

WATERFRONT WEST

NEWBURYPORT, MA

MARCH 10, 2017

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LOCUS MAP
(NOT TO SCALE)

PREPARED BY:

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PREPARED FOR:

NEWBURYPORT MANAGER LLC
c/o NEW ENGLAND
DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116

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PLANNING BOARD ENDORSEMENT

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CITY CLERK CERTIFICATION

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<input type="checkbox"/> ISSUED FOR REVIEW
<input checked="" type="checkbox"/> ISSUED FOR PERMIT
<input type="checkbox"/> ISSUED FOR BID/PRICING
<input type="checkbox"/> ISSUED FOR CONSTRUCTION

03/07/2017	REVISED LIMITS OF LOCUS
02/13/2017	REVISED (SEE NOTE #13)
11/18/2016	REVISED LIMITS OF LOCUS, ADDED ADDITIONAL PAVEMENT WIDTHS
11/04/2016	REFORMATTED PLAN, ADDED R.O.W. & PAVEMENT WIDTHS
11/01/2016	PLOTTED FLOOD ZONE BY ELEVATION
09/06/2016	REVISED LIMITS OF LOCUS
08/10/2016	ADDED RESOURCE FLAGS, APPROXIMATE SEAWARD EDGE OF SALT MARSH & MEAN LOW WATER BY ELEVATION
08/08/2016	ADDED WDUZ & CHAPTER 91 LINES (SEE NOTE #13)

EXISTING CONDITIONS PLAN MERRIMAC STREET NEWBURYPORT, MASS.

FELDMAN LAND SURVEYORS
152 HAMPDEN STREET
BOSTON, MASS. 02119

JUNE 28, 2016
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FELDMAN
LAND SURVEYORS

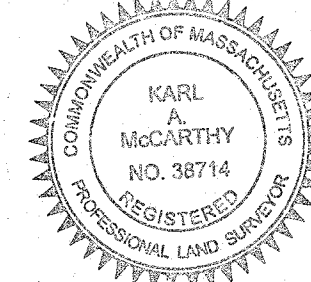
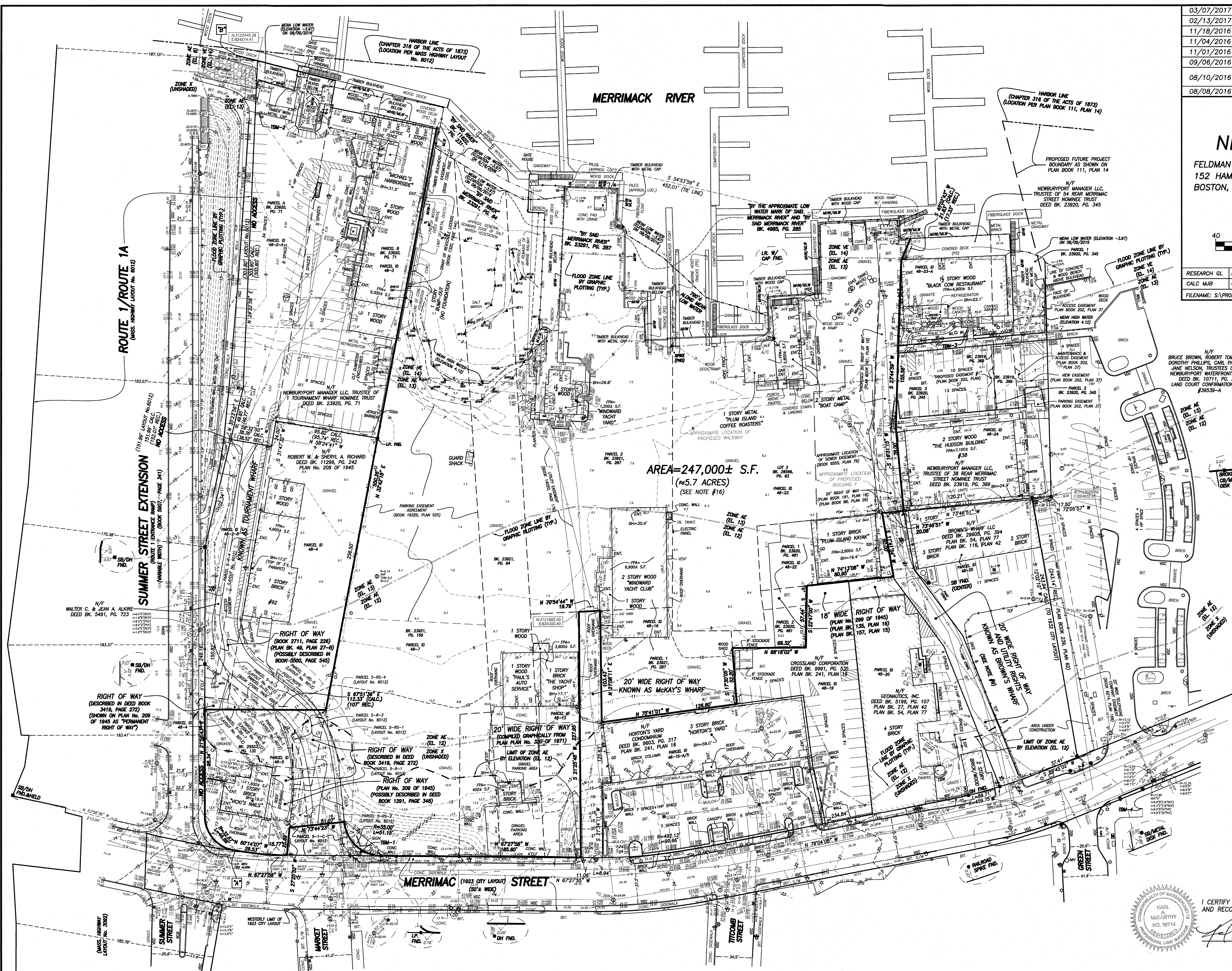
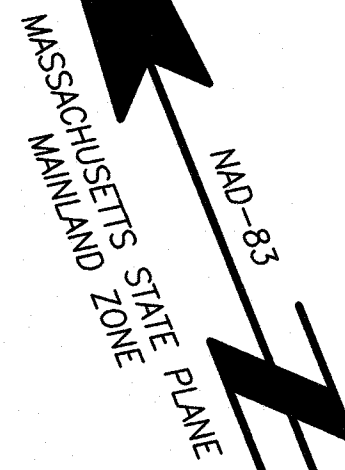


SCALE: 1"=40'

RESEARCH GL	FIELD CHIEF AB	PROJ MGR MJB	APPROVED	SHEET NO. 1 OF 2
CALC: MJB	CADD GL/MJB	FIELD CHECKED MJB	CRD FILE 15200	JOB NO. 15200

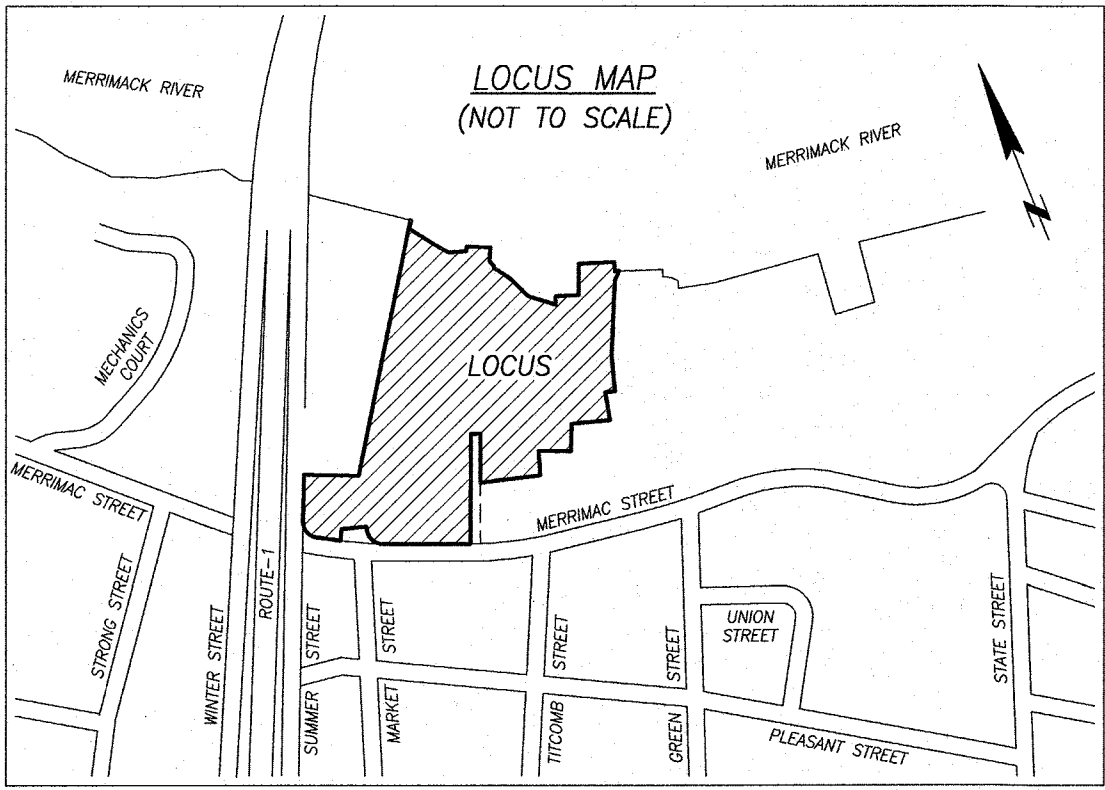
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N/F
BRUCE BROWN, ROBERT TOMASINO,
DOROTHY PHILLIPS, CURT PAVILLI &
JANE NELSON, TRUSTEES OF THE
NEWBURYPORT WATERFRONT TRUST
DEED BK 10711, PG. 370
LAND COURT CONFIRMATION CASE
#39539-A



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND RECORD PLANS AND DEEDS.

Karl McCarthy
03-07-2017



ZONING CLASSIFICATION: "WATERFRONT MIXED USE" ("WMU")

REFER TO SECTION XVIII-C, WATERFRONT ZONING DISTRICTS-ALLOWABLE USES AND DENSITY REQUIREMENTS, SECTION V, USE REGULATIONS, AND SECTION VI, DIMENSIONAL CONTROLS, OF THE ZONING ORDINANCE OF THE CITY OF NEWBURYPORT.

REFERENCES

ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT DEEDS

BOOK	5199, PAGE 107
	9603, 317
	9991, 535
	10467, 359
	10711, 370
	11296, 242 (LOCUS)
	13923, 152
	23919, 369 (LOCUS)
	23920, 71 (LOCUS)
	23290, 345 (LOCUS)
	23290, 481 (LOCUS)
	23921, 84 (LOCUS)
	23921, 156 (LOCUS)
	23921, 287 (LOCUS)
	25523, 132 (LOCUS)
	26515, 591
	26566, 63 (LOCUS)

PLANS	
PLAN No.	209 OF 1945
	299 OF 1945
	444 OF 1946
	320 OF 1971

PLAN BOOK	27, PLAN 42
	49, 27-B
	54, 77
	88, 26
	111, 14
	116, 42
	124, 04
	135, 16
	157, 15
	174, 37
	174, 38
	177, 46
	181, 18
	184, 44
	202, 37
	226, 70
	239, 62
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COUNTY ENGINEERING DEPARTMENT
PLAN ENTITLED "RELOCATION OF MERRIMACK STREET
IN THE CITY OF NEWBURYPORT MASS." DATED
JUNE 1923, BY MORSE & CHASE, ENGINEERS

MASSACHUSETTS LAND COURT
LCC 39539-A (CONFIRMATION)

MASSACHUSETTS HIGHWAY DEPARTMENT
LAYOUT No. 6012
3092

GENERAL NOTES:

1) BENCH MARK INFORMATION:

BENCH MARK USED:

TIDAL BENCHMARK F1 DESCRIBED BY NATIONAL GEODETIC SURVEY 1966 "AT NEWBURYPORT, ALONG GREEN STREET, BETWEEN MERRIMACK STREET AND PLEASANT STREET, DIRECTLY BEHIND THE CITY HALL, SET VERTICALLY IN THE SOUTH FACE AT THE SOUTHWEST CORNER OF THE POLICE STATION AND DISTRICT COURT A TWO-STORIED BRICK BUILDING, 54 FEET WEST OF THE WEST CURB OF GREEN STREET, 1.5 FEET EAST OF THE SOUTHWEST CORNER OF THE BUILDING, AND ABOUT 1.7 FEET ABOVE THE LEVEL OF THE SIDEWALK."
ELEVATION = 25.85

TEMPORARY BENCH MARKS SET:

TBM-1 X-CUT SET ON THE LEFT REAR HYDRANT BOLT ON THE NORTH SIDE OF MERRIMACK STREET NEAR THE ENTRANCE TO MICHAEL'S HARBORSIDE RESTAURANT AS SHOWN ON THIS PLAN. ELEVATION = 22.58

TBM-2 SPIKE SET 1 FOOT UP IN THE SOUTHEAST FACE OF UTILITY POLE #14-8 NEAR THE NORTHWESTERLY CORNER OF MICHAEL'S HARBORSIDE RESTAURANT PARKING LOT AS SHOWN ON THIS PLAN. ELEVATION = 9.75

TBM-3 LEFT OUTER CORNER OF THE LOWEST GRANITE STEP AT THE ENTRANCE TO THE BLACK COW RESTAURANT AS SHOWN ON THIS PLAN. ELEVATION = 8.87

TBM-4 LEFT OUTER CORNER OF THE LOWEST GRANITE STEP AT THE SOUTHEAST CORNER OF THE INTERSECTION OF MERRIMACK STREET AND GREEN STREET. ELEVATION = 15.28

2) ELEVATIONS REFER TO NAVD-88.

3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.

4) COORDINATES SHOWN HEREON REFER TO MASSACHUSETTS STATE PLANE MAINLAND ZONE COORDINATE SYSTEM (NAD-83).

5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE FOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLAN, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY TWO HOURS PRIOR TO EXCAVATION.

6) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

7) TO THE BEST OF OUR KNOWLEDGE MEAN HIGH WATER AND MEAN LOW WATER RUN ALONG THE FACE OF THE BULKHEAD EXCEPT AS SHOWN.

8) THE DOCKS, FLOATS AND GANGWAYS ARE SHOWN HEREON AS LOCATED BETWEEN 08/28/2008 AND 06/28/2016.

9) APPROXIMATE LOCATION OF 20' WIDE RIGHT OF WAY AND UTILITY RIGHTS KNOWN AS BROWN'S WHARF PLOTTED GRAPHICALLY FROM PLAN BOOK 27, PLAN 42 & PLAN No. 299 OF 1945.

10) PARCEL IDS SHOWN HEREON REFER TO THE CITY OF NEWBURYPORT'S GIS WEBSITE DESIGNATIONS.

11) PARCEL 48-13, AS SHOWN HEREON, HAS RIGHTS IN A WAY, AS REFERENCED IN DEED BOOK 23921, PAGE 84, WHICH MAY BE THE RIGHT OF WAY KNOWN AS MCKAY'S WHARF. PARCEL 48-16, AS SHOWN HEREON, HAS RIGHTS IN SAID RIGHT OF WAY AS REFERENCED IN DEED BOOK 23921, PAGE 287.

12) BY GRAPHIC PLOTTING ONLY, THE PARCELS SHOWN HEREON LIE WITHIN A ZONE "VE" (EL. 14), AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT WITH ADDITIONAL HAZARDS DUE TO STORM-INDUCED VELOCITY WAVE ACTION; ZONE "AE" (EL. 12 & 13), AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT; AND ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR ESSEX COUNTY, MASSACHUSETTS, MAP NUMBERS 25009C0128F, HAVING AN EFFECTIVE DATE OF JULY 3, 2012, & 25009C0136G, HAVING AN EFFECTIVE DATE OF JULY 16, 2014, CITY OF NEWBURYPORT, COMMUNITY NUMBER 250097, PANEL NUMBERS 0128F & 0136G.

13) THE HISTORIC LOW WATER MARK, HISTORIC HIGH WATER LINE & INFERRED HISTORIC HIGH WATER LINE AND THE PURPORTED WATER DEPENDENT USE ZONE (WDUZ) THAT WERE PROVIDED BY RJ O'CONNELL & ASSOCIATES, INC. HAVE BEEN REMOVED FROM THIS PLAN.

14) WETLAND RESOURCE FLAGS SHOWN HEREON WERE SET BY AECOM IN AUGUST, 2016.

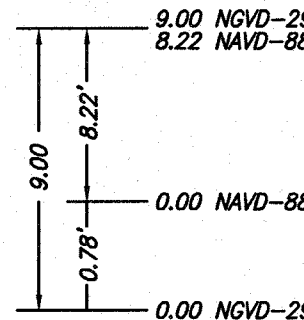
15) THERE IS NO ACCESS TO OR EGRESS FROM THE STATE HIGHWAY (LAYOUT NO. 6012) ALONG THE SOUTHEASTERLY SIDELINE THEREOF FROM THE POINT LABELED HEREON AS "A", NORTHEASTERLY TO THE POINT LABELED HEREON AS "B".

16) WITHIN THE RECORD DEEDS, CERTAIN PARCEL DESCRIPTIONS CALL OUT PARCELS RUNNING "BY" THE MERRIMACK RIVER AND RUNNING, IN PART, "BY THE APPROXIMATE LOW WATER MARK". THE AREA SHOWN HEREON IS CALCULATED TO MEAN LOW WATER AS LOCATED ON AUGUST 09, 2016.

LEGEND:

①	..... DRAIN MANHOLE
②	..... ELECTRIC MANHOLE
③	..... SEWER MANHOLE
④	..... TELEPHONE MANHOLE
⑤	..... MANHOLE
⑥	..... CATCH BASIN
⑦	..... MAIL BOX
⑧	..... GAS SHUT OFF
⑨	..... WATER SHUT OFF
⑩	..... SIGN
⑪	..... HYDRANT
⑫	..... OBSERVATION WELL
⑬	..... UTILITY POLE
⑭	..... GUY POLE
⑮	..... LIGHT POLE
⑯	..... WALK LIGHT
⑰	..... SPOT LIGHT
⑱	..... FIRE ALARM
⑲	..... BIKE RACK
⑳	..... CLEANOUT
㉑	..... ELECTRIC RISER
㉒	..... SHUT OFF
㉓	..... IRRIGATION CONTROL VALVE
㉔	..... SPRINKLER CONNECTION
㉕	..... FLAGPOLE
㉖	..... GATE POST
㉗	..... ELECTRIC BOX
㉘	..... ELECTRIC METER
㉙	..... GAS METER
㉚	..... GUY WIRE
㉛	..... BOLLARD
㉜	..... WETLAND FLAG
㉝	..... HANDICAP RAMP
㉞	..... TREE
I=	..... INVERT ELEVATION
R=	..... RIM ELEVATION
TOW=	..... TOP OF WATER ELEVATION
T	..... TOP
B	..... BOTTOM
F.O.W.	..... FULL OF WATER
INACC.	..... INACCESSIBLE
FL	..... FLUSH
TC	..... TOP OF CURB
BC	..... BOTTOM OF CURB
TW	..... TOP OF WALL
BW	..... BOTTOM OF WALL
A/C	..... AIR CONDITIONING UNIT
BIT.	..... BITUMINOUS CONCRETE
BCB	..... BITUMINOUS CONCRETE BERM
C.	..... CONCRETE
CONC.	..... CONCRETE
CC	..... CONCRETE CURB
SGC	..... SLOPED GRANITE CURB
VGC	..... VERTICAL GRANITE CURB
CLF	..... CHAIN LINK FENCE

STF	..... STOCKADE FENCE
TCF	..... TEMPORARY CONSTRUCTION FENCE
WIF	..... WROUGHT IRON FENCE
FND	..... FOUND
REC	..... RECORD
APPROX.	..... APPROXIMATE
LOC.	..... LOCATION
FPA	..... FOOTPRINT AREA
SB/DH	..... STONE BOUND/DRILL HOLE
DH	..... DRILL HOLE
I.P.	..... IRON PIPE
I.R.	..... IRON ROD
CB	..... CONCRETE BOUND
MTL	..... METAL
BLKHD.	..... BULKHEAD
BK.	..... BOOK
PG.	..... PAGE
NVP	..... NO VISIBLE PIPE(S)
CBW	..... CONCRETE BLOCK WALL
PS	..... PILE SUPPORTED
CIP	..... CAST IRON PIPE
CMP	..... CORRUGATED METAL PIPE
CPP	..... CORRUGATED PLASTIC PIPE
PVC	..... POLYVINYL CHLORIDE
VCP	..... VITRIFIED CLAY PIPE
RCF	..... REINFORCED CONCRETE PIPE
CALC.	..... CALCULATED
S.F.	..... SQUARE FEET
TRANS.	..... TRANSFORMER
BH	..... BUILDING HEIGHT
LD	..... LOADING DOCK
GD	..... GARAGE DOOR
ENT.	..... ENTRANCE
COB.	..... COBBLESTONE
S/W	..... SIDEWALK
TBM	..... TEMPORARY BENCHMARK
U.P.	..... UTILITY POLE
CW	..... CONCRETE WALL
FFE	..... FINISHED FLOOR ELEVATION
TYP.	..... TYPICAL
MHW	..... MEAN HIGH WATER
-x-x-x-x-	..... CHAIN LINK FENCE
-o-o-o-o-	..... HAND RAIL
-u-u-u-u-	..... GUARD RAIL
-FM-S-	..... FORCE MAIN SEWER
-S-	..... SEWER
-D-	..... DRAIN
-W-	..... WATER
-G-	..... GAS
-E-	..... ELECTRIC
-T-	..... TELEPHONE
-GUY-	..... GUY WIRE
-OHW-	..... OVERHEAD WIRES
-----	..... FLOOD ZONE LINE BY GRAPHIC PLOTTING
-----	..... FLOOD ZONE LINE BY ELEVATION



DATUM RELATION SKETCH
(NOT TO SCALE)

03/07/2017	REVISED LIMITS OF LOCUS
02/13/2017	REVISED (SEE NOTE #13)
11/18/2016	REVISED LIMITS OF LOCUS, ADDED ADDITIONAL PAVEMENT WIDTHS
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**EXISTING CONDITIONS PLAN
MERRIMACK STREET
NEWBURYPORT, MASS.**

FELDMAN LAND SURVEYORS
152 HAMPDEN STREET
BOSTON, MASS. 02119

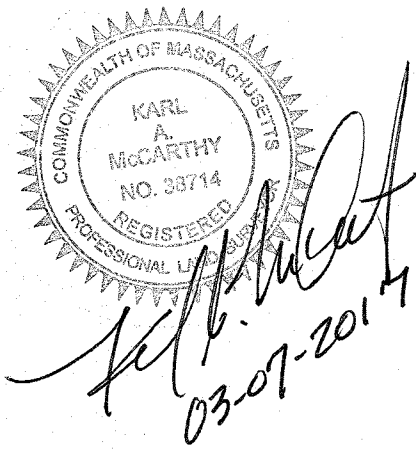
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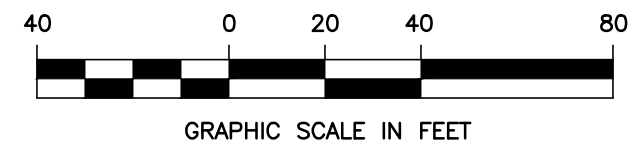
FELDMAN
LAND SURVEYORS



SCALE: 1"=40'

RESEARCH GL	FIELD CHIEF AB	PROJ MGR MJB	APPROVED	SHEET NO. 1 OF 2
CALC. MJB	CADD GL/MJB	FIELD CHECKED MJB	CRD FILE 15200	JOB NO. 15200
FILENAME: S:\PROJECTS\15200a\15200a\DWG\15200-EC-3.dwg				





ZONING TABLE		
ZONE DISTRICT: WATERFRONT MASTER PLAN OVERLAY DISTRICT (WMPOD)		
DIMENSIONAL REQUIREMENTS (1)(2)	REQUIREMENT	PROVIDED
MINIMUM STREET FRONTAGE (3)	15 FT.	587.03
MINIMUM FRONT YARD SETBACK	0 FT.	1.13 FT.
MINIMUM SIDE YARD SETBACK	0 FT.	10.41 FT.
MINIMUM REAR YARD SETBACK	0 FT.	16.23 FT.
MAXIMUM BUILDING HEIGHT (4)	55 FT.	55 FT
OPEN SPACE (5)	25% OF THE WMPOD PROJECT AREA, EXCLUDING PUBLIC STREETS	26.8%

- (1) ALL DIMENSIONAL REQUIREMENTS APPLICABLE TO A WMPDQ PROJECT SHALL BE CALCULATED ACROSS THE ENTIRE WMPDQ PROJECT AREA, IRRESPECTIVE OF INDIVIDUAL LOT LINES WITHIN THE WMPDQ DEVELOPMENT. SEE ZONING ORDINANCE, SECTIONS XXX-E(1) AND XXX-C(1).
- (2) MORE THAN ONE BUILDING OR STRUCTURE, INCLUDING THOSE INTENDED SOLELY FOR USE AS RESIDENTIAL DWELLINGS, SHALL BE PERMITTED ON ANY LOT. SEE ZONING ORDINANCE, SECTION XXX-E(A).
- (3) SEE ZONING ORDINANCE, SECTIONS XXX-E(B).
- (4) SEE ZONING ORDINANCE, SECTIONS XXX-E, FOOTNOTE 1.
- (5) THE SPACE ON A LOT UNOCCUPIED BY BUILDINGS, UNOCCUPIED TO THE SKY, NOT DEVOTED TO STREETS, DRIVEWAYS OR OFF-STREET PARKING OR LOADING SPACES AND EXPRESSED AS A PERCENTAGE OF TOTAL LOT AREA. OPEN SPACE AREAS SHALL BE USED FOR LANDSCAPE AREAS AND FOR ACTIVE OR PASSIVE RECREATION INCLUDING BUT NOT LIMITED TO DECKS, PATIO AREAS OR TENNIS COURTS. ANY OPEN SPACE REQUIREMENT MAY INCLUDE ANY OPEN SPACE AREAS BEING USED TO SATISFY THE REQUIREMENTS OF THE MASSACHUSETTS GENERAL LAW CHAPTER 91 WATERWAYS LICENSING PROGRAM.

NOTE:

ALL BUILDINGS, ROADWAY LAYOUT AND PARKING LAYOUT IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

No.	Revision	Date	No.	Revision	Date

Seal:

Designed by:	SPG
Drawn by:	AKC
Checked by:	SPG
Scale:	1"=40'
Date:	03/10/2017

Prepared for:

**NEW ENGLAND
DEVELOPMENT**

75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:

**RJO'CONNELL
& ASSOCIATES, INC.**

**CIVIL ENGINEERS, SURVEYORS
& LAND PLANNERS**

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FAX: 781-279-0173**

Project Name:
**WATERFRONT WEST
NEWBURYPORT, MA**

Drawing Name:
SITE PLAN

Drawing No.: **C-1**
Project No.: 16025



No.	Revision	Date

Seal:

Designed by:	SPG
Drawn by:	AKC
Checked by:	SPG
Scale:	1"=40'
Date:	03/10/2017

Prepared for:
NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS
& LAND PLANNERS
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781-279-0180
FAX: 781-279-0173

Project Name:
WATERFRONT WEST NEWBURYPORT, MA

Drawing Name:
ZONING PLAN

Drawing No.:
EX-A
Project No.: 16025

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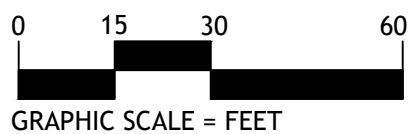
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No.	Revision	Date	No.	Revision	Date

Seal:

Designed by:	DJ
Drawn by:	JP
Checked by:	RD
Scale:	1" = 40'-0"
Date:	3/10/2017

Prepared for:

NEW ENGLAND
DEVELOPMENT

75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:

DUMONTJANKS
129 KINGSTON ST. FL 1
BOSTON, MA 02111

BOSTON, MA 02111

P: 617.275.2355

Project Name

WATERFRONT WEST

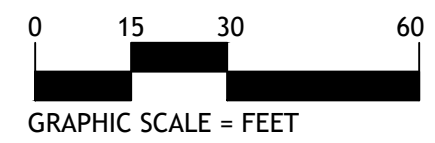
Drawing Name:

MASTER
DEVELOPMENT PLAN

Drawing No.:

L-100

Project No.: 031502



Drawing No.: **L-101**

Project No.: 031502

Drawing name: C:\VA\Newburyport\New England Development\Waterfront West Development\Main\16025_C-2 GRADING AND DRAINAGE PLAN.dwg
Mar 09, 2017 - 16:06pm



NOTE:
ALL BUILDINGS, ROADWAY LAYOUT AND PARKING LAYOUT IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

Seal:

Designed by: SPG
Drawn by: AKC
Checked by: SPG
Scale: 1"=40'
Date: 03/10/2017

Prepared for:
NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

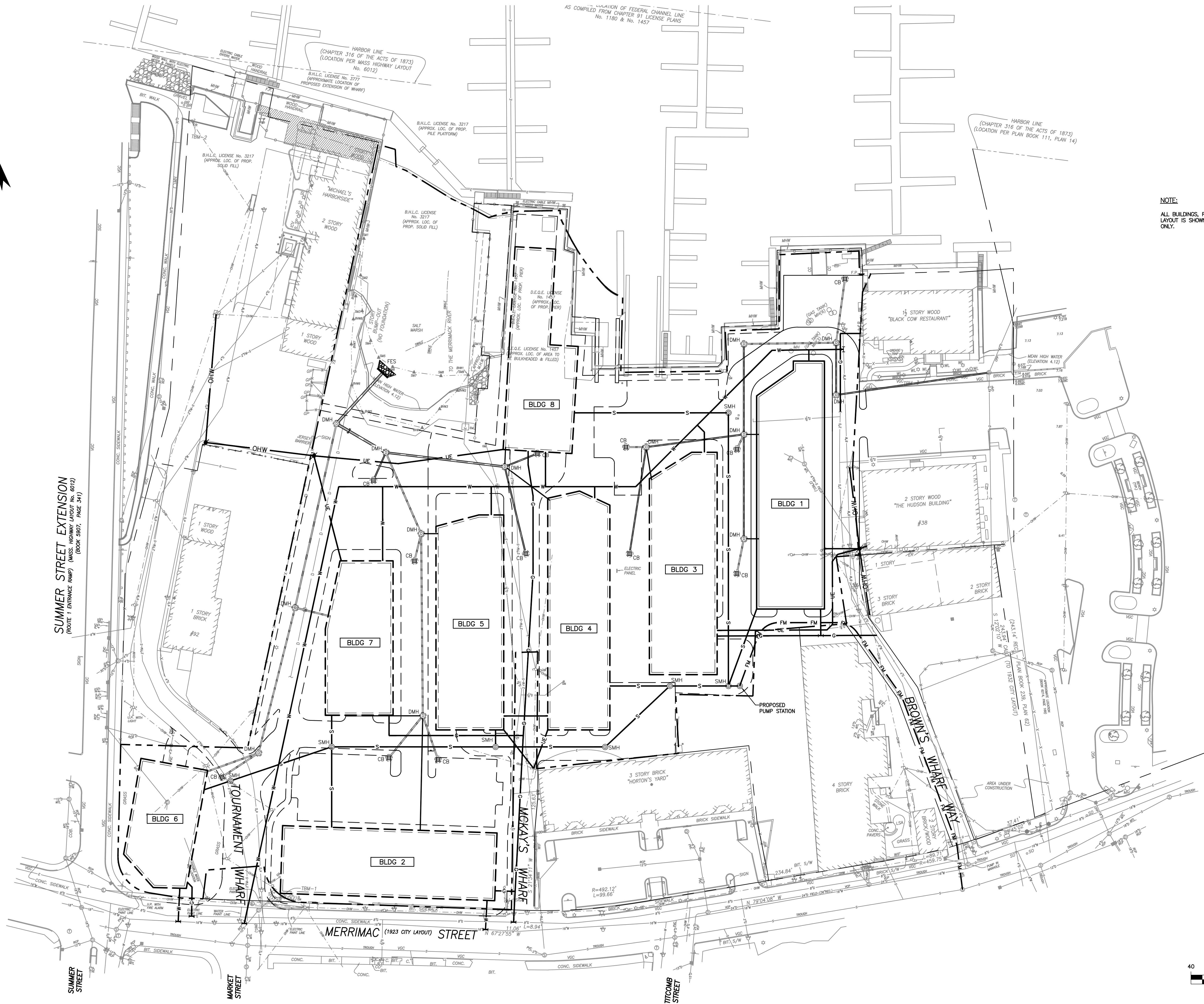
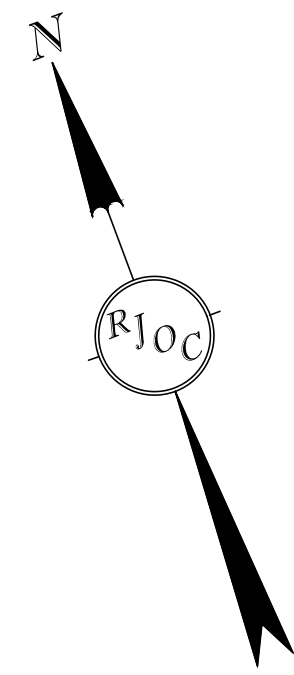
Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
781-279-0180
FAX: 781-279-0173

Project Name:
WATERFRONT WEST NEWBURYPORT, MA

Drawing Name:
GRADING & DRAINAGE PLAN

Drawing No.:
C-2
Project No.: 16025

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NOTE:
ALL BUILDINGS, ROADWAY LAYOUT AND PARKING
LAYOUT IS SHOWN FOR ILLUSTRATIVE PURPOSES
ONLY.

Seal:

Designed by: SPG
Drawn by: AKC
Checked by: SPG
Scale: 1"=40'
Date: 03/10/2017

Prepared for:
**NEW ENGLAND
DEVELOPMENT**
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

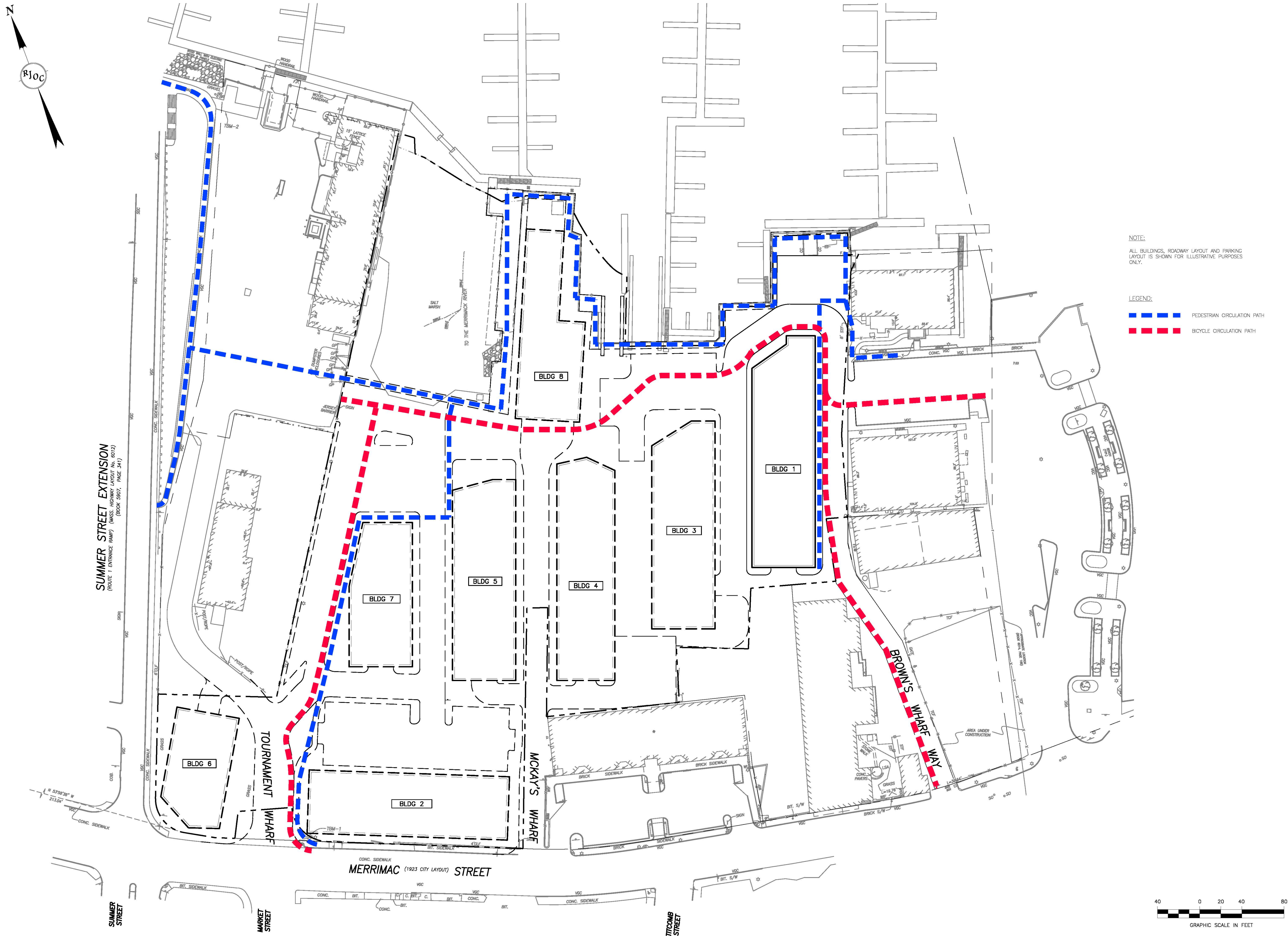
Prepared by:
**RJO'CONNELL
& ASSOCIATES, INC.**
CIVIL ENGINEERS, SURVEYORS
& LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
781-279-0180
FAX: 781-279-0173

Project Name:
**WATERFRONT WEST
NEWBURYPORT, MA**

Drawing Name:
UTILITY PLAN

Drawing No.:
C-3
Project No.: 16025

Drawing name: G:\MA\Newburyport\New England Development\Waterfront\16025_C-4 PEDESTRIAN BICYCLE CIRCULATION PLAN.dwg
Mar 06, 2017 1:17:12pm



NOTE:
ALL BUILDINGS, ROADWAY LAYOUT AND PARKING LAYOUT IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

LEGEND:
PEDESTRIAN CIRCULATION PATH
BICYCLE CIRCULATION PATH

No.	Revision	Date

Seal:

Designed by:	SPG
Drawn by:	AKC
Checked by:	SPG
Scale:	1"=40'
Date:	03/10/2017

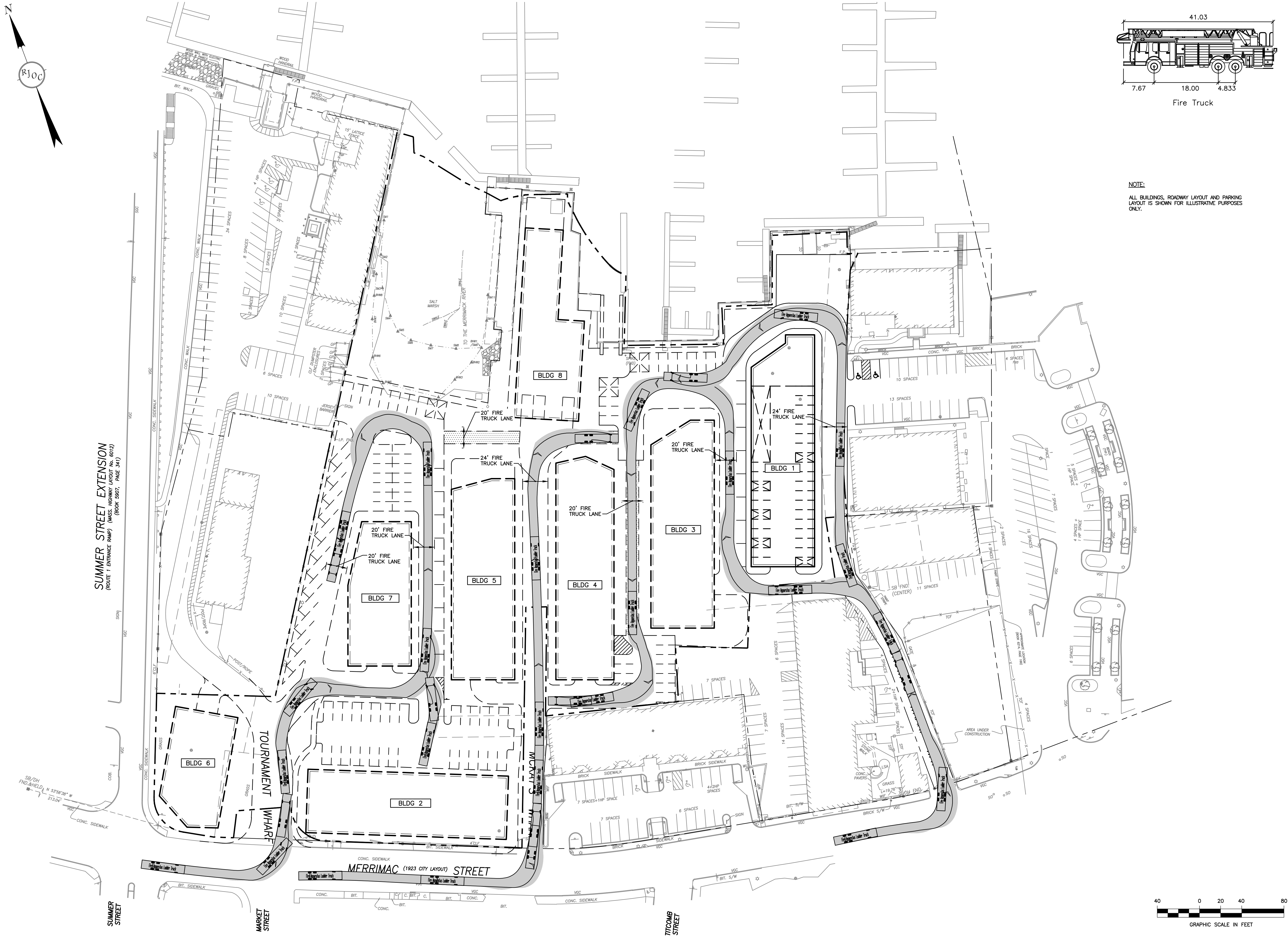
Prepared for:
NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
781-279-0180
FAX: 781-279-0173

Project Name:
WATERFRONT WEST NEWBURYPORT, MA

Drawing Name:
PEDESTRIAN BICYCLE CIRCULATION PLAN

Drawing No.:
C-4
Project No.: 16025



NOTE:
ALL BUILDINGS, ROADWAY LAYOUT AND PARKING
LAYOUT IS SHOWN FOR ILLUSTRATIVE PURPOSES
ONLY.

No.	Revision	Date

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Drawn by:	RJK
Checked by:	SPG
Scale:	1"=40'
Date:	03/10/2017

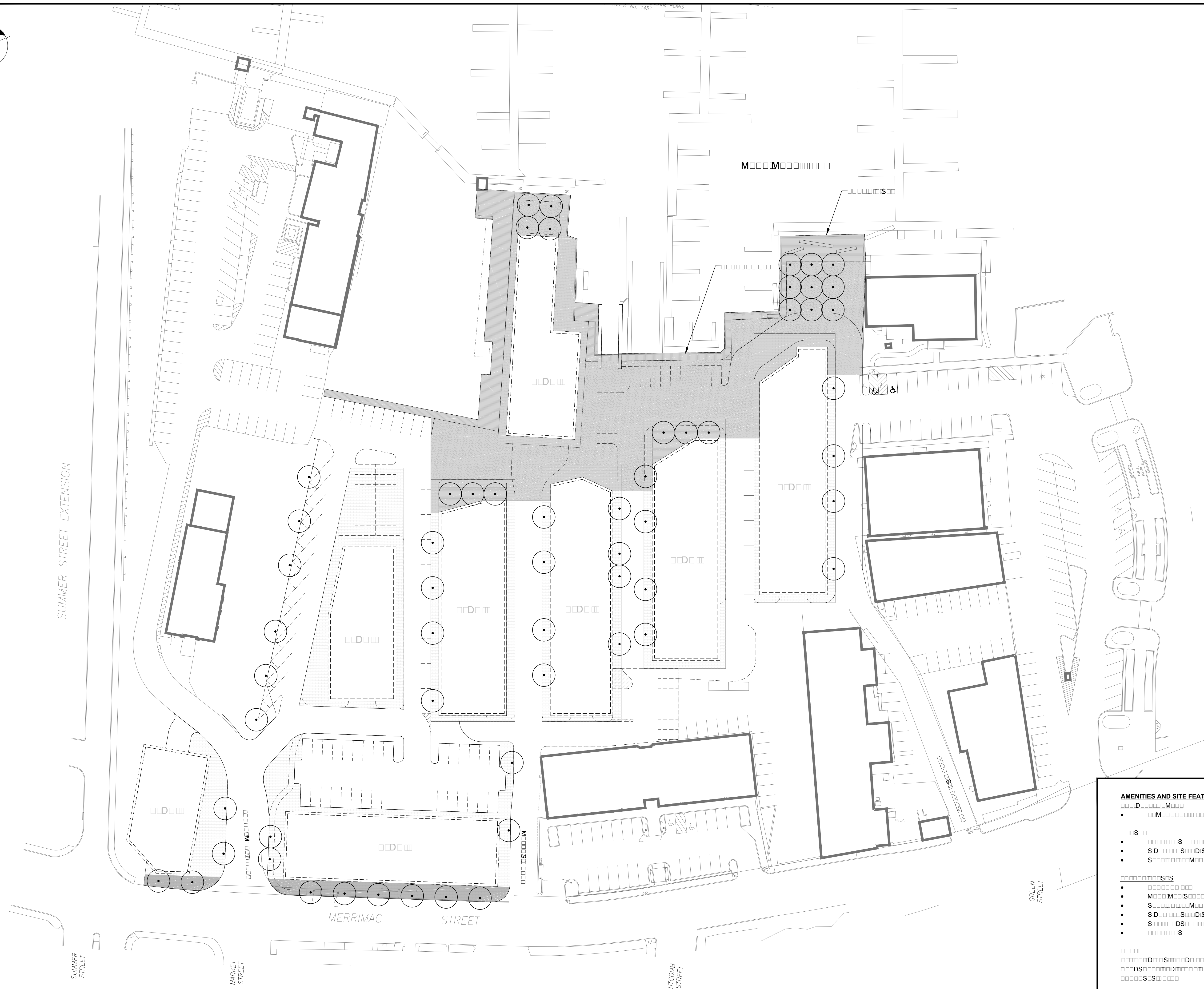
Prepared for:
**NEW ENGLAND
DEVELOPMENT**
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:
**RJO'CONNELL
& ASSOCIATES, INC.**
CIVIL ENGINEERS, SURVEYORS
& LAND PLANNERS
80 MONTVALE AVE
STONEHAM, MA 02180
781-279-0180
FAX: 781-279-0173

Project Name:
**WATERFRONT WEST
NEWBURYPORT, MA**

Drawing Name:
**FIRE TRUCK
TURNING PLAN**

Drawing No.:
FT-1
Project No.: 16025



0 15 30 60
GRAPHIC SCALE = FEET

[illegible]

Seal:

Designed by:	DJ
Drawn by:	JP
Checked by:	RD
Scale:	1" = 40'-0"
Date:	3/10/2017

Prepared for:

**NEW ENGLAND
DEVELOPMENT**

75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:

DUMONTJANKS
129 KINGSTON ST. FL 1
BOSTON, MA 02111
P: 617.275.2355

Project Name:

WATERFRONT WEST

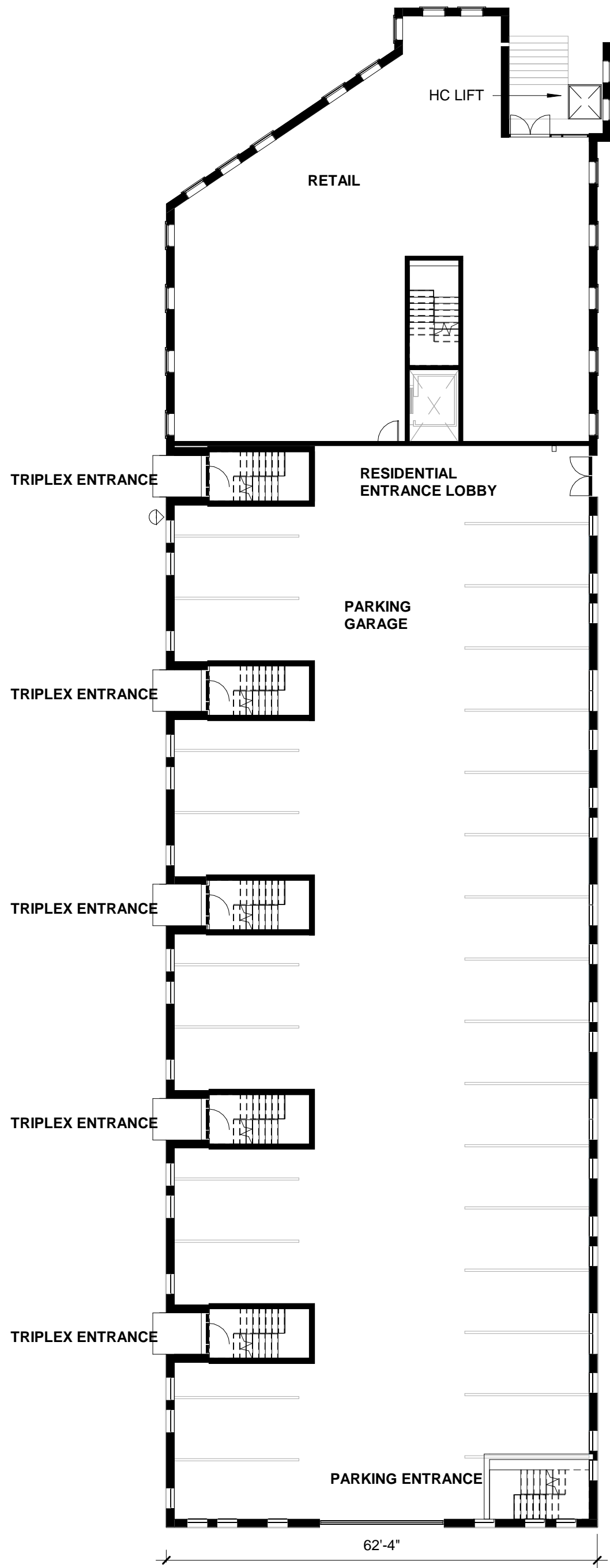
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AMENITIES AND SITE
FEATURES PLAN

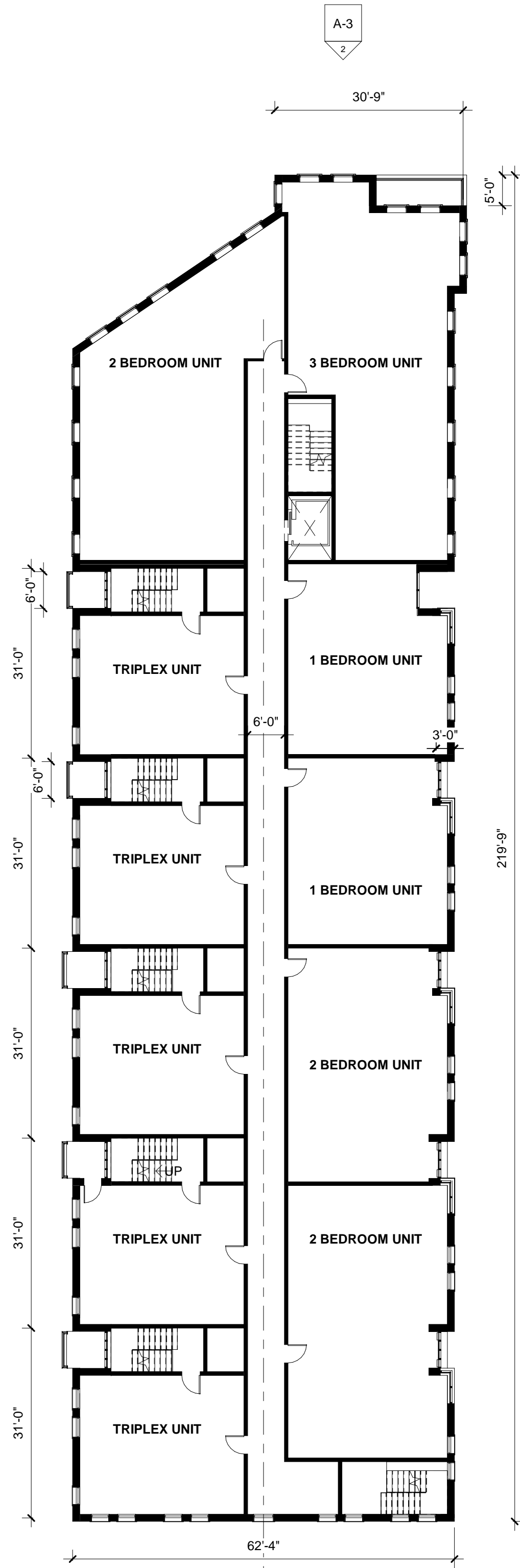
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L-102

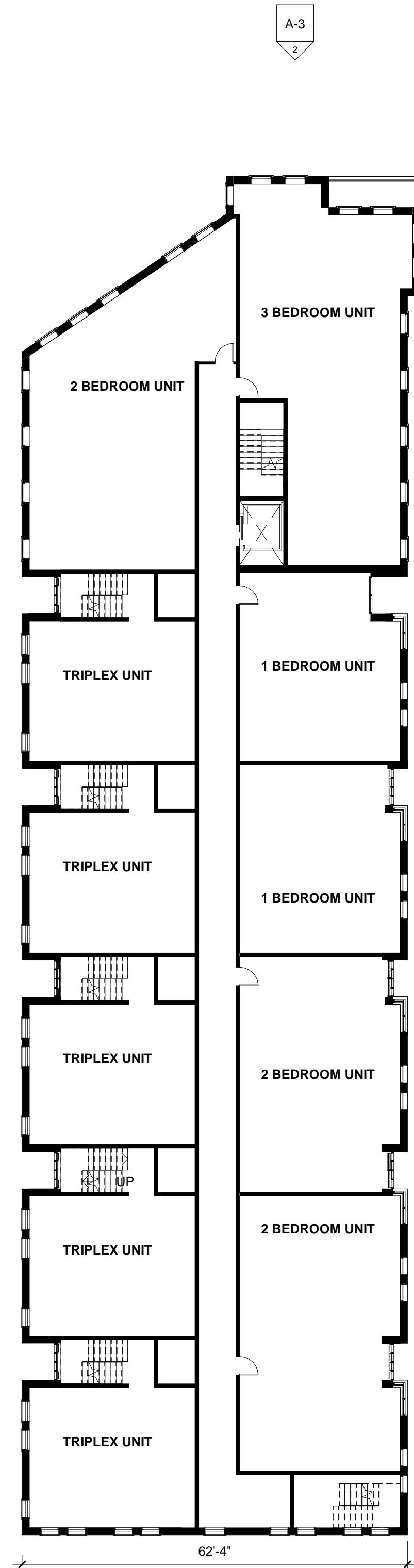
Project No.: 031502



① LEVEL RETAIL(1)
1/16" = 1'-0"



② LEVEL 2
1/16" = 1'-0"



③ LEVEL 3
1/16" = 1'-0"

ALL FLOOR PLANS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

No.	Date	Revision	Date

Seal:

Designed by:	DJGR
Drawn by:	
Checked by:	
Scale:	1/16" = 1'-0"
Date:	3/10/17

Prepared for:

NEW ENGLAND DEVELOPMENT

75 PARK STREET
BOSTON, MA 02116
617-965-8700

Prepared by:

DJGR LLC

ARCHITECTURE AND LANDSCAPE

Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:

WEST END DEVELOPMENT
NEWBURYPORT, MA

Drawing Name:

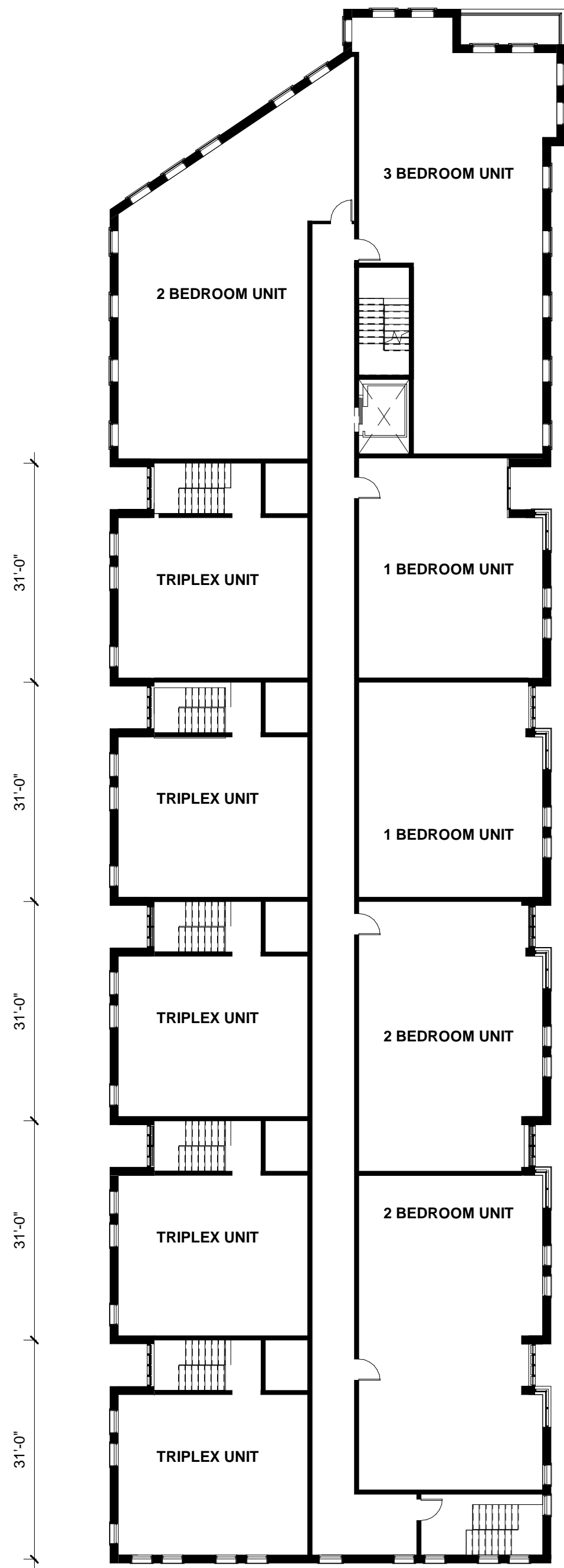
BUILDING ONE TYPICAL FLOOR
PLANS LEVELS 1, 2 AND 3

Drawing No.:

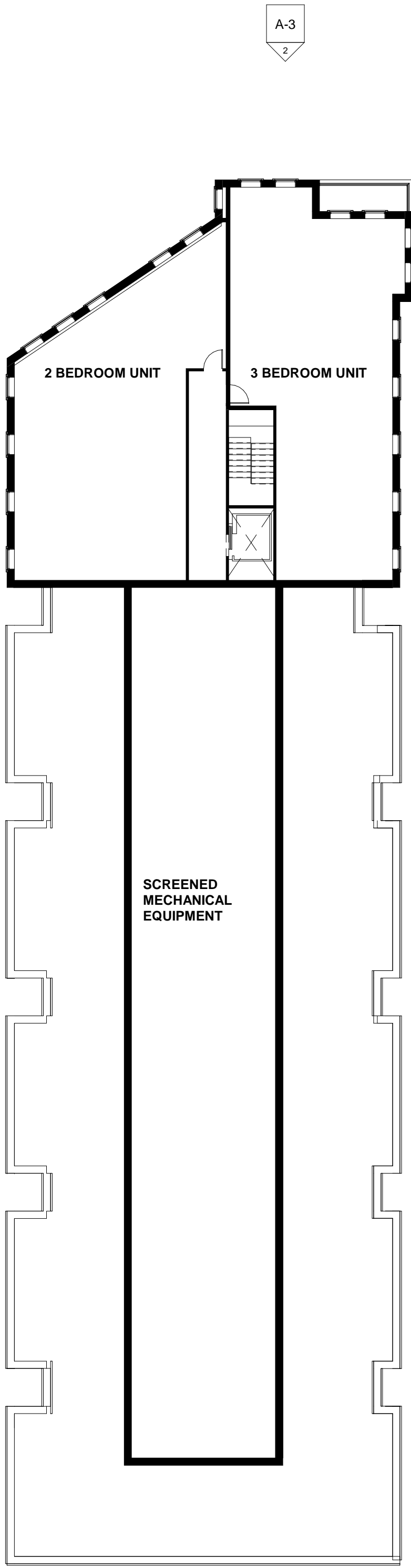
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Proje

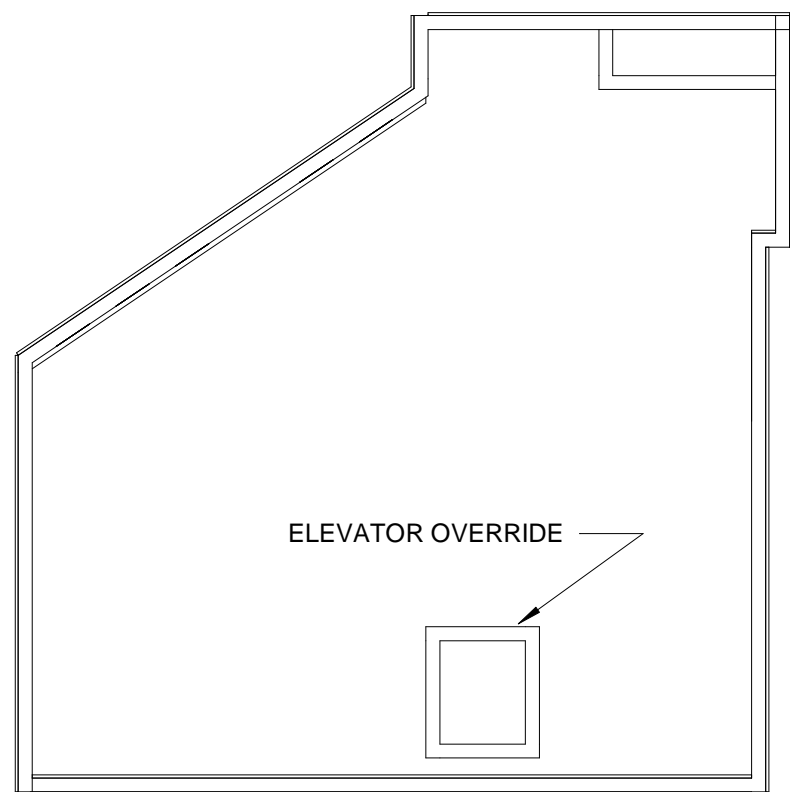
031502



① LEVEL 4
1/16" = 1'-0"



② LEVEL 5
1/16" = 1'-0"



③ LEVEL HIGH ROOF
1/16" = 1'-0"

ALL FLOOR PLANS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

No.	Date	Revision

Seal:

Designed by:	DJGR
Drawn by:	
Checked by:	
Scale:	1/16" = 1'-0"
Date:	3/10/17

Prepared for:

**NEW ENGLAND
DEVELOPMENT**

75 PARK STREET
BOSTON, MA 02116
617-965-8700

Prepared by:

DJGR LLC
ARCHITECTURE AND LANDSCAPE

Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:

WEST END DEVELOPMENT
NEWBURYPORT, MA

Drawing Name:

BUILDING ONE TYPICAL FLOOR
PLANS- LEVELS 4, 5 AND ROOF

Drawing No.:

A-2
Proje
031502



① East Elevation
1/8" = 1'-0"



③ South Elevation
1/8" = 1'-0"



② North Elevation
1/8" = 1'-0"

ALL BUILDING ELEVATIONS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

	Date
	Revision
	No.
	Date
	Revision
	No.

Seal:

Designed by: DJGR
Drawn by:
Checked by:
Scale: 1/8" = 1'-0"
Date: 3/10/17

Prepared for:
**NEW ENGLAND
DEVELOPMENT**
75 PARK STREET
BOSTON, MA 02116
617-965-8700

Prepared by:
DJGR LLC
ARCHITECTURE AND LANDSCAPE
Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:
WEST END DEVELOPMENT
NEWBURYPORT, MA
Drawing Name:
BUILDING ONE EAST AND NORTH
ELEVATIONS

Drawing No.:
A-3
Proje
031502



① West Elevation
1/8" = 1'-0"

ALL BUILDING ELEVATIONS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

No.	Date	Revision

Seal:

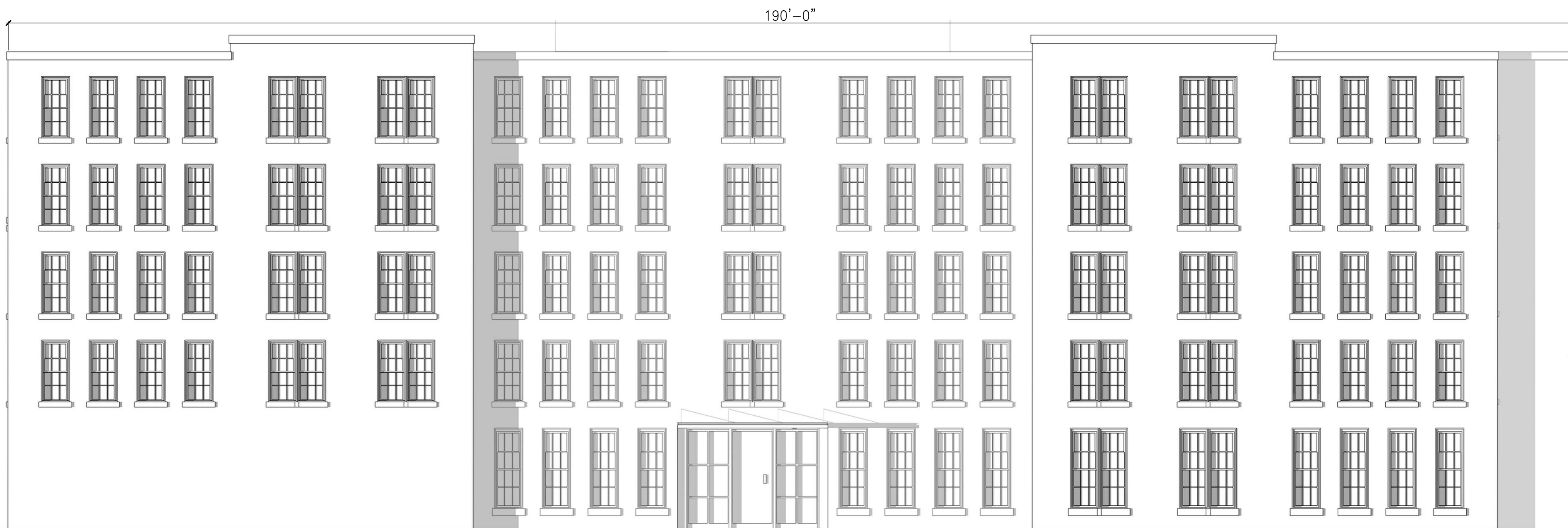
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Drawn by:
Checked by:
Scale: 1/8" = 1'-0"
Date: 3/10/17

Prepared for:
**NEW ENGLAND
DEVELOPMENT**
75 PARK STREET
BOSTON, MA 02116
617-965-8700

Prepared by:
DJGR LLC
ARCHITECTURE AND LANDSCAPE
Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:
WEST END DEVELOPMENT
NEWBURYPORT, MA
Drawing Name:
BUILDING ONE WEST ELEVATION

Drawing No.:
A-4
Proje
031502

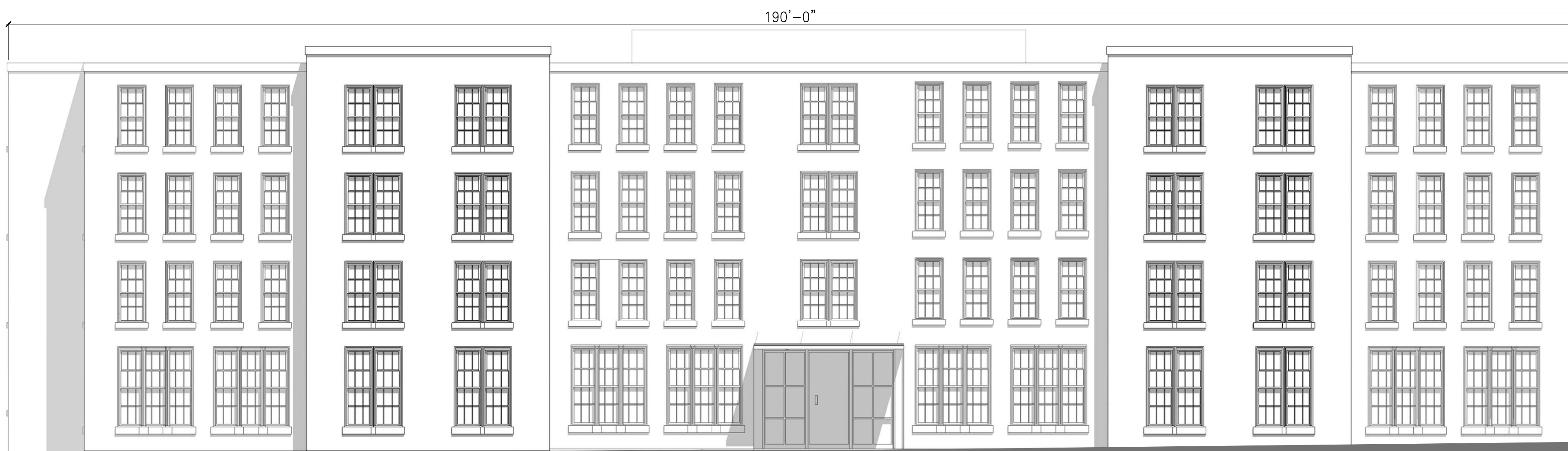


POTENTIAL BUILDING MATERIALS

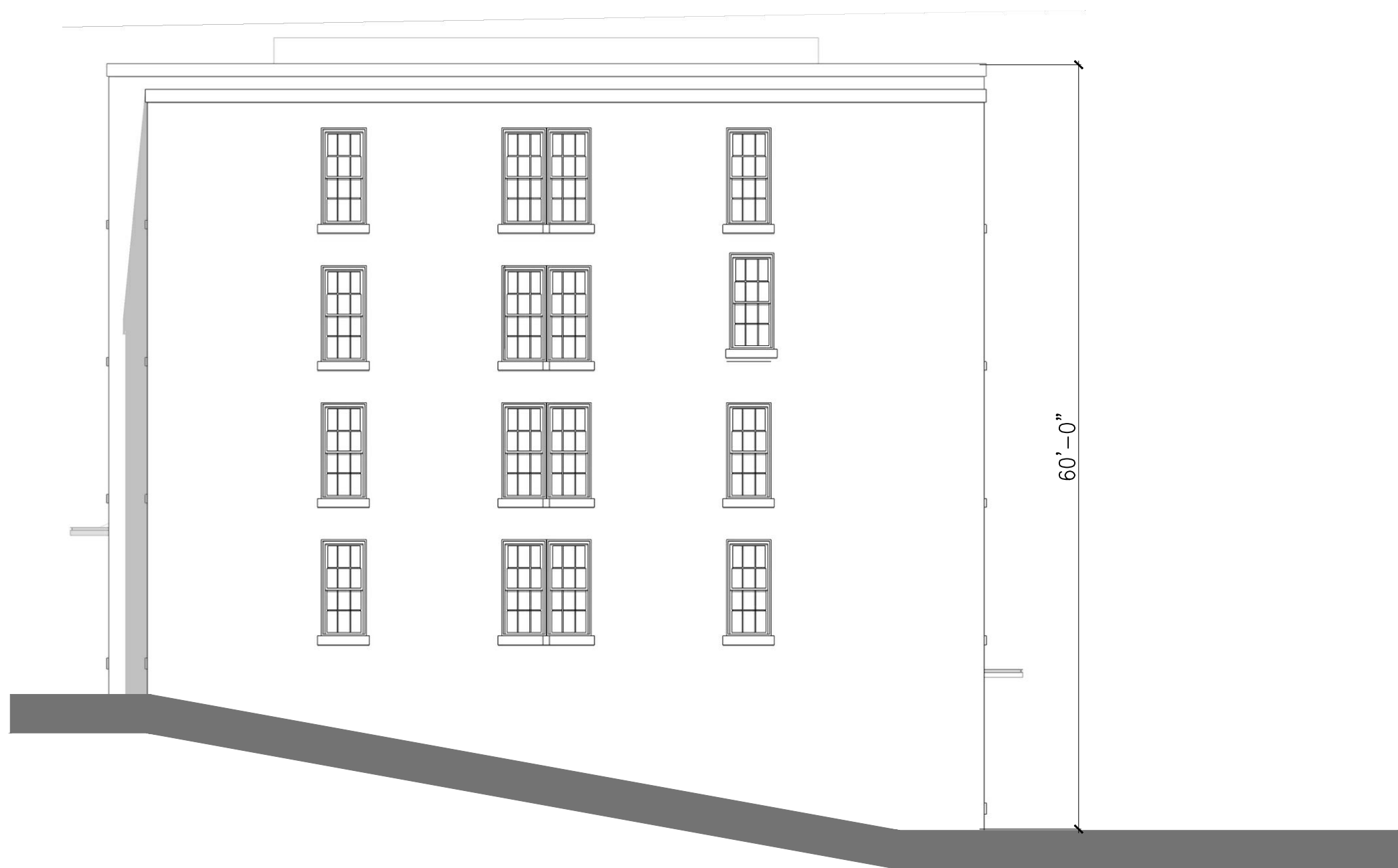
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2. METAL COPING
3. METAL WINDOW
4. HIGH QUALITY SIDING
5. BRICK MASONRY
6. METAL RAILING
7. METAL CANOPY
8. METAL/WOOD/GLASS DOORS
9. LOUVERS

NOTE: ALL BUILDING ELEVATIONS AND MATERIALS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE DURING DETAILED DESIGN PROCESS.

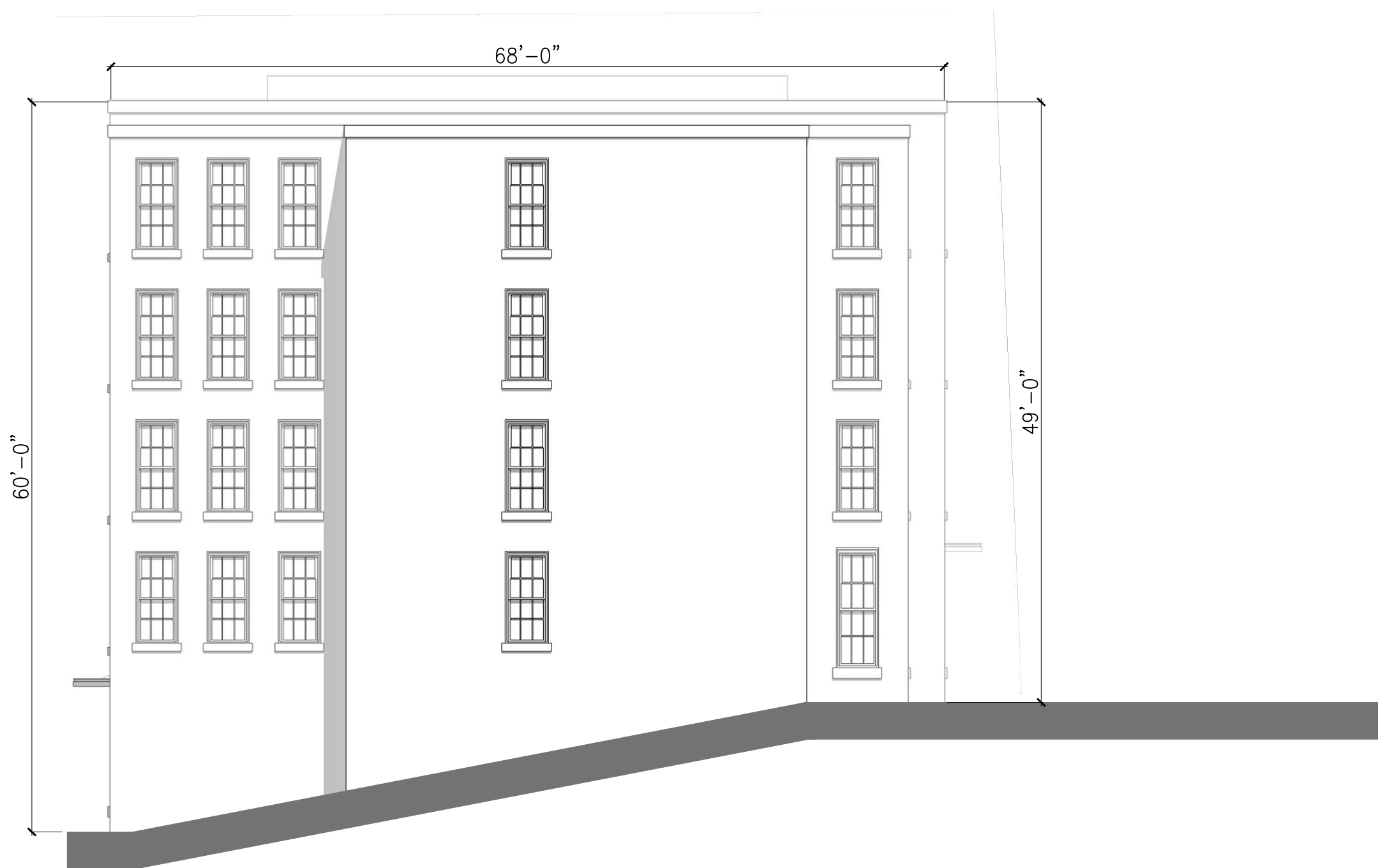
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SCALE: 1" = 10'-0"



3 BUILDING 2: SOUTH ELEVATION
SCALE: 1" = 10'-0"



2 BUILDING 2: EAST ELEVATION
SCALE: 1" = 10'-0"



1 BUILDING 2: WEST ELEVATION
SCALE: 1" = 10'-0"

No.	Revision	Date

Seal:

Designed by:	DJGR
Drawn by:	JP
Checked by:	RD
Scale:	1" = 10'-0"
Date:	3/10/2017

Prepared for:
NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:
DJGR LLC
ARCHITECTURE AND LANDSCAPE
Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:
WATERFRONT WEST
NEWBURYPORT, MA
Drawing Name:
GENERAL BUILDING
ELEVATIONS: BLDG 2

Drawing No.:
A-5
Project No.: 031502

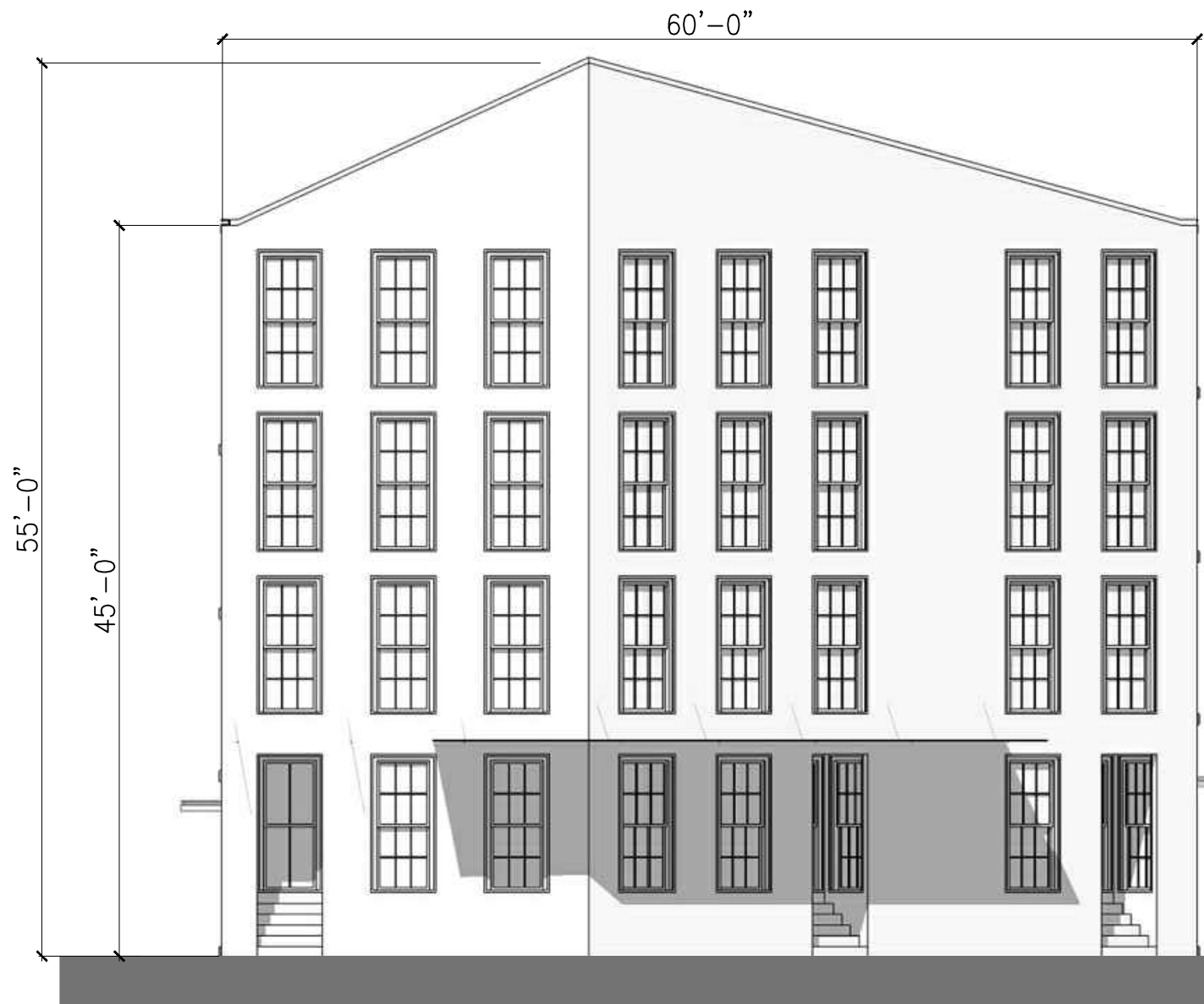
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Plot Date: 2/1/2017 10:03:25am



4 BUILDING 3: EAST ELEVATION
SCALE: 1" = 10'-0"



3 BUILDING 3: WEST ELEVATION
SCALE: 1" = 10'-0"



2 BUILDING 3: NORTH ELEVATION
SCALE: 1" = 10'-0"



1 BUILDING 3: SOUTH ELEVATION
SCALE: 1" = 10'-0"

POTENTIAL BUILDING MATERIALS

1. METAL ROOF
2. FLAT MEMBRANE ROOF
3. METAL COPING
4. METAL WINDOW
5. HIGH QUALITY SIDING
6. BRICK MASONRY
7. METAL RAILING
8. METAL CANOPY
9. METAL/WOOD/GLASS DOORS
10. LOUVERS

NOTE: ALL BUILDING ELEVATIONS AND MATERIALS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE DURING DETAILED DESIGN PROCESS.

Seal:

Designed by: DJGR
Drawn by: JP
Checked by: RD
Scale: 1" = 10'-0"
Date: 3/10/2017

Prepared for:

**NEW ENGLAND
DEVELOPMENT**

75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:

DJGR LLC
ARCHITECTURE AND LANDSCAPE

Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:

WATERFRONT WEST
NEWBURYPORT, MA

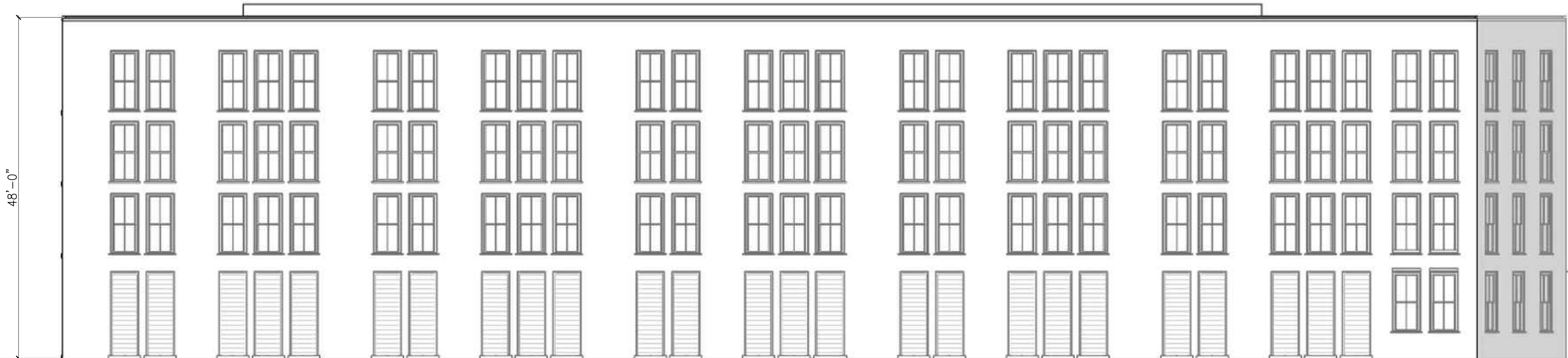
Drawing Name:

GENERAL BUILDING
ELEVATIONS: BLDG 3

Drawing No.:

A-6

Project No.: 031502



4 BUILDING 4: EAST ELEVATION
SCALE: 1" = 10'-0"



3 BUILDING 4: WEST ELEVATION
SCALE: 1" = 10'-0"



2 BUILDING 4: NORTH ELEVATION
SCALE: 1" = 10'-0"



1 BUILDING 4: SOUTH ELEVATION
SCALE: 1" = 10'-0"

POTENTIAL BUILDING MATERIALS

1. FLAT MEMBRANE ROOF
2. METAL COPING
3. METAL WINDOW
4. HIGH QUALITY SIDING
5. METAL RAILING
6. METAL CANOPY
7. METAL/WOOD/GLASS DOORS
8. LOUVERS

NOTE: ALL BUILDING ELEVATIONS AND MATERIALS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE DURING DETAILED DESIGN PROCESS.

No.	Revision	Date

Seal:

Designed by:	DJGR
Drawn by:	JP
Checked by:	RD
Scale:	1" = 10'-0"
Date:	3/10/2017

Prepared for:
NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:
DJGR LLC
ARCHITECTURE AND LANDSCAPE
Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:
WATERFRONT WEST
NEWBURYPORT, MA
Drawing Name:
GENERAL BUILDING
ELEVATIONS: BLDG 4

Drawing No.:
A-7
Project No.: 031502

Drawing name: 2:\PROJECTS\03_New England Development\031502_Waterfront West\Drawings\General Architecture Elevations.dwg
User: JGR
Date: 3/10/2017



4 BUILDING 5: EAST ELEVATION
SCALE: 1" = 10'-0"



3 BUILDING 5: WEST ELEVATION
SCALE: 1" = 10'-0"



2 BUILDING 5: NORTH ELEVATION
SCALE: 1" = 10'-0"



1 BUILDING 5: SOUTH ELEVATION
SCALE: 1" = 10'-0"

POTENTIAL BUILDING MATERIALS

1. FLAT MEMBRANE ROOF
2. METAL COPING
3. METAL WINDOW
4. HIGH QUALITY SIDING
5. BRICK MASONRY
6. METAL RAILING
7. METAL CANOPY
8. METAL/WOOD/GLASS DOORS
9. LOUVERS

NOTE: ALL BUILDING ELEVATIONS AND MATERIALS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE DURING DETAILED DESIGN PROCESS.

No.	Revision	Date

Seal:

Designed by:	DJGR
Drawn by:	JP
Checked by:	RD
Scale:	1" = 10'-0"
Date:	3/10/2017

Prepared for:
NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:
DJGR LLC
ARCHITECTURE AND LANDSCAPE
Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:
WATERFRONT WEST
NEWBURYPORT, MA
Drawing Name:
GENERAL BUILDING
ELEVATIONS: BLDG 5

Drawing No.:
A-8
Project No.: 031502

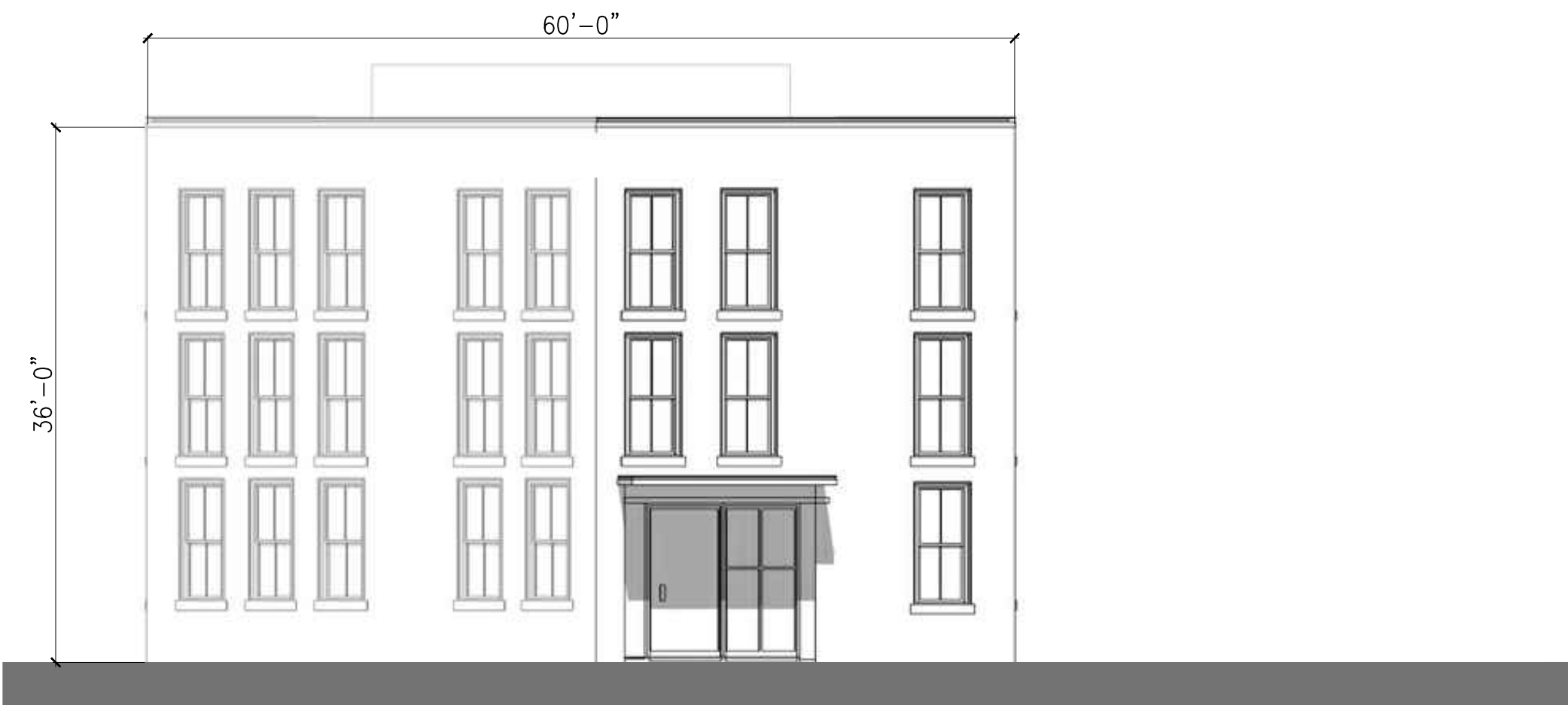
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Mar 16, 2017 11:03:05am



4 BUILDING 6: EAST ELEVATION
SCALE: 1" = 10'-0"



3 BUILDING 6: WEST ELEVATION
SCALE: 1" = 10'-0"



2 BUILDING 6: SOUTH ELEVATION
SCALE: 1" = 10'-0"



1 BUILDING 6: NORTH ELEVATION
SCALE: 1" = 10'-0"

POTENTIAL BUILDING MATERIALS

1. FLAT MEMBRANE ROOF
2. METAL COPING
3. METAL WINDOW
4. HIGH QUALITY SIDING
5. BRICK MASONRY
6. METAL RAILING
7. METAL CANOPY
8. METAL/WOOD/GLASS DOORS
9. LOUVERS

NOTE: ALL BUILDING ELEVATIONS AND MATERIALS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE DURING DETAILED DESIGN PROCESS.

Revision	No.	Date

Seal:

Designed by:	DJGR
Drawn by:	JP
Checked by:	RD
Scale:	1" = 10'-0"
Date:	3/10/2017

Prepared for:
NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:
DJGR LLC
ARCHITECTURE AND LANDSCAPE
Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:
WATERFRONT WEST
NEWBURYPORT, MA
Drawing Name:
GENERAL BUILDING
ELEVATIONS: BLDG 6

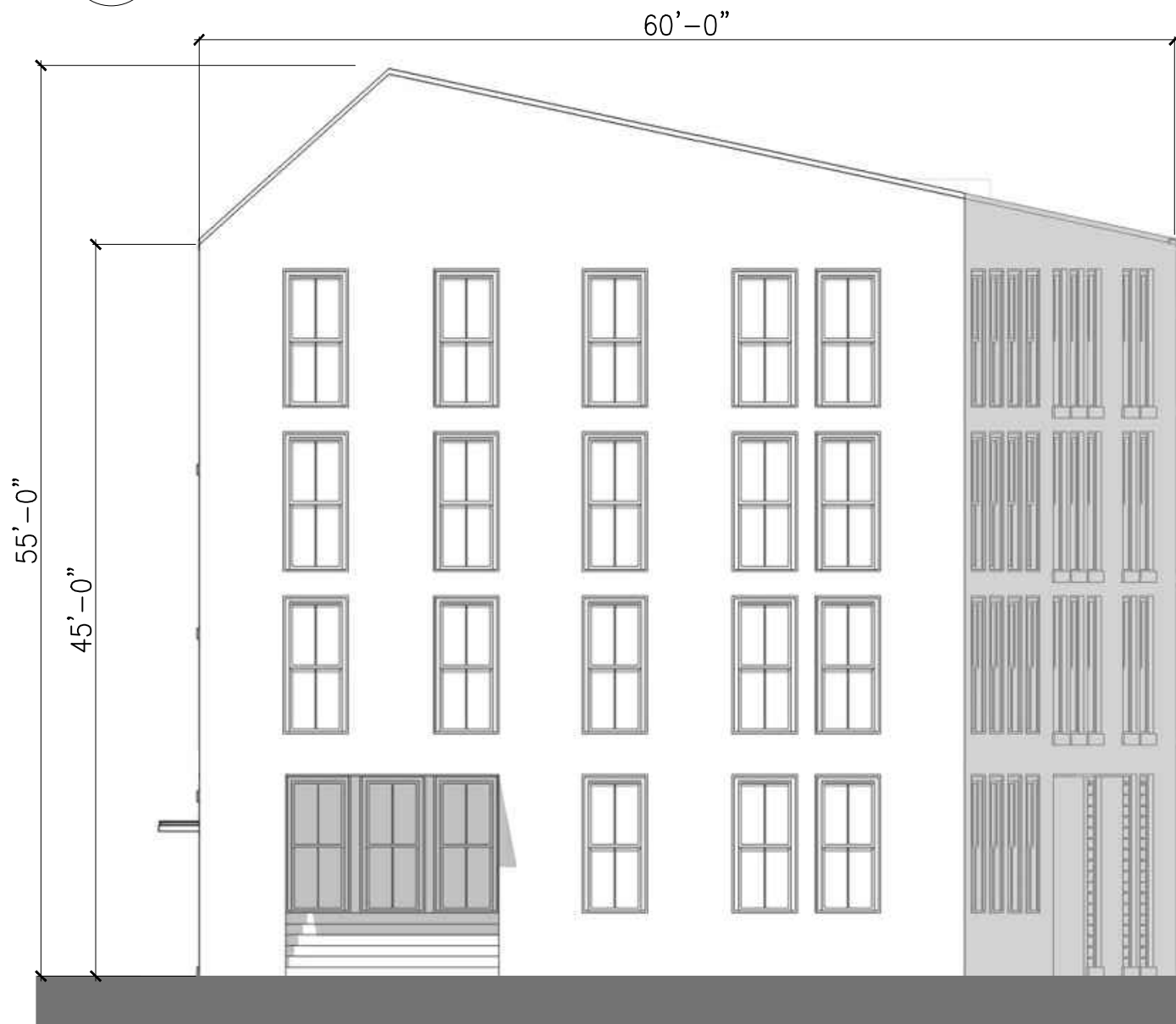
Drawing No.:
A-9
Project No.: 031502



4 BUILDING 7: EAST ELEVATION
SCALE: 1" = 10'-0"



3 BUILDING 7: WEST ELEVATION
SCALE: 1" = 10'-0"



2 BUILDING 7: NORTH ELEVATION
SCALE: 1" = 10'-0"



1 BUILDING 7: NORTH ELEVATION
SCALE: 1" = 10'-0"

POTENTIAL BUILDING MATERIALS

1. METAL ROOF
2. FLAT MEMBRANE ROOF
3. METAL COPING
4. METAL WINDOW
5. HIGH QUALITY SIDING
6. BRICK MASONRY
7. METAL RAILING
8. METAL CANOPY
9. METAL/WOOD/GLASS DOORS
10. LOUVERS

NOTE: ALL BUILDING ELEVATIONS AND MATERIALS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE DURING DETAILED DESIGN PROCESS.

Seal:

Designed by: DJGR
Drawn by: JP
Checked by: RD
Scale: 1" = 10'-0"
Date: 3/10/2017

Prepared for:

**NEW ENGLAND
DEVELOPMENT**

75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

NOT FOR CONSTRUCTION

Prepared by:

DJGR LLC
ARCHITECTURE AND LANDSCAPE

Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:

WATERFRONT WEST
NEWBURYPORT, MA

Drawing Name:

GENERAL BUILDING
ELEVATIONS: BLDG 7

Drawing No.:

A-10

Project No.: 031502

Date

Revision

No.

Date

Revision

No.



POTENTIAL BUILDING MATERIALS

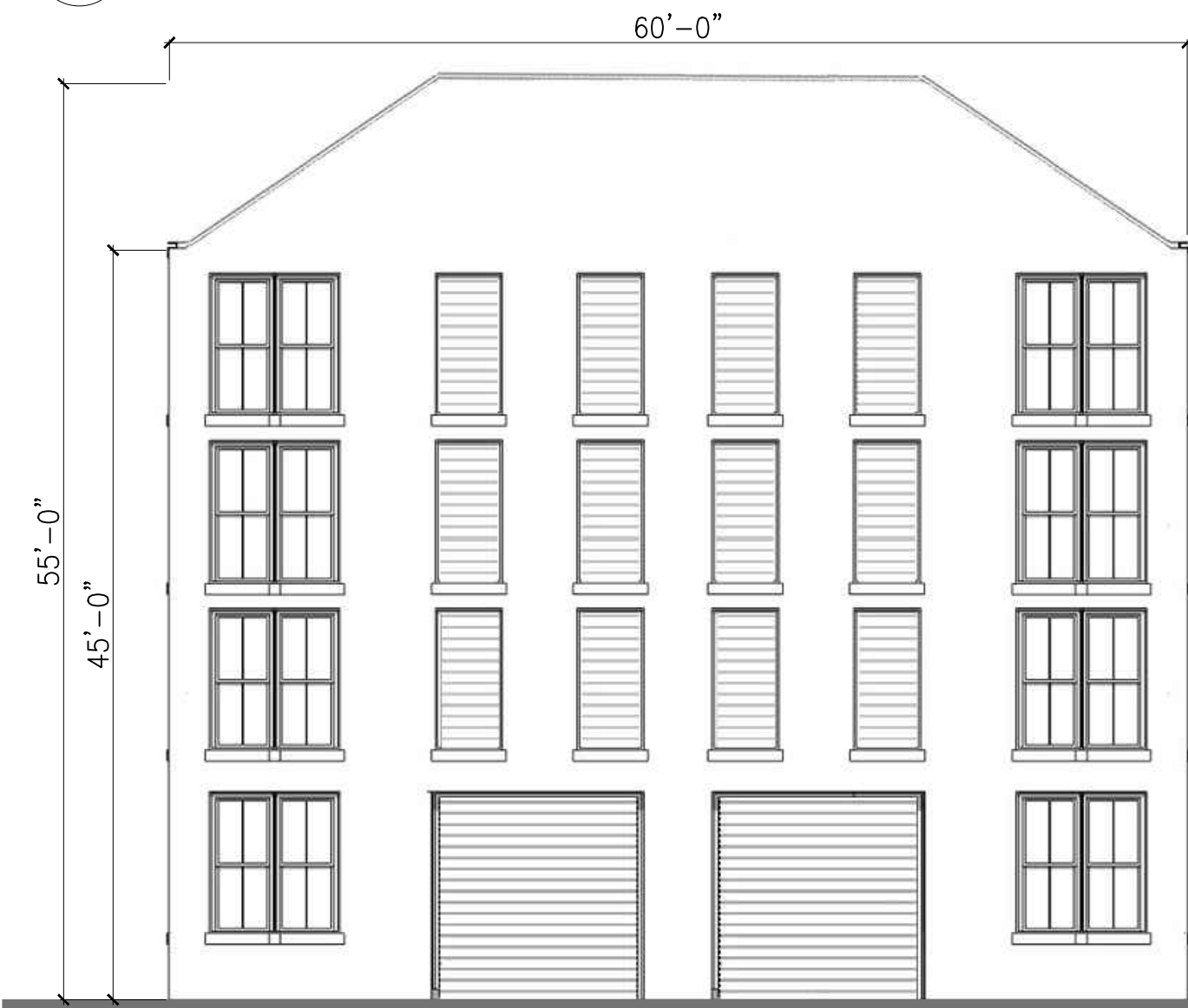
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2. FLAT MEMBRANE ROOF
3. METAL COPING
4. METAL WINDOW
5. HIGH QUALITY SIDING
6. BRICK MASONRY
7. METAL RAILING
8. METAL CANOPY
9. METAL/WOOD/GLASS DOORS
10. LOUVERS

NOTE: ALL BUILDING ELEVATIONS AND MATERIALS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE DURING DETAILED DESIGN PROCESS.

4 BUILDING 8: WEST ELEVATION
SCALE: 1" = 10'-0"



3 BUILDING 8: EAST ELEVATION
SCALE: 1" = 10'-0"



2 BUILDING 8: SOUTH ELEVATION
SCALE: 1" = 10'-0"



1 BUILDING 8: NORTH ELEVATION
SCALE: 1" = 10'-0"

Seal:

Designed by: DJGR
Drawn by: JP
Checked by: RD
Scale: 1" = 10'-0"
Date: 3/10/2017

Prepared for:
NEW ENGLAND DEVELOPMENT
75 PARK PLAZA
BOSTON, MA 02116
617-965-8700

Prepared by:
DJGR LLC
ARCHITECTURE AND LANDSCAPE
Dumont Janks Goldberg Reed, LLC
129 KINGSTON ST.
BOSTON, MA 02111
P: 617.275.2355

Project Name:
WATERFRONT WEST
NEWBURYPORT, MA
Drawing Name:
GENERAL BUILDING
ELEVATIONS: BLDG 8

Drawing No.:
A-11
Project No.: 031502

Drawing name: C:\VA\Newburyport\New England Development\Waterfront West Development\Main\16025_N-1_GENERAL NOTES.dwg
Mar 06, 2017 - 17:06gm

GENERAL NOTES:

- EXISTING CONDITIONS TAKEN FROM A PLAN ENTITLED, "EXISTING CONDITIONS PLAN, MERRIMAC STREET, NEWBURYPORT, MA" PREPARED BY FELDMAN LAND SURVEYORS DATED 03/07/2017.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES, PARTICULARLY WHERE NEW WORK CONNECTS TO EXISTING, SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" (1-800-344-7233) AT LEAST TWO (2) WEEKS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL HORIZONTAL CONTROL POINTS AND ELEVATION BENCH MARKS NECESSARY FOR THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- THE LIMIT OF WORK LINE IS THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
- DEMOLISHED MATERIALS MUST BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN ACCORDANCE WITH ALL FEDERAL, STATE AND MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL INFORMATION SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND EXISTING SITE CONDITIONS AS SHOWN ON THESE PLANS.
- REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING LOCATIONS, BUILDING DIMENSIONS, EXACT UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS, BUILDING SIDEWALKS, AND DOOR LOCATIONS.
- ALL CONSTRUCTION DUMPSTERS SHALL BE PROPERLY MAINTAINED. ALL DUMPSTERS SHALL BE LOCATED ON A BITUMINOUS CONCRETE OR CONCRETE SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRASH DISPOSAL ON A REGULAR BASIS AND SHALL ENSURE THAT THE DUMPSTER AREAS ARE PROPERLY MAINTAINED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE GENERAL UPKEEP AND ROUTINE MAINTENANCE OF THE ENTIRE SITE TO ENSURE AN AESTHETICALLY PLEASING APPEARANCE DURING ALL PHASES OF CONSTRUCTION.
- UNLESS OTHERWISE INDICATED, AREAS DISTURBED BY CONSTRUCTION SHALL HAVE 6-INCHES OF LOAM EVENLY SPREAD AND COMPACTED ON A PREPARED SUBGRADE AND PLANTED WITH LAWN SEED MIX PER THE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND MAINTAIN ALL MATERIAL AND LABOR FOR TEMPORARY TRAFFIC CONTROL DURING ALL PHASES OF CONSTRUCTION IN ACCORDANCE WITH M.U.T.C.D. STANDARDS AND AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL HAVE A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN ON SITE AT ALL TIMES AND WILL BE INCORPORATED INTO ALL CONSTRUCTION CONTRACTS.
- NO AUTHORIZED ACTIVITY SHALL AFFECT ABUTTING PROPERTIES. IF THE CONTRACTOR MUST WORK ON AN ABUTTING PROPERTY, WRITTEN AUTHORIZATION FROM THE OWNER OF SAID LAND SHALL BE OBTAINED AND PROVIDED TO THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK.
- THE OWNER, OWNER'S REPRESENTATIVE AND/OR CONTRACTOR WILL CONTACT THE EPA NATIONAL RESPONSE CENTER AT 1-800-424-8802 AND THE NEWBURYPORT FIRE DEPARTMENT IN EVENT OF A HAZARDOUS LEAK OR SPILL.
- ALL TYPES OF BORROW FILL MATERIAL IMPORTED TO THE SITE MUST BE CLEAN AND SUITABLE FOR THE USE SPECIFIED. THE GENERAL CONTRACTOR WILL PROVIDE THE OWNER'S GEOTECHNICAL ENGINEER WITH RECORDS INDICATING THE TYPE, QUANTITY, ORIGIN AND SOURCE OF ANY FILL MATERIAL IMPORTED TO THE SITE.
- PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE GENERAL CONTRACTOR SHALL CONSULT WITH THE FIRE DEPARTMENT REGARDING ANY SPECIFIC REQUIREMENTS REGARDING FIRE AND LIFE SAFETY DURING DEMOLITION ACTIVITIES.

UTILITY NOTES (GENERAL):

- DUE TO THE SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE BUILDING DRAWINGS. SERVICE STUBS TO THE BUILDINGS SHALL BE INSTALLED TO A POINT TO 10 FEET (10') FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
- ALL REQUIRED UTILITY CROSSING ENCASEMENTS (CONCRETE) SHALL EXTEND 10 FEET (10') FROM EITHER SIDE OF THE CROSSING.
- ALL EXISTING LIGHT POLE BASES AND CONDUIT THAT ARE TO BE REMOVED WILL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY THE BUILDING INSPECTIONS DEPT. AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO FINAL CONNECTION AND BACKFILLING OF SERVICES.
- ALL REQUIRED UTILITIES SERVICING THE BUILDINGS SHALL BE PROVIDED BY THE SITE CONTRACTOR TO WITHIN TEN (10') FEET OF THE BUILDING AT THE LOCATIONS SHOWN ON THE UTILITY PLANS. ALL REQUIRED CONNECTION FEES FOR THE UTILITIES TO THE BUILDINGS SHALL BE PAID FOR BY THE BUILDING CONTRACTOR. ANY NECESSARY EXTENSIONS, RELOCATIONS OR CONNECTIONS BEYOND TEN FEET (10') OF THE BUILDING TO COMPLETE THE CONNECTION OF UTILITIES SHALL BE MADE BY THE SITE CONTRACTOR.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY/ALL PERMITS REQUIRED FOR THE INSTALLATION OF ALL SITE UTILITIES.
- EXISTING STRUCTURES TO BE REMOVED ARE TO BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- EXISTING UTILITY CASTINGS INDICATED TO REMAIN SHALL BE RESET TO FINISHED GRADE AS REQUIRED.
- DETECTABLE WARNING TAPE SHALL BE INSTALLED A MINIMUM ONE (1') FOOT ABOVE THE UTILITY IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY'S REQUIREMENTS.
- PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE SITE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN OF NEWBURYPORT AND PROVIDE COPIES TO THE OWNER.
- ALL UTILITIES, PIPE MATERIALS, STRUCTURES, AND INSTALLATION METHODS, SHALL CONFORM TO THE TOWN OF NEWBURYPORT'S DEPARTMENT OF PUBLIC WORKS SERVICES STANDARDS AND REQUIREMENTS UNLESS OTHERWISE NOTED OR DETAILED.

EROSION CONTROL NOTES:

- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS INCLUDING WATTLE BARRIERS AND FILTER BAGS FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER AND TO MITIGATE ANY EMERGENCY CONDITION.
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. ANY SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- THE SITE CONTRACTOR SHALL INSPECT ALL ON-SITE CATCH BASINS AND DRAINAGE STRUCTURES EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAIN EVENT OF 0.25 INCH OR GREATER. REMOVE ALL SEDIMENT AND TRASH DEBRIS THAT HAS ACCUMULATED WITHIN EACH STRUCTURE DURING THE COURSE OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL MEET OR EXCEED THE TOWN OF NEWBURYPORT'S STANDARDS AND SPECIFICATIONS.
- PRIOR TO THE START OF ANY AUTHORIZED ACTIVITY THE CONTRACTOR SHALL SUBMIT FOR REVIEW AND APPROVAL A DUST CONTROL PLAN TO THE OWNER'S REPRESENTATIVE. THE DUST CONTROL PLAN WILL OUTLINE MEASURES TO CONTROL AND MITIGATE DUST DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION AND IN ALL TYPES OF WEATHER CONDITIONS. THE APPROVED DUST CONTROL PLAN SHALL BE IMPLEMENTED DURING ALL PHASES OF THE AUTHORIZED ACTIVITIES AND WILL CONTINUE UNTIL THE PROJECT HAS BEEN GRANTED A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES AS REQUIRED DUE TO WEATHER CONDITIONS, SEASON AND/OR CONSTRUCTION ACTIVITIES.
- EARTHWORK ACTIVITY ON THE SITE SHALL BE PERFORMED IN A MANNER THAT DIRECTS RUNOFF TO THE APPROPRIATE EROSION AND SEDIMENT CONTROLS.
- THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBANCE AND EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL ENGAGE AN INDIVIDUAL WITH SPECIFIC PROFESSIONAL TRAINING AND EXPERTISE IN EROSION AND SEDIMENT CONTROL. THE EROSION CONTROL MONITOR SHALL CONDUCT AN INSPECTION BASED ON THE FREQUENCY OUTLINED IN STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND PREPARE AN INSPECTION REPORT WHICH SHALL BE KEPT ON SITE AT ALL TIMES AND SHOWN TO LOCAL, STATE AND FEDERAL AGENTS UPON REQUEST. THIS REPORT SHALL INDICATE THE STATUS OF THE EROSION CONTROLS AND ANY MAINTENANCE REQUIRED AND PERFORMED. THIS REPORT SHALL CONFORM TO THE REQUIREMENTS OF THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.

EROSION CONTROL NOTES (CONTINUED):

- REFER TO THE SWPPP FOR DETAILED DESCRIPTIONS OF THE TYPE, INSTALLATION, INSPECTION AND MAINTENANCE PROCEDURES OF STRUCTURAL AND NON-STRUCTURAL MEASURES REQUIRED TO CONTROL SEDIMENT AND EROSION ON-SITE DURING CONSTRUCTION.
- WATTLE DIKES OR SILT BAGS SHALL BE INSTALLED AT ALL EXISTING & PROPOSED CATCH BASINS SUBJECT TO STORMWATER RUN-OFF FROM CONSTRUCTION AREAS, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENT SHALL ENTER THE ON-SITE DRAINAGE SYSTEM AT ANY TIME.
- WINTER CONSTRUCTION AND STABILIZATION
THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15
SEDIMENT BARRIERS: DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF WATTLES.
MULCHING: ALL AREAS SHALL BE CONSIDERED TO BE DENUDED UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1000 SF OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A 1-INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. BETWEEN NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND IS VISIBLE THROUGH THE MULCH. AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH WORKDAY DURING FINAL GRADING ACTIVITIES.
SOIL STOCKPILING: STOCKPILES OF SOIL AND TOPSOIL WILL BE MULCHED OVER THE WINTER FOR PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKPILING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL.
SEEDING: BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS FINISHED AREAS SHALL BE FINE GRADED AND MULCHED. AREAS SHALL BE PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, AND FINE GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCH. DORMANT SEEDING MAY BE PLACED PRIOR TO THE PLACEMENT OF MULCH OR EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEEDED AT AN APPLICATION RATE OF 5 LBS/1000 SF. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING BY REPLACING LOAM, SEED AND MULCH. IF DORMANT SEEDING IS NOT USED FOR THE SITE, ALL DISTURBED AREAS SHALL BE RE-VEGETATED IN THE SPRING.
WINTER STABILIZATION OF DITCHES AND CHANNELS: ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE DITCH:
INSTALL A SOD LINING: THE DITCH A DITCH MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD ONTO AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.
INSTALL A STONE LINING IN THE DITCH: A DITCH MUST BE LINED WITH STONE RIP RAP BY NOVEMBER 15. CONTACT A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH.
WINTER STABILIZATION OF DISTURBED SLOPES: ALL STONE-COVERED SLOPES GREATER THAN 15% MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-COVERED SLOPES GREATER THAN 15% MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE.
TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY OCTOBER 1 THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH OR WITH LAYER OF EROSION CONTROL MIX OR WITH STONE RIP RAP.
SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
STONE RIP RAP: PLACE A LAYER OF STONE RIP RAP ON THE SLOPE BY NOVEMBER 15. CONTACT THE PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIP RAP.
WINTER STABILIZATION OF DISTURBED SOILS: BY SEPTEMBER 15, ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15% MUST BE SEEDED AND MULCHED. IF THE DISTURBED AREAS ARE NOT STABILIZED BY THIS DATE, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN:
TEMPORARY VEGETATION: BY OCTOBER 1, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 LBS PER 1000 SF, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1000 SF, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST 3 INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN MULCH THE AREA FOR WINTER PROTECTION AS DESCRIBED BELOW.
SOD: STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 LBS PER 1000 SF ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEQE'S (D.E.P.) EROSION AND SEDIMENT CONTROL GUIDELINES, AUGUST 1983 AND USDA S.C.S. EROSION AND SEDIMENT CONTROL IN SITE DEVELOPMENT, MASSACHUSETTS CONSERVATION GUIDE, SEPTEMBER 1983 AND LOCAL MUNICIPAL REGULATIONS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION, SITE WORK OR EARTHWORK ACTIVITIES. THEY SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
- STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH WATTLE BARRIERS TO PREVENT AND/OR CONTROL SILTATION AND EROSION.
- TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER THAT STORMWATER DOES NOT INFILTRATE THE MATERIAL AND RENDER THEM UNSUITABLE FOR FILL USE.
- ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. NO AREA SHALL BE LEFT DISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN 14 DAYS AFTER SOIL HAS BEEN DISTURBED.
- ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
- FILTER BAGS, OR WATTLES WITH FILTER FABRIC UNDER THE CATCH BASIN'S RIM SHALL BE INSTALLED DURING CONSTRUCTION TO PREVENT SILT BUILD-UP IN THE CATCH BASINS.
- ALL PROPOSED DE-WATERING PLANS SHALL BE APPROVED BY THE DEPARTMENT OF PUBLIC SERVICES. ANY DE-WATERING ACTIVITIES IN WHICH WATER WILL BE DISCHARGED TO A STORM DRAIN, SHALL USE A SETTLING POND OR SIMILAR DEVICE TO REMOVE SEDIMENT BEFORE WATER IS RELEASED.
- WATTLE BARRIERS SHALL BE MAINTAINED IN GOOD WORKING ORDER THROUGHOUT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. UPON COMPLETION OF THE PROJECT, WATTLE BARRIERS SHALL BE REMOVED AND DISPOSED OF PROPERLY.
- ALL CONSTRUCTION MATERIAL, DEBRIS, FILL AND EXCAVATED MATERIAL SHALL BE STOCKPILED IN AREAS DESIGNATED BY THE OWNER'S REPRESENTATIVE. ALL MATERIAL SHALL BE STABILIZED TO PREVENT EROSION. ALL EXCESS FILL AND EXCAVATED MATERIALS THAT ARE NOT USED IN CONJUNCTION WITH CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL REGULATIONS.
- WATTLES AND FILTER BAGS ARE TO BE INSTALLED UNDERNEATH THE RIMS OF NEW AND EXISTING CATCH BASINS AND REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. NO SEDIMENT SHALL BE ALLOWED TO ENTER THE ON-SITE OR OFF-SITE DRAINAGE SYSTEMS AT ANY TIME.
- THE CONTRACTOR SHALL BE AWARE THAT SOIL AT THIS SITE IS ESPECIALLY SUSCEPTIBLE TO SOIL EROSION AND SENSITIVE TO ITS CONSEQUENCES. EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPICT THE MINIMUM REQUIRED TO CONTROL A SINGLE PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND SITE CONDITIONS CHANGE.
- THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST, CURRENT AND FORECASTED WEATHER CONDITIONS, SEASON AND EXPECTED FUTURE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL NOTIFY THE TOWN'S PLANNING & DEVELOPMENT DEPARTMENT AND THE CONSERVATION COMMISSION AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITEWORK.
- UPON COMPLETION OF ALL SITE WORK CONSTRUCTION, SITE CONTRACTOR SHALL INSPECT ALL ON-SITE CATCH BASINS AND PARTICLE SEPARATORS AND REMOVE ALL SEDIMENT AND TRASH DEBRIS THAT HAS ACCUMULATED WITHIN SAID STRUCTURE DURING THE COURSE OF CONSTRUCTION. ALL ON-SITE CATCH BASINS AND PARTICLE SEPARATORS SHALL BE PUMPED "DRY" AT THE CONCLUSION OF SITEWORK ACTIVITIES, AND THE DEPARTMENT OF PUBLIC SERVICES SHALL BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO PUMPING/CLEANING ACTIVITIES ARE TO BE PERFORMED.

WATER NOTES:

- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5'-0" AND MAXIMUM OF 6'-0" OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
- GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
- ALL WATER MAIN FITTINGS, TEES ETC. SHALL BE RESTRAINED WITH APPROPRIATELY SIZED THRUST BLOCKS.
- ALL HYDRANTS SHALL MEET THE TOWN OF NEWBURYPORT'S WATER AND FIRE DEPARTMENT REQUIREMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE WATER AND FIRE DEPARTMENT REQUIREMENTS.
- A MINIMUM DISTANCE OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
- DOMESTIC WATER SERVICES 2-1/2" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP, APPROVED SADDLE, CURB STOP AND BOX.
- ALL POTABLE WATER MAINS 3" OR LARGER SHALL BE CEMENT LINED DUCTILE IRON PIPE CLASS 52 AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES. FITTINGS SHALL BE MECHANICAL JOINT, DUCTILE IRON CLASS 350 WITH RESTRAINT DEVICES (MEGALUG) AS MANUFACTURED BY EBAA IRON, INC. OR APPROVED EQUAL.
- FIRE SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE VALVE AND REQUIRED ACCESSORIES.
- WATER METERS AND BACK FLOW PREVENTERS SHALL BE LOCATED WITHIN THE BUILDING. ALL BACKFLOW PREVENTERS SHALL BE REGISTERED WITH THE DEPARTMENT OF PUBLIC SERVICES.
- PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH THE TOWN OF NEWBURYPORT'S WATER DEPARTMENT STANDARDS AND REQUIREMENTS. IN THE ABSENCE OF STANDARDS, THEY SHALL CONFORM TO THE REQUIREMENTS IN THE SITEWORK SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE TOWN OF NEWBURYPORT'S WATER DEPARTMENT. COPIES OF TEST RESULTS WILL BE SUBMITTED TO THE NEWBURYPORT WATER DEPARTMENT.
- MAINTAIN A MINIMUM SEPARATION OF THREE FEET (3') BETWEEN GAS AND WATER MAINS (MEASURED FROM THE CENTER OF THE PIPE).
- ALL NEW GATE VALVES INSTALLED FOR THIS PROJECT SHALL OPEN PER THE TOWN OF NEWBURYPORT'S STANDARD.
- ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF NEWBURYPORT WATER DEPARTMENT'S STANDARDS.
- DETECTABLE WARNING TAPE TO BE INSTALLED ABOVE THE WATER MAIN.
- DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED CURB VALVE, BOX AND CORPORATION STOP.

SEWER NOTES:

- ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 CONFORMING WITH ASTM D 3034 UNLESS NOTED OTHERWISE.
- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET (10') ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH THE WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- ALL SEWER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE TOWN OF NEWBURYPORT SEWER DEPARTMENT'S STANDARDS.
- SANITARY SEWER SERVICE TO BUILDING WILL END TEN FEET (10') OUTSIDE THE BUILDING LIMITS AS SHOWN ON THE PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END.
- DETECTABLE WARNING TAPE TO BE INSTALLED A MINIMUM ONE (1') FOOT ABOVE SEWER MAIN.
- THE CONTRACTOR SHALL INSPECT, CLEAN AND UPGRADE EXISTING SEWER PUMPING STATION AS NECESSARY TO MAKE OPERATIONAL.
- ALL SANITARY SEWER COVERS AND FRAMES ARE TO BE HEAVY DUTY DESIGNED FOR H-20 LOADING.
- ALL NEW SEWER MAINS AND ASSOCIATED MANHOLES SHALL BE TESTED FOR WATER TIGHTNESS IN THE PRESENCE OF THE NEWBURYPORT DEPARTMENT OF PUBLIC SERVICES PERSONNEL.

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF DEMOLISHED MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES, ON-SITE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON DRAWING C-1 MUST BE INSTALLED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES WHETHER DESIGNATED ON THESE DRAWINGS OR DISCOVERED IN THE FIELD. SERVICES SHALL BE CAPPED OFF AT THE PROPERTY LINE IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY/ENTITY STANDARDS
- EXISTING BITUMINOUS CONCRETE PAVEMENT SHALL BE MILLED OR PULVERIZED AS INDICATED AND STOCKPILED IN AREAS TO BE DETERMINED BY THE CONTRACTOR/CONSTRUCTION MANAGER AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL EXISTING AND NEW DRAINAGE AND UTILITIES TO REMAIN AND/OR TO BE CONSTRUCTED.
- DURING ON-SITE DEMOLITION WORK, STORM RUNOFF SHALL BE CONTROLLED AND DIRECTED TOWARD TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES.

DRAINAGE NOTES:

- ALL PROPOSED DRAINAGE PIPES SHALL BE CORRUGATED PLASTIC PIPE (CPP) AND STRUCTURES PRECAST CONCRETE UNLESS NOTED OTHERWISE. CPP PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE CONFORMING TO AASHTO DESIGNATIONS M252 AND M294, TYPE S.
- ALL MANHOLES AND CATCH BASINS WITHIN THE WORK AREA SHALL BE PUMPED AND CLEANED AT THE END OF CONSTRUCTION. SEDIMENT AND OTHER POLLUTANTS SHALL BE REMOVED OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- ALL EXISTING STRUCTURES AND/OR DRAINAGE LINES DESIGNATED AS "TO BE REMOVED" SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. AFFECTED AREAS SHALL BE BACK FILLED WITH SUITABLE FILL MATERIAL AND COMPACTED IN 12" LIFTS TO REACH REQUIRED GRADE.
- EXISTING PIPES AND/OR CULVERTS THAT ARE TO REMAIN WITHIN THE LIMIT OF WORK AREA SHALL BE CLEANED OF ANY DEBRIS AND/OR SEDIMENTATION.
- ALL SERVICE CONNECTIONS (IE ROOF AND CANOPY DRAINS) SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.
- ALL PROPOSED AREA DRAIN FRAMES AND GRATES SHALL BE AS SPECIFIED OR AN APPROVED EQUAL.
- THE EXISTING UTILITIES SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION AND SHALL CONFIRM WITH TEST PITS, IF NECESSARY, PRIOR TO EXCAVATION AND CONSTRUCTION.
- ALL EXISTING UTILITY SERVICES MAY NOT BE SHOWN ON THE UTILITY PLANS. THE SITE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR LOCATION AND ELEVATION.

PARKING & TRAFFIC CONTROL PLAN NOTES:

- HANDICAP ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REGULATION, 521 CMR, LATEST EDITIONS UNLESS OTHERWISE NOTED.
- VAN ACCESSIBLE HANDICAP PARKING SPACES SHALL BE SIGNED AS "VAN ACCESSIBLE" PER A.D.A. (SEE 4.1.2.5b).
- ALL PROPOSED CURBING SHALL BE VERTICAL GRANITE, TYPE V44 UNLESS OTHERWISE NOTED.
- ALL PAVEMENT STRIPING SHALL BE PAINTED WITH 2 COATS OF PAINT.
- PARKING AND TRAFFIC CONTROL PLAN IS SCHEMATIC AND FOR LOCATION OF MARKINGS ONLY. SPECIFIC DETAILS OF PAVEMENT MARKINGS ARE PROVIDED AS PART OF THIS PLAN SET.
- ALL EXISTING CURBING TO BE REMOVED WILL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT BUILDING LOCATIONS, BUILDING DIMENSIONS, EXACT UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS, BUILDING SIDEWALKS AND DOOR LOCATIONS.
- ALL LIMITS OF PAVEMENT SHALL BE CURBED UNLESS NOTED OR INDICATED OTHERWISE.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF VESTIBULE, EXITS, BUILDING SIDEWALK, RAMPS, LOADING AREA, BUILDING DIMENSIONS, BUILDING UTILITIES, ENTRANCE LOCATIONS, COMPACTOR AREA, ETC.

Seal:

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