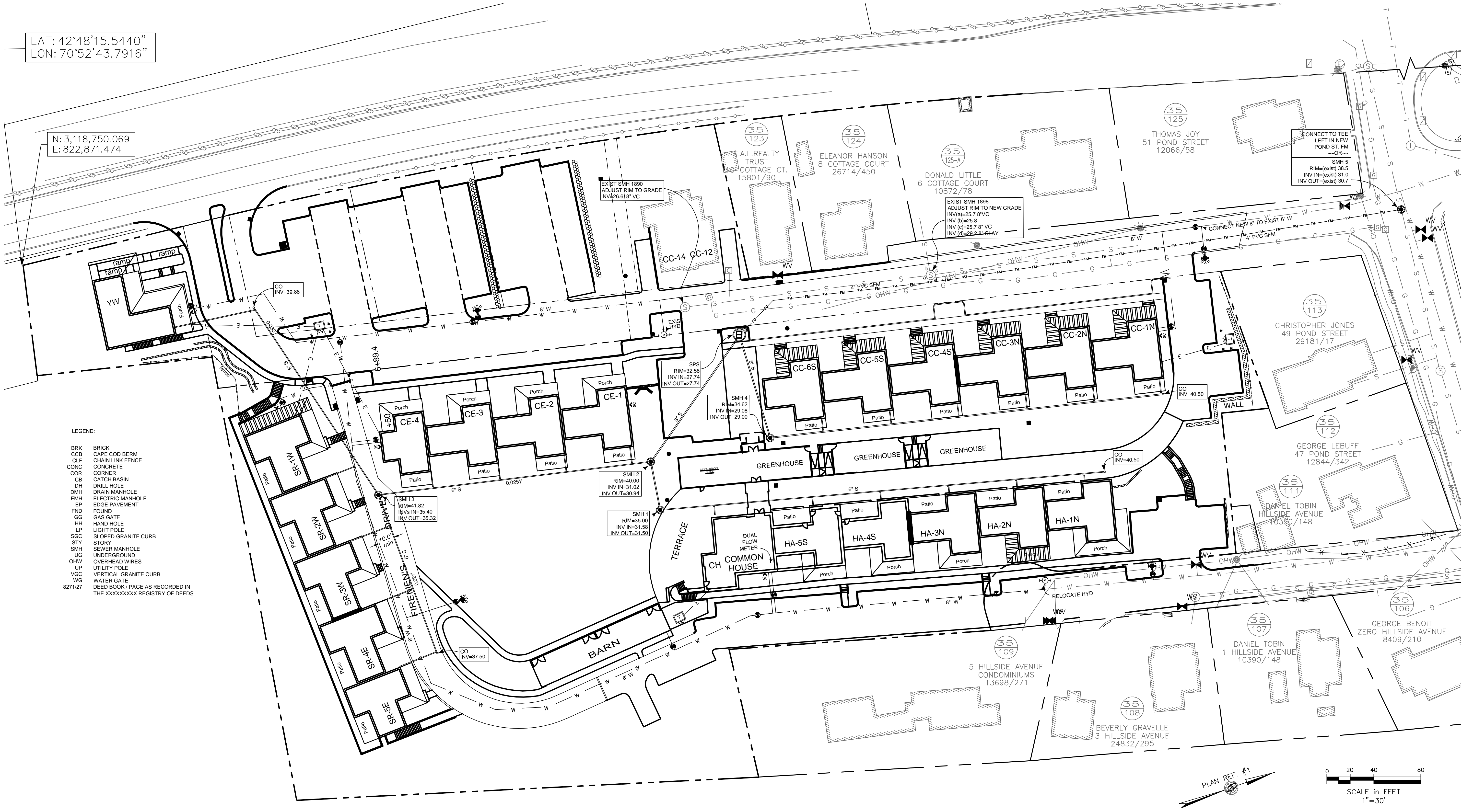
BRK BRICK  
COB CAPE COD BERM  
CLF CHAIN LINK FENCE  
CONC CONCRETE  
COR CORNER  
CB CATCH BASIN  
DH DRILL HOLE  
DMH DRAIN MANHOLE  
EMH ELECTRIC MANHOLE  
EP EDGE PAVEMENT  
FND FOUND  
GG GAS GATE  
HH HAND HOLE  
LP LIGHT POLE  
SGC SLOPED GRANITE CURB  
STY STORY  
SMH SEWER MANHOLE  
UG UNDERGROUND  
OHV OVERHEAD WIRES  
UP UTILITY POLE  
VGC VERTICAL GRANITE CURB  
WG WATER GATE  
8271/27  
DEED BOOK / PAGE AS RECORDED IN  
THE XXXXXXXX REGISTRY OF DEEDS

PROPOSED WORK LEGEND:

WATER OR GAS GATE  
SEWER  
SEWER FORCE MAIN  
WATER  
UNDERGROUND ELECTRIC  
SILT FENCE  
DRAIN  
CLEANOUT TO GRADE  
TRANSFORMER ON CONCRETE PAD  
BOLLARD - SEE ELEC PLANS  
SEWER MANHOLE  
FIRE HYDRANT & GATE VALVE

NOTES:

1. SEE SHEET C-3 FOR NOTES.



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Hillside Center for Sustainable Living  
NEWBURYPORT MA 01950  
Proposed Sewer, Water, & Elec. Plan



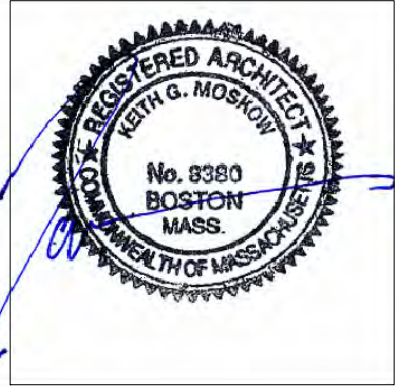


GROSS FLOOR AREA CALCULATIONS		
BUILDING	FLOOR LEVEL	FLOOR AREA
HA-N	1	3,010 SF
	2	3,010 SF
	3	3,010 SF
	4	3,010 SF
	TOTAL GFA	12,040 SF
HA-S	Cellar	2,190 SF
	1	3,845 SF
	2	3,639 SF
	3	3,301 SF
	4	2,005 SF
	TOTAL GFA	14,980SF
CC-N	1	3,010 SF
	2	1,704 SF
	TOTAL GFA	4,714 SF
CC-S	1	2,882 SF
	2	1,704 SF
	TOTAL GFA	4,586 SF
CE	1	3,876 SF
	2	2,272 SF
	TOTAL GFA	6,148 SF
SR-W	1	3,010 SF
	2	3,010 SF
	3	1,704 SF
	TOTAL GFA	7,724 SF
SR-E	1	1,847 SF
	2	1,847 SF
	3	1,136 SF
	TOTAL GFA	3,830 SF
BARN	1	1,546 SF
	2	2,010 SF
	TOTAL GFA	3,556 SF
YWCA	1	1,080 SF
	2	1,080 SF
	3	1,080 SF
	TOTAL GFA	3,240 SF
GREENHOUSE	1	4,485 SF
	TOTAL GFA	4,485 SF
TOTAL PROJECT	TOTAL GFA	65,303 SF

02.01.2016	PERMIT SET
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SCALE: 1/8" = 1'-0"	DATE: 02.01.2016	DRAWN BY: DF/SC
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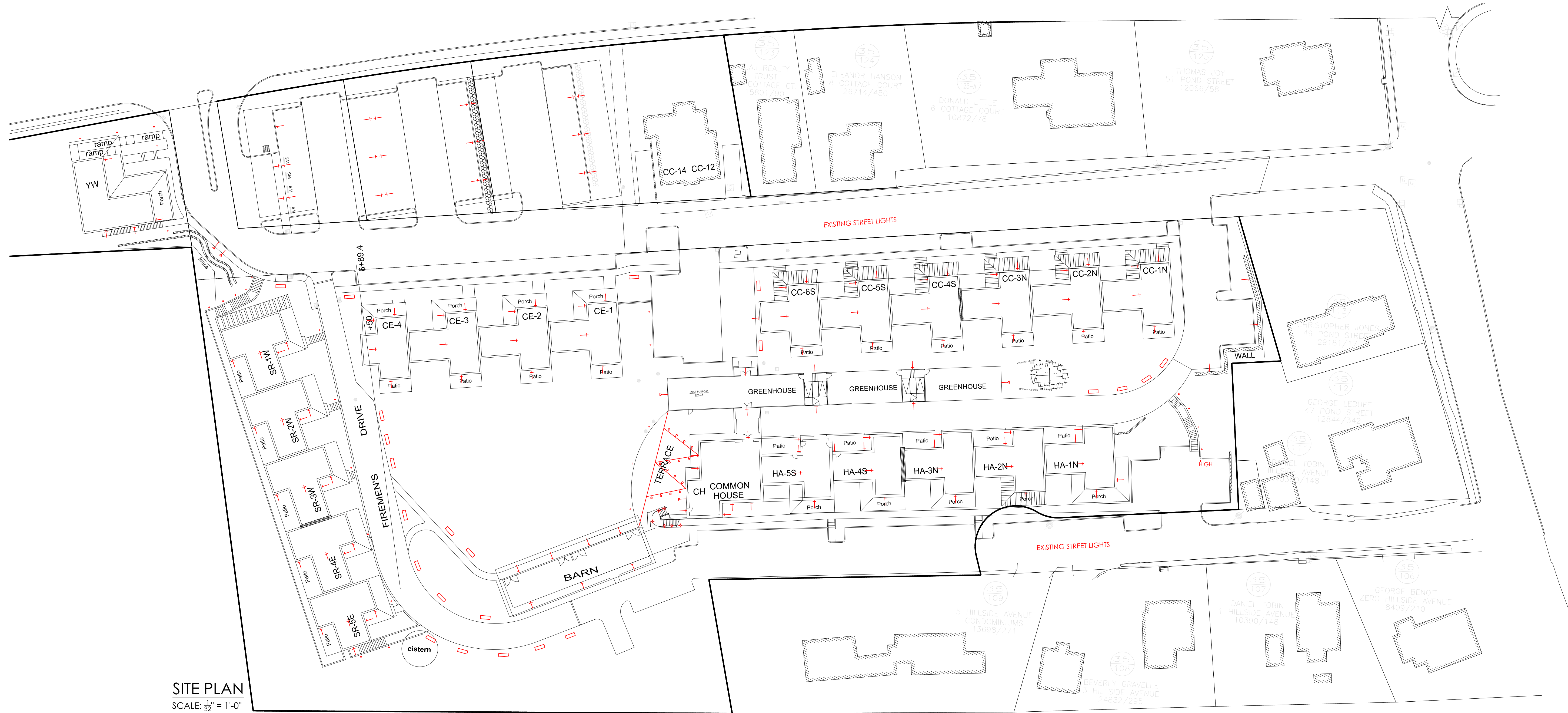


Hillside - Center for Sustainable Living  
NEWBURYPORT, MA  
GFA Calculations





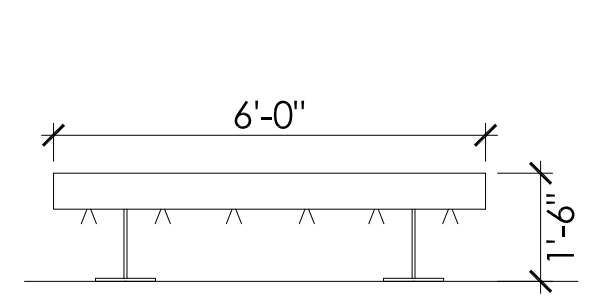




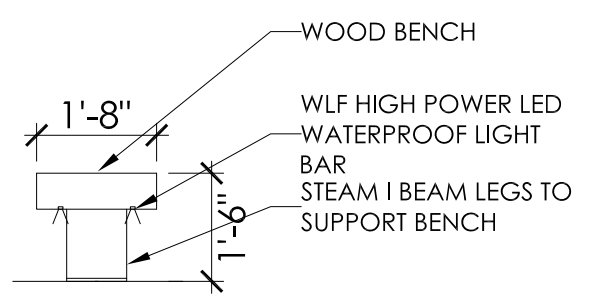
SITE PLAN  
SCALE:  $\frac{1}{32}$ " = 1'-0"

LIGHT FIXTURE KEY

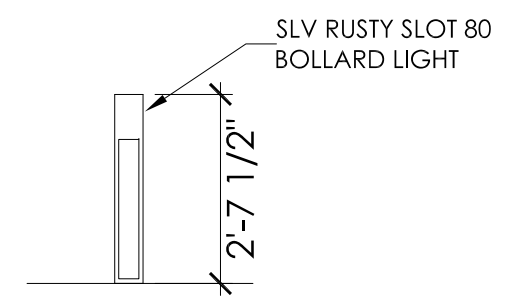
- BENCH LIGHT
- BOLLARD LIGHT
- SCONCE LIGHT
- SPOT LIGHT
- RECESSED STAIR LIGHT
- TENSIONED CABLE WITH DOWNLIGHTS



BENCH LIGHT  
Front Elevation  
SCALE:  $\frac{3}{8}$ " = 1'-0"



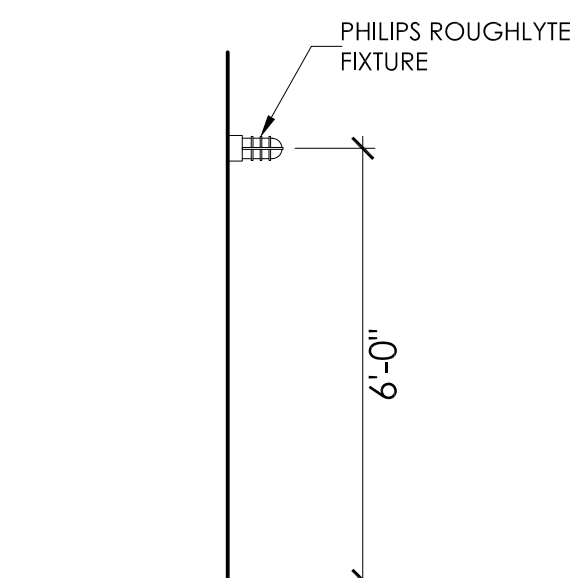
BENCH LIGHT  
Side Elevation



BOLLARD LIGHT  
Front Elevation  
SCALE:  $\frac{3}{8}$ " = 1'-0"



SCONCE LIGHT  
Front Elevation  
SCALE:  $\frac{1}{8}$ " = 1'-0"



SCONCE LIGHT  
Side Elevation  
SCALE:  $\frac{3}{8}$ " = 1'-0"

FOR SPOTLIGHTS, SEE CUT SHEET  
"KICHLER 120V LED"

FOR STEPLIGHTS, SEE CUT SHEET "PORT  
LED ROUND WALL/FLOOR RECESSED"

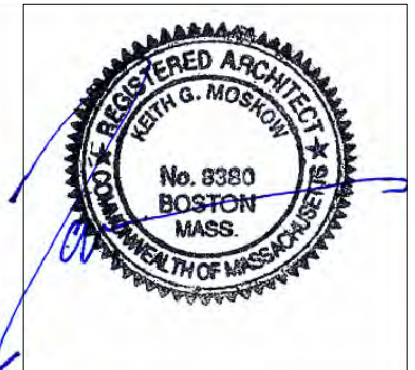
FOR TENSIONED CABLE WITH  
DOWNLIGHTS, SEE CUT SHEET  
"CARGO PENDANT STRING LIGHT"

02.01.2016	PERMIT SET

SCALE:	as noted
DATE:	02.01.2016
DRAWN BY:	DF/SC

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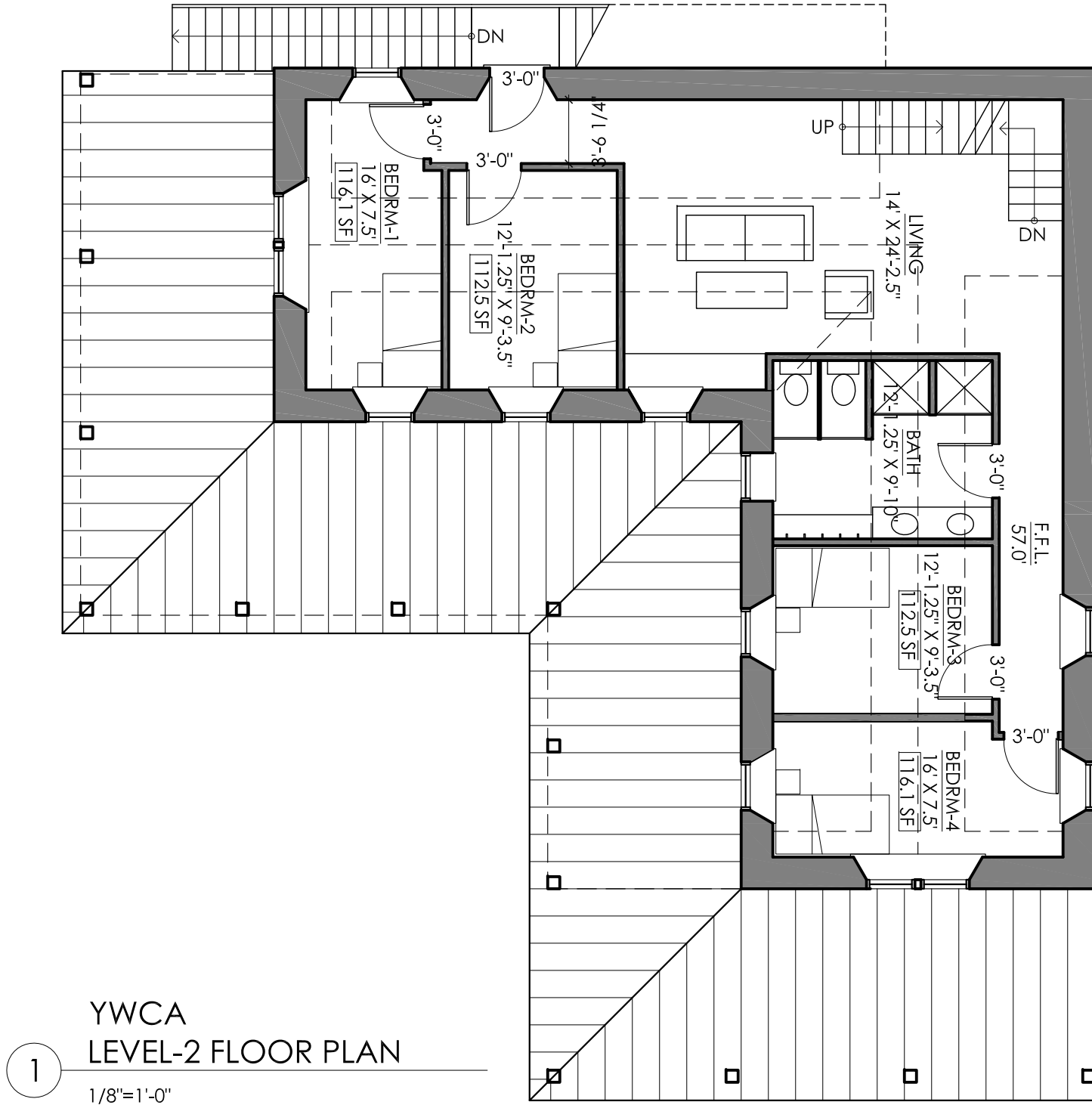
Hillside - Center for Sustainable Living  
NEWBURYPORT, MA

EXTERIOR LIGHTING PLAN

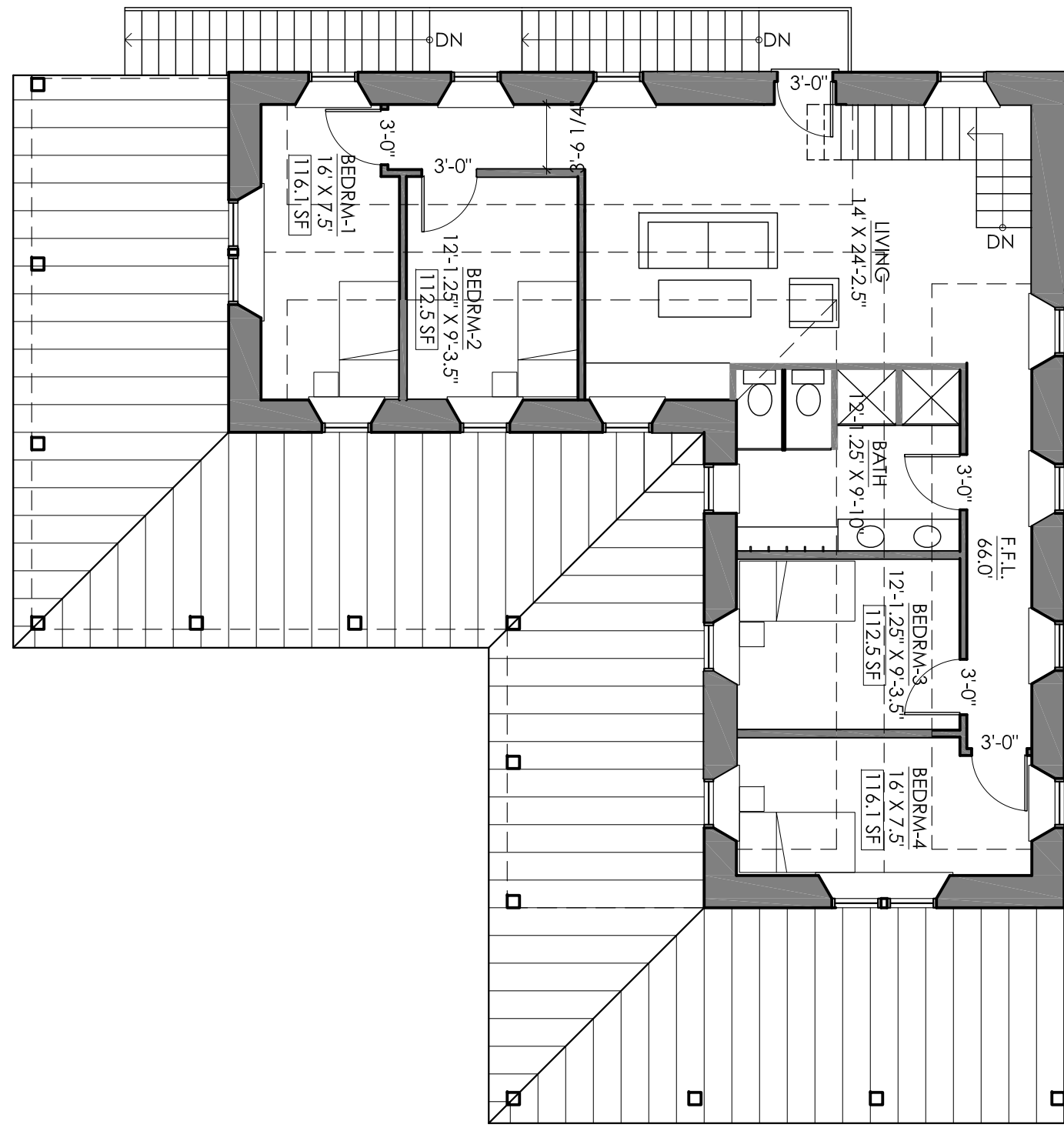




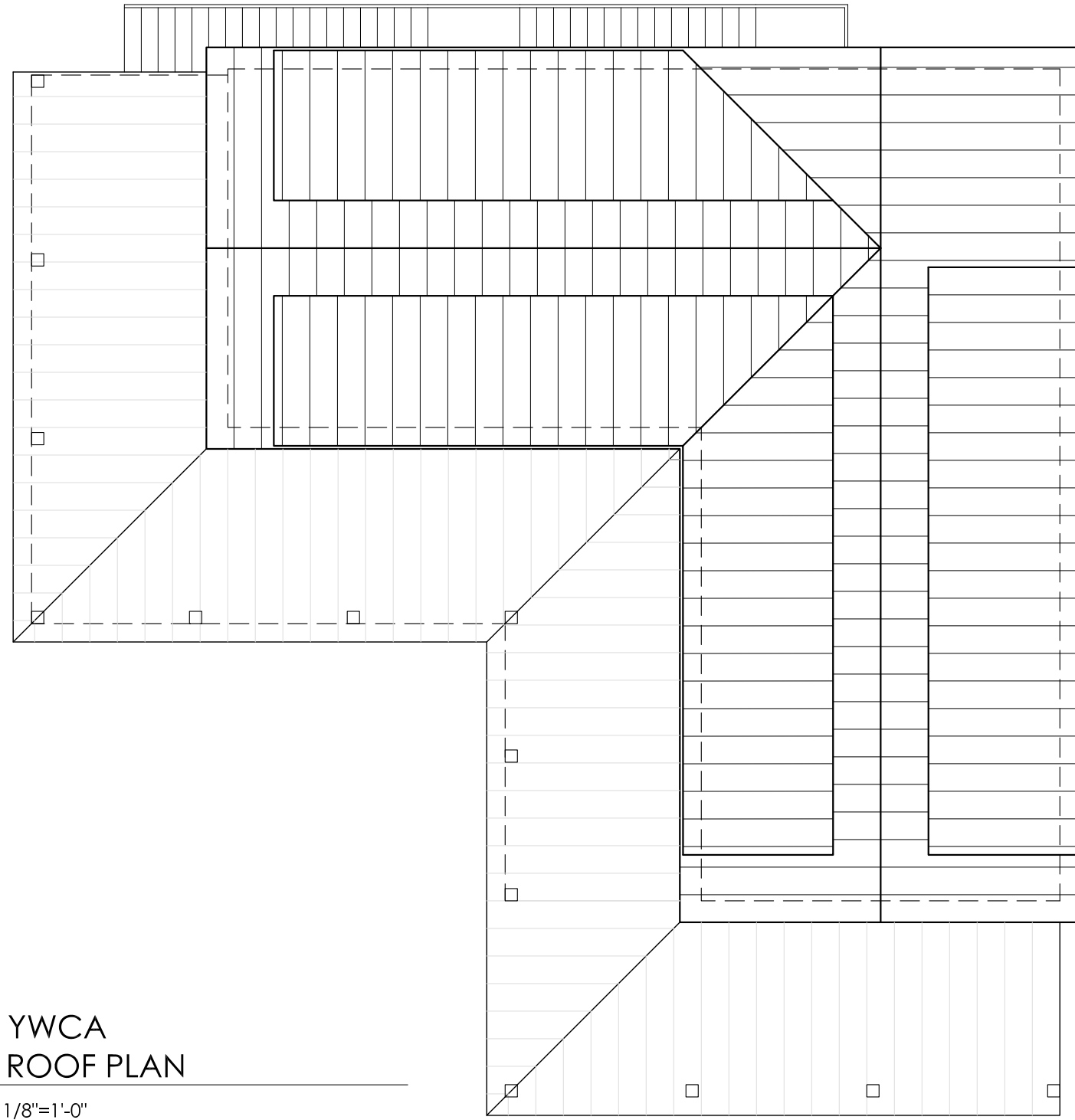
1  
YWCA  
LEVEL-1 FLOOR PLAN  
1/8"=1'-0"



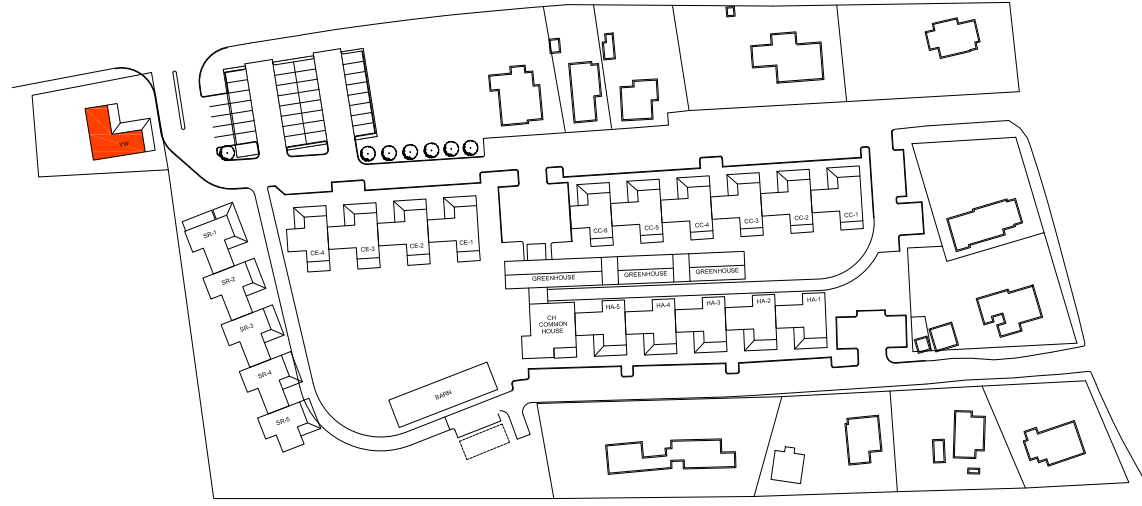
2  
YWCA  
LEVEL-2 FLOOR PLAN  
1/8"=1'-0"



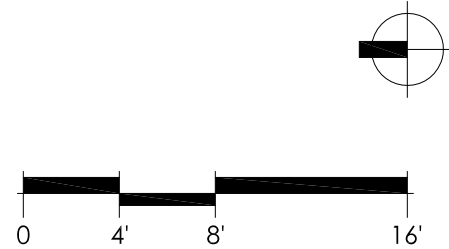
3  
YWCA  
LEVEL-3 FLOOR PLAN  
1/8"=1'-0"



4  
YWCA  
ROOF PLAN  
1/8"=1'-0"



SITE KEY



Hillside - Center for Sustainable Living  
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YWCA UNITS



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SCALE: 1/8" = 1'-0"  
DATE: 02.01.2016  
DRAWN BY: SC

02.01.2016 PERMIT SET

A1.1

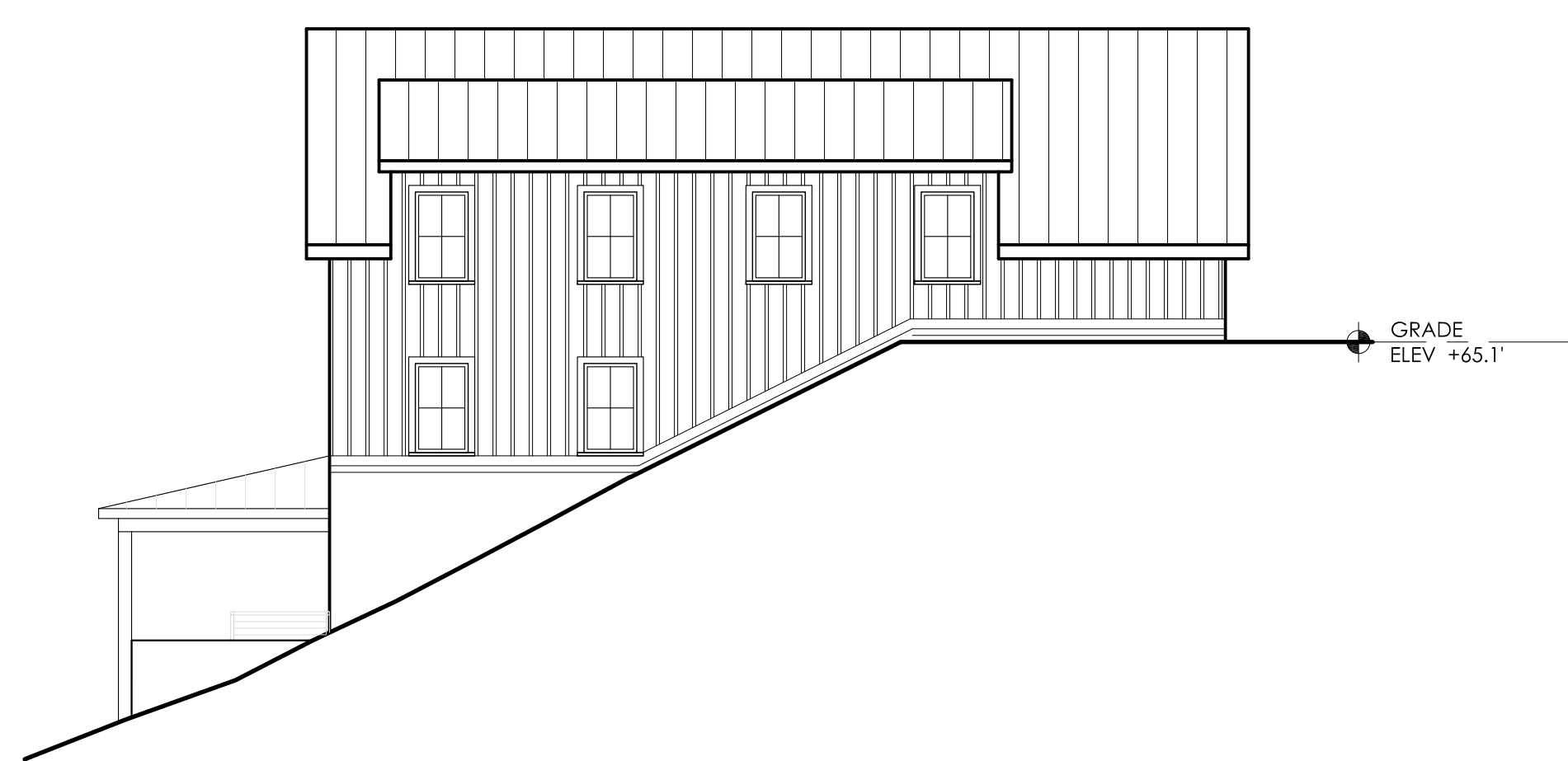




1 YWCA NORTH ELEVATION  
1/8"=1'-0"



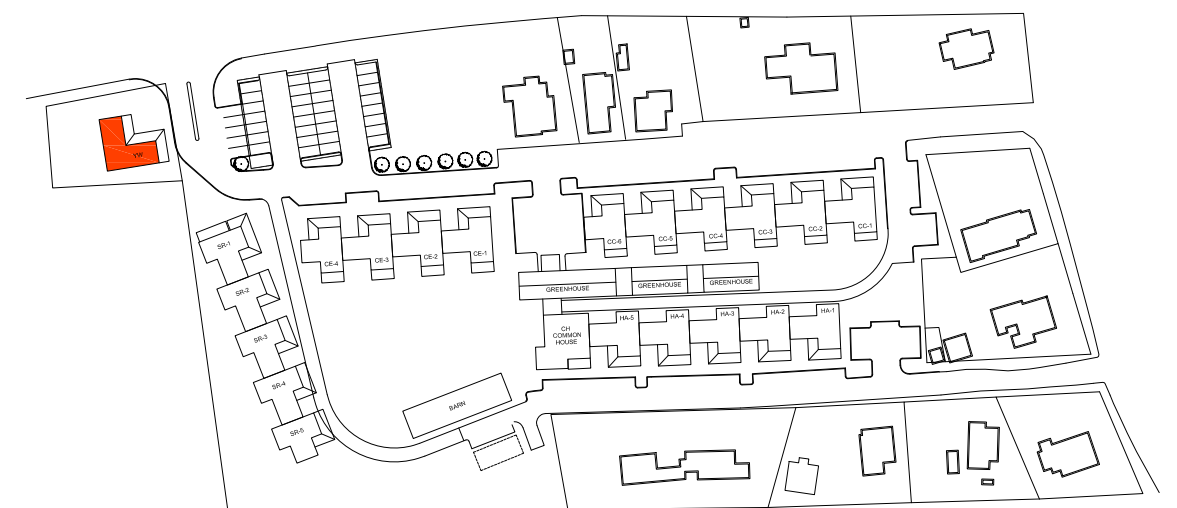
2 YWCA WEST ELEVATION  
1/8"=1'-0"



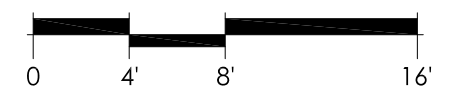
3 YWCA SOUTH ELEVATION  
1/8"=1'-0"



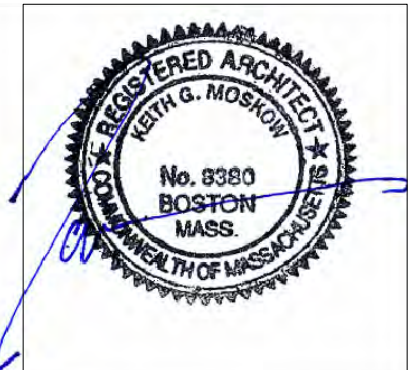
4 YWCA EAST ELEVATION  
1/8"=1'-0"



SITE KEY



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YWCA - UNITS

A1.2

02.01.2016	PERMIT SET

SCALE: 1/8" = 1'-0"	DATE: 02.01.2016	DRAWN BY: SC
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